



Staff Report to the Zoning Administrator

Application Number: **211150**

Applicant: Matson Britton Architects

Owner: Jim and Sue Vaudagna

APN: 043-095-14

Site Address: 379 Beach Drive, Aptos

Agenda Date: January 21, 2022

Agenda Item #: 4

Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing dwelling and construct a 2,600 square foot three story single family dwelling with approximately 1,000 square feet of non-habitable garage/storage area at the first floor. Project includes construction of two retaining walls to stabilize a coastal bluff and construction of a debris fence located midway up the coastal bluff behind the proposed home. Requires a Coastal Development Permit, and the following Variances: an increase to the allowed FAR from 50% to 60%, an increase to the allowed height from 28 feet to 32.5 feet, an increase from the allowed number of stories, from two to three, and a reduction to the required front yard setback from 20 feet to 10 feet, as well as a request to pave more than 50% of the property frontage.

Location: Property located on the northeast side of Beach Drive approximately ½ mile south of the intersection with Rio Del Mar Boulevard (379 Beach Drive).

Permits Required: Coastal Development Permit, Variances

Supervisory District: Second District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposed action is exempt from further Environmental Review under the California Environmental Quality Act. CEQA Section 15270 states that "CEQA does not apply to projects which a public agency rejects or disapproves.
- Denial of Application 211150, based on the attached findings.

Project Description & Setting

The subject parcel is approximately 6,000 square feet in size and zoned Single Family Residential (minimum parcel size 6,000 square feet), (R-1-6) which is consistent with the Land Use Designation of Urban Low Residential Density (R-UL). The property is developed with an existing three-story single-family dwelling with a two-car garage at the lower level.

The project site is situated within a long stretch of homes sandwiched between the base of a coastal bluff and Beach Drive. The east side of Beach Drive contains a sidewalk and public

beach resulting in unimpeded views of the Monterey Bay. The majority of the homes along this stretch of Beach Drive are two and three stories in height and consist of a variety of architectural styles.

This is a proposal to demolish the existing home and construct a new home. The project includes a proposal to grade approximately 119 cubic yards of material at the base of the coastal bluff for the construction of two concrete retaining walls, 9 and 11-feet tall, along with a 10-foot tall geobrug debris fence approximately 30-40 feet upslope from the rear wall of the proposed residence. Geotechnical (Soils) and Geologic Reports have been prepared and submitted to the County for review by the County Geologist and County Civil (Geotechnical) Engineer under application REV181023. On June 3, 2021, County staff accepted the reports as indicated in the attached review letter (Exhibit G).

Geologic and Flood Hazards

The parcel is located within a coastal hazard area, subject to physical hazards as a result of coastal processes including landsliding, coastal bluff erosion, and inundation and erosion by wave action. Landslides in the coastal bluff are typically fluid debris flows and occur within the marine terrace deposits at the top of the bluff, and the weathered and fractured “rind” forming within the bedrock in the face of the bluff (Zinn 2018).

The parcel is located within a mapped Federal Emergency Management Agency (FEMA) coastal flood hazard zone. FEMA has established an elevation of the “100-year coastal flood” as 21 feet NAVD. The proposed home will be subject to high velocity wave run-up and impacts from coastal flooding. In addition to flooding, the beach sand underlying the proposed home may be completely scoured down to the bedrock platform (roughly 1.5 feet NAVD), and as a result it is estimated that the upper 16 feet of the foundation system will lose all vertical and lateral support (Pacific Crest, 2017) in the event of severe wave inundation.

The parcel also lies within an area mapped as a high potential for liquefaction. Both the project geologist and geotechnical engineer conclude that liquefaction and lateral spreading may occur during the lifetime of the proposed residence.

The project as proposed incorporates mitigations to address potential impacts from shallow slope failures, coastal flooding and wave run-up via elevation of the habitable portions of the building and incorporation of break-away walls into the design of the ground-level garage. These design features allow for the material generated by shallow “debris flow” type bluff failures to flow through the rear yard and come to rest beneath the residence; similarly, the break-away walls would allow for entry and exit of coastal flood waters beneath the residence while limiting the redirection of waves toward adjacent properties. The proposed deep foundation design was recommended by the applicant’s geologic and geotechnical consultants to address the potential impacts related to liquefiable soils beneath the structure and scour due to coastal flooding.

As proposed and conditioned, the project will mitigate potential geologic hazards affecting the project site. As indicated above, County staff have accepted the Geotechnical and Geologic reports associated with the proposed development.

Coastal Development Permit

The proposed project includes demolition of an existing three-story single-family and construction of a new three-story replacement single-family dwelling. The project includes excavation of the toe of the coastal bluff, construction of a combination of coastal bluff stabilization features including two retaining walls (9 and 11-feet high respectively) in the rear yard, as well as a ten-foot tall geobrug debris flow fence located 30-40 feet upslope from the proposed home. The project is located within the Coastal Appeals Jurisdiction and is in a mapped scenic resource area in the General Plan/LCP and requires approval of a Coastal Development Permit.

Zoning & General Plan Consistency

The project site consists of a long and narrow parcel (35 feet wide, 163 feet long). The rear half of the 6,024 square-foot parcel is encumbered by a steep coastal bluff. The property is zoned R-1-6 (Single-Family Residential, 6,000 square foot parcel size), a designation which allows residential uses. The proposed single-family residence is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Residential Density) General Plan designations.

The proposed lot coverage (19%) complies with the development standards for the R-1-6 zone district. As noted above, Variances are requested for the Floor Area Ratio (FAR), building height, number of stories, front yard setback, and paving more than 50% of the parcel frontage (see Variances section below).

Local Coastal Program Consistency

The proposed single-family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The parcels along Beach Drive are developed with either detached or semi-detached single-family dwellings, with the newer dwellings being three-stories and comparable in height (to the proposed replacement dwelling). This is due to the requirement to elevate the habitable floor area above the Base Floor Elevation (BFE), as established by FEMA. The entire stretch of Beach Drive is located in the VE FEMA Flood Zone.

Access to the shoreline and public coastal access is provided across the street from the subject property. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

The proposed design of the project complies with the Design Criteria specified in SCCC 13.20.130, including interesting and attractive design features. The proposed replacement dwelling features modern, clean lines and a combination of beige stone accent on the ground level, porcelain "wood look" tile and beige stone accent siding on the second and third levels, aluminum fascia panel entry way and roof overhangs, and glass railings (Exhibit D includes Color & Materials).

Design Review

The project is subject to the County Design Review Ordinance, SCCC 13.11, which specifies that Design Review is required for new homes or additions of 500 square feet or more in Coastal special communities or sensitive sites. The project site, and the entirety of the Beach Drive neighborhood, is mapped as a scenic area.

Several constraints on site affect the design of the structure. Most significantly, the subject parcel is in an area subject to coastal flood inundation, therefore any new habitable development is required to be elevated above the established FEMA 100-year coastal flood base flood elevation (BFE) of 21 feet NAVD88, a requirement which resulted in a request for a height Variance (see Variances section below). The proposed 32.5 foot maximum height is 4.5 feet above the limit for the zone district.

Another site-related constraint is the location of the proposed dwelling at the base of a coastal bluff, which limits the area available for development on the parcel. Although the parcel is about 6,000 square feet in area, roughly half of the parcel is encumbered by a steep coastal bluff. Thus, a relatively small area of the parcel is suitable for development. The proposed design locates development as far south as is possible.

As proposed the project has been designed to reduce the apparent height, bulk and massing to the extent feasible. The structure features clean lines and a modern aesthetic. At nine (9) feet, one (1) inch on the second floor and ten (10) feet, one (1) inch on the third floor, the plate heights are reasonable and in-excessive for a single-family dwelling. Further, the bulk and massing are reduced by recessing portions of the structure on the front and side elevations. In addition, first and second story decks are featured on the front elevation, which would be enclosed with glass railings, adding dimension and visual relief of the structure as viewed from Beach Drive and the public beach beyond. The color palette of wood colored wood-like siding, and beige stone accent stucco are compatible with that of the neighboring homes and will not detract from the natural beauty of the beach community.

Variances

Floor Area Ratio

To comply with County and FEMA coastal flood hazard requirements, the first floor of the replacement dwelling is proposed to consist of non-habitable floor area. While the floor area is non-habitable, the area is included in the floor area ratio (FAR) calculation because the first floor features a plate height of eight feet. As required by SCCC 13.10.323, in areas that feature a ceiling height of seven (7) feet, six (6) inches or greater, all areas that contain a ceiling height of five feet or greater area shall be counted. If the non-habitable area were not counted toward the FAR calculation, the resulting FAR would comply with the FAR development standard for the district. Being that the proposed dwelling is required to be elevated approximately eight feet in height in order to comply with the Base Flood Elevation (BFE) requirement and minimum overhead clearance for parking, it is reasonable to allow the basement area to be enclosed and the resulting building area to be utilized as garage and storage area. In addition, like other neighboring dwellings along Beach Drive, it is common to include a non-habitable first floor in

dwellings that feature three stories (to comply with the FEMA BFE requirement).

