



Staff Report to the Zoning Administrator

Application Number: **221140**

Applicant: Nancy Huyck
Owner: Marcelo Diniz
APN: 046-221-47
Site Address: No situs address

Agenda Date: 10/7/2022
Agenda Item #: 1
Time: After 9:00 a.m.

Project Description: Proposal to construct a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land. Requires a Coastal Development Permit, Agricultural Buffer Reduction Determination to reduce the required 200-foot setback, and determination that the proposal is exempt from further review under the California Environmental Quality Act (CEQA).

Location: Property located on the northwest side of Zils Road, approximately 2/3 of a mile southwest from San Andreas Road

Permits Required: Coastal Development Permit and Agricultural Buffer Reduction

Supervisory District: District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 221140, based on the attached findings and conditions.

Project Description & Setting

The applicant proposes to construct a one-story single-family dwelling with an attached garage and a future detached accessory dwelling unit (ADU). Although the ADU does not require a Coastal Development Permit, the footprint of the ADU is included for purposes of the agricultural buffer reduction required for issuance of the building permit approval. The project also includes approximately 194 cubic yards cut and 72 cubic yards fill.

The subject property is zoned Residential Agriculture (RA) and located in a small pocket of three RA zoned properties surrounded by land zoned Commercial Agriculture (CA). Two of the three residentially zoned parcels are developed with dwellings.

The Monterey Bay Academy property is located to the south of the subject property across the street on Zils Road and contains hundreds of acres of Type 3 coastal commercial prime agriculture

resource type land. This property contains actively farmed commercial agricultural land and is also developed with a private boarding high school in the central portion of the property with housing dispersed throughout. Residential housing is also located on this property adjacent to Zils Road, providing separation between the agriculturally farmed area of the property and the roadway adjacent to the subject property.

Properties located to the north and east of the subject property are zoned Commercial Agriculture land that are approximately 10 to 15 acres in size that have been farmed in the past. These parcels contain residential dwellings located in the northeastern corner of the parcels, providing for potential agricultural land cultivation elsewhere on the parcels.

The subject property and all properties in the vicinity are mapped as Type 3 Agriculture Resource land, despite the residential zoning for the small residentially developed pocket. The subject property is surrounded by mature and tall evergreen vegetative buffer along the north and east property lines. Plans include additional proposed vegetative buffers along the west and south property lines as well.

Permit Requirements

Proposed dwellings constructed in the Coastal Zone require a Coastal Development Permit and proposed dwellings within 200 feet of agricultural land are subject to an Agricultural Buffer Reduction Determination recommendation by the Agricultural Policy Advisory Commission (APAC) and a Coastal Development Permit. Thus, the project includes both an agricultural buffer setback reduction determination and a Coastal Development Permit with approval by the Zoning Administrator.

The project was reviewed by the APAC on August 25, 2022. Plans call out setbacks to property lines noting proposed setback reductions of approximately 28 feet to the east, 88 feet to the south, 79 feet to the north and 65 feet to the west. APAC recommends that the Zoning Administrator approve the project subject to APAC recommended conditions of approval, including recordation of a declaration of agricultural acknowledgement and recommended fencing along property lines adjacent to agricultural land to ensure that agricultural land is protected for existing and future potential agricultural production. The APAC report is attached as Exhibit E. The Coastal Development Permit incorporates the APAC findings and APAC recommended conditions of approval.

Zoning & General Plan Consistency

The subject property is a .9-acre lot, located in the RA (Residential Agriculture) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's AG (Agriculture) General Plan designation. The proposed one-story dwelling complies with the site standards of the RA zone district, including required setbacks, lot coverage, floor area ratio, and building height.

Local Coastal Program Consistency

The proposed single family dwelling and Accesory Dwelling Unit are in conformance with the

County's certified Local Coastal Program, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Plans call for a pitched asphalt shingle roof, board and batten Hardie plank siding, metal glass garage doors, decking with cable railing and a combination of grey/brown/black materials and colors. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles.

The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **221140** (including agricultural buffer setback reduction determination), based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. APAC report

- F. Assessor's, Location, Zoning and General Plan Maps
- G. Parcel information
- H. APAC Minutes
- I. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 221140

Assessor Parcel Number: 046-221-47

Project Location: No situs address

Project Description: Proposal to construct a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land. Requires a Coastal Development Permit, Agricultural Buffer Reduction Determination to reduce the required 200-foot setback, and determination that the proposal is exempt from further review under the California Environmental Quality Act (CEQA).

Person or Agency Proposing Project: Nancy Huyck

Contact Phone Number: (831) 685-1206

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. **X** **Categorical Exemption**

Specify type: Class Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Sheila McDaniel, Project Planner

Date: _____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned RA (Residential Agriculture), a designation which allows residential uses. The proposed single family dwelling and Accessory Dwelling Unit (ADU) are a principally permitted uses within the zone district, and the zoning is consistent with the site's AG (Agriculture) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available from Sunset State Beach accessed by Sunset Beach Road. Furthermore, Zils Road is a dead-end road without access to the coast.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structures are sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the RA (Residential Agriculture) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first public road, Zils Road is a dead-end road with no coastal access. The nearest coastal access

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is Sunset State Beach on Sunset Beach Road. Consequently, the development will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the residential structures and the conditions under which they would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district as the primary use of the property will be one single family dwelling and one Accessory Dwelling Unit (ADU) that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the AG (Agriculture) land use designation in the County General Plan.

The proposed residential development will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling and Accessory Dwelling Unit (ADU) will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the RA zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in structures consistent with a design that could be approved on any similarly sized lot in the vicinity.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed residential development is to be constructed on an existing undeveloped lot. The expected level of traffic generated by the proposed project is anticipated to be only peak trip per day (1 peak trip per dwelling unit), such an increase will not

adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single family dwelling and Accessory Dwelling Unit (ADU) are consistent with the land use intensity and density of the neighborhood.

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200-foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances), or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

There is a tall mature evergreen vegetative buffer located along the north and east property line separating these properties, which provides sufficient protection to adjoining properties agricultural interests. Thus, no vegetation or fencing is necessary along the north and east property lines.

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

The subject property is approximately one acre in size and situated in an area of agricultural zoned parcels and/or development with single family residences. The imposition of a 200-foot setback would preclude building on this parcel of record as properties on all sides have agricultural resource type land. The proposed setbacks for the proposed structure comply with the site standards established for residential zoned parcels based on site size in accordance with 13.10.323. No conflicts would occur between the proposed residential use and surrounding properties and existing landscape provides a sufficient vegetative buffer. No fencing is recommended given the existing and proposed vegetative buffer, residential uses adjacent to the site, and setback distant agriculturally developed property.

Conditions of Approval

Exhibit D: Project plans, prepared by Nancy Huyck, dated 4/14/2022.

- I. This permit authorizes the proposal to construct a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - D. Obtain an Encroachment Permit from the Community Development and Infrastructure Department (Encroachment Division).
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
 3. Grading, drainage, and erosion control plans.

4. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
 5. Final plans shall include a development setback of a minimum of approximately 28 feet to the east property line, 88 feet to the south, 79 feet to the north and 65 feet to the west to proposed structures shall be provided.
 6. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Planning Department staff.
 7. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.
 - a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area. The project shall meet the following:
1. The application submittal shall adhere to the County Design Criteria and County Code 7.79. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
- C. Meet all requirements of the Encroachment Division of Public Works including revisions to driveway profile shown on sheet E1 to meet the requirements of figure DW-2 and encroachment permit requirements for trenching in the Zils Road right-of-way.
- D. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services, including the following:
1. Obtain approval of Onsite Wastewater Treatment System (OWTS) Permit. OWTS permit has been submitted and meets standards for conventional treatment.

- E. Meet all requirements of the Environmental Planning section of the Planning Department.
- F. Meet all requirements and pay any applicable plan check fee of the Fire Protection District, including:
 - 1. Note on the plans that these plans are in compliance with California Building and Fire codes (2019) and Central Fire District amendments.
 - 2. Note on the plans the occupancy classification, building construction type-fire rating and either sprinklered or non-sprinklered as determined by the building official and outlined in the 2016 California Building Code (e.g., r-3, type v-b, sprinklered).
 - 3. The fire flow requirement for the subject property is 1000 gallons per minute for 120 minutes. Note on the plans the required and available fire flow. The available fire flow information can be obtained from the water company.
 - 4. Show on the plans a public fire hydrant, type and location, meeting the minimum required fire flow for the building, within 600 feet of any portion of the building when the building is equipped with an automatic fire sprinkler system.
 - 5. Note on the plans that the building shall be protected by an approved automatic sprinkler system complying with the edition of NFPA 13d currently adopted in chapter 35 of the California Building Code.
 - 6. Note on the plans that the designer/installer shall submit two (2) sets of plans, calculations, and cut sheets for the underground and overhead residential automatic sprinkler system to this agency for approval. Installation shall follow our guide sheet.
 - 7. Show on the plans where smoke detectors are to be installed according to the following locations and approved by this agency as a minimum requirement:
 - a. One detector adjacent to each sleeping area (hall, foyer, balcony, or etc).
 - b. One detector in each sleeping room.
 - c. One at the top of each stairway of 24" rise or greater and in an accessible location by a ladder.
 - d. There must be at least one smoke detector on each floor level regardless of area usage.
 - e. There must be a minimum of one smoke detector in every basement area.
 - 8. Show the location of the co detector outside each sleeping room and on each level at a minimum of the residence.

9. Note on the plans where address numbers will be posted and maintained. Note on plans that address numbers shall be a minimum of four (4) inches in height and of a color contrasting to their background.
10. Note on the plans the installation of an approved spark arrestor on the top of the chimney. Wire mesh not to exceed ½ inch.
11. Note on the plans that the roof coverings to be no less than class "b" rated roof.
12. Note on the plans that a 100-foot clearance will be maintained with non-combustible vegetation around all structures.
13. Note on the plans that if there is an electric gate shall be equipped with the central fire district key entry system.
14. Submit a check in the amount of \$115.00 for Coastal Development Permit plan check, made payable to Aptos/La Selva Fire Protection District. A late fee may be added to your plan check fees if payment is not received within 30 days of the date of this Discretionary Letter. Mail to: Community Risk Reduction; 6934 Soquel Drive, Aptos, CA 95003

III. As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and this agency.

- A. Meet all requirements of the accepted geotechnical report, dated January 18, 2022, by Haro, Kasunich and Associates Inc. – Project No. SC12070 including:
 1. All project design and construction shall comply with the recommendations of the report;
 2. Final plans shall reference the subject report by title, author, and date. Final Plans should also include a statement that the project shall conform to the report's recommendations; and
 3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The Consultants Plan Review Form (Form PLG-300) is available on the Planning Department's web page. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by last revision date.
- B. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per square foot for single family dwellings.
- C. Pay the current fees Child Care mitigation. Currently, these fees are \$0.74 per square foot for single family dwellings.

- D. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 2,000 square feet is \$2 per square foot.
 - E. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for an accessory dwelling unit is \$2 per square foot.
 - F. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - G. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - H. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- IV. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - C. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact the Planning Department's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
 - D. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - E. The project must comply with all recommendations of the approved soils reports.
 - F. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - G. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

V. Operational Conditions

- A. The agricultural vegetative and physical barrier shall be permanently maintained.
- B. All required Agricultural Buffer Setbacks shall be maintained.
- C. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

VI. Indemnification

- A. The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.
- B. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- C. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- D. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- E. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

GRADING & DRAINAGE INSPECTION NOTES

- THE PERMITEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**. TO VERIFY COMPLIANCE, THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUIREMENTS.
- PRIOR TO THE START OF ANY GRADING WORK, THE PERMITEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH COUNTY STAFF TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPs) AND ANY OTHER CONSTRUCTION ISSUES.
- INSPECTION REQUESTS SHALL BE MADE THROUGH **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** MAY REQUIRE PROFESSIONAL INSPECTIONS AND CERTIFICATIONS TO VERIFY PROPER COMPLETION OF THE WORK. WHERE THE USE OF PROFESSIONAL PERSONNEL IS REQUIRED, THESE PERSONNEL SHALL IMMEDIATELY REPORT IN WRITING TO DEPARTMENT OF PLANNING AND THE PERMITEE ANY INSTANCE OF WORK NOT IN COMPLIANCE WITH THE APPROVED PLANS, SPECIFICATIONS, AND ALL FINAL REPORTS REQUIRED BY COUNTY CODE HAVE BEEN SUBMITTED AND ACCEPTED. FINAL REPORTS MAY INCLUDE: AS-BUILT PLANS, TESTING RECORDS, PROFESSIONAL OPINIONS, AND DECLARATIONS ABOUT COMPLETED WORK FROM PROFESSIONAL PERSONNEL. REPORTS MAY BE REQUIRED AT OTHER STAGES OF WORK.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** SHALL FINAL THE PERMIT WHEN ALL WORK, INCLUDING THE INSTALLATION OF ALL DRAINAGE IMPROVEMENTS AND THEIR PROTECTIVE DEVICES, AND ALL STORM WATER COLLECTION SYSTEMS, ARE COMPLETED AND THE PERMITS HAVE BEEN SUBMITTED AND ACCEPTED. THE PERMITS SHALL BE STOPPED IF THE PERMITEE REQUESTS THE REPLACEMENT OF ANY COMPLETED PRMO IN WRITING OF THEIR AGREEMENT TO ACCEPT RESPONSIBILITY FOR APPROVAL OF THE COMPLETED WORK WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
- DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS: (1) THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL WITH A REFLECTIVE SURFACE. (2) THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD. (3) THE ADDRESS MUST BE POSTED AT ALL FORKS IN ANY ACCESS ROAD AND AT THE SITE.

GRADING & DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE **SANTA CRUZ COUNTY CODE** (SCCC), APPLICABLE **SANTA CRUZ COUNTY REGULATIONS** & **SANTA CRUZ COUNTY ORDINANCES** & PROJECT GEOTECHNICAL.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE **SANTA CRUZ COUNTY PLANNING DEPARTMENT**. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PROVIDE ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/ DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- SANTA CRUZ COUNTY PLANNING DEPARTMENT** MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS DETERMINED THAT THE **SANTA CRUZ COUNTY** REGULATIONS, ORDINANCES, AND THE PUBLIC WORKS PERMIT CONDITIONS, OR ANY WORKS, ARE BEING VIOLATED. ANY WORKS, INCLUDING ANY GRADING/DRAINAGE PERMIT MAY BE SUSPENDED, REVOKED, OR MODIFIED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT** DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- ISSUANCE OF A PERMIT BY PLANNING TO CONSTRUCT A DAM OR A RESERVOIR DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES INCLUDING THE CALIFORNIA DIVISION OF SAFETY. OF DAMS WHEN WORK FALLS UNDER STATE JURISDICTION. FAILURE TO OBTAIN OTHER PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF PUBLIC WORKS AT **(831) 454-2160** FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.) TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLETV. IF PRACTICAL, THE OPERATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.

GRADING & DRAINAGE NOTES, CONT.

- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHEOLOGICAL, RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE **COUNTY PLANNING DEPARTMENT** SHALL BE NOTIFIED AT **(831) 454-2880**. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY. PER THE ARCHEOLOGIST'S RECOMMENDATIONS, SCCC 16.40, IF HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT **(831) 454-7790**.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED PER SCCC 13.10.525, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED. REFER TO STRUCTURAL PLAN SET FOR RETAINING WALL DETAILS.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT A SEPARATE APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH THE REQUIREMENTS OF SCCC. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORM WATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED BY SCCC.
- CUTSLOPES, ELEVATIONS AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER HAZARDOUS MATERIALS. NO ROCK OR OTHER UNDESIRABLE MATERIALS SHALL BE PLACED IN ANY FILL. ANY FILL SHALL BE PLACED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPACT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARPING GROUND APPROXIMATELY 4" TO 6" TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (50%) UNLESS SPECIFICALLY ALLOWED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER AND APPROVED BY **SANTA CRUZ COUNTY PLANNING DEPARTMENT**.
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 93% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- HOGAN LAND SERVICES** HAS EXPRESSED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DEVELOPMENT PROCESS INCLUDES ACTIVITIES OCCURRING THROUGHOUT CONSTRUCTION. THESE ACTIVITIES INCLUDE CALCULATIONS, PLAN CHECKS, AND VERIFICATIONS DURING CONSTRUCTION. THERE SHOULD PERSONS OTHER THAN **HOGAN LAND SERVICES** PERFORM THE CONSTRUCTION, SAVING CHANGES, THESE PERSONS SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM OMISSION OR ERROR CONTAINED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY **HOGAN LAND SERVICES**.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO ANY ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RE-STAKING AND VERIFICATION OF ORIGINAL STAKING IS DONE BY OTHERS. **HOGAN LAND SERVICES** ASSUMES NO LIABILITY FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY THE ENGINEER, THAT AMOUNT SHALL BE AGREED TO BY THE ENGINEER IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY THE ENGINEER WILL NEGATE ALL REQUIREMENTS OF HIS FINANCIAL ASSISTANCE.
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL AND OVERRIDING SPECIFICATIONS.
- DRAINAGE CALCULATIONS ASSOCIATED WITH THESE PLANS WERE PREPARED BASED ON CURRENT AGENCY STANDARDS. DRAINAGE ELEMENT SIZING HAS BEEN BASED ON THE 10 YEAR STORM EVENT AND ASSUME INSTALLATION PER PLAN AND FREE OF DEBRIS. THE OWNER SHALL BE RESPONSIBLE FOR ROUTINE MAINTENANCE TO THE STORM DRAIN NETWORK TO ENSURE FREE FLOW.

TREE PROTECTION NOTES

- PLASTIC TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIP LINES OF TREES TO REMAIN IN CONSTRUCTION ZONE (OR THE OUTER EDGE OF THE DRIP LINE OF GROUPS OF TREES) IF ACCESS WITHIN THE CONSTRUCTION ZONE WILL BE REQUIRED. ACCESS TO BE PLACED IN EXPECTED AREAS OF GRADING SHOULD BE INSTALLED PRIOR TO THE START OF CLEARING OR GRADING OPERATIONS, AND KEPT IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.
- WHEN PRUNING FOR CLEARANCE IS REQUIRED ON ANY TREES TO REMAIN, IT SHOULD BE DONE BY TRAINED, QUALIFIED TREE WORKERS ACCORDING TO ISA PRUNING GUIDELINES PRIOR TO CONSTRUCTION. PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION, (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ECT.) AND CLEARANCE.
- IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED, FOR TREES TO BE SAVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW. ROOTS SHALL BE KEPT MOIST WHILE EXPOSED.
- WOOD CHIP MULCH GENERATED FROM PRUNING AND REMOVALS SHOULD BE SPREAD UNDER REMAINING TREES ONSITE TO SERVE AS PERMANENT TOP DRESSING AND MULCH.
- NO PARKING, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS, DISPOSAL OF WASTE OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIP LINES OF PROTECTED TREES.
- OWNERS SHALL BE RESPONSIBLE FOR CONSULTING WITH ARBORIST REGARDING CONSTRUCTION IMPACTS ON EXISTING TREES.

EROSION PREVENTION & SEDIMENT CONTROL NOTES

GENERAL

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE SANTA CRUZ COUNTY CODE (SCCC) & THE STATE ISSUED GENERAL CONSTRUCTION PERMIT SPECIFICATIONS (SWPPP)(F OVER 1 ACRE DISTURBED).
- THE APPROVED PLANS SHALL CONFORM WITH THE **SANTA CRUZ COUNTY PLANNING DEPARTMENT** EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) GUIDE AS POSTED ON THE **SCCOP** WEBSITE. REFER TO THE CSCA CONSTRUCTION HANDBOOK FOR ADDITIONAL BMP INFORMATION AND DETAILS.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- AT ALL TIMES, THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- THE LEGALLY RESPONSIBLE PERSON (LRP) IS RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE GENERAL CONSTRUCTION PERMIT (NOD). THIS INCLUDES BUT IS NOT LIMITED TO, INSTALLATION OF ONSITE BMPs, COMPLIANCE WITH SWPPP SPECIFICATIONS, AND ANNUAL AND STORM BASED INSPECTIONS. THESE INSPECTIONS SHOULD BE REQUESTED OF HOGAN LAND SERVICES (PROJECT QUALIFIED SWPPP PRACTITIONER-OSP) A MINIMUM OF 48 HOURS PRIOR TO SCHEDULED INSPECTION.
- THE LRP IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION OPERATIONS WITHIN THE LIMITS OF PRMO REGULATIONS AND THE WMD PERMIT SPECIFICATIONS.

RAINY SEASON OPERATIONS

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 – APRIL 15) IN ADDITION TO COMPLYING WITH THE WMD PERMIT GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE COMPLETED. CONFORM WITH **SANTA CRUZ COUNTY CODE (SCCC)**. STORM WATER BMPs REFERENCED IN THESE PLANS, INCLUDING THE EROSION PREVENTION AND SEDIMENT CONTROL, SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF LAND AT RISK FOR EROSION AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. AREAS THAT ARE NOT BEING ACTIVELY WORKED ON SHALL HAVE BMP'S INSTALLED UNTIL CONSTRUCTION IN THE AREA RESUMES.
- AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO OCTOBER 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCCC.

YEAR ROUND REQUIREMENTS

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN PRMO'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES, AT ALL OTHER TIMES. BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPAIRED TO CSCA STANDARDS. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.

- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.

- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: FERTILIZERS, PESTICIDES, FUELS, OILS, GREASES, PAINTS, PAINTS, PAINTS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.

- ENTRANCES TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT UNWANTED POLLUTANTS FROM ENTERING THE CONSTRUCTION SITE. POLLUTANTS INCLUDE BUT NOT LIMITED TO: FERTILIZERS, PESTICIDES, FUELS, OILS, GREASES, PAINTS, PAINTS, PAINTS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.

- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT RE-VEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE STABILIZED AND RE-VEGETATED TO 100% COVER OR LANDSCAPING SHALL BE INSTALLED.

- WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEPT INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.

- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY THE SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED MIX. FERTILIZER, THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE LAYERED OVER WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

APPLICATION RATE (POUNDS PER ACRE)

SEED MIX	40
BROMUS MOLLIS (BLANDO BROME)	20
TRIFOLIUM HIRTUM (HYKON ROSE CLOVER)	
FERTILIZER	500
16%-20-0 & 15% SULPHUR	
MULCH	4000
STRAW	
HYDRAULIC STABILIZING*	75-100
M-BINDER OR SENTINEL	
EQUIVALENT MATERIAL	PER MANUFACTURER

*NON-ASPHALTIC, DERIVED FROM PLANTS

- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
- STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
- SOIL MATERIAL STOCKPILES AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

FIRE PROTECTION NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION).
- EACH APN SHALL HAVE SEPARATE SUBMITTALS FOR BUILDING AND SPRINKLER SYSTEM
- THE OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE / FIRE RATING AND SPRINKLERED OR NON-SPRINKLERED AS DETERMINED BY THE BUILDING OFFICIAL AND OUTLINED IN THE CALIFORNIA BUILDING CODE (E.G. R-3, THE V-B, SPRINKLERED).
- ALL BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13-0, AND ADOPTED STANDARDS OF THE SANTA CRUZ COUNTY FIRE PROTECTION DISTRICT.
- THE DESIGNER/INSTALLER SHALL SUBMIT THREE (3) SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND & OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL.
- AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM DESIGN STANDARD, AND THE PLANS SHALL BE SUBMITTED AND PERMIT WILL BE ISSUED TO A CLASS C-16 OR OWNER/BUILDER. NO EXCEPTIONS.
- THE DRIVEWAY / ACCESS ROAD SHALL BE IN PLACE PRIOR TO ANY FRAMING CONSTRUCTION, OR CONSTRUCTION WILL BE STOPPED.
- ALL PRIVATE ACCESS ROADS, DRIVEWAYS, TURN-AROUND AND BRIDGES ARE THE RESPONSIBILITY OF THE OWNERS) OF RECORD AND SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT SAFE AND EXPEDIENT PASSAGE AT ALL TIMES.
- A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OF FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR OTHER OBSTACLES. THE FIRE DEPARTMENT SHALL BE NOTIFIED OF ANY CHANGES TO THE FIRE BREAK PLANS USED AS GRADING COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM WATNE GROWTH TO ANY STRUCTURE.
- BUILDING NUMBERS SHALL BE PROVIDED NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- ROOF COVERINGS TO BE NO LESS THAN CLASS "B" RATED ROOF.
- A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
- THE SIZE OF THE PROPANE TANK SHALL BE 500 GALLONS.
- A GASKY ARRESTOR SHALL BE INSTALLED ON CHIMNEY GASKY ARRESTOR OPENINGS SHALL NOT PERMIT THE PASSAGE OF SMOKEHAVING A DIAMETER GREATER THAN 8".
- BASEFLOOR GRADES OVER 15# ASPHALTIC CONCRETE.
- BASEGRADES OVER 3# AND BETWEEN 15 % NEED TO BE OIL & SCREEN OVER 6" OF COMPACTED AGGREGATE.
- THE SUBMITTER, DESIGNER AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES. AGREE THAT THEY ARE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE SUBMITTER, DESIGNER, AND INSTALLER AGREE TO CORRECT ANY DEFICIENCIES NOTED BY THIS REVIEW, SUBSEQUENT REVIEW, INSPECTION OR OTHER SOURCE, AND, TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWER AND REVIEWING AGENCY.
- SHOW ON THE PLANS A 10,000 GALLON WATER TANK FOR DOMESTIC AND FIRE PROTECTION SERVICE WITH A "RESIDENTIAL HYDRANT" AS LOCATED BY THE FIRE DEPARTMENT. IF YOUR BUILDING IS NOT SERVED BY A "RESIDENTIAL HYDRANT", THE WATER TANK AND FIRE DEPARTMENT CONNECTION SHALL BE LOCATED. CONTACT THE SANTA CRUZ COUNTY FIRE MARSHAL'S OFFICE AT 335-6748. A SEPARATE PERMIT IS REQUIRED FOR TANK/HYDRANT INSTALLATION.



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENEW AND MARCELO DINIZ IN FEBRUARY, 2022
GEOFF FLEISSNER R.C.E. 82889

DRN:	RS
CHK:	GTF
PM:	KB
DATE:	3-24-22
JOB #:	4630

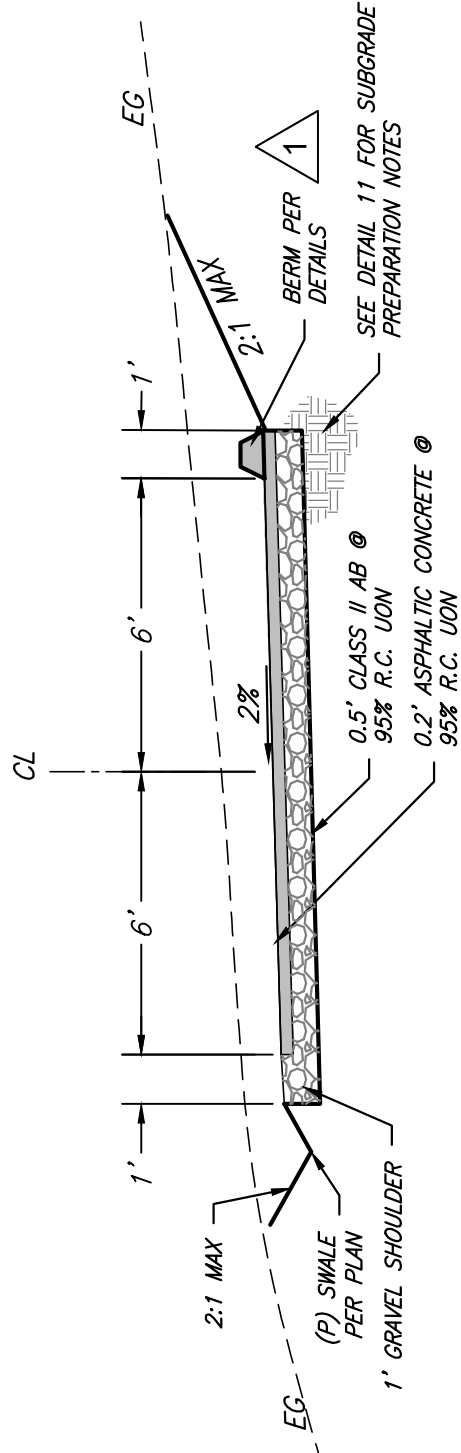


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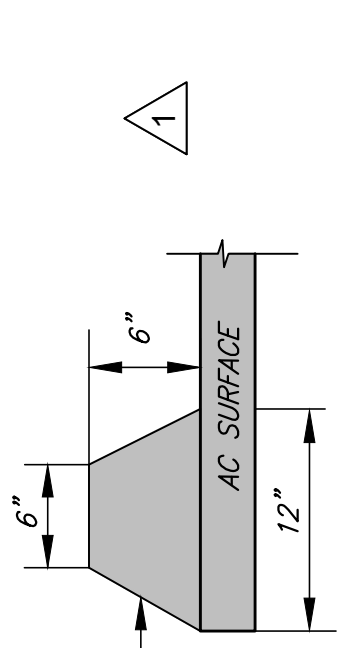
APN: 046-221-47

GENERAL & FIRE NOTES

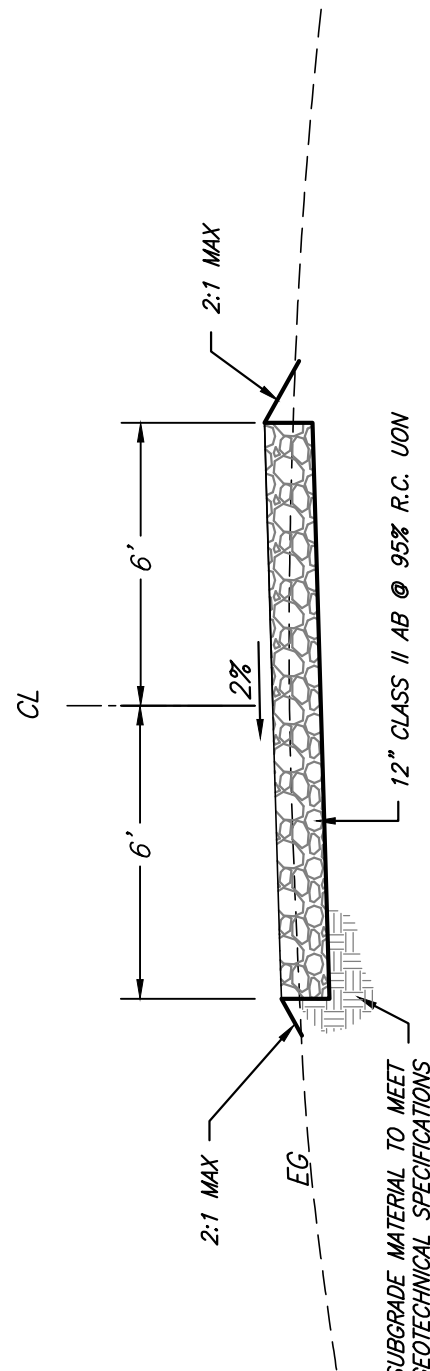
220 ZILS ROAD
WATSONVILLE, CALIFORNIA



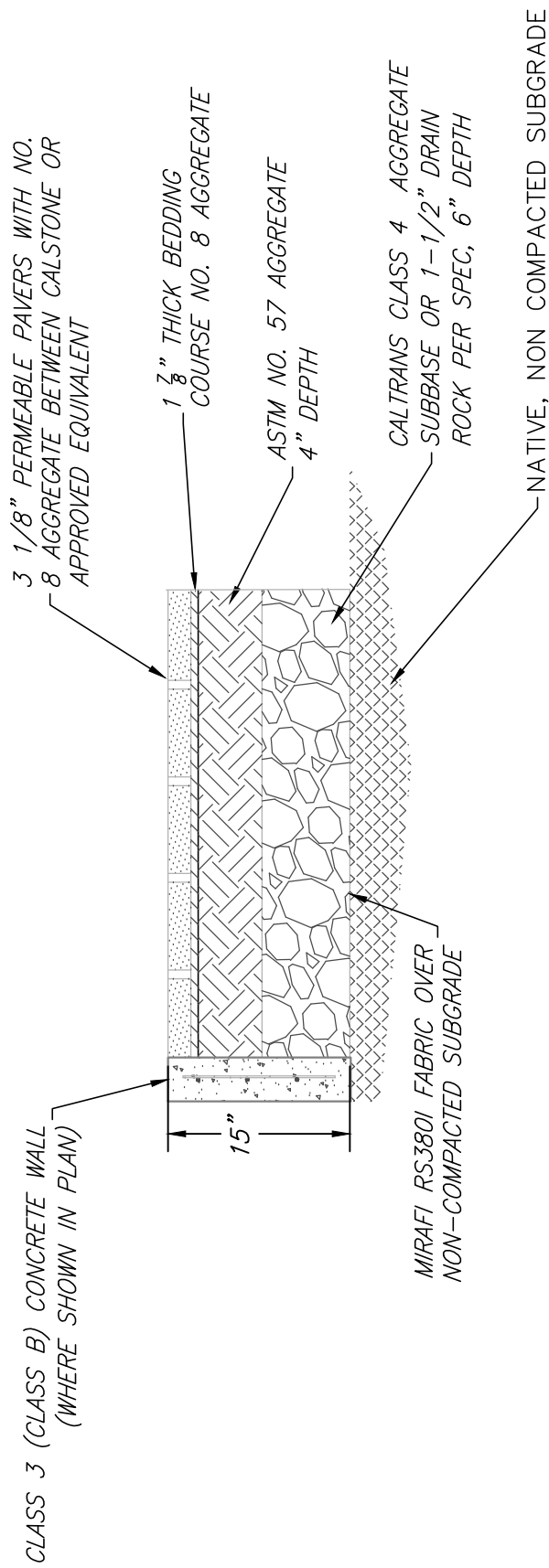
1 AC DRIVEWAY SECTION
STATION: 0+07.3 - 1+62
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



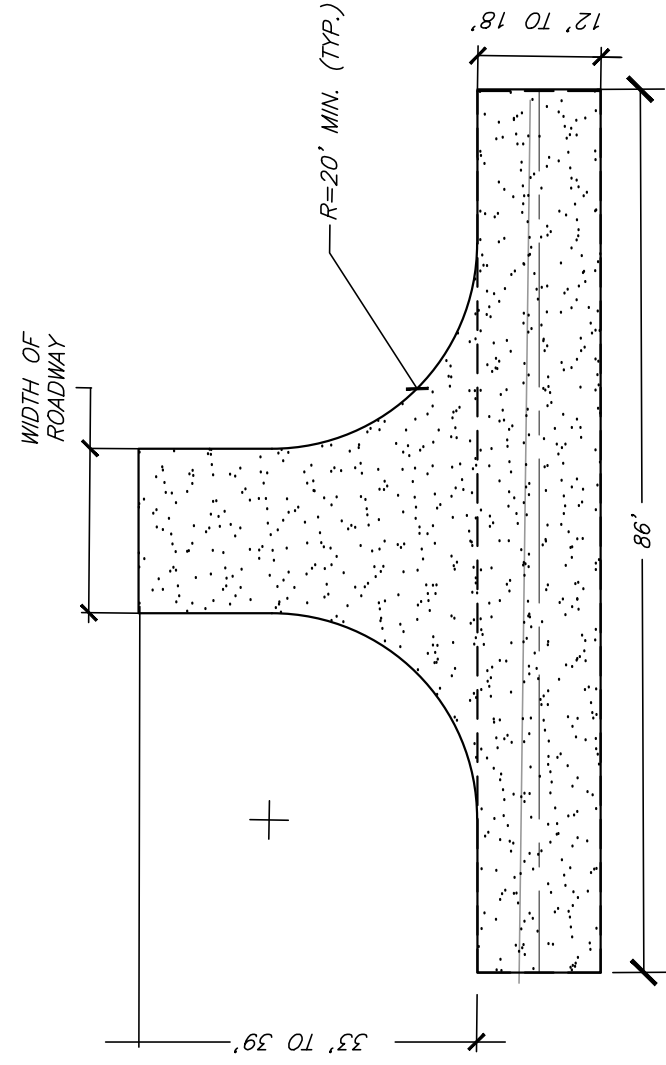
1A AC BERM
STATION: 1+62 - 3+12
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



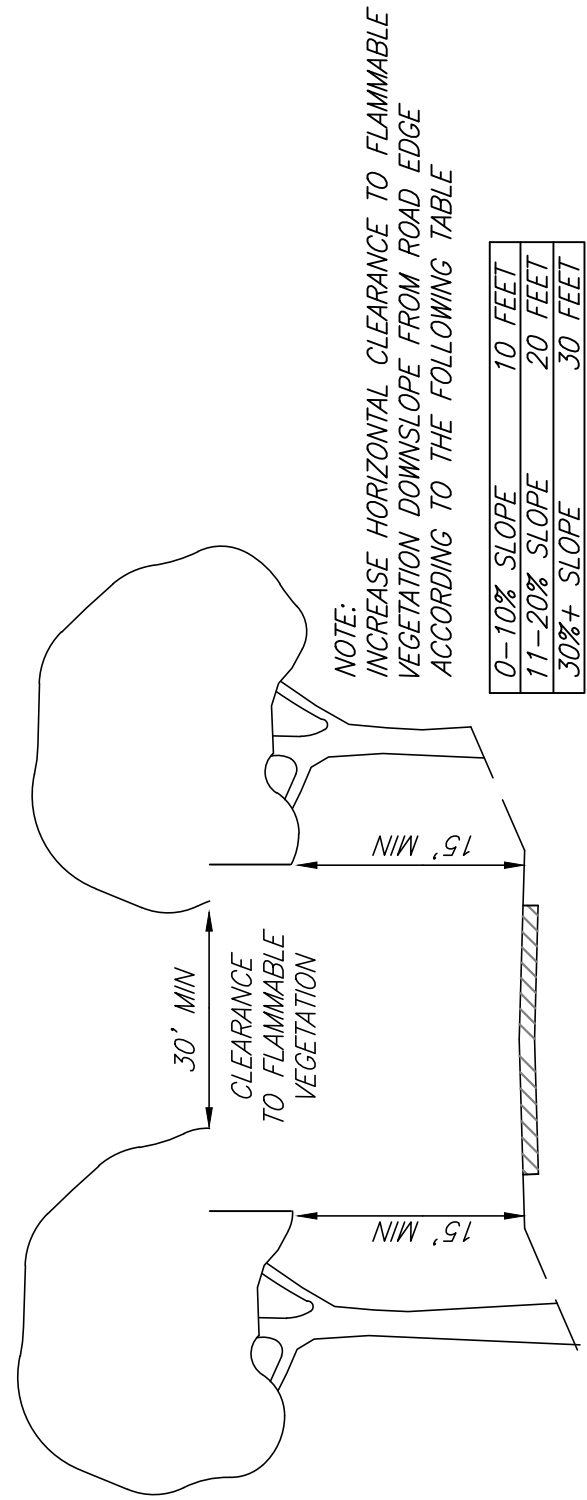
2 GRAVEL DRIVEWAY SECTION
STATION: 1+62 - 3+12
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



3 PAVER DRIVEWAY SECTION
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)

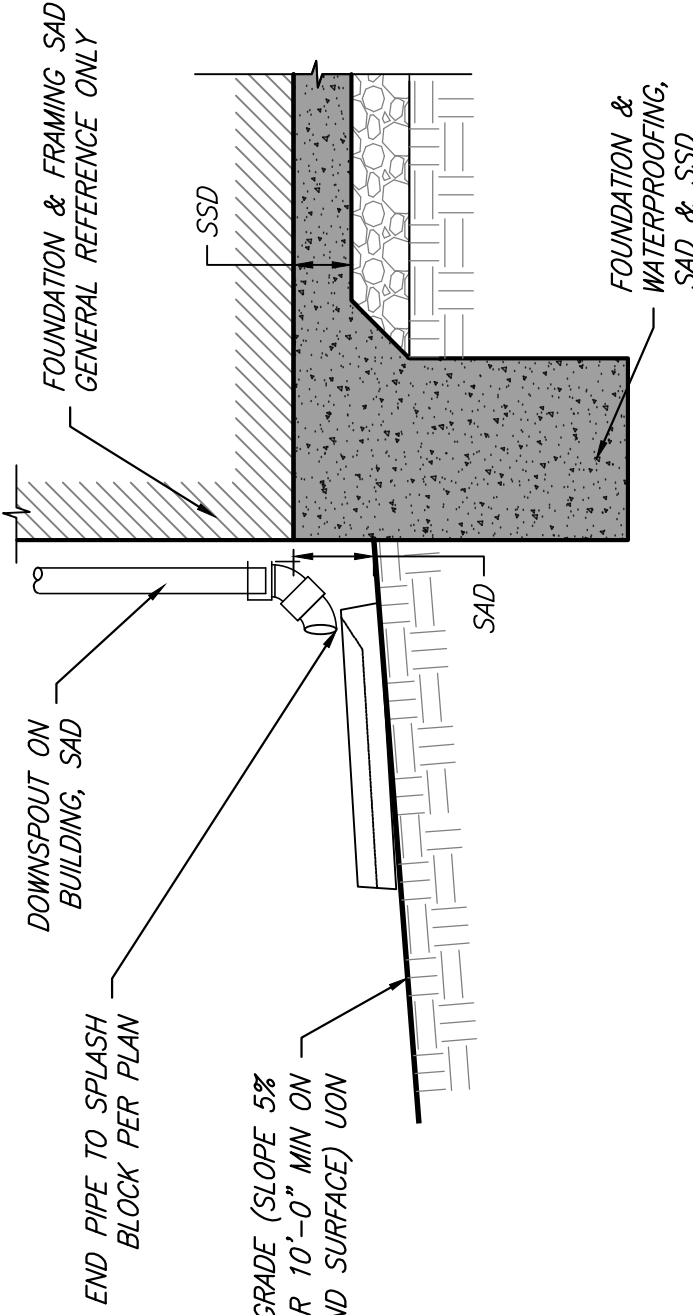


5 FIRE SAFE LATERAL SLIP TURNAROUND
SEE SECTION FPL 015 FOR TURNAROUND CONFIGURATIONS

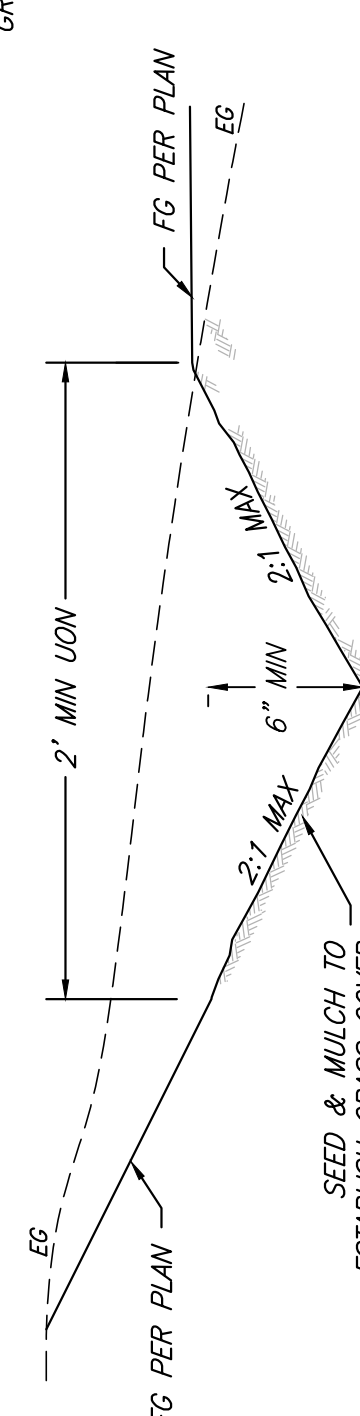


6 ROAD VEGETATION CLEARANCE
NOTE: MAINTAIN HORIZONTAL CLEARANCE TO FLAMMABLE VEGETATION DOWNSLOPE FROM ROAD EDGE ACCORDING TO THE FOLLOWING TABLE

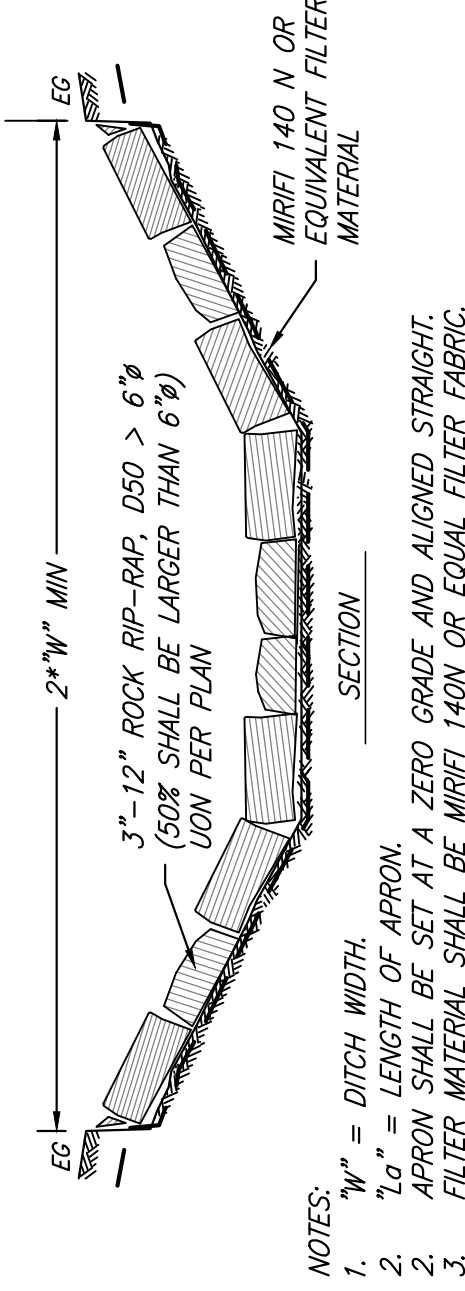
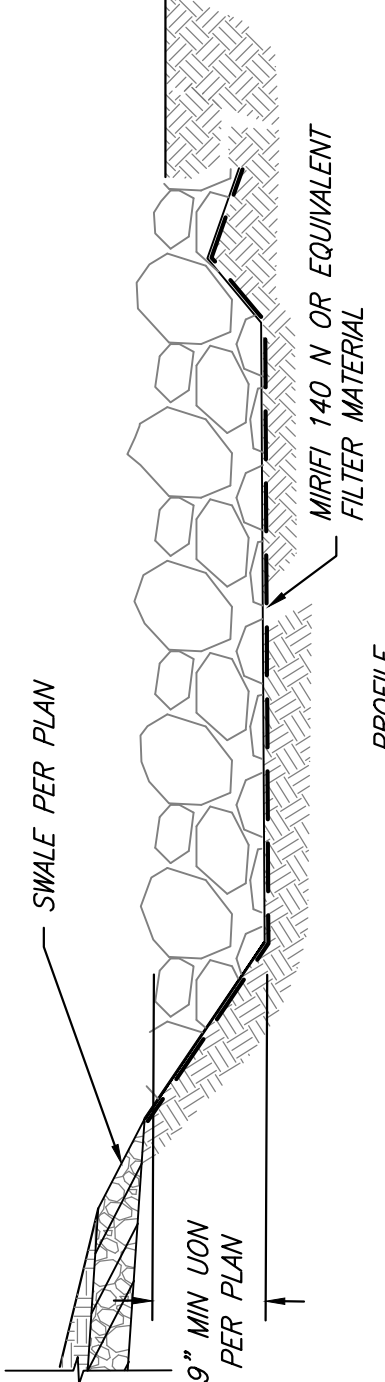
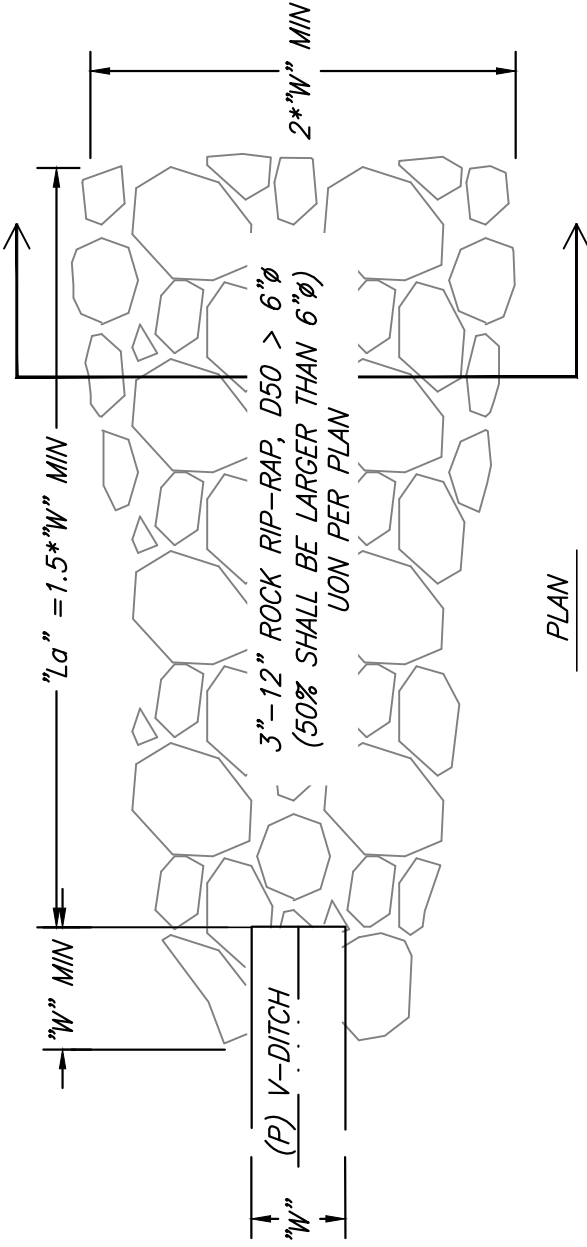
0-10% SLOPE	10 FEET
11-20% SLOPE	20 FEET
30%+ SLOPE	30 FEET



9 TYPICAL PERIMETER FOOTING & DOWNSPOUT CONNECTION
GENERAL FOOTING & WALL SHOWN FOR REFERENCE ONLY, SEE ARCH PLANS & STRUCTURAL PLANS



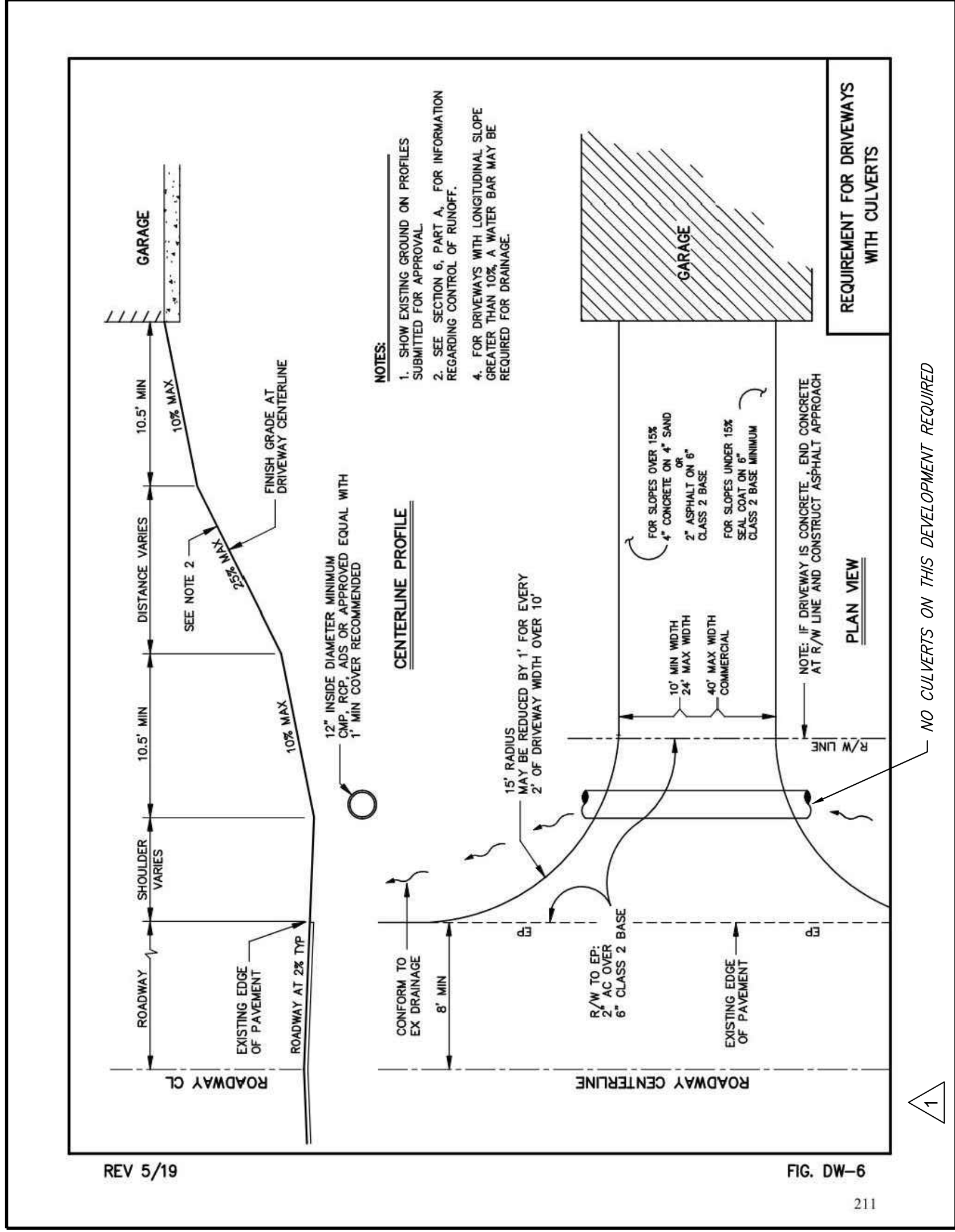
7 EARTH SWALE
SLOPE @ 2% MINIMUM ALONG LENGTH



8 RIP-RAP OUTLET
NOTE: 1. W\"/>

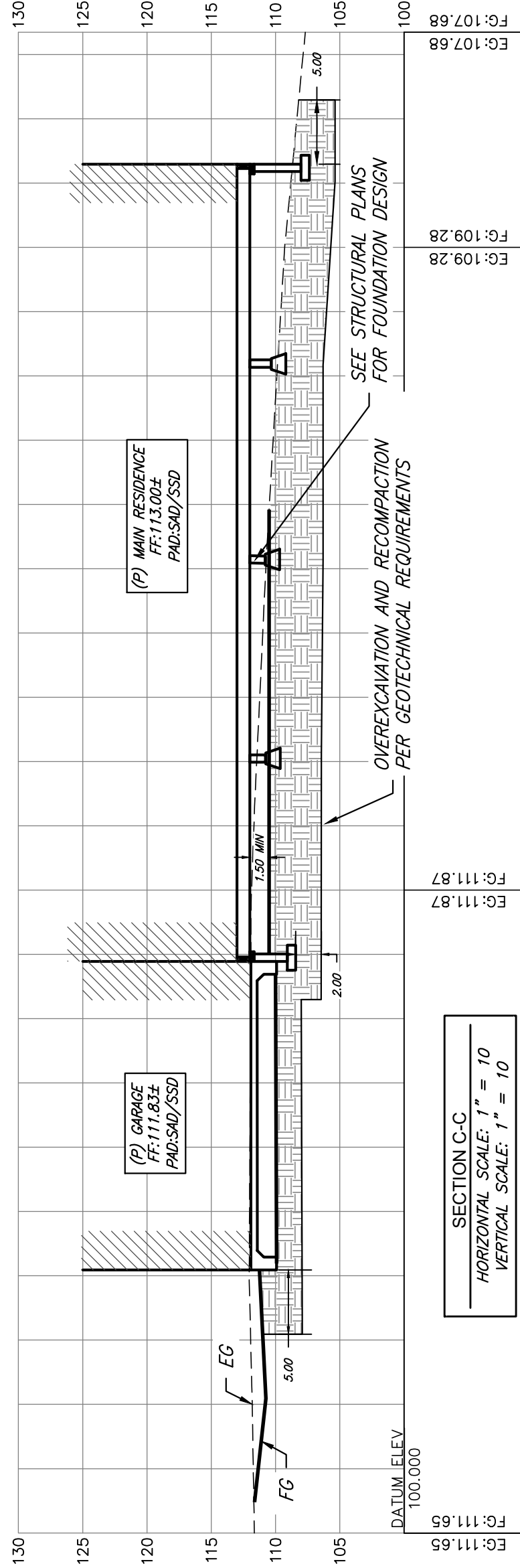
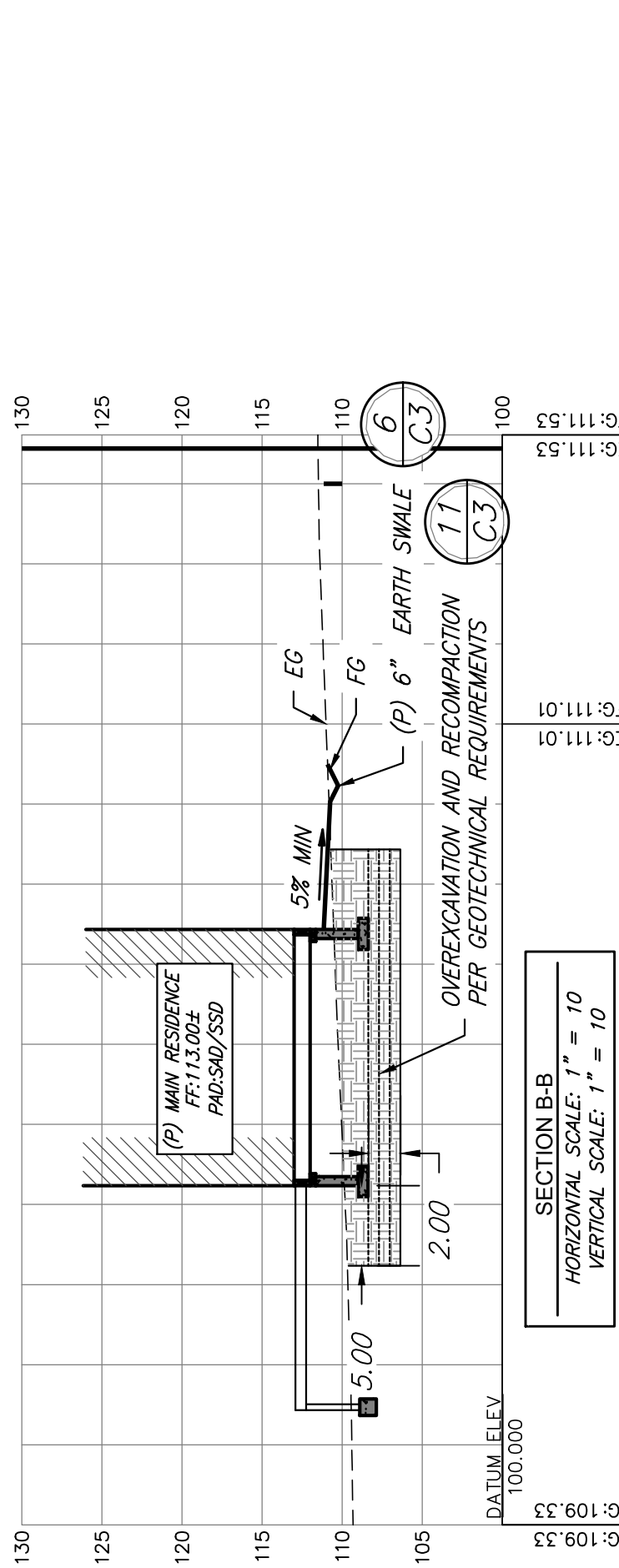
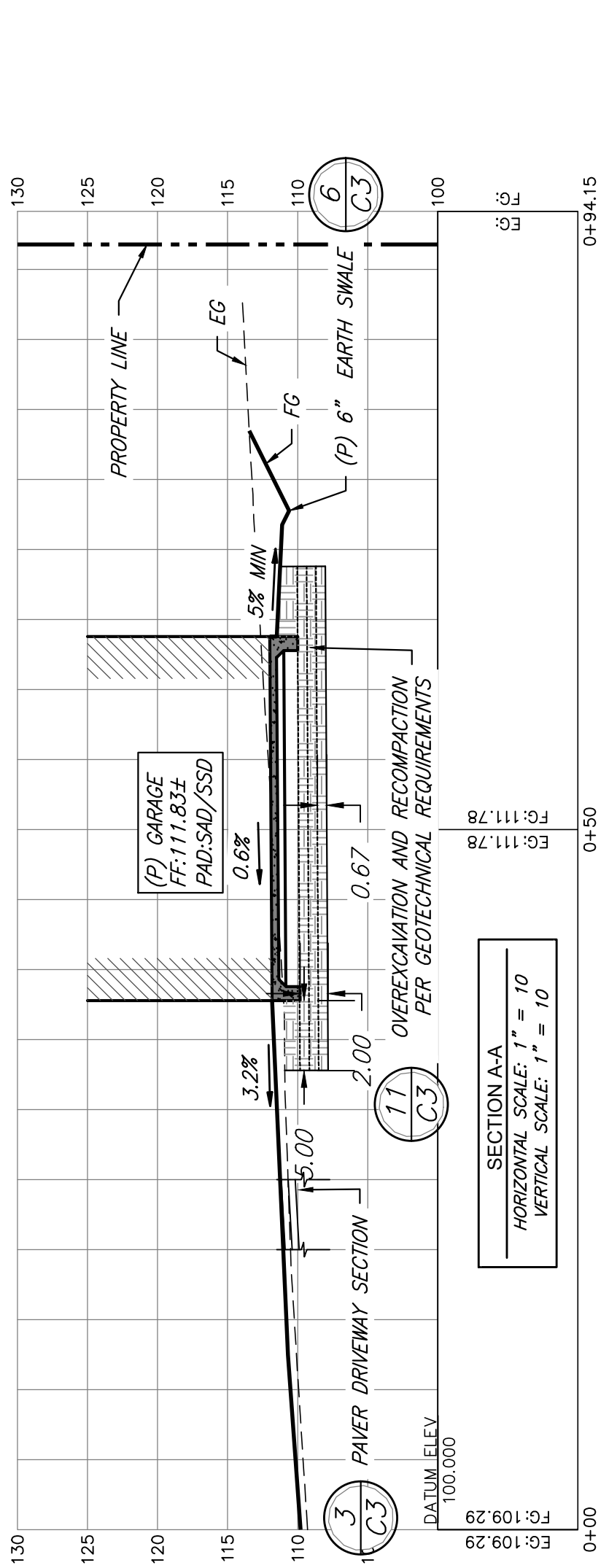
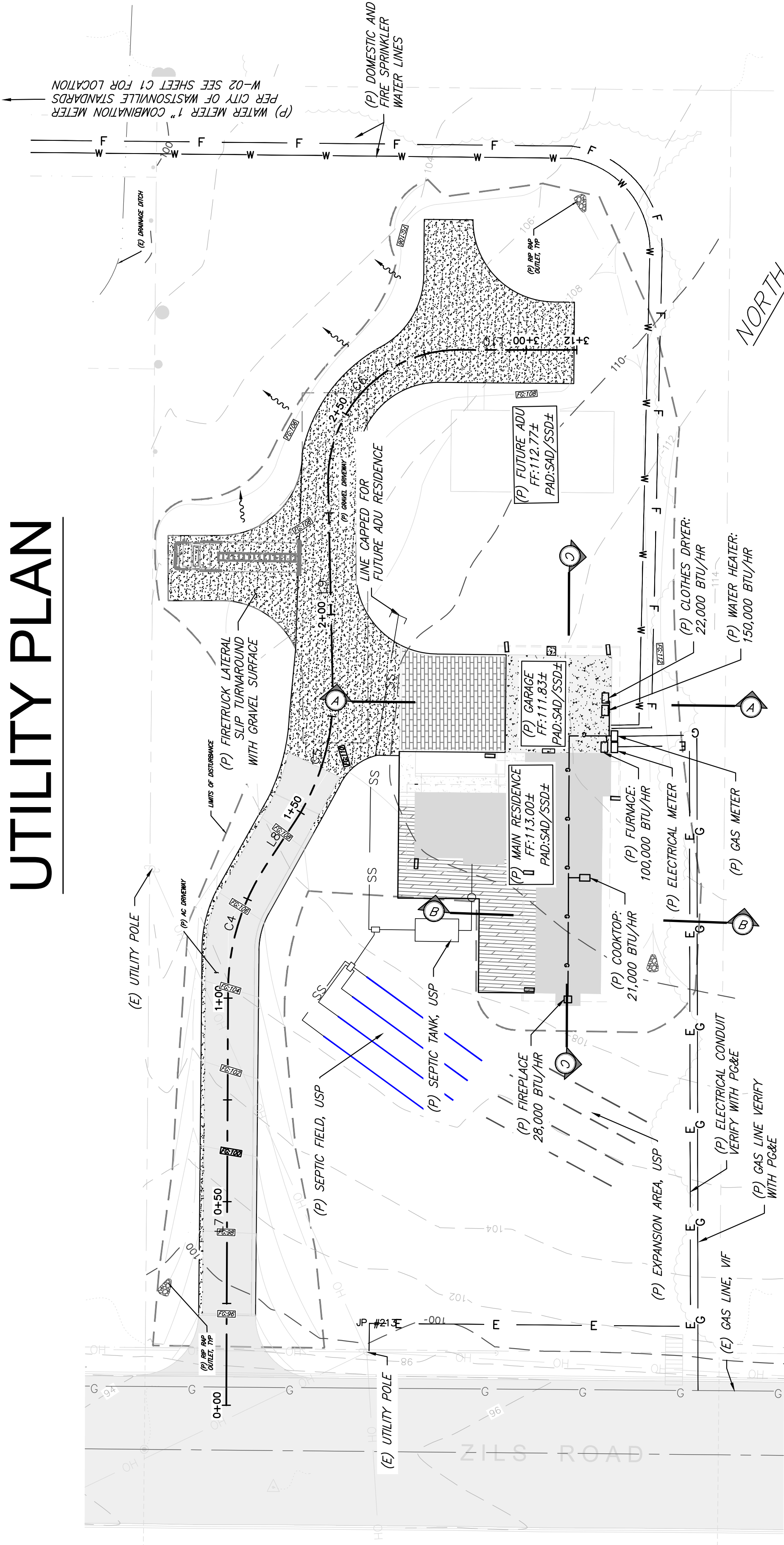
- SUBGRADE MATERIAL PREPARATION**
1. CLEARED AREAS SHOULD THEN BE STRIPPED OF ORGANIC-LADEN TOPSOIL. STRIPPING DEPTH SHOULD BE FROM 2"-6".
 2. ONSITE SOILS ARE SUITABLE AS ENGINEER FILL. IMPORTED SOILS UTILIZED AS ENGINEERED FILL SHALL BE FREE OF ORGANIC MATTER, ROCKS OR LUMPS GREATER THAN 2.5" DIA; NOT CONTAIN MORE THAN 25% OF FINES PASSING #200 SIEVE; HAVE A SAND EQUIVALENT GREATER THAN 18; PLASTICITY INDEX < 15 AND HAVE AN R VALUE < 30. SHALL BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO USE.
 3. ALL FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C.
 4. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C. UNLESS OTHERWISE NOTED.
 5. SUBGRADE SOIL WITHIN THE PROPOSED STRUCTURED BUILDING ENVELOPE PLUS 5' HORIZONTALLY BEYOND STRUCTURE PERIMETERS BE SUB EXCAVATED TO A DEPTH OF 3' BELOW EXISTING GRADE OR 2' BELOW THE BOTTOM OF PROPOSED FOOTING (WHICHEVER IS GREATER).
 6. THE BOTTOM OF THE SUB EXCAVATION SHOULD BE SCARIFIED, MOISTURE CONDITIONED AND RECOMPACTED.
 7. THE UPPER 6" OF PAVEMENT SECTION SUBGRADE SHOULD BE COMPACTED TO AT LEAST 95% R.C AT SLIGHT ABOVE OPTIMUM MOISTURE.
 8. REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS

11 SUBGRADE PREPARATION NOTES



10 FIG DW-6 STANDARD DRIVEWAY APPROACH

UTILITY PLAN



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENE AND MARCELO DINIZ IN FEBRUARY, 2017.