Number of Stories (Two to Three)

The subject parcel is located inside the Urban Services Line (USL); therefore, pursuant to SCCC 13.10.323 and General Plan policy 8.6.3, a maximum of two stories is permitted. Due to the location of the parcel, a mapped FEMA flood zone (VE), the applicant has requested a Variance to allow for the construction of a three-story structure. The north side of Beach Drive, where the project site is located, is developed with two and three-story dwellings. Three-story dwellings are frequently approved to allow for construction of a dwelling that complies with the County and FEMA coastal flood hazard regulations. As designed, the first story of the proposed dwelling would consist of non-habitable garage and storage areas in compliance with the FEMA regulations, which prohibits construction of habitable floor area below the BFE.

Pursuant to State law and SCCC 13.10.230, a Variance may be approved where, because of special circumstances associated with a property, the strict application of the development standards contained in the Zoning Ordinance effectively deprives the property owner of privileges enjoyed by owners of property in the vicinity (with identical zoning). In this case, a Variance granting three-stories is warranted in that the strict application of the development standards pertaining to stories in the USL would deprive the property owner of a privilege enjoyed by neighboring property owners, as several nearby dwellings are three-stories.

Increased Height

The proposed maximum height of the structure is 35 feet; the zone district maximum is 28 feet. Because the parcel is within a FEMA designated coastal flood hazard zone, there is a 1% chance of a flooding each year with the added hazard of storm-induced, high velocity wave action. As a result, the parcel is subject to both County and FEMA flood hazard regulations which require the bottom of the first habitable floor structural member to be elevated approximately 4.5 feet above the base flood elevation (BFE), which is 21 feet NAVD, in order to provide sufficient ceiling height to accommodate the required parking. The Base flood elevation at the project site is approximately five feet above existing grade. The new first-floor subfloor will be constructed three feet above BFE, for a total of eight feet above existing grade. The proposed height of the habitable floors of the structure, above the base flood elevation, is 26 feet.

The proposed dwelling, at 32.5 feet in height, will be comparable to the height of many of the dwellings located along the north side of Beach Drive, especially the more recently built homes, which are constructed to comply with the base flood elevation regulations, as established by the County and FEMA. Beach Drive is one of only a few unique areas in the County where height variances are routinely approved (for flood hazard reasons).

Front Yard Setback

The project proposes to reduce the front yard setback, from the required 20 feet to approximately 10 feet for the proposed second and third floor. As proposed, the first floor will comply with the required front yard of 20 feet. The purpose of the front yard setback Variance is to allow for sufficient clearance behind the proposed dwelling to mitigate hazards imposed on the project site by the instability associated with the coastal bluff located at the rear of the subject property.

(behind the home). Additionally, all developed parcels along the Beach Drive are also developed at the toe of the coastal bluff. As proposed, the siting of the proposed dwelling will be consistent with the existing pattern of development along Beach Drive which includes reduced front yard setbacks along much of the street.

Paving of Front Yard (<50%)

SCCC 13.10.554 (Standards for Off-street Parking Facilities) requires that no more than 50% of a front yard to be used for parking area, aisles, and access drives. As proposed, the project will utilize approximately 25 feet of the 35 feet of property frontage for driveway, parking and access aisle and requires a variance. Due to the limited width of the subject parcel a variance to allow for greater than 50% of the property frontage can be supported. The required width of a standard parking space is eight and one half feet (8.5 feet) and the proposed parking configuration will result in approximately 17 feet of property frontage to be paved for use as a driveway. It is reasonable that a minimum of an additional four feet be preserved for pedestrian access, which exceeds the allowed 50% of property frontage. As proposed, the project will not result in a reduction of on street parking.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **211150**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project Plans & Visual Simulations
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel Information
- G. Geotechnical and Geologic Report acceptance letter, dated June 3, 2021

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 211150

Assessor Parcel Number: 043-095-14

Project Location: 379 Beach Drive

Project Description: Demolition of an existing single family dwelling and construction of a replacement single family dwelling.

Person or Agency Proposing Project: Matson Britton Architects

Contact Phone Number: (831) 425-0544

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6 (Single Family Residential, 6,000 square foot parcel size), a designation which allows residential uses. The proposed single-family residence is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL General Plan designations.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, the proposed development has been sited and designed so as not to interfere with overhead utilities located behind the proposed single family dwelling. As proposed, sufficient clearance will be verified at the building permit stage to ensure the project will not adversely impact or restrict access to existing utilities.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site. The project site is visible from the beach across Beach Drive; however, the proposed design, bulk and massing is comparable to, and aesthetically compatible with, the existing pattern of development along Beach Drive and the design meets the criteria described in SCCC 13.20.130.

The project is sited and designed to be visually compatible and integrated with the character of the built environment. Beach Drive's northern side is lined with two and three-story dwellings. Many of the homes are greater than 28 feet in height and are either non-conforming with respect to the setbacks or have been granted front and/or side setback variances due to the limited developable area of the parcels. There is no alternative location for the proposed development given the coastal hazards and the coastal bluff constraints.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available across Beach Drive (Rio Del Mar Beach).

5. That the proposed development is in conformity with the certified Local Coastal Program.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are

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APN: 043-095-14
Owner: Jim and Sue Vaudagna

allowed uses in the R-1-6 (Single Family Residential, 6,000 square foot parcel size) zone district, as well as the General Plan and Local Coastal Program land use designations. Developed parcels in the area contain single-family dwellings which vary in size and architectural and the design submitted is consistent with the pattern of new development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the VE FEMA flood mapping, the narrow width of the lot, and the fact that the rear half of the lot is encumbered by a steep coastal bluff all constitute special circumstances which deprive the subject property the privileges enjoyed by other properties with identical zoning classifications. Variances are requested to increase the allowed Floor Area Ratio (FAR) from 50% to approximately 60%, to increase the allowed number of stories from two to three, to increase the allowed 28 foot height to 32.5 feet, to reduce the required front yard setback from 20 feet to 10 feet, to reduce the required side yard setbacks from five feet to three feet and pave more than 50% of the front yard for parking.

The proposed maximum height of the structure is 32.5 feet and three-stories; the zone district maximum is 28 feet and two-stories. Because of the parcel's location within FEMA's VE flood zone, there is a 1% chance of a flooding each year with the added hazard of storm-induced, high velocity, wave action. As a result, the parcel is subject to FEMA regulations which require the bottom of the first-floor structural members to be elevated at or above the base flood elevation (BFE), which is 21 feet NAVD 88. Base flood elevation at the project site is approximately two and one half feet above existing grade. The new second floor will be constructed four and one half feet above BFE, for a total of approximately seven feet above existing grade. The proposed height of the habitable floors of the structure, above the base flood elevation, is 26.5 feet.

The additional height and third story are supportable in that the strict application of the development standards pertaining to height and stories would deprive the property owner of a privilege enjoyed by neighboring property owners, as several nearby dwellings are greater than 28 feet in height and three-stories tall. It is noted that the existing dwelling on site is three stories tall.

Due to the limited width of the subject parcel, a variance to allow for greater than 50% of the property frontage can be supported. The required width of a standard parking space is eight and one half feet (8.5 feet) and the proposed parking configuration will result in approximately 17 feet of property frontage to be paved for use as a driveway. It is reasonable that a minimum of an additional four feet be preserved for pedestrian access, which exceeds the allowed 50% of property frontage. As proposed, the project will not result in a reduction of on street parking as there is not currently on street parking in front of the subject property.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made in that, the proposed dwelling, at 32.5 feet in height, is comparable to the height of many of the dwellings located along the north side of Beach Drive, especially the

more recently built homes, which are constructed to comply with the base flood elevation regulations, as established by the County and FEMA. Beach Drive is one of only a few unique areas in the County where three-story structures in excess of the 28-foot height limit are routinely approved (for flood hazard reasons). The subject property is currently developed with a three story single family dwelling as are several other properties in the vicinity. The proposed third floor will be in harmony with the general intent of the zoning objectives in that the project will result in no more than two habitable floors. The increase in number of stories can be supported by the geologic hazards affecting the subject parcel.

The proposed front yard setback reduction will result in the dwelling being sited comparably with the neighboring parcels along the north side of Beach Drive. As sited and designed, the dwelling will be closer than the required setback, as measured from the property line, yet significantly further from the developed street (Beach Drive). Thus, there is no issue regarding reduced line of sight, as the developed street is more than 20 feet back from the proposed dwelling.

With respect to the floor area ratio Variance, if the first-floor non-habitable area were not counted toward the FAR calculation, the resulting FAR would be less than 50% and thus comply with the FAR development standard for the district. Being that the dwelling must be raised approximately three feet above natural grade in order to comply with the FEMA base flood elevation requirement and a minimum of seven and one half feet vertical clearance is required for a standard parking space, it is reasonable to allow the proposed ground floor to be enclosed and the resulting building area to be utilized as garage and storage area. In addition, like other neighboring dwellings along Beach Drive, it is common to include a non-habitable first floor in dwellings that feature three stories (to comply with the FEMA BFE and parking requirements).

If approved, the parcel continues to remain a residential parcel with one single-family dwelling constructed to prevailing standards. The Variances to height, setbacks, floor area ratio, and stories, will result in a moderately sized single-family dwelling comparable to the neighboring dwellings with respect to siting, bulk, massing, and height.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that several homes in the vicinity, subject to similar site constraints, are either legal non-conforming structures with respect to floor area ratio, setbacks and/or stories, or have had Variances approved. Most of the dwelling developed along the north side of Beach Drive are sited less than 20 feet from the front property line and closer than five feet on one or more side property lines. Further, many of the newer dwellings in the vicinity are three stories, including the existing dwelling onsite. As properties are redeveloped and become subject to the flood elevation requirement, it is anticipated that those dwellings will also require a height Variance, and possibly a Variance to increase the number of stories as well. Therefore, the approval of the project would not constitute the granting of a special privilege for this property.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with the recommendations of the submitted geology and geotechnical reports, the prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family residence and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 (Single Family Residential, 6,000 square foot parcel size) zone district as the primary use of the property will be one single-family residence that, with the exception of the requested Variances, meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Urban Low Residential Density) land use designation in the County General Plan.