PROFESSIONAL SEAL: STATE OF CALIFORNIA, CIVIL ENGINEER, NO. 88889

DATE: 3/24/22

PM: KB

CHK: GTF

DRN: RS

JOB #: 4630

GEOFF FLEISSNER R.C.E. 82889

HOGAN LAND SERVICES

A CALIFORNIA CORPORATION

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LANDS OF DINIZ

UTILITY PLAN & SECTION

220 ZILS ROAD

WATSONVILLE, CALIFORNIA

APN: 046-221-47

C4 OF 6

FUEL GAS PIPING

GAS: NATURAL											
INLET PRESSURE: LESS THAN 2 psi											
PRESSURE DROP: 0.5 in. w.c.											
SPECIFIC GRAVITY: 0.80											
CAPACITY IN CUBIC FEET OF GAS PER HOUR											
PIPE SIZE (inch)											
NOMINAL: 1/2, 3/4, 1, 1 1/4, 1 1/2, 2, 2 1/2, 3, 4, 6, 8, 10, 12											
ACTUAL ID: 0.622, 0.824, 1.049, 1.380, 1.610, 2.057, 2.469, 3.068, 4.026, 5.047, 6.065, 7.981, 10.020, 11.938											
LENGTH (feet)											
10	172	360	678	1390	2090	4020	6400	11300	23100	41800	67600
20	118	247	466	957	1430	2760	4400	7780	15900	28700	46500
30	95	199	374	768	1150	2220	3530	6250	12700	23000	37300
40	81	170	320	657	985	1900	3020	5350	10900	19700	31900
50	72	151	284	583	873	1680	2680	4740	9660	17500	28300
60	65	137	257	528	791	1520	2430	4290	8760	15800	25200
70	60	126	237	486	728	1400	2230	3950	8050	14600	23600
80	56	117	220	452	677	1300	2080	3670	7490	13600	22000
90	52	110	207	424	635	1220	1950	3450	7030	12700	20600
100	50	104	195	400	600	1160	1840	3260	6640	12000	19500
125	44	92	173	355	532	1020	1630	2890	5890	10600	17200
150	40	83	157	322	482	928	1480	2610	5330	9650	15600
175	37	77	144	296	443	854	1360	2410	4910	8880	14400
200	34	71	134	275	412	794	1270	2240	4560	8260	13400

GAS LINE TABLE 1216.2 (1)

UTILITY LEGEND

(P) FIRE SPRINKLER LINE

(P) GAS SERVICE LATERAL

(P) SEWER LATERAL

(P) WATER

(P) GALLERY/STORMWATER W/ SIZE & TYPE

(P) PERFORATED SUBDRAIN W/ SIZE & TYPE

(P) SOLID SUBDRAIN W/ SIZE & TYPE

(P) GALLERY/STORMWATER W/ SIZE & TYPE

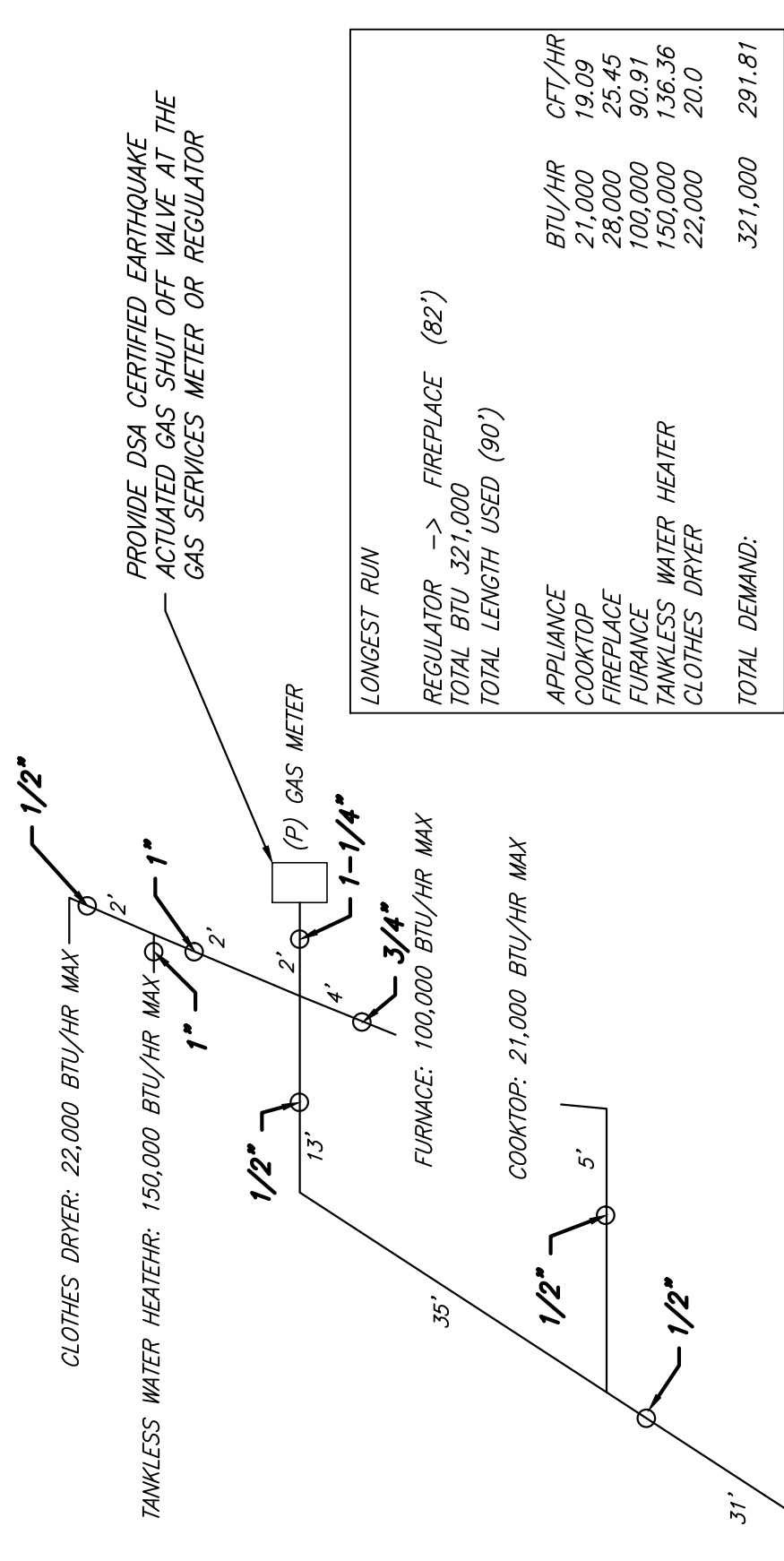
(P) GAS SERVICE LATERAL

(P) WATER

(P) WIRETY, ALL (E) & WIRETY, GROUNDING & SERVICE

LOCATION IN FIELD PRIOR TO CONSTRUCTION

GAS LINE SCHEMATIC

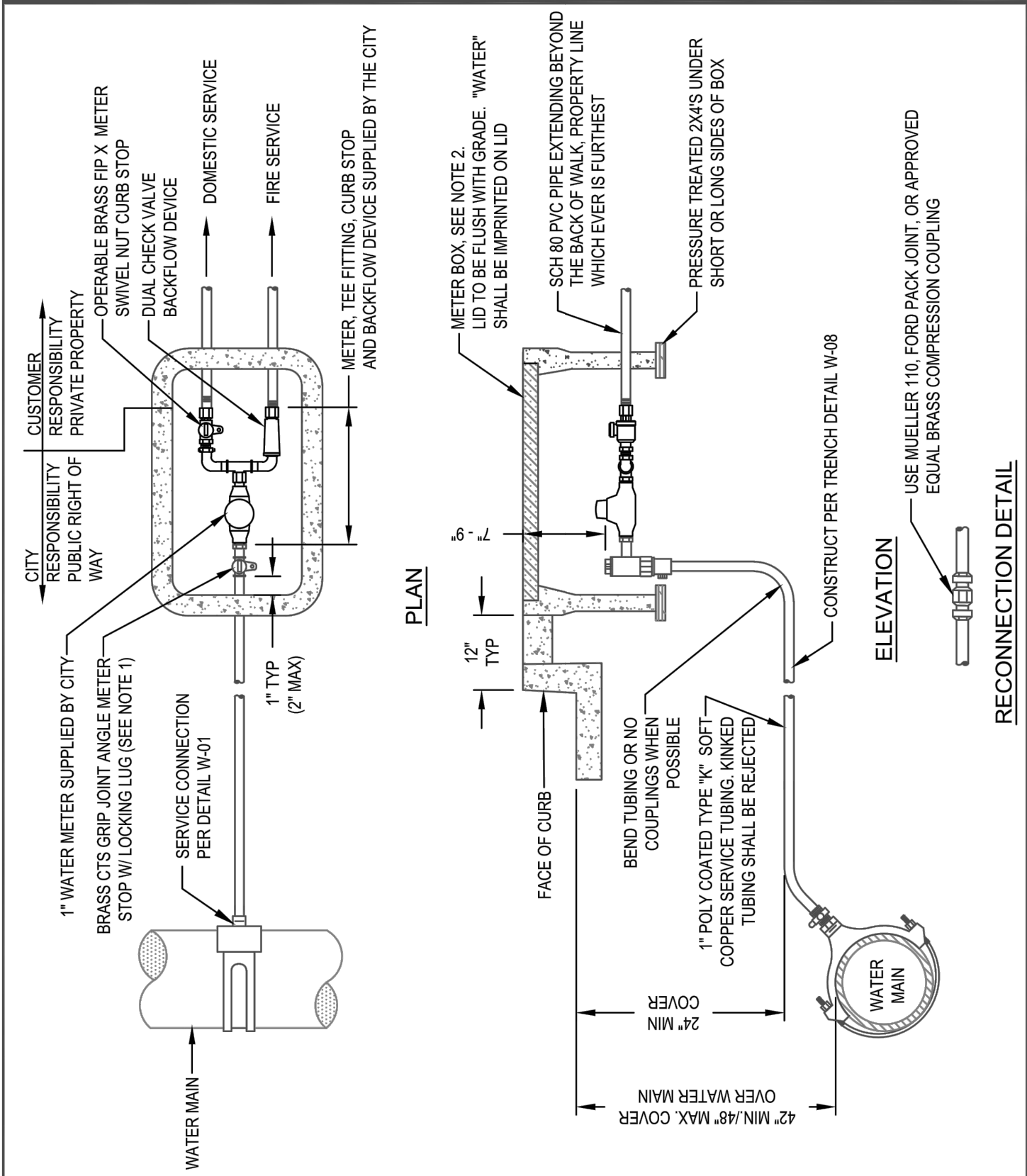


NOTE:

1. ALL GAS LINES SHALL BE BURNED, THREADED BLACK PIPE SCH 40 UNO.
2. EACH APPLIANCE TO INCLUDE BRASS SHUTOFF VALVES, REDUCERS, SEDIMENT TRAP AND FLEXIBLE TUBING CONNECTION AS NECESSARY.
3. LENGTHS SHOWN ARE APPROXIMATE.

FIRE PLACE: 28,000 BTU/HR MAX

BTU/HR	CFM/HR
28,000	25.45
100,000	90.91
150,000	136.36
22,000	20.0
321,000	291.81



NOTES:

1. BALL ANGLE CURB METER VALVES: MUELLER #110 COMPRESSION TYPE 3/4" B-24268. MUELLER #110 COMPRESSION TYPE 1" B-24268. FORD COMPRESSION TYPE "Q", OR CITY APPROVED EQUAL 3/4" B-443-SNQG, 1" B-443-444NQG.
2. METER BOX: CHRISTY B-36. W/ N8RPP R-COMPOSITE LID NON TRAFFIC. B-730 BOX W/ B7730-51GH STEEL CHECKER PLATE LID FOR TRAFFIC. ALL LIDS SHALL HAVE A PORT ACCEPTING THE WIRELESS METER READER.
3. ALL CORPORATION STOPS, ANGLE METER STOPS, COUPLINGS AND CONNECTIONS SHALL BE MUELLER 110, OR FORD TYPE "Q" COMPRESSION TYPE FITTINGS WITH C/C THREAD ON CITY APPROVED EQUAL.
4. ALL PRIVATE INSTALLATION SHALL COMPLY WITH CITY ORDINANCE NO. 508-80 AS AMENDED REGARDING "WATER SERVICES AND CHARGES". DOMESTIC AND FIRE SERVICE LINE SHALL BE SIZED PER CALIFORNIA PLUMBING AND FIRE CODES.
5. THE CUSTOMER SHALL INSTALL SUITABLE CONTROL VALVES ON EACH PRIVATE SERVICE LINE ON THE RISER TO EACH BUILDING OR A MAXIMUM OF 50 FEET FROM THE METER. THE VALVES SHALL CONTROL THE ENTIRE WATER SUPPLY FROM THE SURFACE.

WATER DIVISION STANDARD DRAWING

1-INCH COMBINATION METER

SCALE: NTS

DRAWN BY: STAFF

CHECKED BY: TC

REV: MAY 2018

RESOLUTION: 98-18 (CM)

DWG NO. W-02

CITY OF WATSONVILLE, PUBLIC WORKS & UTILITIES DEPARTMENT

MARIA ESTHER RODRIGUEZ, CITY ENGINEER

LANDS OF DINIZ PLAN & PROFILE

APN: 046-221-47

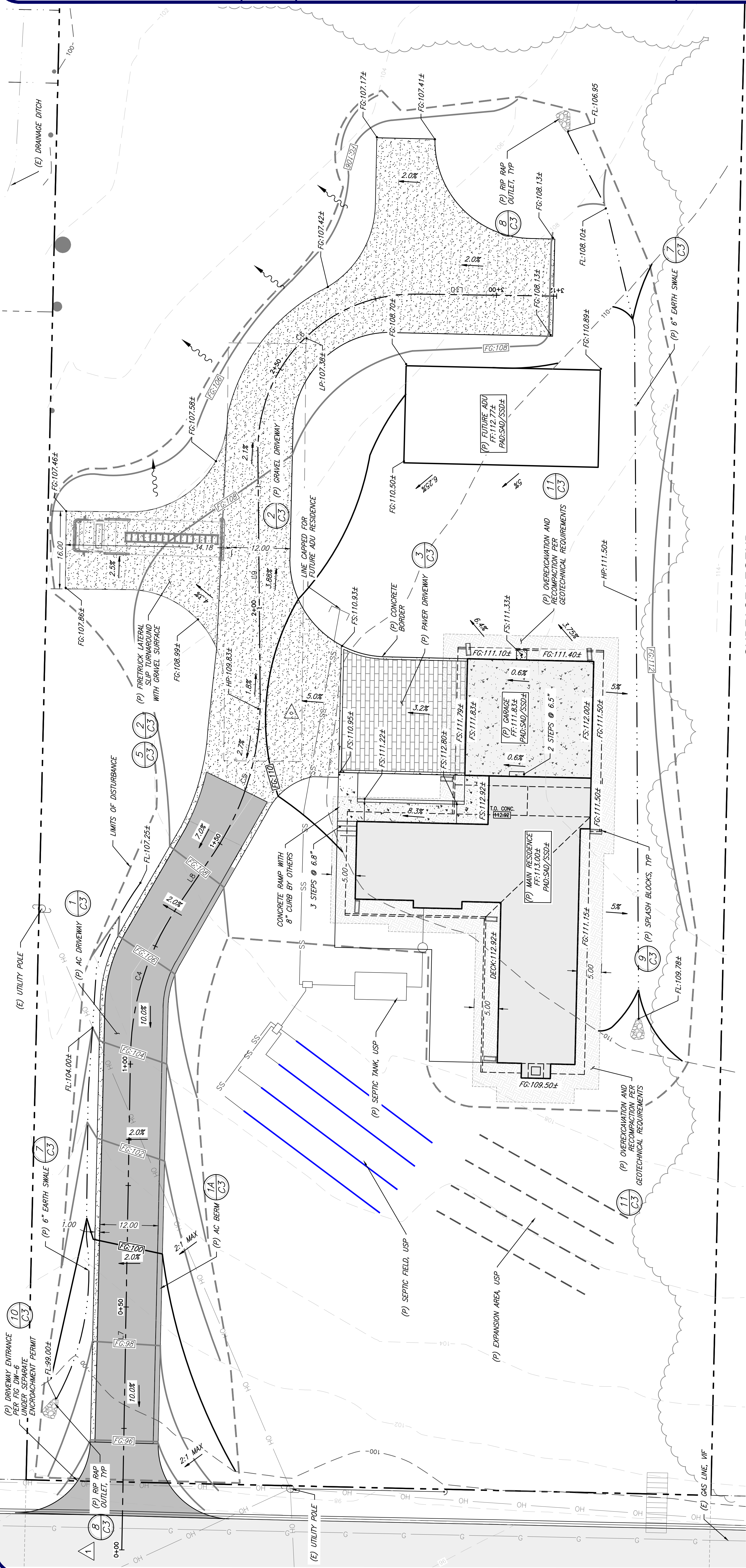
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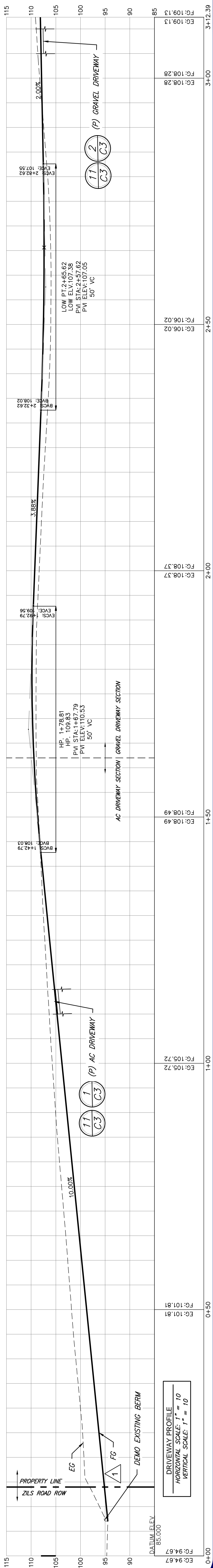
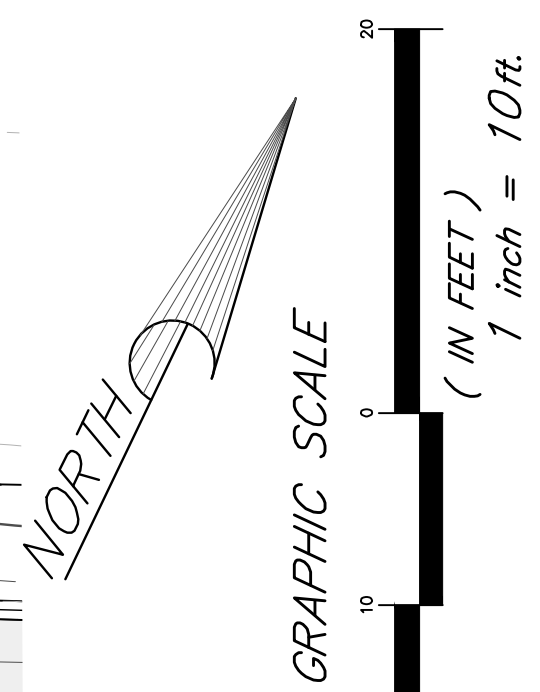
DRN:	RS
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GEOFF FLEISSNER R.C.E. 82889



CURVE NUMBER	RADIUS	LENGTH	DELTA	START STATION	END STATION
C4	56.00	32.44	33°11'16"	1+01.92	1+34.35
C5	56.00	33.94	34°43'47"	1+47.41	1+81.36
C6	32.00	51.02	91°20'46"	2+32.32	2+83.34

ALIGNMENT CONSTRUCTION TABLE				
LINE NUMBER	LENGTH	DIRECTION	START STATION	END STATION
L7	101.92	N24° 32' 36" W	0+00.00	1+01.92
L8	13.06	N8° 38' 34" E	1+34.35	1+47.41
L9	50.96	N26° 05' 06" W	1+81.36	2+32.32
L10	29.05	N65° 15' 39" E	2+63.34	3+12.39



EROSION CONTROL PLAN

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAMINANT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