Other than the requested Variances, the proposed dwelling meets current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), including the requirements for lot coverage, rear setback, and required parking. The proposed dwelling will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed replacement single family dwelling is to be constructed on an existing developed lot. The project is not expected to increase the existing level of traffic in the vicinity and the site is already served by utilities. Therefore, the project is will not adversely impact existing roads or intersections in the surrounding area or overload

utilities.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single-family residence is consistent with the land use intensity and density of the neighborhood. Beach Drive is lined on its northern side with single-family dwellings in a range of architectural styles, many of which are two or three stories and maximize the developable area. The proposed dwelling, when viewed from the beach, will visually read as integrated into this existing built environment. As other Beach Drive homes are redeveloped, they will also be required to comply with FEMA regulations, resulting in bulkier, taller homes.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single-family residence will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The proposed home incorporates features to minimize the mass and bulk of the home, including recessing portions of the structure on the front and side elevations. In addition, first and second story decks are featured on the front elevation, which would be enclosed with glass railings, adding dimension and visual relief of the structure as viewed from Beach Drive and the public beach beyond. The color palette of wood colored wood-like siding, and beige stone accent are compatible with that of the neighboring homes and will not detract from the natural beauty of the beach community.

Conditions of Approval

Exhibit D: Project plans, prepared by Matson Britton Architects, revised 9/26/18.

- I. This permit authorizes the demolition of an existing single family dwelling and construction of a new single family dwelling and associate site improvements as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color

and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 32.5 feet.
 5. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- E. Meet all requirements of the Environmental Planning section of the Planning Department including the following:
1. Compliance with the provisions of County Code subsections 16.10.070(H)(5)(c) and (d) shall be certified by a registered professional engineer or architect and shall be submitted with the building permit application.
 2. Please complete a V-Zone Certificate (to be included with the building permit application) for compliance with section 16.10.070(H)(3) which states: elevation of all structures (including manufactured homes) on pilings and columns so that the bottom of the lowest portion of the lowest structural member of the lower floor (excluding the pilings or columns) and elements that function as part of the structure, such as furnace, hot water heater, etc., are elevated to or above the base flood level.
 3. Prior to finalization of the building permit a Monitoring and Maintenance Agreement for the mid-slope Geobrug debris fence shall be recorded.
 4. The applicant shall arrange a pre-construction meeting with the contractor, the project geologist, project geotechnical engineer, project civil engineer, and Environmental Planning Staff.
 5. The property owner is responsible for ensuring that construction activities do not cause adverse impacts to adjacent properties.

6. Submit a maintenance and monitoring plan for the retaining wall prepared by the project geotechnical engineer. A maintenance and monitoring agreement shall be recorded prior to final inspection of the building permit for the retaining wall.
 7. Submit plan review forms (PLG300) prepared by the project geologist and geotechnical engineer prior to building permit issuance and after all reviewing agencies have approved the building plans.
 8. A 'Notice of Geologic Hazards, Acceptance of Risk, Liability Release and Indemnification' form shall be signed, notarized and recorded prior to final inspection of the dwelling.
 9. A 'Declaration of Restriction' shall be recorded which states the use of the roof, side yards and rear yard (between the slope and second retaining wall) is prohibited except for the maintenance and repair as a result of potential geologic hazards associated with the development prior to final inspection of the dwelling.
 10. A FEMA V-Zone certificate shall be submitted at rough frame showing elevation of the 1st floor above the base flood elevation of 21 feet.
- F. Meet all requirements and pay any applicable plan check fee of the Fire Protection District.
- G. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- H. Pay the current Affordable Housing Impact Fee. The fees are based on unit size.
- I. Provide required off-street parking for four (3) cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with

this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any

settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

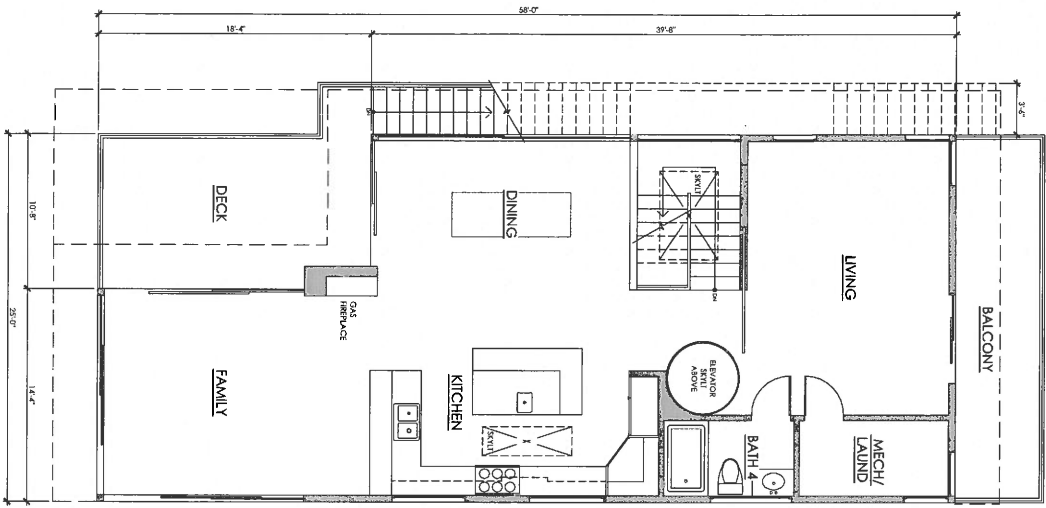
Approval Date: _____

Effective Date: _____

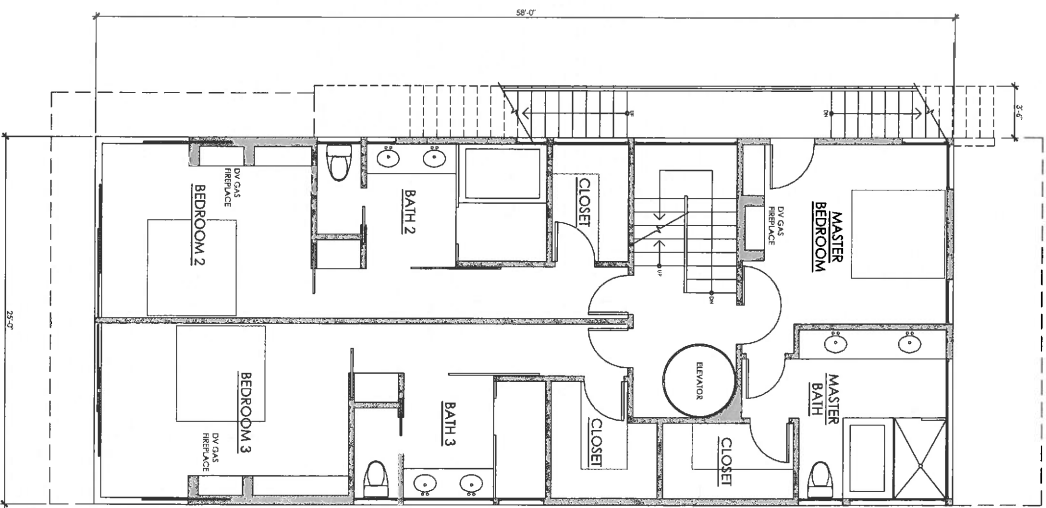
Expiration Date: _____

Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

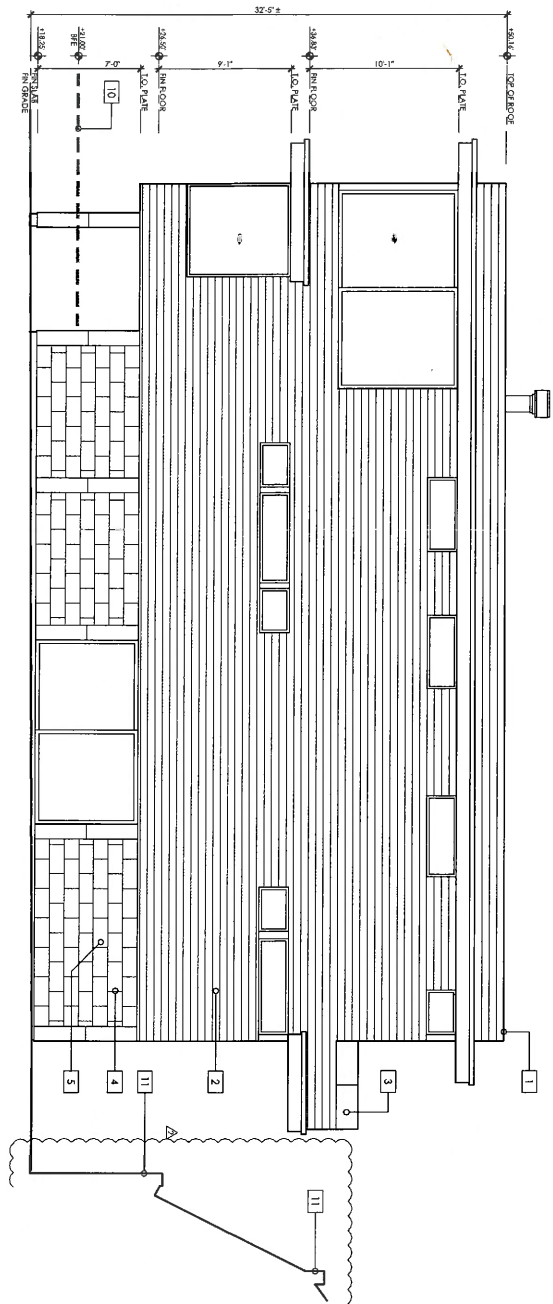


THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

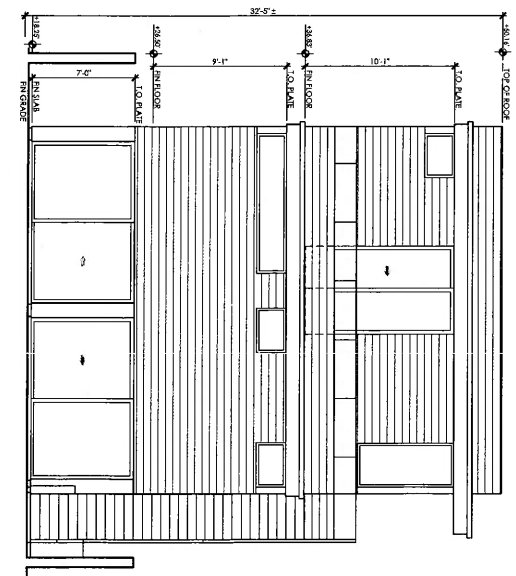


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

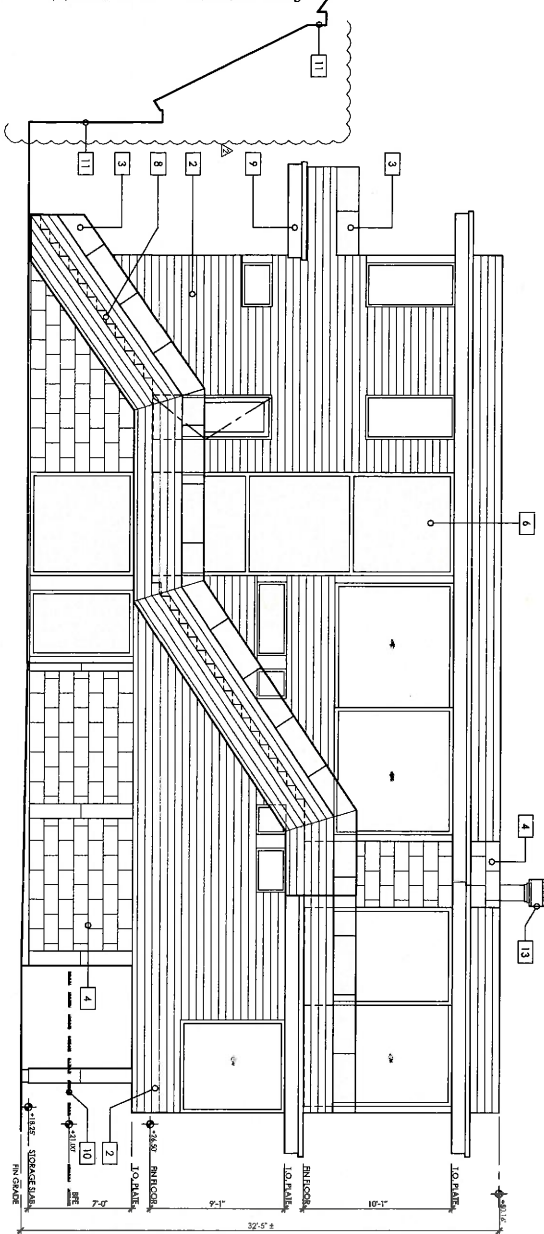
EXHIBIT D



EAST ELEVATION
SCALE 1/4" = 1'-0"

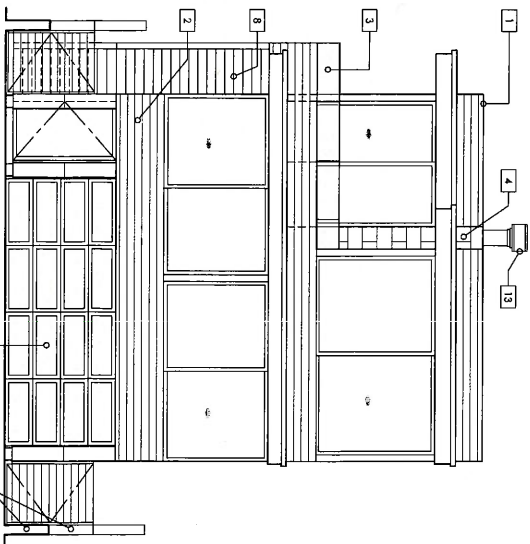


NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES	
1	FLAT FAVER ROOF
2	BE SING
3	WOODEN LATH & BRICK ON EXTERIOR
4	WOODEN LATH & BRICK ON EXTERIOR
5	WOODEN LATH & BRICK ON EXTERIOR
6	WOODEN LATH & BRICK ON EXTERIOR
7	WOODEN LATH & BRICK ON EXTERIOR
8	WOODEN LATH & BRICK ON EXTERIOR
9	WOODEN LATH & BRICK ON EXTERIOR
10	WOODEN LATH & BRICK ON EXTERIOR
11	WOODEN LATH & BRICK ON EXTERIOR
12	WOODEN LATH & BRICK ON EXTERIOR
13	WOODEN LATH & BRICK ON EXTERIOR



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

EXHIBIT D

P6



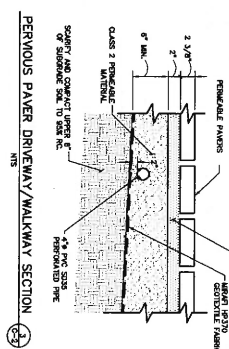
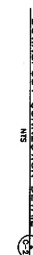
EXTERIOR ELEVATIONS

VAUDAGNA
RESIDENCE
379 BEACH DRIVE
APTOS, CA 95003
APN: 043-095-14

ARCHITECT
VAUDAGNA & ASSOCIATES
11701 11TH AVENUE
APTOS, CA 95003
TEL: 831.426.1171
WWW.VAUDAGNA.COM

128 H SPANCI FORTE
SANTA CRUZ
CA 95064
310.455.0844

MARSON
128 H SPANCI FORTE
SANTA CRUZ
CA 95064
310.455.0844



SECTION B-B
SCALE: 1"=10' HORIZONTAL, VERTICAL

- [illegible]



TOTAL AREA OF DISTURBANCE = 0.072 ACRES

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS**
1. ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A DESIGNATED AREA, TO BE DETERMINED BY THE ENGINEER, AND SHALL BE COVERED AND SECURED TO PREVENT WIND-DRIVEN MATERIAL FROM BEING BLOWN OFF-SITE.
 2. ALL MATERIALS TO BE STORED SHALL BE COVERED AND SECURED TO PREVENT WIND-DRIVEN MATERIAL FROM BEING BLOWN OFF-SITE.
 3. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 4. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 5. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 6. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 7. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 8. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 9. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
 10. EXISTING OR CONSTRUCTION MATERIALS TO BE REMOVED SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES THROUGH EROSION MEASURES SHOWN AND TO BE IMPLEMENTED BY OCTOBER 15.
2. EROSION CONTROL MEASURES ARE SHOWN ON THE PLAN. ALL COLLECTED RUNOFF SHALL BE STORED IN A DESIGNATED AREA, TO BE DETERMINED BY THE ENGINEER, AND SHALL BE COVERED AND SECURED TO PREVENT WIND-DRIVEN MATERIAL FROM BEING BLOWN OFF-SITE.
3. THE EROSION CONTROL MEASURES ARE SHOWN ON THE PLAN. ALL COLLECTED RUNOFF SHALL BE STORED IN A DESIGNATED AREA, TO BE DETERMINED BY THE ENGINEER, AND SHALL BE COVERED AND SECURED TO PREVENT WIND-DRIVEN MATERIAL FROM BEING BLOWN OFF-SITE.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. AFTER EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

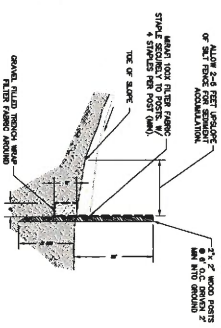


EROSION CONTROL LEGEND

- 1. EROSION CONTROL MEASURES
- 2. EROSION CONTROL MEASURES
- 3. EROSION CONTROL MEASURES
- 4. EROSION CONTROL MEASURES
- 5. EROSION CONTROL MEASURES
- 6. EROSION CONTROL MEASURES
- 7. EROSION CONTROL MEASURES
- 8. EROSION CONTROL MEASURES
- 9. EROSION CONTROL MEASURES
- 10. EROSION CONTROL MEASURES

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STABILIZE EXPOSED SLOPES WITH SOIL
3. USE EROSION CONTROL MEASURES
4. EROSION CONTROL MEASURES
5. EROSION CONTROL MEASURES
6. EROSION CONTROL MEASURES
7. EROSION CONTROL MEASURES
8. EROSION CONTROL MEASURES
9. EROSION CONTROL MEASURES
10. EROSION CONTROL MEASURES



SILT FENCE DETAIL

PLANNING SUBMITTAL

C-4

R.I Engineering Inc.