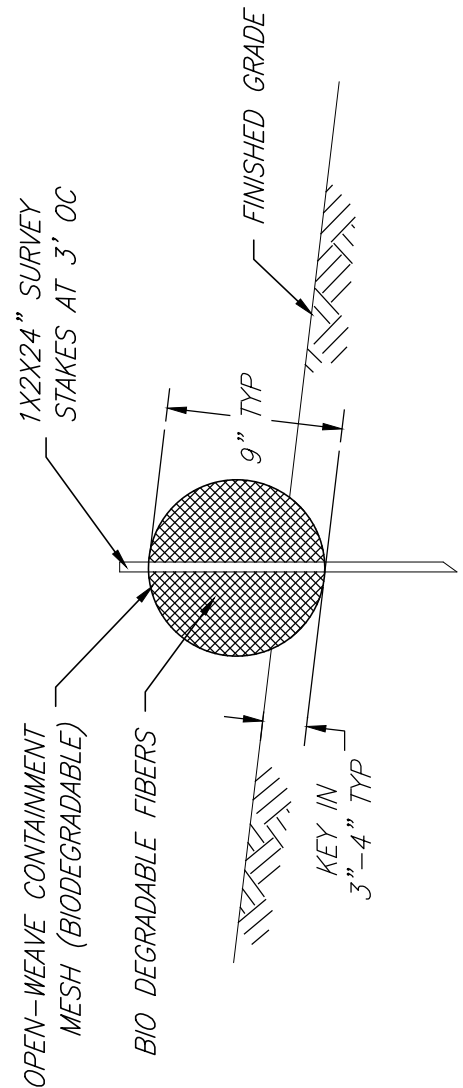
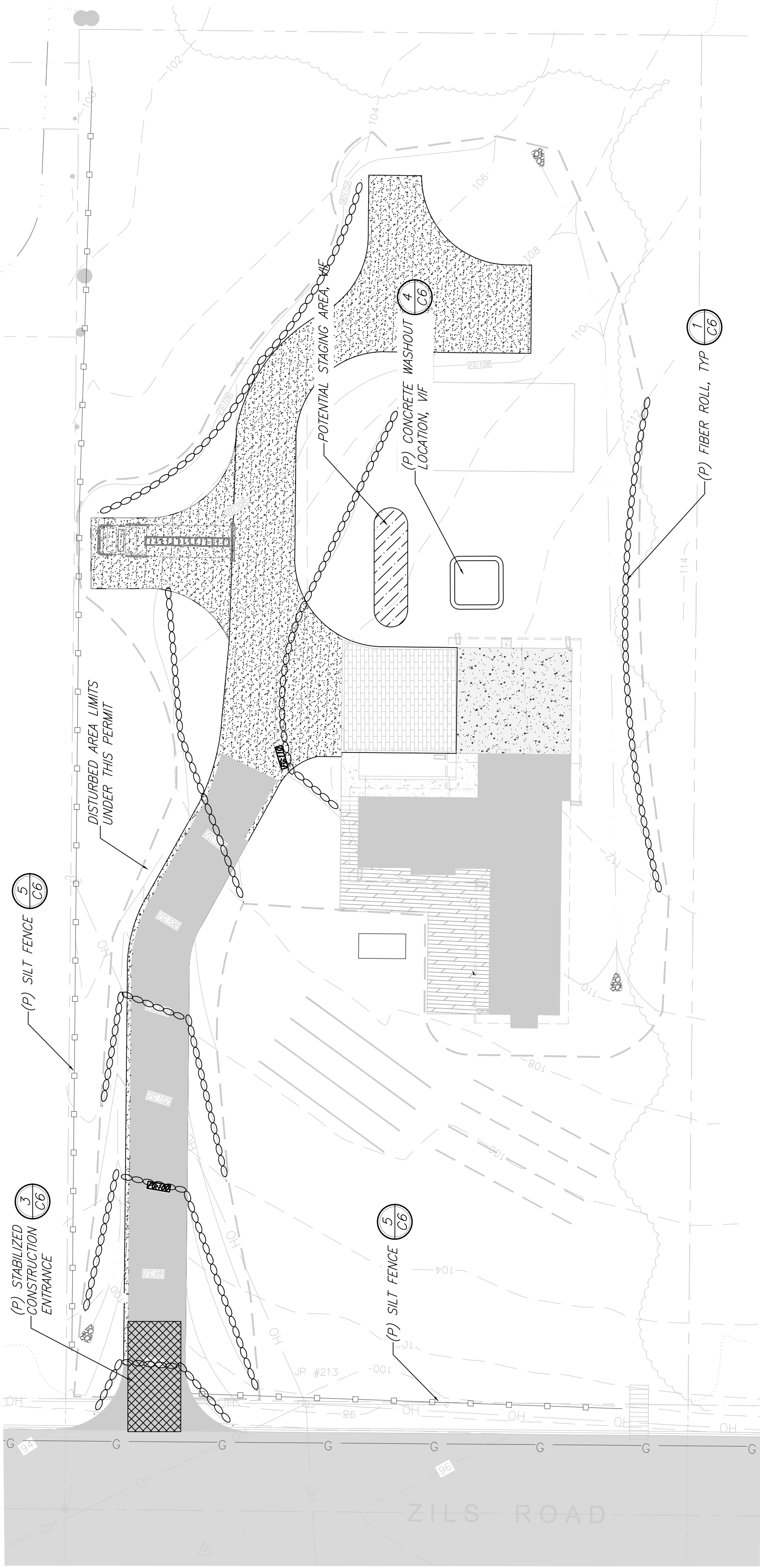
- DISPOSAL OF AND RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SAWTOON FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRAINAGE, STREAM, IRRIGATION AREA OR OTHER DRAINAGE FACILITY.
- SAWTOON FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

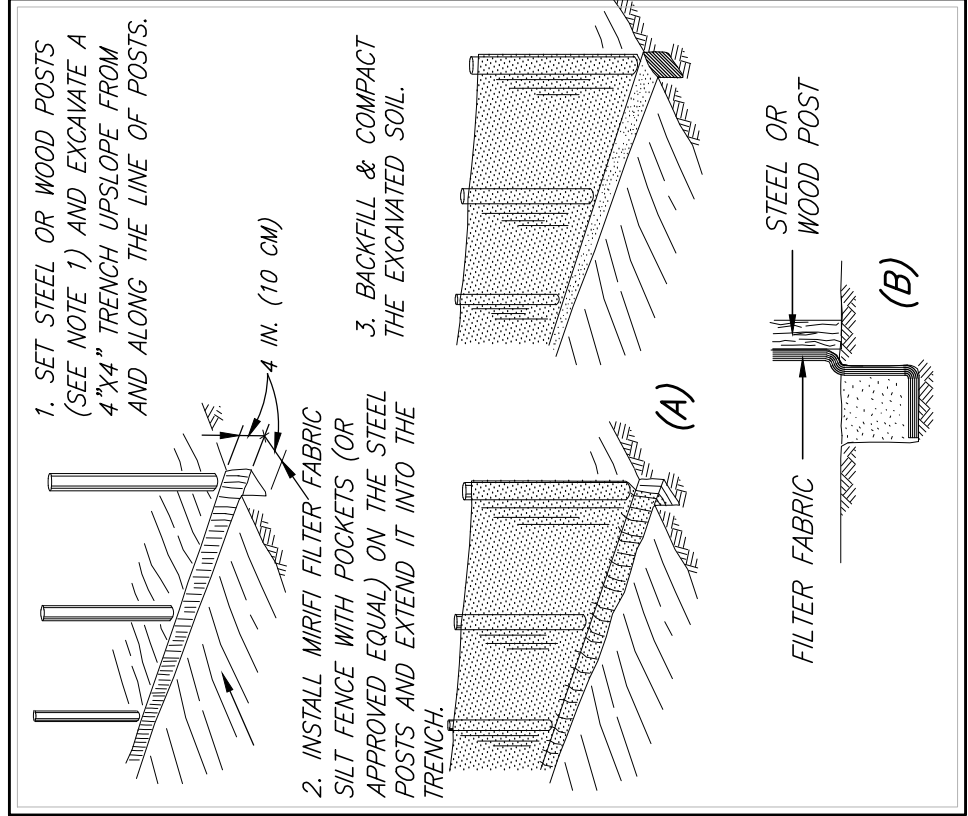
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF AND ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTER RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



1 FIBER ROLL BARRIER

NOTE: INSTALL FIBER ROLL ON CONTOUR.

NTS

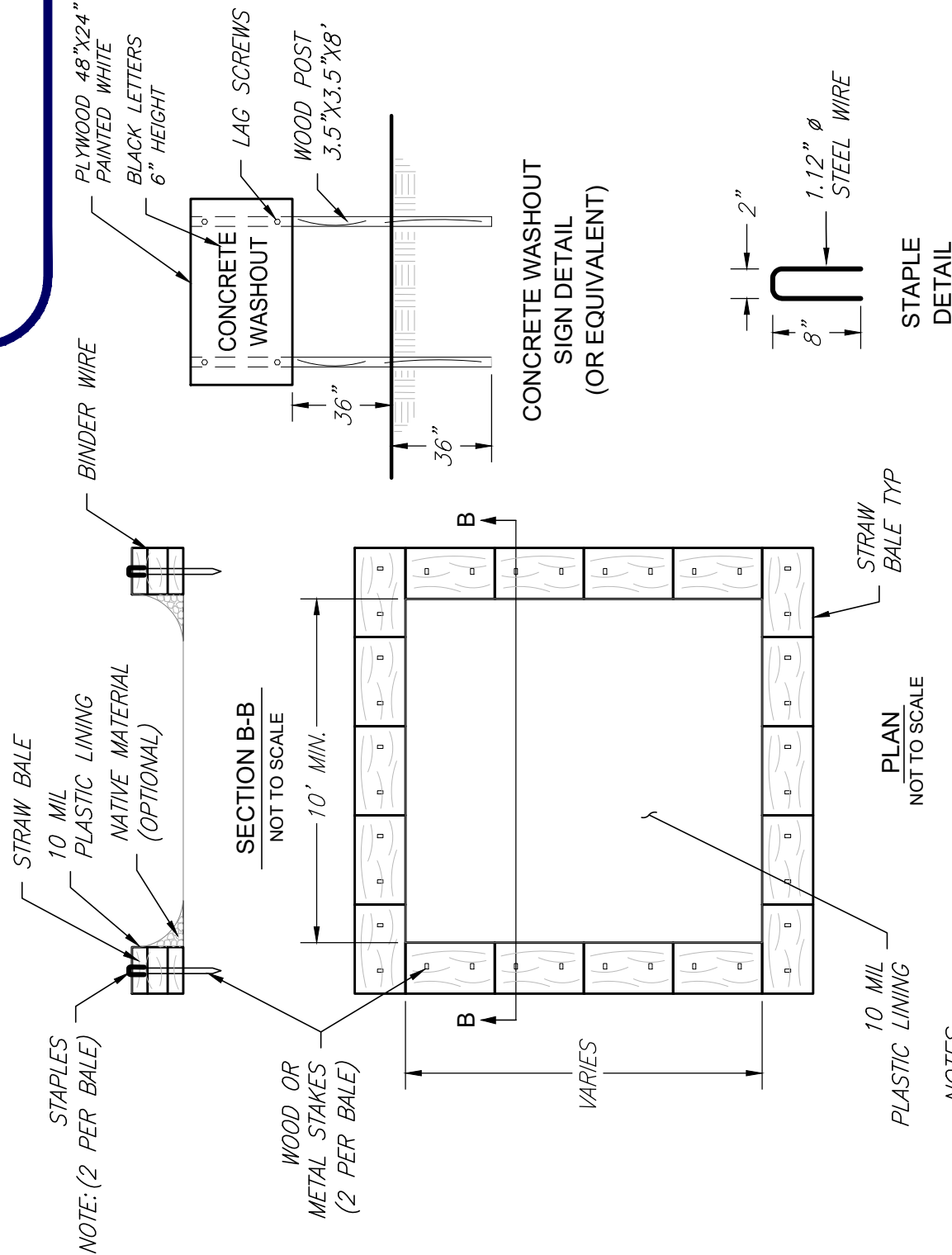


5 SILT FENCE SEDIMENT BARRIER

NTS

CONSTRUCTION OF A SILT FENCE. (A) INSTALLATION SEQUENCE. (B) EXTENSION OF FABRIC INTO THE TRENCH.

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER AS ILLUSTRATED IN THE FIGURE AT RIGHT. SPACE POSTS ON 6' CENTERS AND DRIVE THEM A MINIMUM OF 12 IN (30 CM) INTO THE GROUND. POSTS FOR SILT FENCES CAN BE EITHER 1 1/2\"/>
- INSTALL MIRROR FILTER FABRIC (OR APPROVED EQUAL) ON THE STEEL POSTS AND EXTEND IT INTO THE TRENCH.
- BACKFILL & COMPACT THE EXCAVATED SOIL.
- SETTING STEEL OR WOOD POSTS.

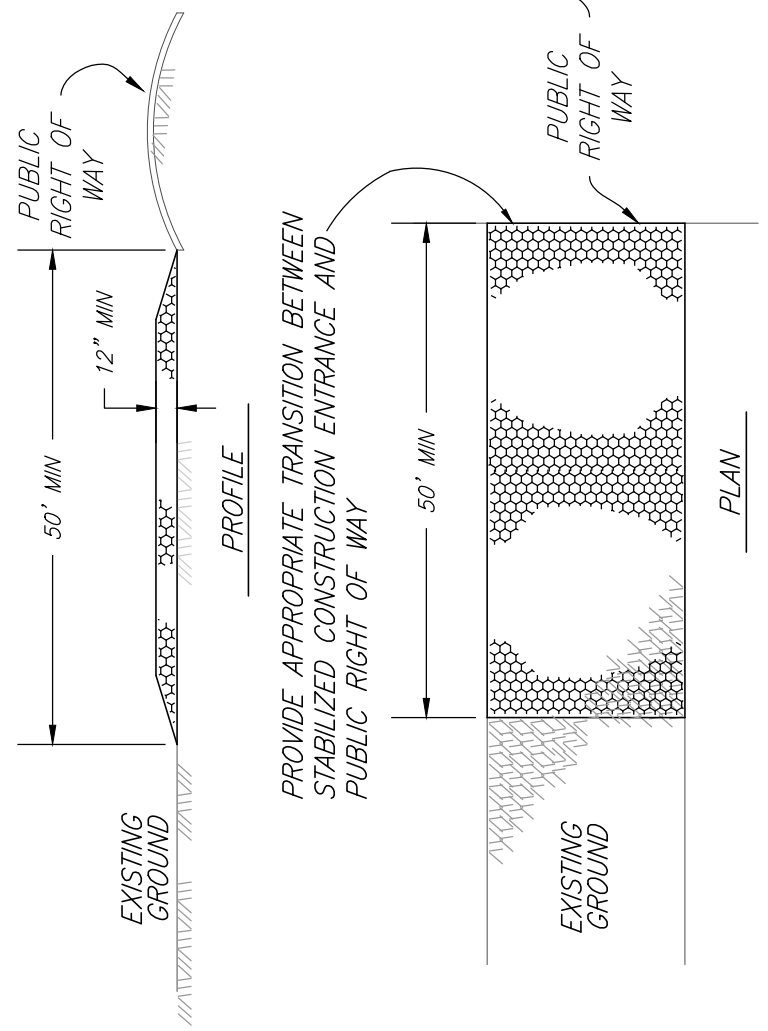


- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
- PLASTIC TUB WITH SIMILAR DIMENSIONS CAN BE USED INSTEAD OF THIS DETAIL.

4 CONCRETE WASHOUT

ONSITE WASHOUT SHALL BE USED AS A LAST RESOURCE ONLY. INSTRUCT TRUCKS TO RETURN TO PLANT W/ SPOILS

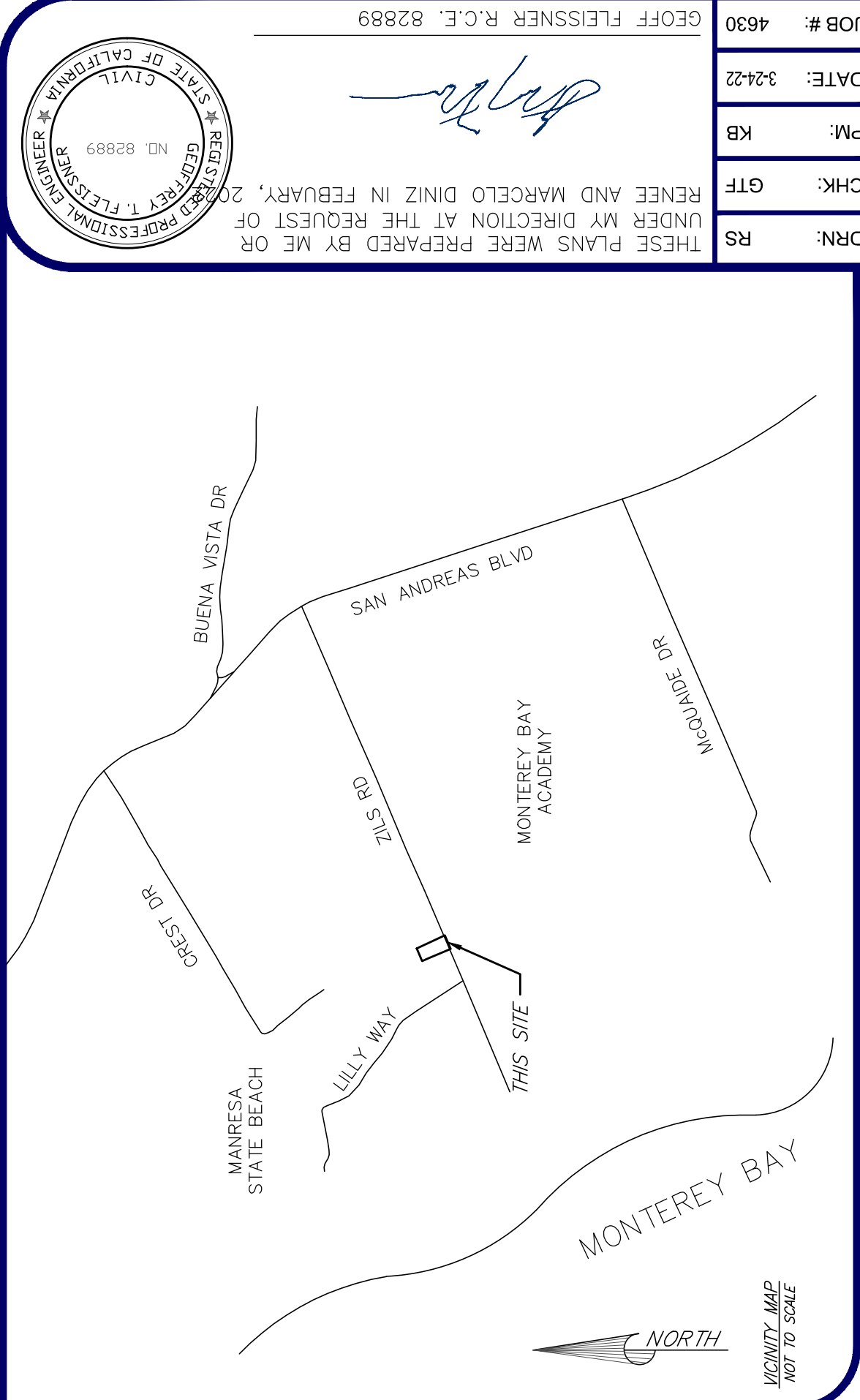
NTS



3 STABILIZED CONSTRUCTION ENTRANCE

NTS

DESIGN AND CONSTRUCTION SPECIFICATIONS: THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH STONE. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS SHALL BE CLEANED OF SEDIMENT PRIOR TO EXITING THE SITE. PUBLIC RIGHTS-OF-WAY SHALL BE CLEANED AS REQUIRED. IT SHALL BE KEPT OPEN AND AREAS STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.



EROSION CONTROL NOTES

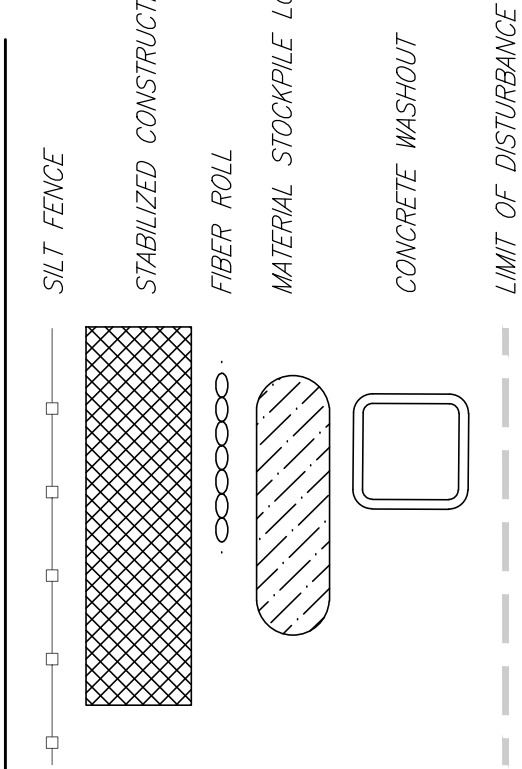
- BETWEEN OCTOBER 15, AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO ADJOINING PROPERTIES.
- UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GRASS TRAPS, FILTER BERMS, OR HAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
- CONTRACTOR SHALL NOTIFY THE COUNTY OF SANTA CRUZ AT LEAST 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
- ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER CONSTRUCTION PERMIT. ALL EXCAVATION SHALL BE SEIZED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.
- CONTRACTORS SHALL INSTALL UNDERGROUND STORM DRAIN SYSTEM AND STRAW BALE DRAIN BARRIERS PRIOR TO OCTOBER 15.
- BALE SOIL SHALL BE COVERED WITH SEED AND STRAW MULCH AT AN APPLICATION RATE OF 2-3 BALES/1000 S.F.

PROJECT INFORMATION

OWNER/REPRESENTATIVE:
MARCELO & RENEE DINIZ
S.W.P.C.P.
GEOFF FLEISSNER
2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
tel: 408.294.1111
gfleissner@hoganis.com

TOTAL AREA OF DISTURBANCE = 0.51 ACRES

EROSION CONTROL LEGEND



220 ZILS ROAD
WATSONVILLE, CALIFORNIA

LANDS OF DINIZ
EROSION CONTROL PLAN

C6 OF 6

DRN:	RS
CHK:	GTF
PM:	KB
DATE:	3-24-22
JOB #:	4630

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
TEL (831) 426-1617
FAX (831) 426-0224
www.hoganis.com



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION. THE REQUEST OF RENE AND MARCELO DINIZ IN FEBRUARY, 2022

LANDS OF DINIZ

CONVENTIONAL SEWAGE DISPOSAL SYSTEM

220 ZILS RD, WATSONVILLE

APN: 046-221-47

GENERAL NOTES

IF THE SOIL IS WET AT ALL, CHECK THE MOISTURE CONTENT OF THE SOIL AT TRENCH DEPTH. IF IT IS TOO WET, SHEARING AND COMPACTION WILL RESULT, THUS REDUCING THE INFILTRATION CAPACITY OF THE SOIL.

SOIL MOISTURE CAN BE DETERMINED BY ROLLING A SOIL SAMPLE BETWEEN THE HANDS. IF IT ROLLS INTO A RIBBON, THE SITE IS TOO WET TO PREPARE. IF IT CRUMBLES, SOIL PREPARATION CAN PROCEED. IF ANY DOUBT, CALL HOGAN LAND SERVICES. (877-544-2104).

DISTRIBUTION TRENCHES FOLLOW THE NATURAL CONTOUR OF THE GROUND; TRENCH BOTTOMS SHALL BE LEVEL. THE MAXIMUM DEVIATION ALONG THE DOWNHILL SIDE OF THE TRENCH SHALL NOT VARY MORE THAN 0.25 FEET (THREE INCHES). CERNUCCI FIELD A DISTRIBUTION TRENCHES SHALL BE ANGLED OR CURVED TO MEET THIS REQUIREMENT.

DRAIN ROCK SHALL BE CLEAN 3/4 TO 2-1/2 IN SIZE AND EITHER COURSE AGGREGATE, CRUSHED ROCK OR WASHED RIVER GRAVEL FROM AN APPROVED SOURCE.

PLACE CLEANOUTS EVERY 100' ON GRAVITY MAIN.

PLACE NON-Biodegradable GEOTEXTILE SYNTHETIC FABRIC (MIRRI 140N OR EQUIVALENT) OVER GRAVEL, OVERLAPPING SECTIONS 9" MINIMUM.

COMPACTED TRENCH SIDES ARE TO BE SCARIFIED TO A DEPTH OF 1" AND THE LOOSE MATERIAL REMOVED BEFORE PLACING THE DRAIN ROCK IN THE TRENCH. CONTACT HOGAN LAND SERVICES (877-544-2104) AND SANTA CRUZ COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH (831-454-2022) A MIN. OF 48 HOURS BEFORE INITIATING CONSTRUCTION AND ALL REQUIRED INSPECTIONS.

A SEPTIC TANK WATER TIGHTNESS TEST IS REQUIRED.

4" MINIMUM OF SOLID PIPE IS REQUIRED BETWEEN THE DISTRIBUTION BOX AND PERFORATE PORTION OF THE LEACHLINE TRENCHES.

MAXIMUM LENGTH OF INDIVIDUAL LEACHLINES SHALL BE 100' (EXCLUDING 4' SOLID SECTION).

EROSION AND SEDIMENT CONTROL

PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE CBC AND THE SANTA CRUZ COUNTY CODE.

DURING THE RAINY SEASON, OCT. 1 TO APRIL 30, EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.

PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.

THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED ON THE SITE. IF QUESTIONS REGARDING THE COUNTY SPECIFIED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL, CALL HOGAN LAND SERVICES (877-544-2104).

EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE AND AFTER STORM EVENTS.

CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MAY RESULT IN RESPONSE TO FIELD CONDITIONS.

ENTRANCES TO SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY R.O.W. SHALL BE DISPOSED OF AS THEY OCCUR.

EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES, FIBER ROLL SILT BARRIERS AND SILT FENCES SHALL BE KEYED INTO THE SOIL AND INSTALLED ON CONTOUR.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE. AFTER GRADING, GROUND SHOULD BE COMPLETELY COVERED.

STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS.

SOIL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE RUNOFF.

SOLID WASTE AND CONSTRUCTION MATERIALS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS AND DISPOSED OF AT APPROVED DISPOSAL SITES.

ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT BARRIERS.

NO FOUNDATION AND/OR DRIVEWAY CUTS AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FT DOWN SLOPE OR Laterally OF THE PRIMARY OR RESERVE/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWN SPOUTS AWAY FROM LEACHFIELD.

NOTES TO OWNER, CONTRACTOR, & OTHERS

1. INSTALLATION OF THIS DESIGN WILL REQUIRE A MINIMUM OF ONE SITE REVIEW BY THE ENGINEER DURING CONSTRUCTION. ADDITIONAL REVIEWS MAY BE REQUIRED DEPENDING ON THE ABILITY OF THE CONTRACTOR TO COMPLETE THE SYSTEM IN A TIMELY MANNER. ANY FIELD REPAIRS WILL BE BILLED TO THE OWNER AT THE PRINCIPAL ENGINEER RATE SHOWN IN THE PROFESSIONAL SERVICE AGREEMENT.

2. ADDITIONALLY, SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH REQUIRES A LETTER OF DESIGN CONFORMANCE ISSUED BY THE ENGINEER ASSESSING DESIGN COMPLIANCE. THIS LETTER IS PREPARED AND SENT UPON COMPLETION OF CONSTRUCTION AND SATISFACTION OF ALL OUTSTANDING INVOICES DUE TO THE ENGINEER.

3. SUBSURFACE CONDITIONS MAY BE COMPLEX AND MAY DIFFER FROM THOSE INDICATED ON THE EXISTING TOPOGRAPHIC MAPS. THE ENGINEER HAS CONDUCTED A PROFILE TRENCH LOCATIONS THEREFORE, OTHER TRENCH LOCATIONS IN SUBSURFACE CONDITIONS NOT INDICATED IN REPORTS OR SHOWN ON THIS PLAN COULD BE ENCOUNTERED. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY IF ANY ADVERSE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION SO THAT TIMELY ACTION CAN BE TAKEN TO MODIFY THIS PLAN AND/OR THE SYSTEM HEREIN DESIGNED.

4. THIS PLAN AND DESIGN IS BASED ON CURRENT STANDARDS AND TECHNICAL DATA REQUIREMENTS OF SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH. THIS PROFESSIONAL COMPLIANCE WITH CURRENTLY APPLIED COUNTY CODES, STANDARDS, AND REQUIREMENTS. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY SEPTIC SYSTEM FUNCTION OR PERFORMANCE OF THIS SITE.

5. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. IN ADDITION, THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE FUNCTION OF ANY OF THE SYSTEM COMPONENTS MANUFACTURED/DESIGNED BY OTHERS.

6. THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE ENGINEER IS NOT REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL EXEMPT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, INCLUDING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

7. PERMITS OF THESE PLANS USED IN CONSTRUCTION MUST HAVE A "WET" STAMP OF APPROVAL APPLIED BY THE SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH DEPARTMENT TO INDICATE THAT A PERMIT TO INSTALL THE SEPTIC SYSTEM HAS BEEN GRANTED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION DONE WITHOUT PERMITS OR THE COUNTY APPROVED PLANS).

8. SHOULD TREE ROOT ZONE BE IMPACTED, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONSULT WITH A QUALIFIED ARBORIST TO DETERMINE THE APPROPRIATE COURSE OF ACTION.

STAGES TO BE INSPECTED

CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND/OR SCC DEH INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES. FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE CONTRACTOR HAVING TO UN-EARTH AND REDO THE WORK. THE ENGINEER MUST ISSUE AN INSPECTION REPORT TO THE COUNTY PRIOR TO ACCEPTANCE OF THE SYSTEM BY THE COUNTY. THE CONTRACTOR SHALL GIVE 48-HOUR NOTICE TO HOGAN LAND SERVICES & SCC DEH FOR ANY OF THESE INSPECTIONS:

4. NOTIFY H.S. & SANTA CRUZ COUNTY END A MIN. OF 48 HOURS PRIOR TO INITIALIZING CONSTRUCTION.

INSPECTIONS BY HOGAN LAND SERVICES ONLY:

1. INSPECTION OF IMPORTED MATERIALS AS REQUIRED (FILL MATERIAL AND GRAVEL).

2. CHECKING OF LAYOUT; LINE AND GRADE, STAKES.

FINAL INSPECTIONS BY HOGAN LAND SERVICES AND DEH:

1. SEPTIC TANK WATER TIGHTNESS TANK FULL A MINIMUM OF 2" INTO RISER.

2. LEACH LINE LAYOUT & GRAVEL DEPTH, PRIOR TO EARTH BACKFILL.

3. FINAL INSPECTION & EROSION CONTROL.



NOTE: THIS EXHIBIT DOES NOT REPRESENT A COMPLETE TOPOGRAPHIC SURVEY OR BOUNDARY DETERMINATION. BOUNDARY SHOWN IS PER ASSESSOR RECORDS AND RECORD DATA ONLY AND HAS NOT BEEN SURVEYED OR CONFIRMED.

SYSTEM DESIGN CRITERIA

THIS SYSTEM TO SERVE 2 UNITS @ 675 GPD:

3-BEDROOM STD @ 375 GPD

2-BEDROOM ADDN @ 250 GPD

THIS UNIT IS NOT BEING BUILT AT THIS TIME, AND WILL BE APPLIED FOR

AND CONNECTED TO THE DISPERSAL FIELD UNDER A SEPARATE PERMIT

APPLICATION

SITE EVALUATION - 10/21/20

PP1: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PP2: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PH-4 (2'): 0.4 MPI

PH-5 (4'): 1.25 MPI

PH-6 (7'): 1.31 MPI

APPLICATION RATE: 1.2 GAL/SF/DAY

(PER TABLE 3, CA STATE DOWTS POLICY PG 24)

GEOTECHNICAL EVALUATION - 12/14/21

B-3: 51.5'; NO SIGN OF GROUNDWATER

WATER SERVICE BY SAN ANDREAS MMC

PER TABLE 3-4 AND FIGURE 3-1 OF THE SANTA CRUZ COUNTY LAMP, THIS

PARCEL IS EXEMPT FROM ENHANCED TREATMENT REQUIREMENTS FOR

FAST-PERCOLATING SOILS BECAUSE IT IS OUTSIDE OF THE DEFINED NITRATE

CONCERN AREAS

CONVENTIONAL SYSTEM CALCULATIONS

DESIGN FLOW RATE = 2 UNITS @ 675 GPD

675 GAL/DAY / 1.2 GAL/SF/DAY = 562.5 SF

WIDTH OF TRENCH: 2'

BOTTOM TRENCH AREA PER LINEAR FOOT = 2 SF/LF

DEPTH OF ROCK BENEATH PIPE = 1'

SIDEWALL AREA PER LINEAR FOOT = 1 SF x 2 = 2 SF/LF

TOTAL ABSORPTION AREA PER LINEAR FOOT = 4 SF/LF

REQUIRED TRENCH LENGTH FOR 2 UNITS = 562.5 SF / 4 SF/LF = 140.625 LF

TOTAL TRENCH LENGTH PROPOSED = 140 LF

RESERVE LENGTH REQUIRED (100%) = 100% = 140 LF

REVISION BLOCK

1	
2	
3	

LANDS OF DINIZ

CONVENTIONAL SYSTEM NOTES

1 OF 2

220 ZILS RD
WATSONVILLE, CA

046-221-47

2601 41ST AVE, SUITE B
SOUDEL, CA 95073

www.hoganls.com

TEL (831) 425-1617
FAX (707) 522-2105

JOB #: 4630
DATE: 3/3/22

PM: KB

CHK: GF

DRN: KB

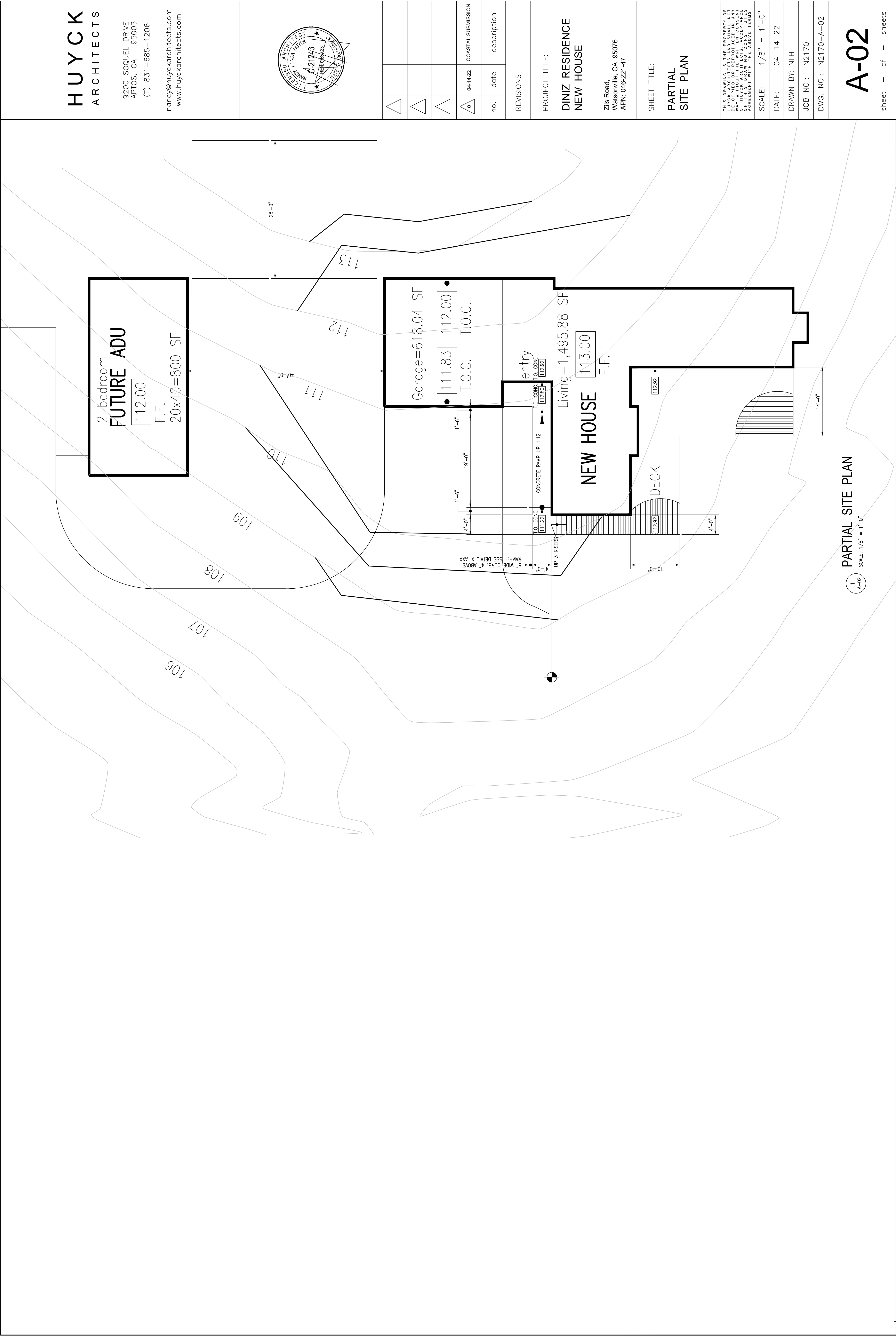
THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENE & MARCELO DINIZ
RENE DINIZ IN MARCH, 2022
GEOFFREY FLEISSNER R.C.E. 82889

6 LEACHFIELD TRENCH DETAIL NO SCALE

1. INSTALL NEW 1500 GAL/MIN. SEPTIC TANK. PROVIDE COVER OF BUILDING SLOPER FOR SPT. TANK DOWN SLOPE. MINIMUM 5' S/B TO DETAIL. 1" ON THIS SHEET. MINIMUM 5' S/B TO BUILDING AND/OR DECK FOUNDATIONS. FINAL TANK LOCATIONS TO BE DETERMINED AT TIME OF CONSTRUCTION AND VERIFIED WITH HOGAN LAND SERVICES.
2. INSTALL 4" ABS OR SDR35 SEWAGE PIPE AT A 2% MIN. GRADE TO ENSURE ADEQUATE FLOW. INSTALL CLEANOUTS AT 100' INTERVALS AND AT MAJOR ANGLE POINTS PER DETAILS 2 & 3 ON THIS SHEET.
3. INSTALL ADDITIONAL SEWAGE PIPE BETWEEN DISTRIBUTION BOX AND RAINFALL FILTER PROPOSED DRIVEWAY. THIS PIPE SHALL BE STUBBED AND NON-FUNCTIONAL AT THIS TIME. SEPTIC TANK FOR ADU AND CONNECTION TO LEACHFIELD TO BE ADDRESSED UNDER FUTURE PERMIT APPLICATION.
4. INSTALL 6"-PORT DISTRIBUTION BOX AT HEAD OF LEACHFIELD PER DETAIL 4 ON THIS SHEET. CONNECT INLET AND OUTLET PIPES AS SHOWN ON PLAN.
5. INSTALL 4" LEACHLINES AT 35' LF D/P. PER DETAILS 5 AND 6 ON THIS SHEET. MINIMUM 25' MIN. S/B BETWEEN LEACHLINES AND BOREHOLETAIN AREA.
6. RESERVE AREA INDICATED ON THIS PLAN TO REMAIN NATIVE AND UNDISTURBED.

LEGEND	
---	RECORD BOUNDARY LINE
----	FLOWLINE
- . - . -	EDGE OF CONCRETE
----	EDGE OF GRAVEL ROAD
----	FENCE
×	SOS PRIMARY
----	SOS RESERVE
██	CULVERT/STORMDRAIN W/SIZE & TYPE
12" CUP	
---	SOS SETBACK LINE
CO	CLEAN-OUT
⊙	INSPECTION PORT
10" DEPTH WPI	PERC HOLE W/DEPTH & MINUTES PER INCH
10" DEPTH	SOLS PROFILE PIT W/DEPTH
Φ 8" - 2" 18" 0	GEOTECHNICAL BORING W/DEPTH
(P)	PROPOSED
(F)	FUTURE
S/B	SETBACK
SFD	SINGLE-FAMILY DWELLING
ADU	ACCESSORY DWELLING UNIT
USP	UNDER SEPARATE PERMIT
W/P	VERIFY IN FIELD
TBD	TO BE DETERMINED
5	INSTALL KEY NOTE

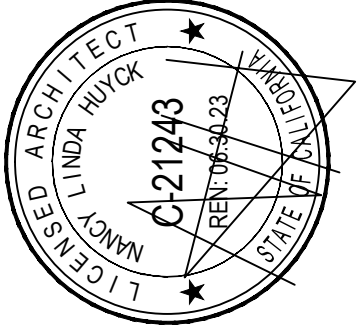
INSTALLATION NOTES



HUYCK
ARCHITECTS

9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huyckarchitects.com
www.huyckarchitects.com



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△		
△		
△	04-14-22	COASTAL SUBMISSION
no.	date	description

REVISIONS

PROJECT TITLE:
**DINIZ RESIDENCE
NEW HOUSE**

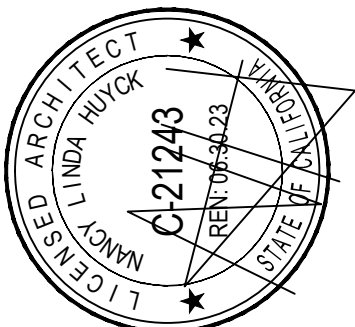
Zilis Road,
Watsonville, CA 95076
APN: 046-221-47





SHEET TITLE:
**PARTIAL
SITE PLAN**

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SCALE: 1/8" = 1'-0"
DATE: 04-14-22
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JOB NO.: N2170
DWG. NO.: N2170-A-02

A-02



			
			
			
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no.	date	description	

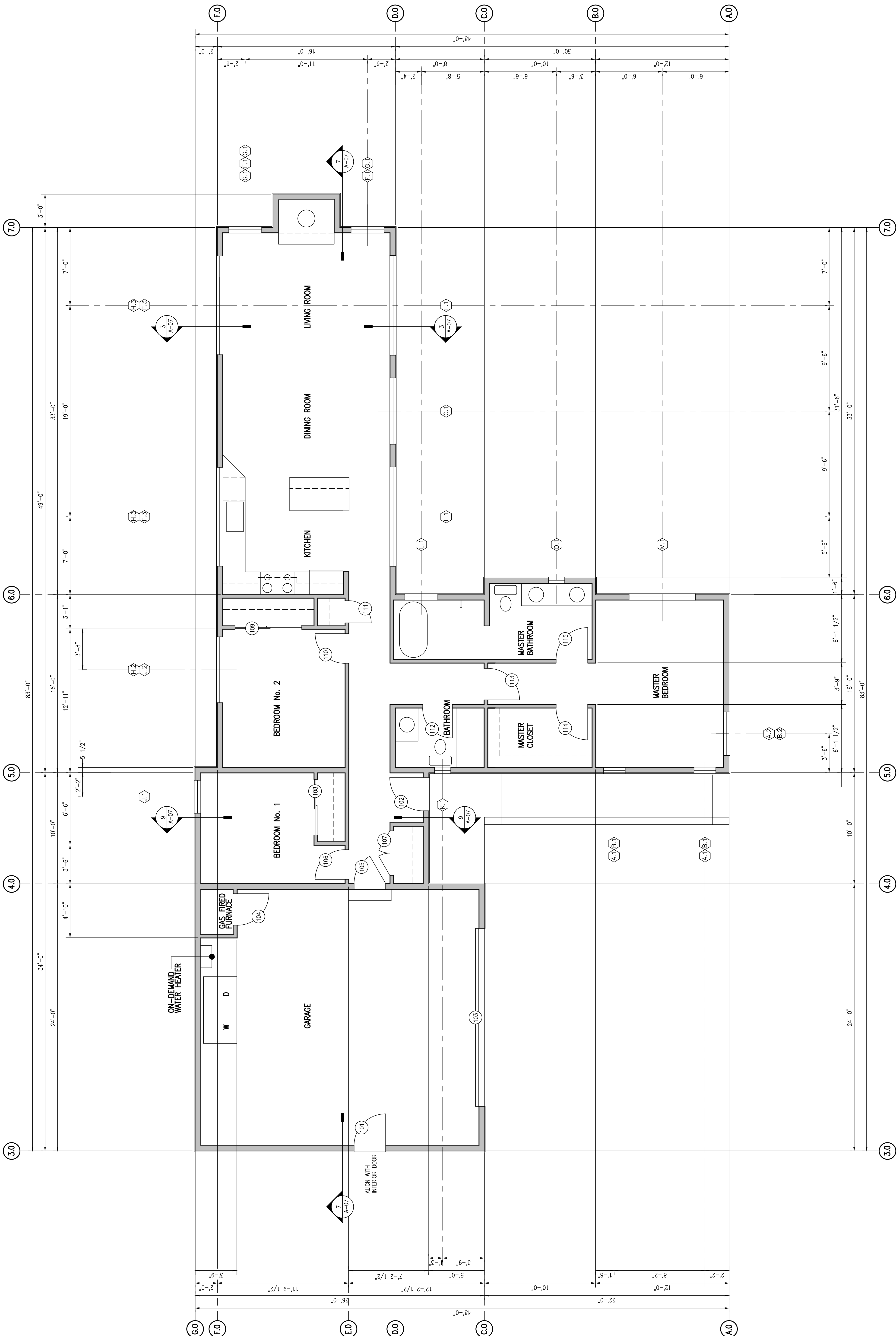
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PN: 046-221-47

FLOOR PLAN

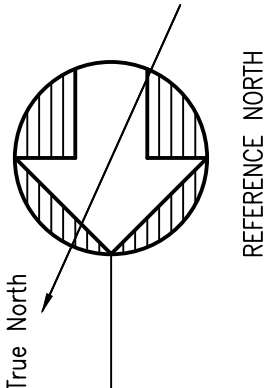
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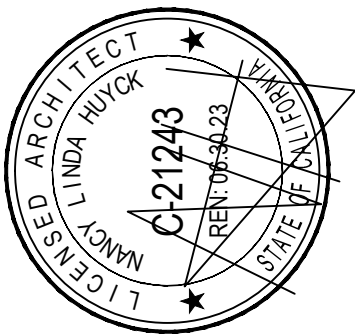
A-03





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FIRST FLOOR PLAN





			
			