303 Potrero St., Suite 402-202, Santa Cruz, CA 95060
831-425-3901 www.rengineering.com



NEW RESIDENCE FOR
JIM & SUE VAUDAGNA
379 BEACH DRIVE
APTOS, CALIFORNIA
APN 043-055-015

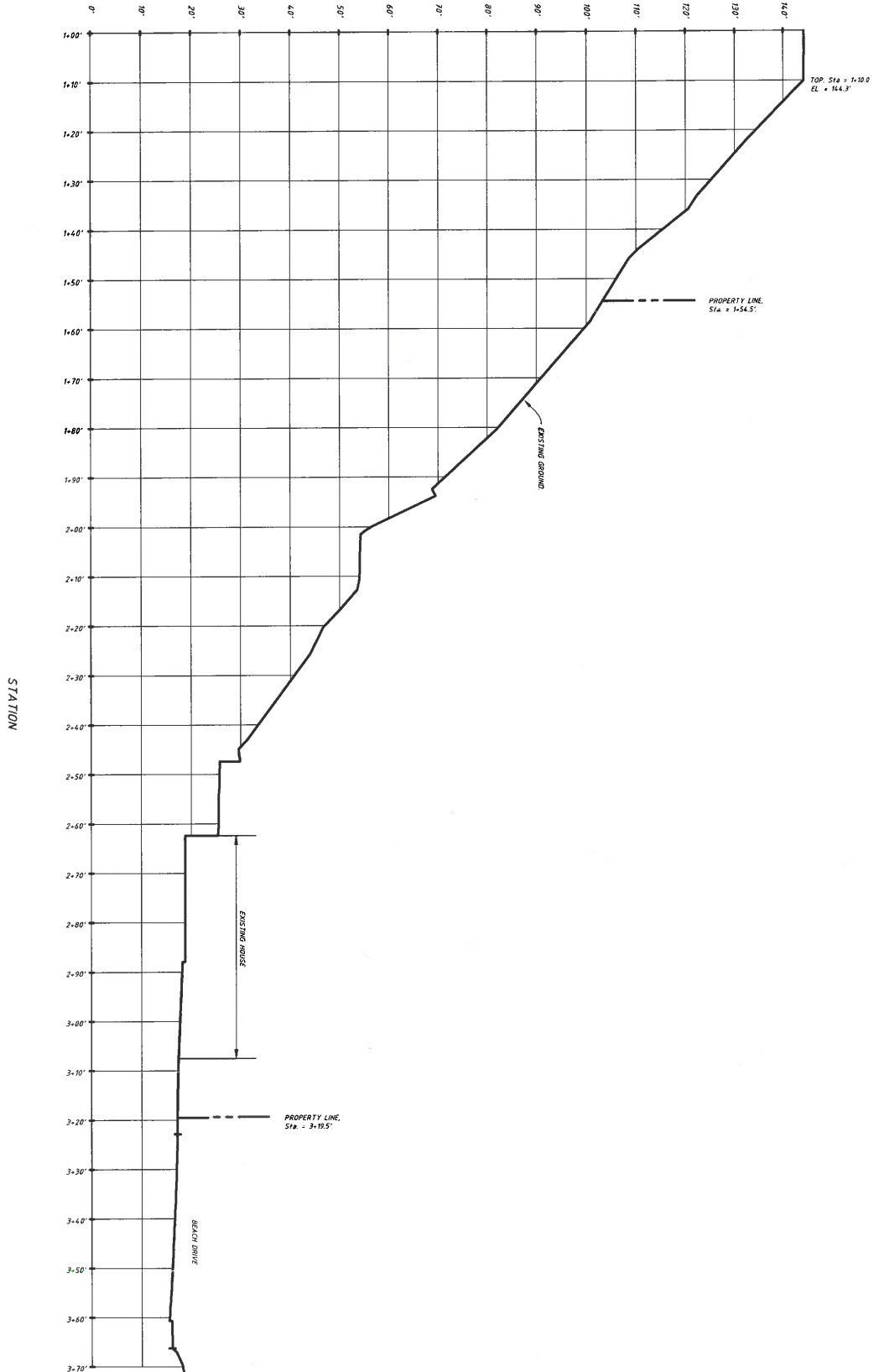
PROJECT NO.
17-135-1
DATE
APRIL 2021
DRAWN BY
AS SHOWN
CHECKED BY
CML, DWG



The Surveyor does not make any claim as to the accuracy of the data shown on this map. The Surveyor is not responsible for any errors or omissions in the data shown on this map. The Surveyor is not responsible for any errors or omissions in the data shown on this map.

SEE SHEET 1
SECTION A
HORIZ. SCALE: 1" = 10'
VERT. SCALE: 1" = 10'

ELEVATION (NAVD88)



Basis of Elevation
County Benchmark 437 being a 2" brass disk stamped
"Santa Cruz County Surveyor BN 437"
Elevation = 1719 feet NAVD88
The contour interval is 1 foot.

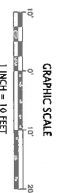


EXHIBIT D

SHEET 1		A.P.N. 043-095-14		Topographic Map, The Lands Of:		HANAGAN LAND SURVEYING, INC.		REVISION		
DATE 5-10-2017		DESIGN		Jim and Sue Vaudagna		305-C BOQUEL AVE., SANTA CRUZ, CA 95062		APPROVED		
SCALE 1" = 10'		DRAWN N. Pasquini		379 Beach Drive, Aptos, CA 95003		PHONE 831-469-3428		Paul Hanagan L.S. 17797		

VAUDAGNA RESIDENCE

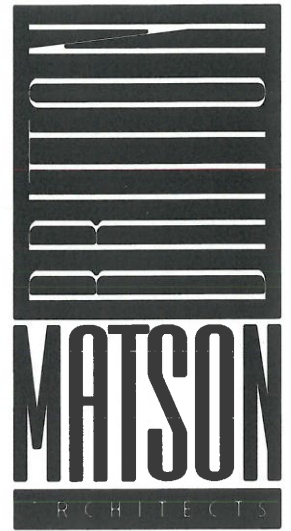
379 BEACH DRIVE
APTOS, CA 95003
A.P.N. 043-095-14

COLOR & MATERIALS

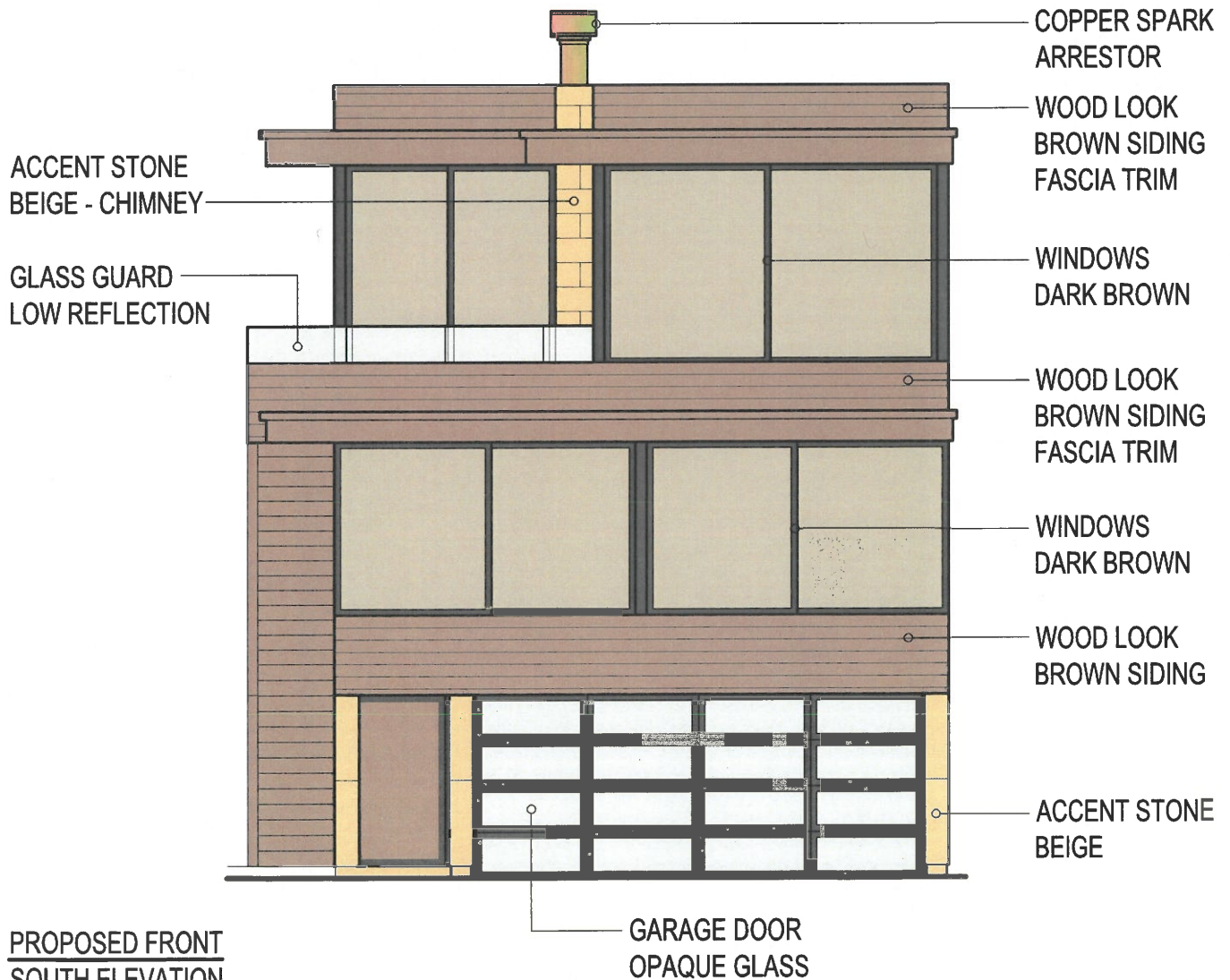
WOOD LOOK SIDING
BROWN

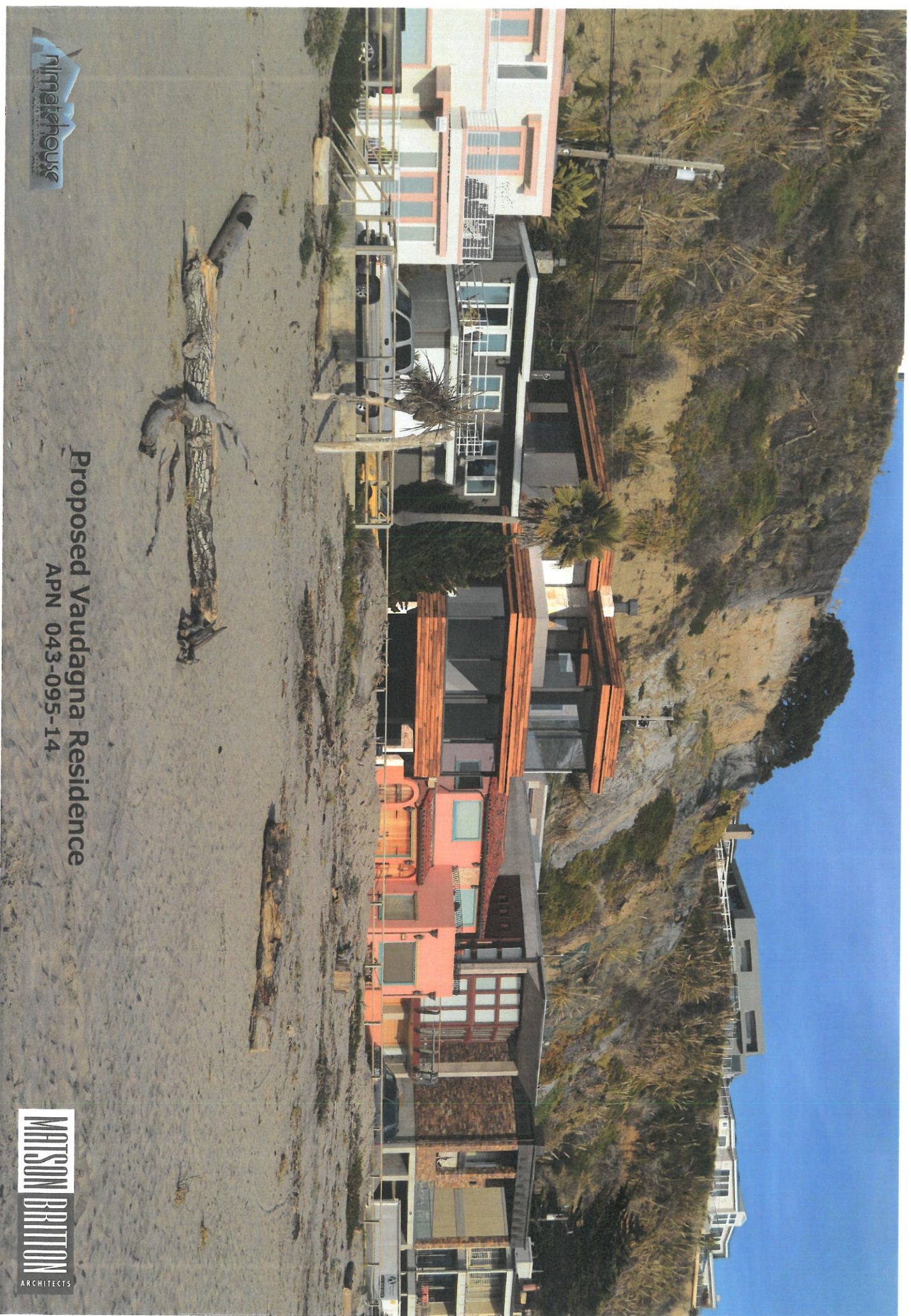


ACCENT STONE
BEIGE



728 N BRANCIORTE
SANTA CRUZ
CA 95062
831-425-0544

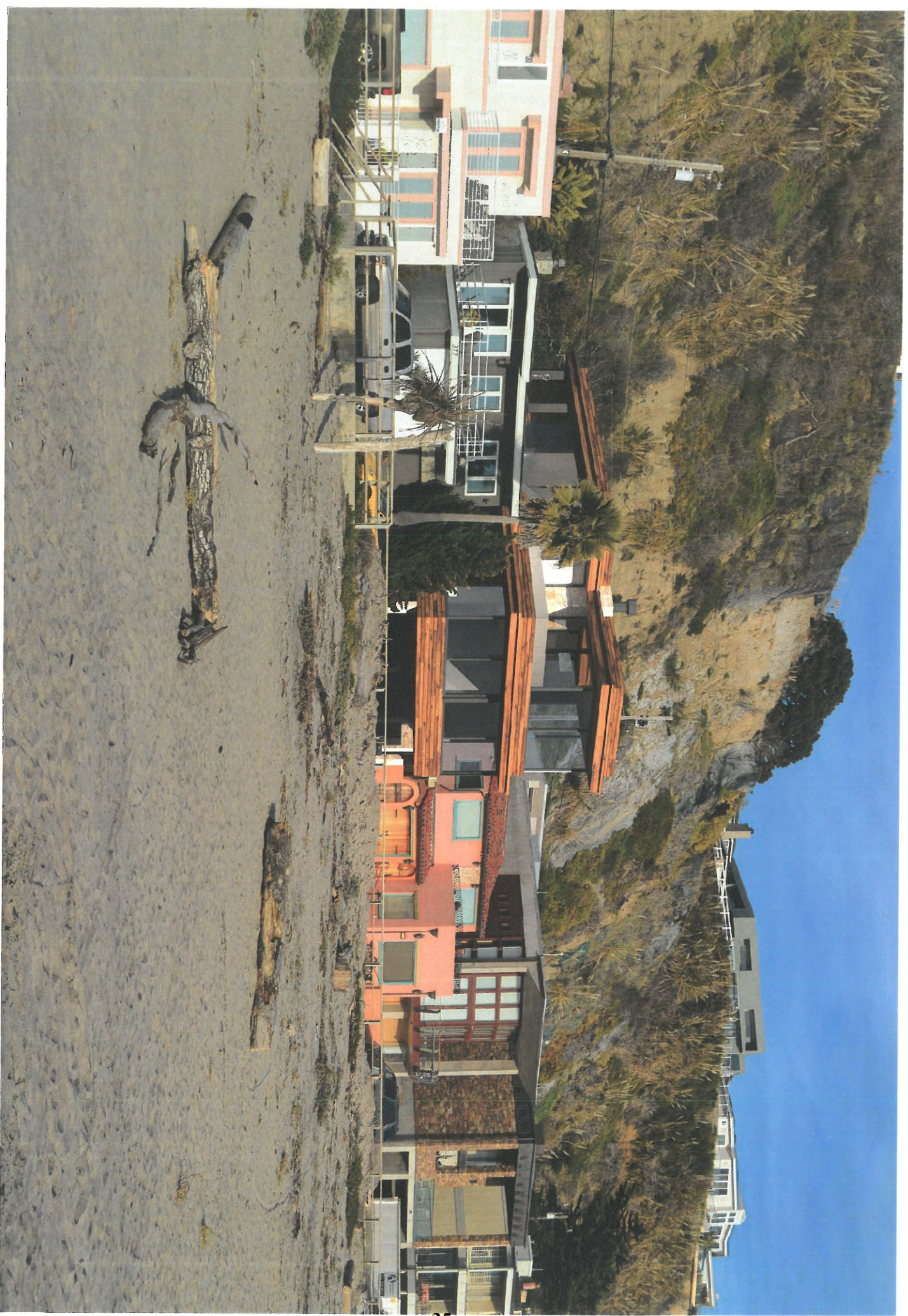




Proposed Vaudagna Residence
APN 043-095-14

MAISON BRITTON
ARCHITECTS





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 THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY AND ASSUMES ANY
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
 © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR, 1999

POR. APTOS RANCHO
 S.E. 1/4 SEC. 18 &
 SEC. 19, T.11S., R.1E., M.D.B. & M.