			
	04-14-22	COASTAL SUBMISSION	
no.	date	description	

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

ROOF PLAN

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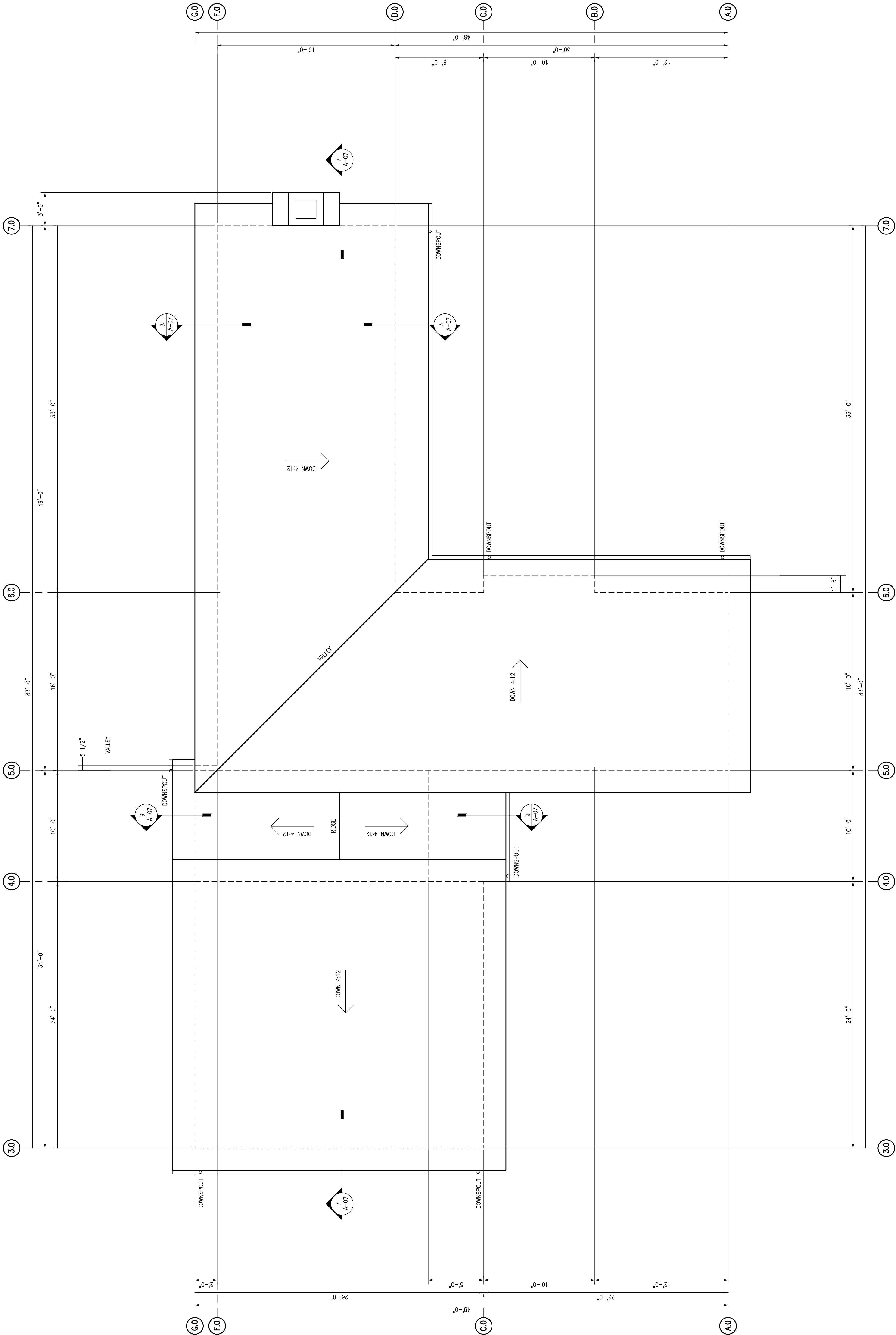
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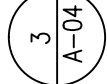
JOB NO.: N2170

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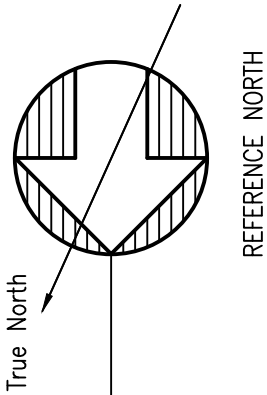
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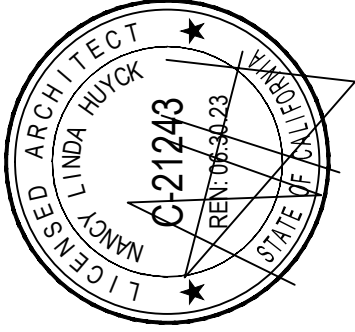


ROOF PLAN



SCALE: $1/4'' = 1'-0''$





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△	04-14-22	COASTAL SUBMISSION
no.	date	description

REVISIONS

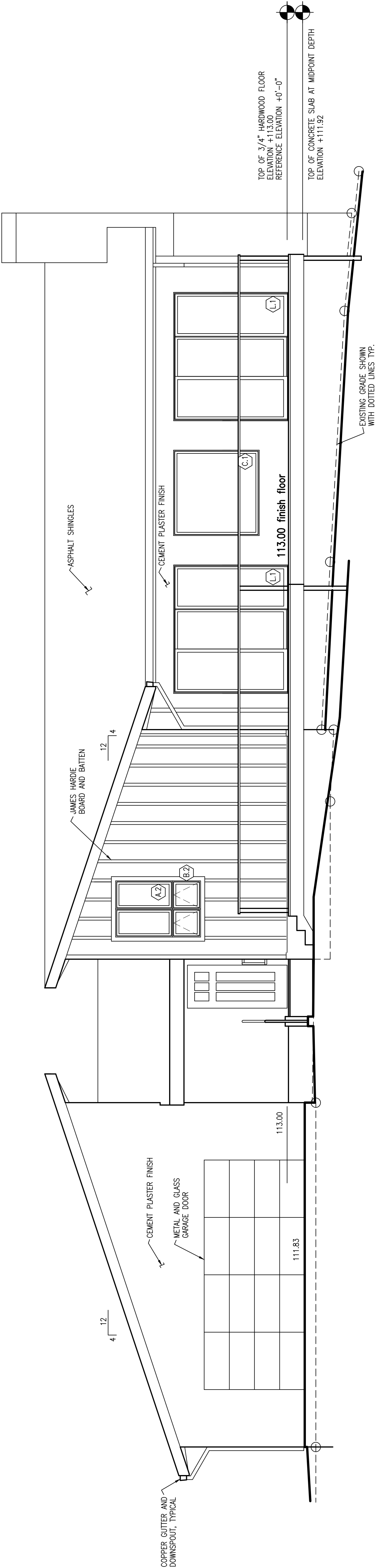
PROJECT TITLE:
**DINIZ RESIDENCE
NEW HOUSE**

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

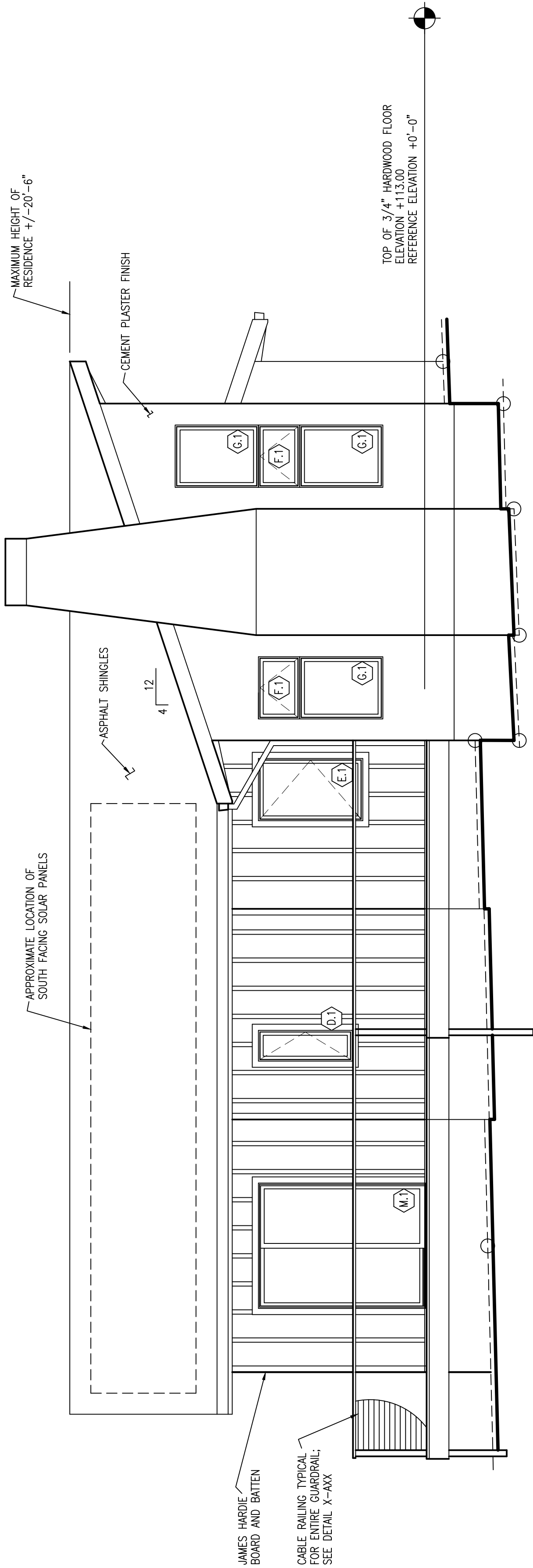
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JOB NO.: N2170
DWG. NO.: N2170-A-05



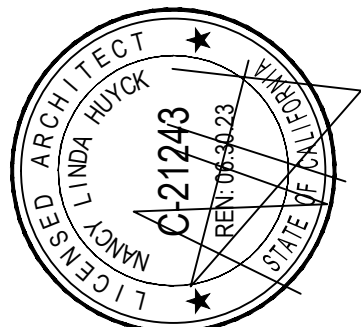
WEST ELEVATION





SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



			
			
			
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no.	date	description	

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APN: 046-221-47

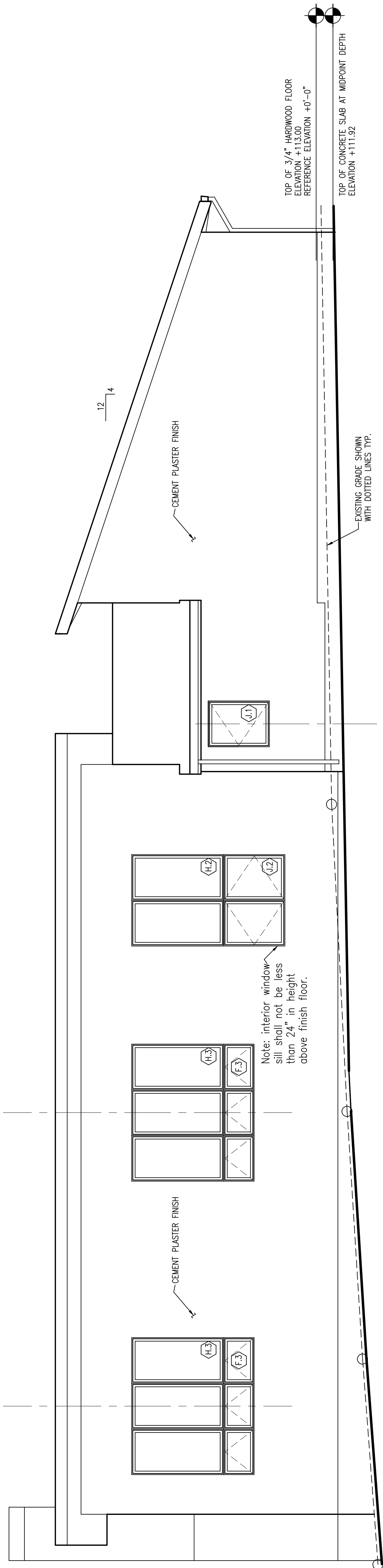
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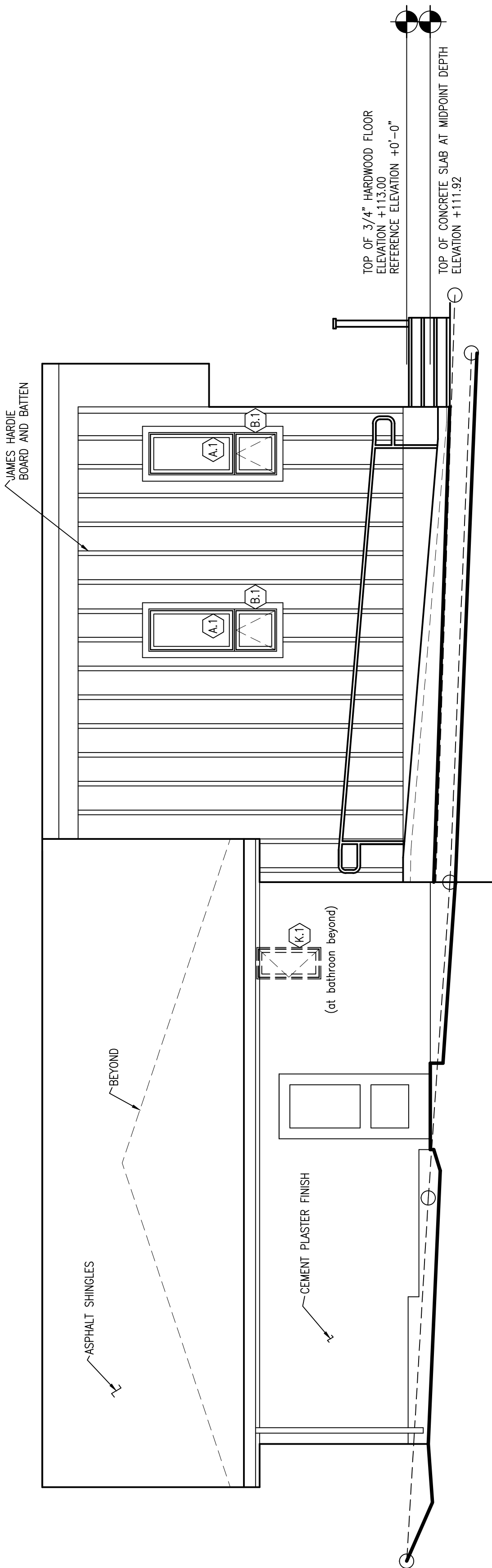
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EAST ELEVATION



NORTH ELEVATION

DOOR SCHEDULE

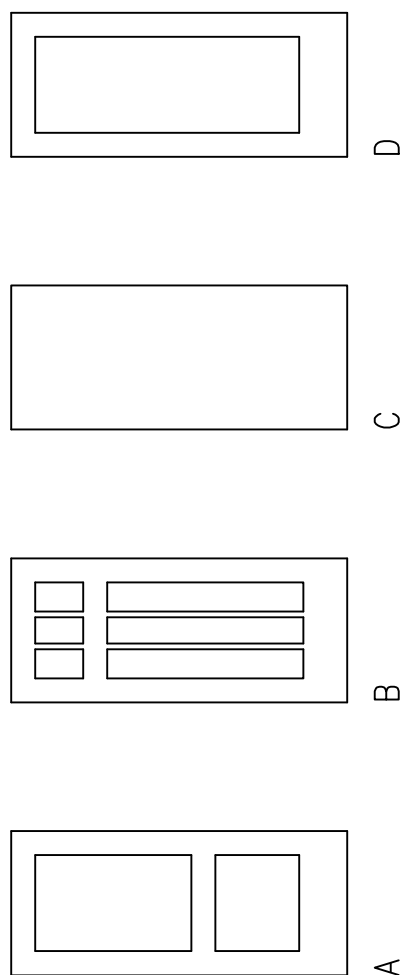
NUMBER	TYPE	
101	EXTERIOR	A – FIBERGLASS
102	EXTERIOR	B – WOOD
103	EXTERIOR	GARAGE DOOR: Manufacturer – Modern Classic (All Aluminum) Insulation – Polystyrene; Glass – Tempered and insulated with the tint pattern satin etched; Finish – Black
104	INTERIOR	C – WOOD
105	INTERIOR	A – WOOD
106	INTERIOR	D
107	INTERIOR	D
108	INTERIOR	D
109	INTERIOR	D
110	INTERIOR	D
111	INTERIOR	D
112	INTERIOR	D
113	INTERIOR	D
114	INTERIOR	D
115	INTERIOR	D
116	INTERIOR	D

WINDOW SCHEDULE + SLIDING GLASS DOOR SCHEDULE

MARVIN ESSENTIAL: FIBERGLASS EXTERIOR + INTERIOR; BLACK
MARVIN ELEVATE: FIBERGLASS EXTERIOR + DESIGNER BLACK INTERIOR

Type	Quantity	
A.1	ESCAP2040	ESSENTIAL
A.2	ESCAP2040	ESSENTIAL
B.1	ESAWN2020	ESSENTIAL
B.2	ESAWN2020	ESSENTIAL
C.1	ESCAP6060	ESSENTIAL
D.1	ESCA1646	ESSENTIAL
E.1	ESCA3050	ESSENTIAL
F.1	ESAWN3020	ESSENTIAL
F.3	ESAWN3020	ESSENTIAL
G.1	ESCAP3040	ESSENTIAL
H.2	ESCAP3060	ESSENTIAL
H.3	ESCAP3060	ESSENTIAL
J.1	ESCA3040	ESSENTIAL
J.2	ESCA3040	ESSENTIAL
K.1	ESCA1630	ESSENTIAL
L.1	ELSPD9080	ELEVATE THREE PANEL SLIDING GLASS DOOR; DESIGNER BLACK INTERIOR
M.1	ELSPD6080	ELEVATE TWO PANEL SLIDING GLASS DOOR; DESIGNER BLACK INTERIOR

DOOR TYPES



GARAGE DOOR

MARVIN ESSENTIAL SPECIFICATIONS:

FIBERGLASS: BLACK COLOR

XX

GLASS LOW E2 ARGON ON NORTH AND EAST ELEVATIONS
GLASS LOW E3 ARGON ON SOUTH AND WEST ELEVATIONS

XX

XX

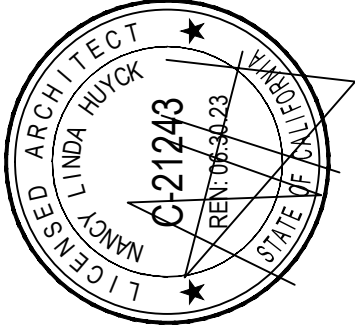
XX





XX

HUYCK
ARCHITECTS

9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huyckarchitects.com
www.huyckarchitects.com



			
			
			
	04-14-22	COASTAL SUBMISSION	
no.	date	description	

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

DOOR + WINDOW SCHEDULE

THIS DRAWING IS THE PROPERTY OF
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WAY WITHOUT THE WRITTEN CONSENT
OF HUYCK ARCHITECTS. ACCEPTANCE
OF THIS DRAWING CONSTITUTES
AGREEMENT WITH THE ABOVE TERMS.

SCALE: $1/4" = 1'-0"$

DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

A-09

sheet - of - sheets

9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huyckarchitects.com
www.huyckarchitects.com



COASTAL SUBMISSION

description

SNC

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

MATERIALS+
COLORS+
DETAILS

THIS DRAWING IS THE PROPERTY OF HUYYK ARCHITECTS AND SHALL NOT BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF HUYYK ARCHITECTS. ACCEPTANCE OF THIS DRAWING CONSTITUTES AGREEMENT WITH THE ABOVE TERMS.

SCALE: 3"=1'-0"

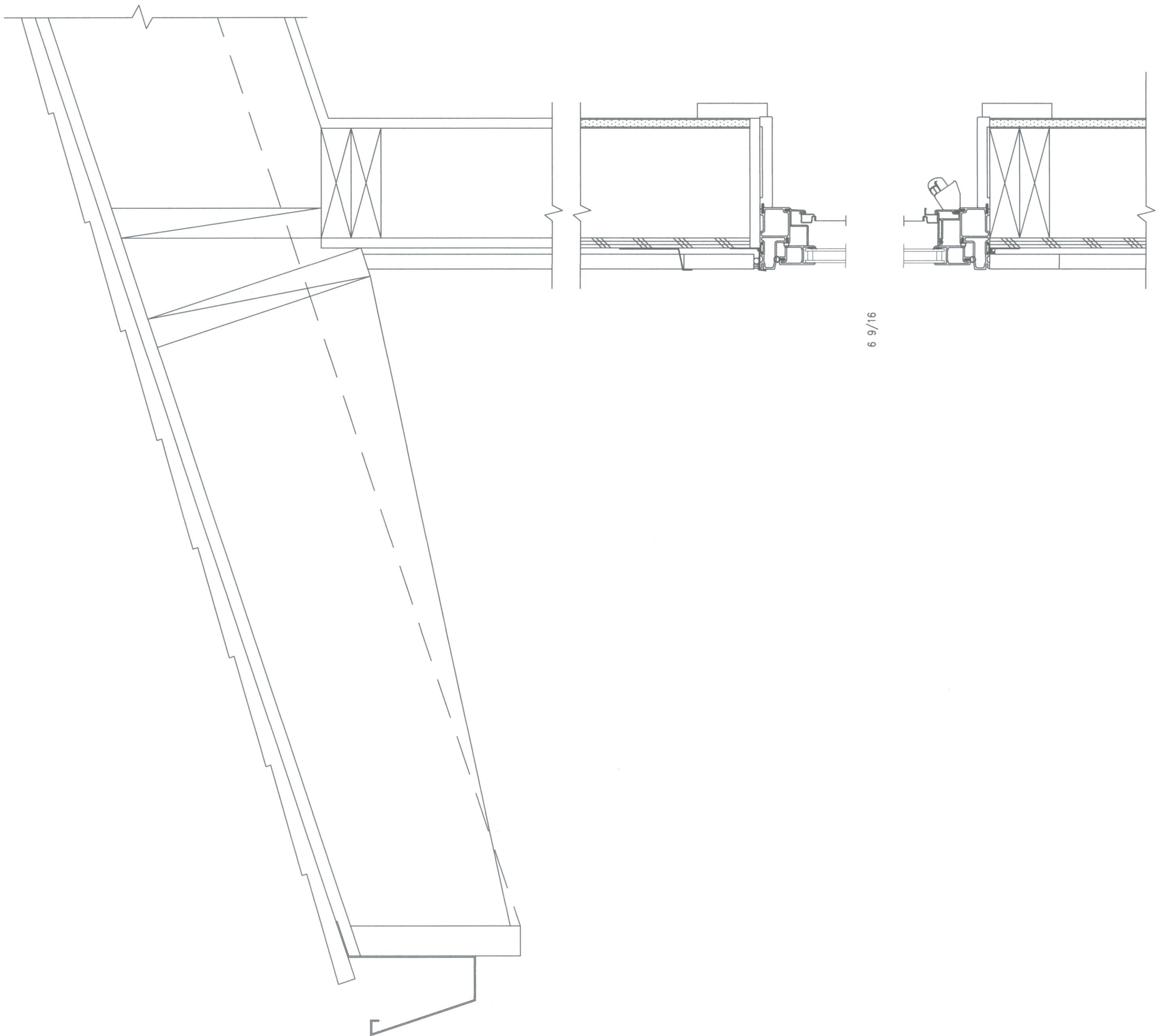
DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

11A

sheet — of — sheets



HUYCK ARCHITECTS
9200 Soquel Drive, Aptos, CA 95003

Telephone: 831-685-1206
nancy@huyckarchitect
www.huyckarchitect



ROOFING: Asphalt Shingles; CertainTeed Landmark TL Triple Laminate; Color: Moire Black

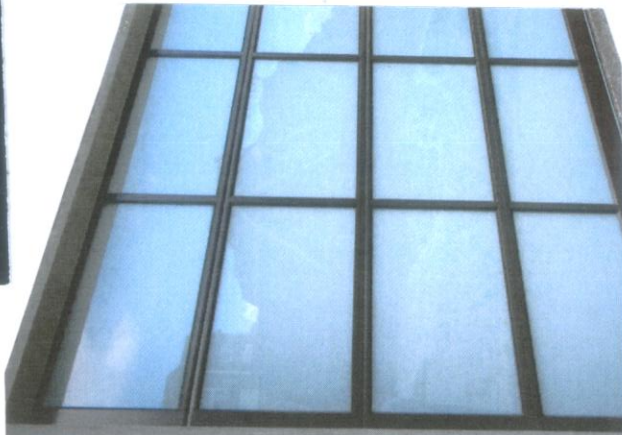
WALLS: 3-Coat Exterior Stucco Finish (No window trim at stucco application); Color SW Requisite Gray



ACCENT WALLS: James Hardie Board and Batten Finish; Hardie Plank and Battens in Iron Grey (Window trim matches this color)



WINDOWS: Marvin Essential Collection – Fiberglass;
Color: Black



FENCING: None Proposed

RETAINING WALLS: Exposed Poured Concrete

GARAGE DOOR: Manufacturer, "Modern Classic"



Staff Report to the Agricultural Policy Advisory Commission

Application Number: 221193

Applicant: Nancy Huyck
Owner: Marcelo Diniz
APN: 046-221-47

Date: 8/25/2022
Agenda Item #: 9
Time: 1:30 p.m.