Tax Area Code
 69-273

43-09

Electronically Redrawn 2/10/99 nw
 Rev. 2/10/99 (Por. to pg. 23) nw
 Rev. 5/4/99 CB (Added MB ref's)
 Rev. 5/9/00 CB (Added Blk line)
 Rev. 5/25/01 mmm (changed page refs.)
 Rev. 12/10/02 CB (2-0068226, Sp 4-32 & 33)
 Rev. 3/31/05 DD (4-0089640, lba 4-34 & 35)
 Rev. 6/3/15 AR (14-0019936, comb. 4-36)

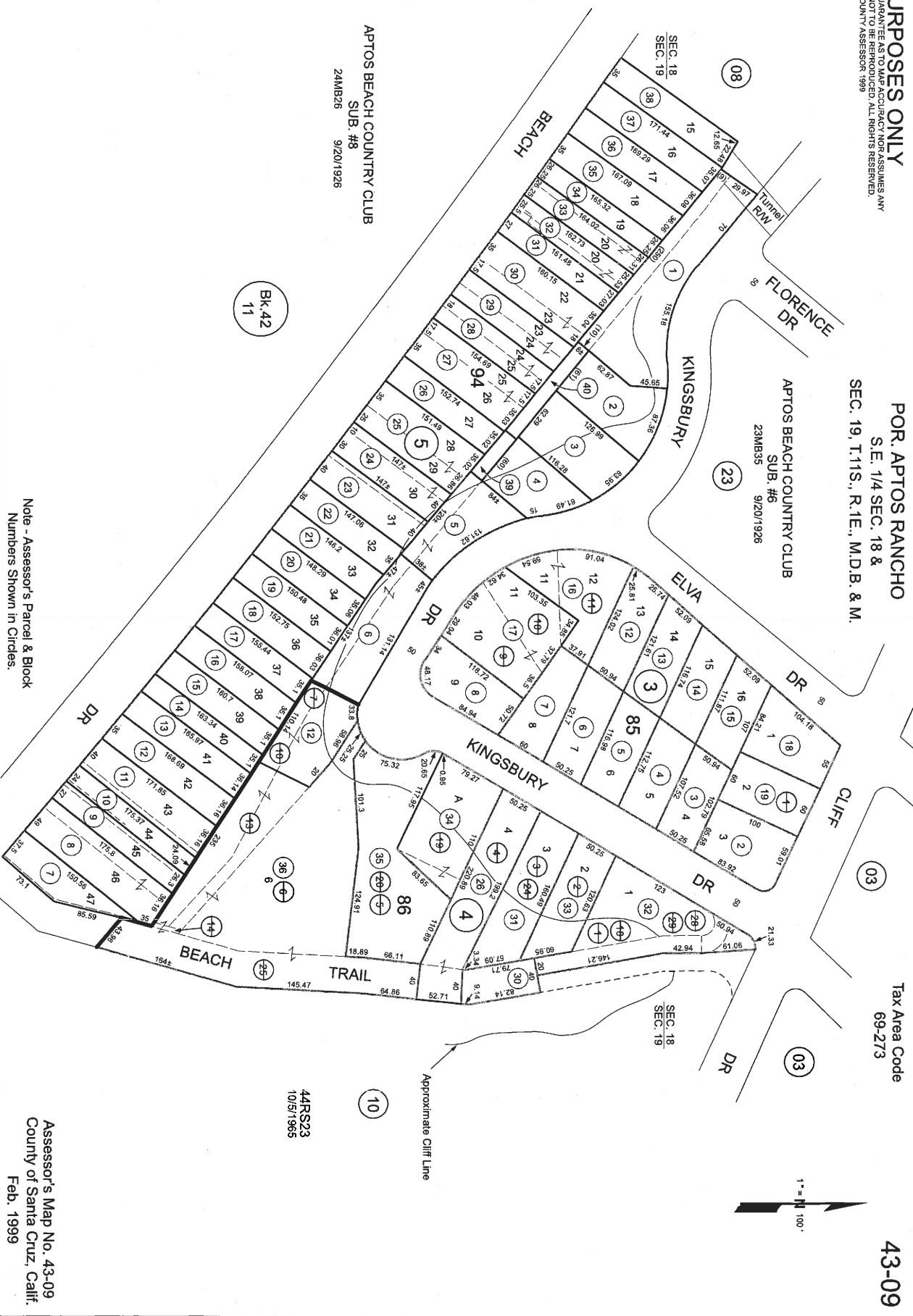
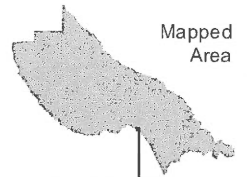


EXHIBIT E

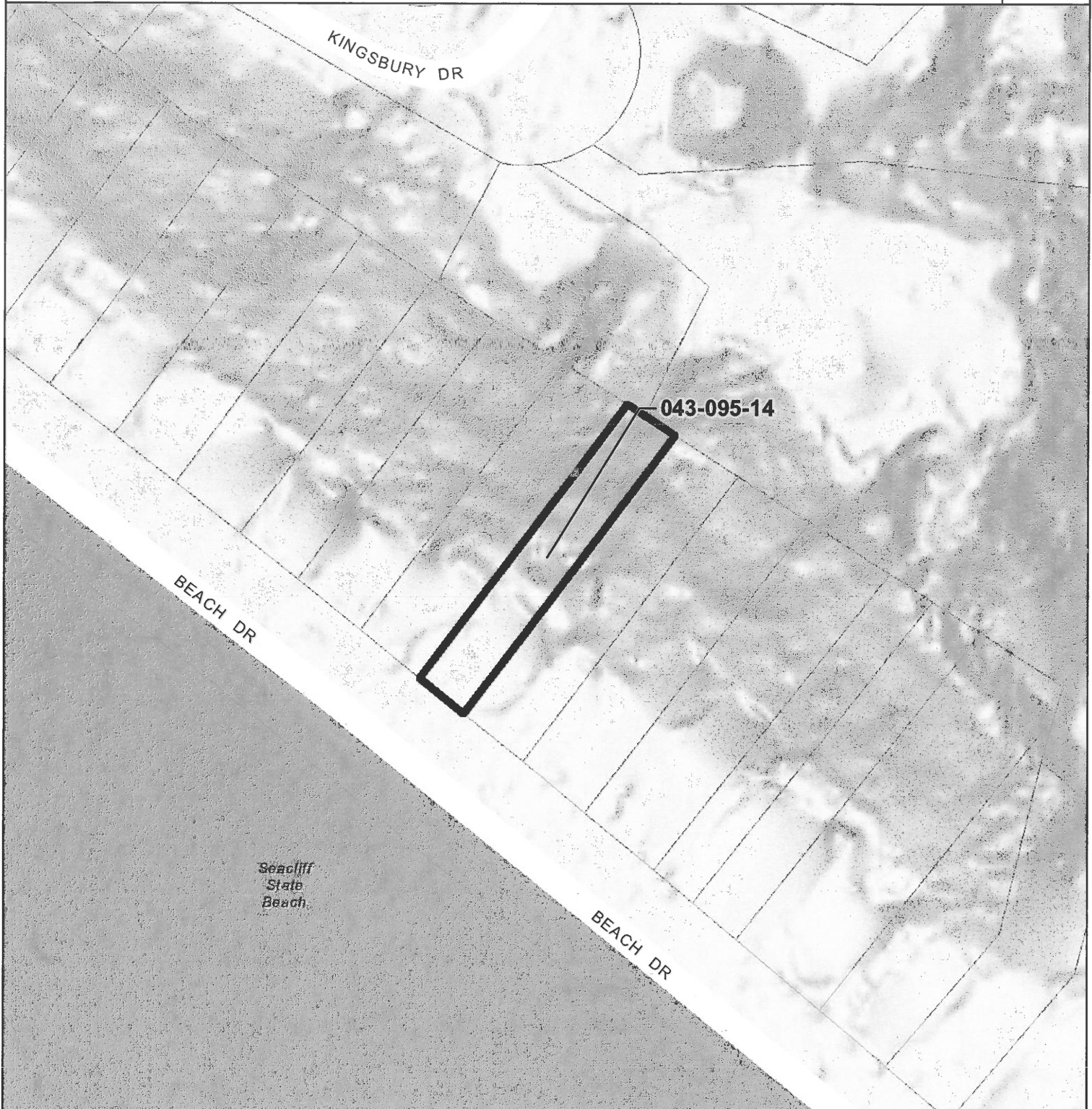


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Location Map



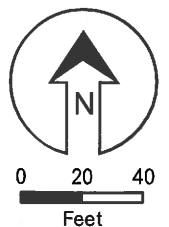
Mapped
Area



Parcel: 04309514

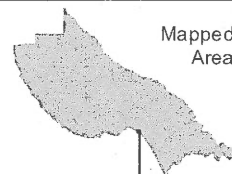
- Study Parcel
- Assessor Parcel Boundary
- Existing Park

Map printed: 10 Jan. 2022

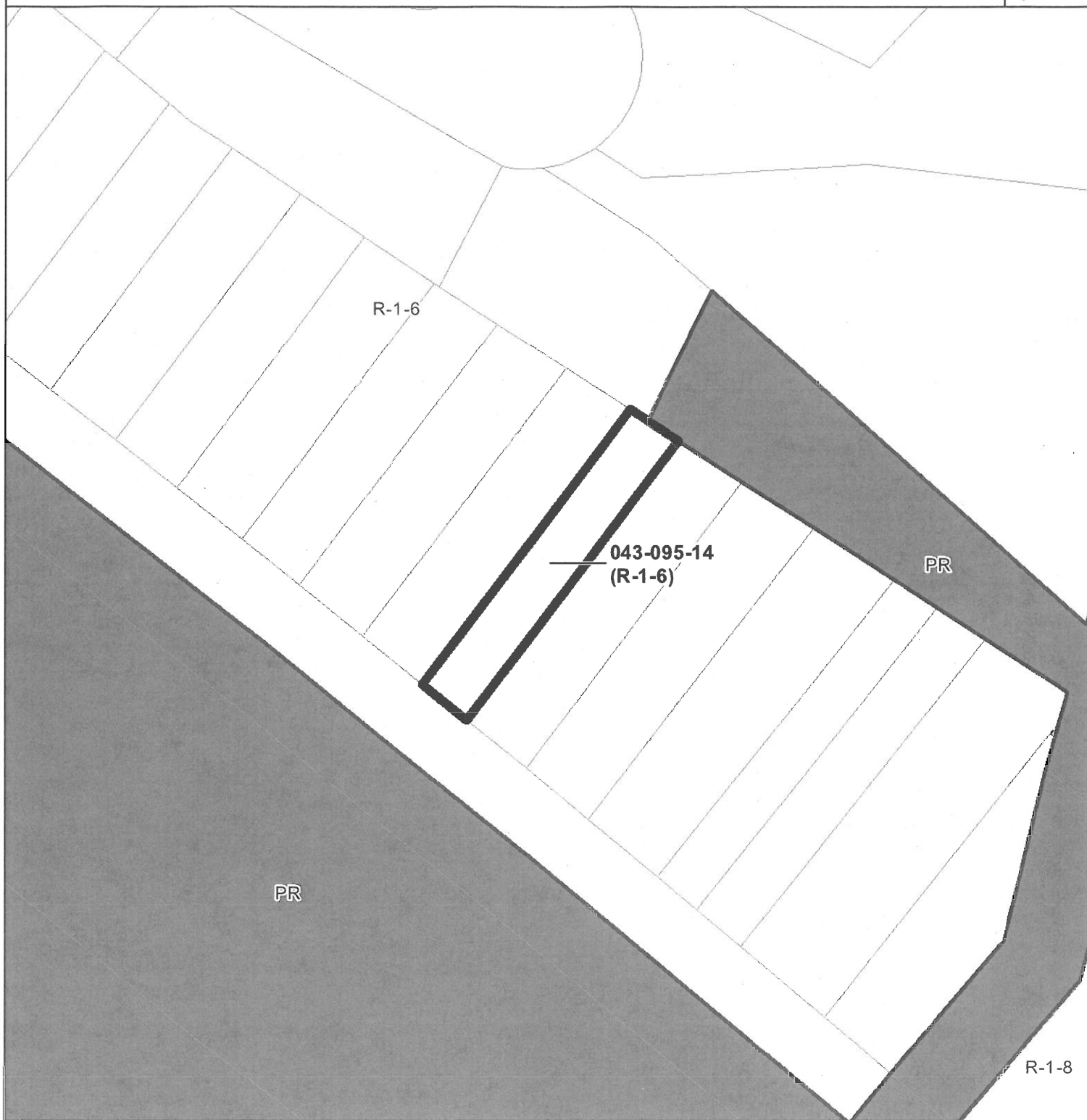






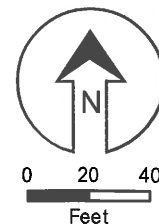
Parcel Zoning Map



Mapped
Area



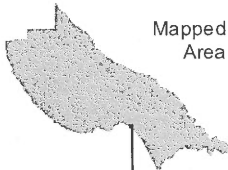
-  PR *Parks, Recreation, & Open Space*
-  R-1 *Single-Family Residential*



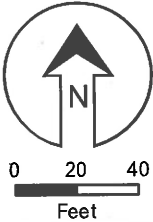


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel General Plan Map



- O-R Parks, Recreation & Open Space
- O-U Urban Open Space
- R-UL Res. Urban Low Density



Application #: 211150
APN: 043-095-14
Owner: Jim and Sue Vaudagna

Parcel Information

Services Information

Urban/Rural Services Line:	<input checked="" type="checkbox"/> Inside <input type="checkbox"/> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	County of Santa Cruz Sanitation District
Fire District:	Aptos La Selva Fire Protection District
Drainage District:	Flood Control District

Parcel Information

Parcel Size:	5,763 Square Feet
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Beach Drive
Planning Area:	Aptos
Land Use Designation:	R-UL (Urban Low Density Residential)
Zone District:	R-1-6 (Single Family Residential - 6,000 square foot minimum)
Coastal Zone:	<input checked="" type="checkbox"/> Inside <input type="checkbox"/> Outside
Appealable to Calif. Coastal Comm.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Technical Reviews: Combined Geologic and Geotechnical Report Review (REV181023)

Environmental Information

Geologic Hazards:	Located at the toe of a coastal bluff and within VE Flood Zone
Fire Hazard:	Not a mapped constraint
Slopes:	Coastal Bluff at the rear of property
Env. Sen. Habitat:	Not mapped
Grading:	119 cubic yards of cut
Tree Removal:	No trees proposed to be removed
Scenic:	Mapped scenic resource
Archeology:	Not mapped

Application #: 211150
APN: 043-095-14
Owner: Jim and Sue Vaudagna

Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: County of Santa Cruz Sanitation District
Fire District: Aptos La Selva Fire Protection District
Drainage District: Flood Control District

Parcel Information

Parcel Size: 5,763 Square Feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Beach Drive
Planning Area: Aptos
Land Use Designation: R-UL (Urban Low Density Residential)
Zone District: R-1-6 (Single Family Residential - 6,000 square foot minimum)
Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm. X Yes No

Technical Reviews: Combined Geologic and Geotechnical Report Review (REV181023)

Environmental Information

Geologic Hazards: Located at the toe of a coastal bluff and within VE Flood Zone
Fire Hazard: Not a mapped constraint
Slopes: Coastal Bluff at the rear of property
Env. Sen. Habitat: Not mapped
Grading: 119 cubic yards of cut
Tree Removal: No trees proposed to be removed
Scenic: Mapped scenic resource
Archeology: Not mapped



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY, PLANNING DIRECTOR

3 June 2021

Matson Britton Architects
728 N. Branciforte Ave.
Santa Cruz, CA 95062

Subject: Review of the Geotechnical Investigation dated 30 November 2017 and the Update to Geotechnical Investigation and Supplemental Slope Stability Analysis for 379 Beach Drive dated 26 April 2021 by Pacific Crest Engineering, Inc.
Project No. 1738-SZ70-B44

Review of the Coastal Geologic Investigation dated 11 February 2018 and the Update to Geology Report for Coastal Geologic Investigation at 379 Beach Drive revised 21 April 2021 by Zinn Geology – Job # 2017011-G-SC

Project Site: 379 Beach Drive
APN 043-095-14
Application No. REV181023

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject reports and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports.
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please request both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by last revision date.
4. The proposed project includes a Geobrug debris fence placed on the bluff face above the residence. The debris fence is a critical project component to minimize the volume of potential landslide debris impacting the proposed blufftop residence. The mid-slope debris fence must be maintained for as long as the new residence is occupied. Prior to the completion of the Building Permit a Monitoring and Maintenance Agreement for the mid-slope Geobrug debris fence shall be recorded by the owners. The Monitoring and Maintenance Agreement will be developed by Environmental Planning Staff.
Please contact Jessica deGrassi at Jessica.deGrassi@santacruzcounty.us or at (831) 454-3162 regarding the Monitoring and Maintenance Agreement.

5. The applicant shall arrange a pre-construction meeting with the contractor, the project geologist, project geotechnical engineer, project civil engineer, and Environmental Planning Staff. Please contact Jessica deGrassi at Jessica.deGrassi@santacruzcounty.us or at (831) 454-3162 to arrange the pre-construction meeting.

Any updates to report recommendations necessary to address conflicts between the geologic report and the geotechnical report and/or the project plans must be provided via a separate addendum to the respective report.

Electronic copies of all forms required to be completed by the project geotechnical engineer and geologist may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

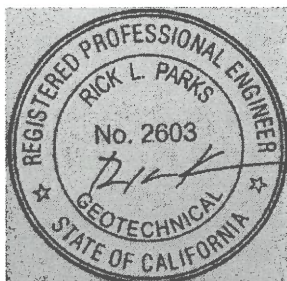
After building permit issuance your geotechnical engineer and engineering geologist *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the reports is limited to their technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

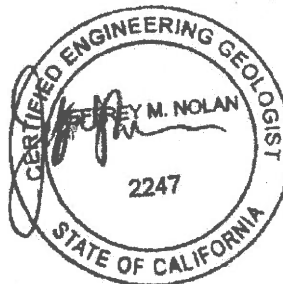
Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please contact Rick Parks at: Rick.Parks@santacruzcounty.us or Jeff Nolan at (831) 454-3175 or Jeffrey.Nolan@santacruzcounty.us if we can be of any further assistance.

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz Planning Department



Jeffrey Nolan, CEG 2247
County Geologist– Environmental Planning
County of Santa Cruz Planning Department

Cc: Environmental Planning, Attn: Jessica deGrassi
Pacific Crest Engineering, Inc., Attn: Elizabeth Mitchell, GE
Eric Zinn, CEG
Owners: Jim and Sue Vaudagna

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN SOILS AND GEOLOGY REPORTS HAVE BEEN
PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your geotechnical engineer and engineering geologist to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils and geology reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer and/or geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer and/or geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.