Project Description: Proposal to construct a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land. Requires an Agricultural Buffer Reduction Determination to reduce the required 200-foot setback.

Location: Property is located on the northwest side of Zils Road, approximately 2/3 of a mile southwest of San Andreas Road, which is approximately 3 miles northwest of West Beach Road in Watsonville.

Staff Recommendation: Approval of Application 221193, based on the attached findings and conditions.

Permits Required: Agricultural Buffer Setback Reduction (221193), Coastal Development Permit (221140)

Project Setting

The subject property is located on the northwest side of Zils Road, approximately 2/3 of a mile southwest of San Andreas Road, which is approximately three miles northwest of West Beach Road in Watsonville. The property is a vacant undeveloped parcel. The project site is located within an actively farmed agricultural area with pockets of residentially developed parcels along Zils Road.

Analysis and Discussion

The applicant proposes to construct a single-family dwelling with an attached garage and a future detached accessory dwelling unit (ADU). Although the project does not include ADU design plans, the footprint of the ADU is included for purposes of the required agricultural buffer setback reduction.

The subject property is zoned Residential Agriculture (RA) and located in a small pocket of three RA zoned properties surrounded by land zoned Commercial Agriculture (CA). Two of the three residentially zoned parcels are developed with dwellings.

The Monterey Bay Academy property is located to the south of the subject property across the street on Zils Road and contains hundreds of acres of Type 3 coastal commercial prime agriculture

resource type land. The property contains actively farmed commercial agricultural land and is also developed with a private boarding high school in the central portion of the property with housing dispersed throughout. Residential housing is located on this property along Zils Road, providing separation between the agriculturally farmed area of the property and the subject property.

Properties located to the north and east of the subject property are zoned Commercial Agriculture land that are approximately 10 to 15 acres in size that have been farmed in the past. These parcels contain residential dwellings that are located in the northeastern corner of the parcels, providing for potential agricultural land cultivation elsewhere on the parcels.

The subject property and all properties in the vicinity are mapped as Type 3 Agriculture Resource land, despite the residential zoning for the small residentially developed pocket. The subject property is surrounded by mature and tall evergreen vegetative buffer along the north and east property lines. Plans include additional proposed vegetative buffers along the west and south property lines as well.

At less than an acre in size, the property is too small to meet the required agricultural buffer setbacks. This requires review and approval by the Agricultural Policy Advisory Commission to consider a reduction in the required 200-foot setback from all surrounding parcels containing agricultural resource soil types, whether these surrounding parcels are used for commercial agricultural purposes or not currently.

The applicant is requesting a reduction in the 200-foot agricultural buffer setback to approximately 28 feet to the east, 88 feet to the south, 79 feet to the north and 65 feet to the west.

A reduced agricultural buffer is recommended on all sides since the parcel is too small to develop otherwise. The parcels to the west are developed with residential uses and are too small to be farmed and otherwise zoned residential agriculture, despite the noted agricultural resource designations. The proposed evergreen vegetative buffer provides additional protection to other surrounding commercial agriculturally zoned properties.

No fencing is proposed by the applicant to further minimize potential land use conflicts. Staff is not recommending fencing along the south property line given that the agriculturally farmed area of the parcel is over 200 feet from the subject property and because the intervening area is flanked by residential units along the property line of the Monterey Bay Academy property, ensuring that fencing is not necessary in this area. Fencing is also not necessary along the south property line given the small size of these parcels, residential zoning, and residential development, precluding farming altogether. These parcels also provide a greater than 200-foot buffer to agriculturally zoned and farmed land beyond. Staff also supports no solid board fencing along the north and east property line given that the vegetative buffer provides an established and solid evergreen hedge that is substantially tall, enough to preclude drift. Fencing along these property lines would provide no added protection to these properties. However, staff would defer to the Agricultural Policy Advisory Commission regarding the necessity for solid board fencing, as appropriate here.

In addition, the applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Conclusion

In this case, your Commission is acting in an advisory capacity as this project is subject to approval of a Coastal Permit (221140) with approval by the Zoning Administrator before a noticed public hearing. The recommended action by your commission will be recommended to the Zoning Administrator.

Recommendation

- Staff recommends that your Commission recommend the Zoning Administrator **APPROVE** the Agricultural Buffer Reductions under Application # 221193, associated with Coastal Development Permit 221140, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Sheila McDaniel
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-2255
E-mail: sheila.mcdaniel@co.santa-cruz.ca.us

Report Reviewed By: Jocelyn Drake
Principal Planner
Development Review

Exhibits

- A. Findings
- B. Conditions
- C. Assessor's, Location, Zoning, General Plan, Agricultural Resource Type Maps
- D. Project Plans
- E. Parcel Information

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200-foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances), or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

There is a tall mature evergreen vegetative buffer located along the north and east property line separating these properties, which provides sufficient protection to adjoining properties agricultural interests. Thus, no vegetation or fencing is necessary along the north and east property lines.

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

The subject property is approximately one acre in size and situated in an area of agricultural zoned parcels and/or development with single family residences. The imposition of a 200-foot setback would preclude building on this parcel of record as properties on all sides have agricultural resource type land. The proposed setbacks for the proposed structure comply with the site standards established for residential zoned parcels based on site size in accordance with 13.10.323. No conflicts would occur between the proposed residential use and surrounding properties and existing landscape provides a sufficient vegetative buffer. No fencing is recommended given the existing and proposed vegetative buffer, residential uses adjacent to the site, and setback distant agriculturally developed property.

Exhibit D: Project Plans

Conditions of Approval

- I. This permit authorizes construction of a 1,496 square foot single family dwelling with an attached 618 square foot garage and a future 800 square foot ADU located within 200 feet of agriculture resource type land as shown on the Exhibit D. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Coastal Development Permit from the Planning Department.
 - C. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. A development setback of a minimum of approximately 28 feet to the east property line, 88 feet to the south, 79 feet to the north and 65 feet to the west to proposed structures shall be provided.
 3. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Planning Department staff.

- B. The owner shall record a Statement of Acknowledgement, as prepared by the Planning Department, and submit proof of recordation to the Planning Department. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact the Planning Department's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.
- IV. Operational Conditions
 - A. The vegetative and physical barrier shall be permanently maintained.
 - B. All required Agricultural Buffer Setbacks shall be maintained.
 - C. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
 - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

EXHIBIT E

EXHIBIT B

1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

46-22

Assessor's Map No. 46-22
County of Santa Cruz, Calif.
Feb. 2000

Electronically redrawn 2/7/00 KSA
Rev. 1/17/18 jg (2017-0016002 & 03, LBA 1-52 to 54)
Rev. 1/17/18 jg (2018-0006308 & 09, LBA 1-55 & 56)





Note - Assessor's Parcel & Block Numbers Shown in Circles.



Parcel Location Map



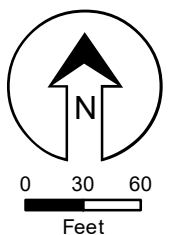
Parcel: 04622147

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 5 Aug. 2022

EXHIBIT E

EXHIBIT C

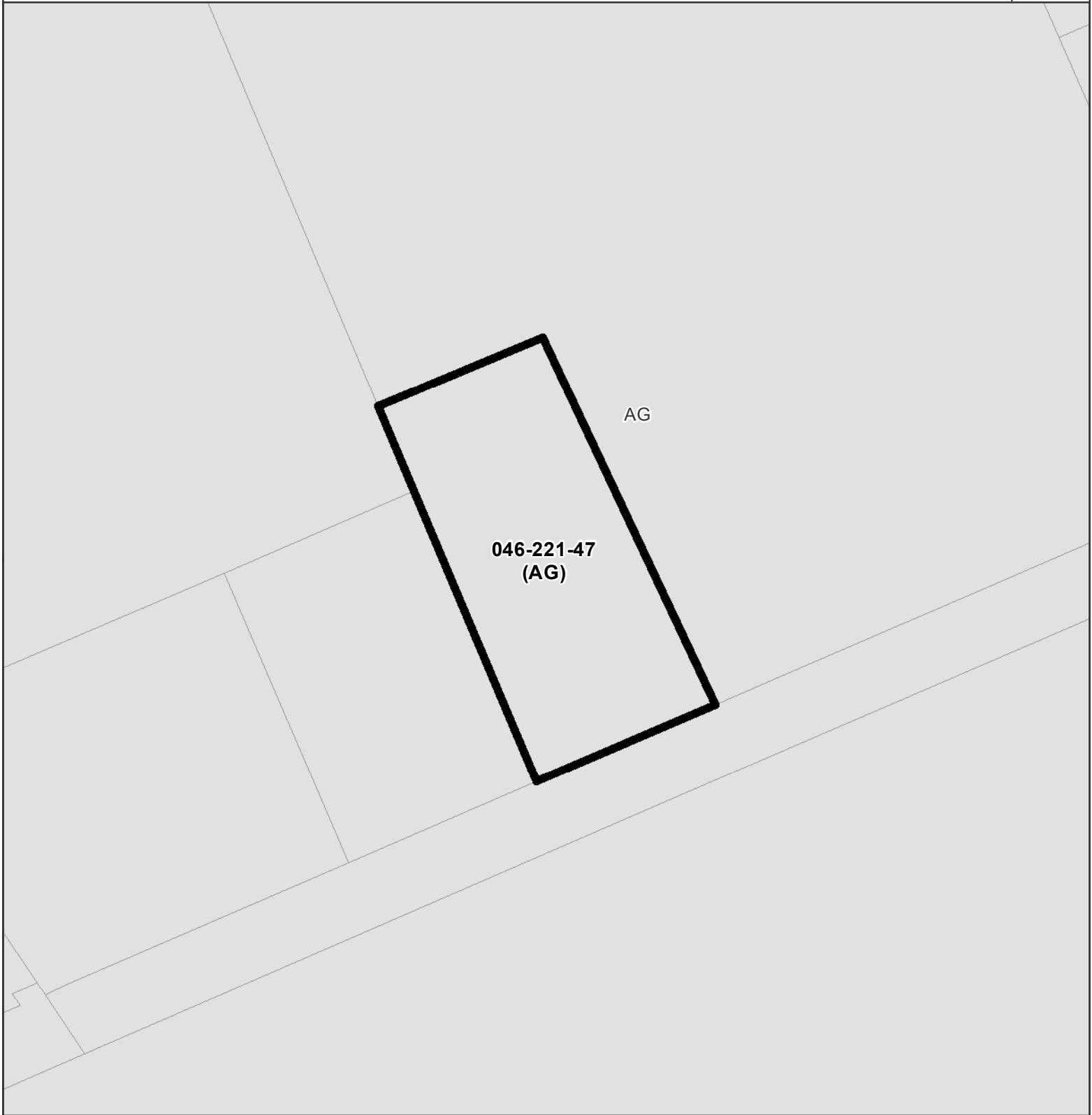




Parcel General Plan Map

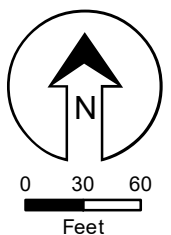


Mapped
Area



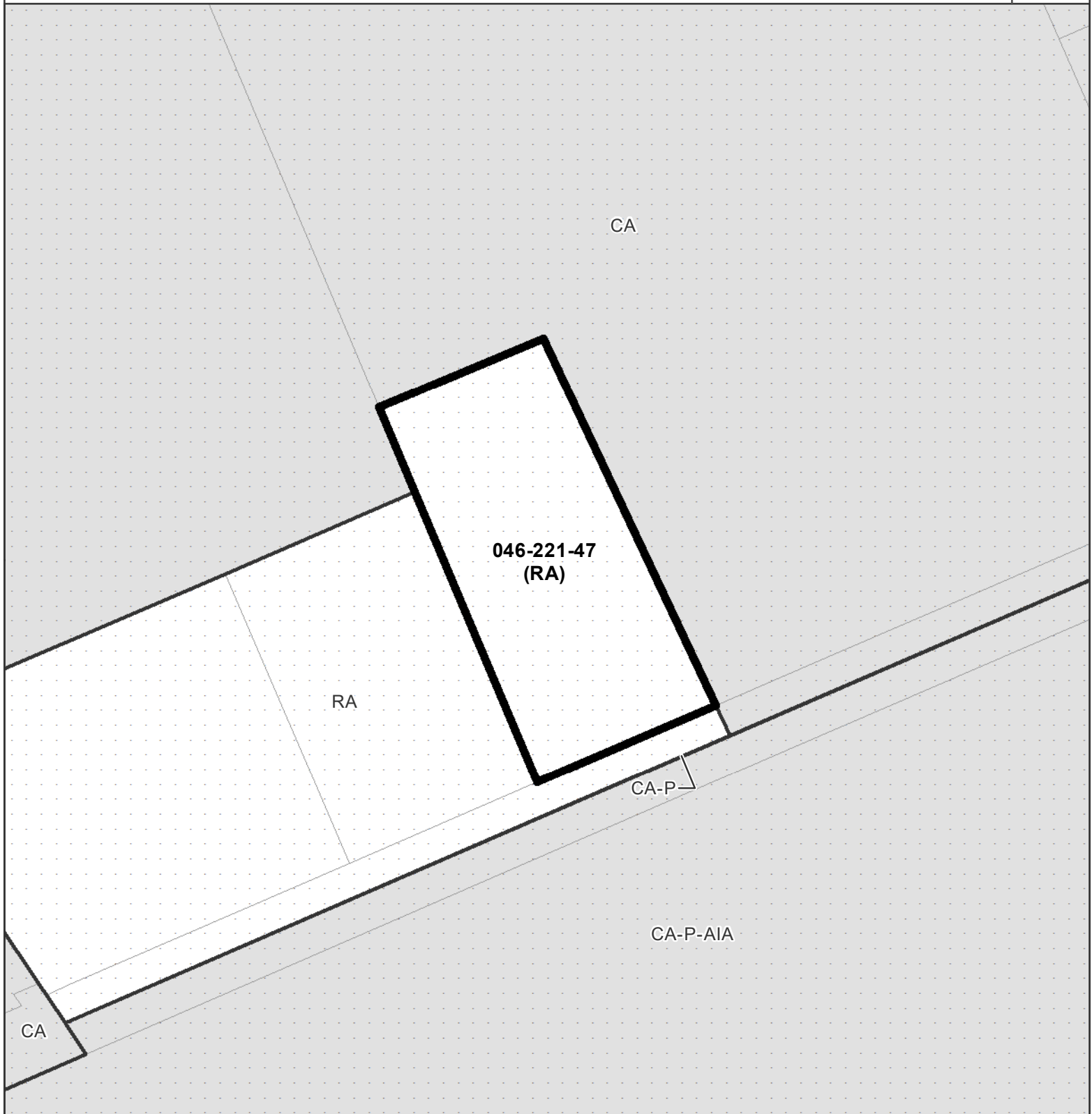
AG Agricultural

EXHIBIT E
EXHIBIT C





Parcel Zoning Map





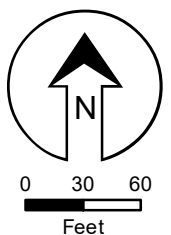
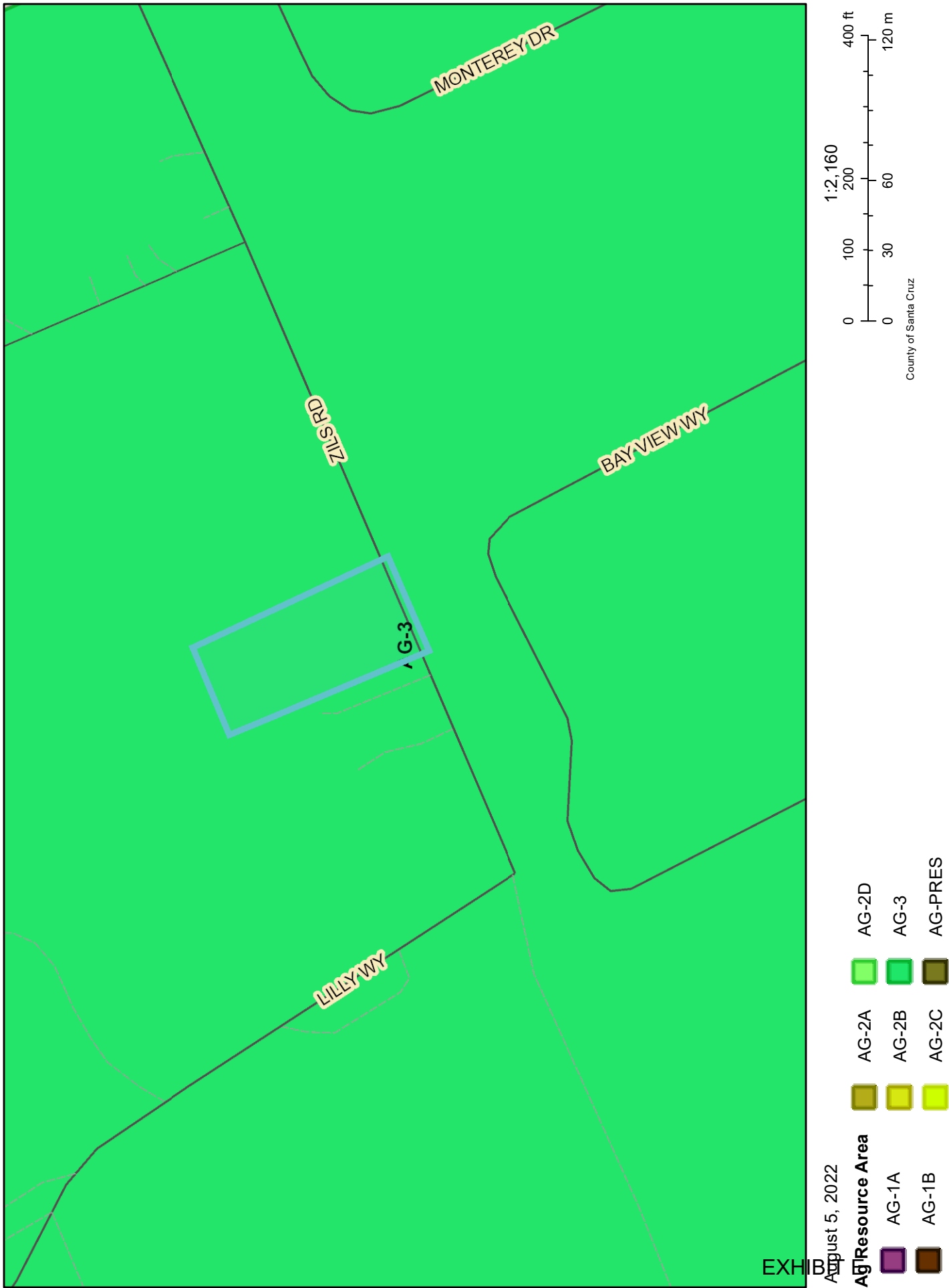
-  CA Commercial Agriculture
-  RA Residential Agricultural

EXHIBIT E

EXHIBIT C



Agricultural Resource Type Land



LEGEND

- RECORD BOUNDARY LINE
- (E) FLOWLINE
- (P) FLOWLINE
- (P) SHALLOW SWALE
- DRAINAGE SETBACK LINE
- BUILDING ENVELOPE
- WOOD FENCE
- WIRE FENCE
- LIMITS OF DISTURBANCE UNDER THIS PERMIT
- WORK IN THE IN ROW USP
- FIBER ROLL BARRIER
- TREE PROTECTION
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PER PLAN
- PER PLAN
- PERF PER PLAN
- PERF PER PLAN
- PERF PER PLAN
- (E) CULVERT/STORMDRAIN W/SIZE & TYPE
- (P) CULVERT/STORMDRAIN W/SIZE & TYPE
- (P) PERFORATED/STORMDRAIN W/SIZE & TYPE
- (P) SOLID PERFORATED OUTLET W/SIZE & TYPE
- (E) ASPHALT CONCRETE SURFACE
- (P) ASPHALT CONCRETE SURFACE
- (E) GRAVEL SURFACE
- (P) GRAVEL SURFACE
- (E) CONCRETE SURFACE
- (P) CONCRETE SURFACE
- (E) DECKING
- (P) DECKING
- (E) PAVERS
- (P) PAVERS
- LANDSCAPE AREA S&D

- WALL
- RANDOM CONTROL POINT W/ #
- EXISTING STORM DRAIN DROP INLET
- PROPOSED STORM DRAIN DROP INLET
- PROPOSED DOWNSPOUT LOCATION
- FIRE HYDRANT
- BOLLARD
- WELL
- SPOT ELEVATION
- FINISH ELEVATION
- TREE TYPE & DIA.
- TREE TO BE REMOVED
- WATER VALVE
- BUILDING CALLOUTS
- CONSTRUCTION KEYNOTES

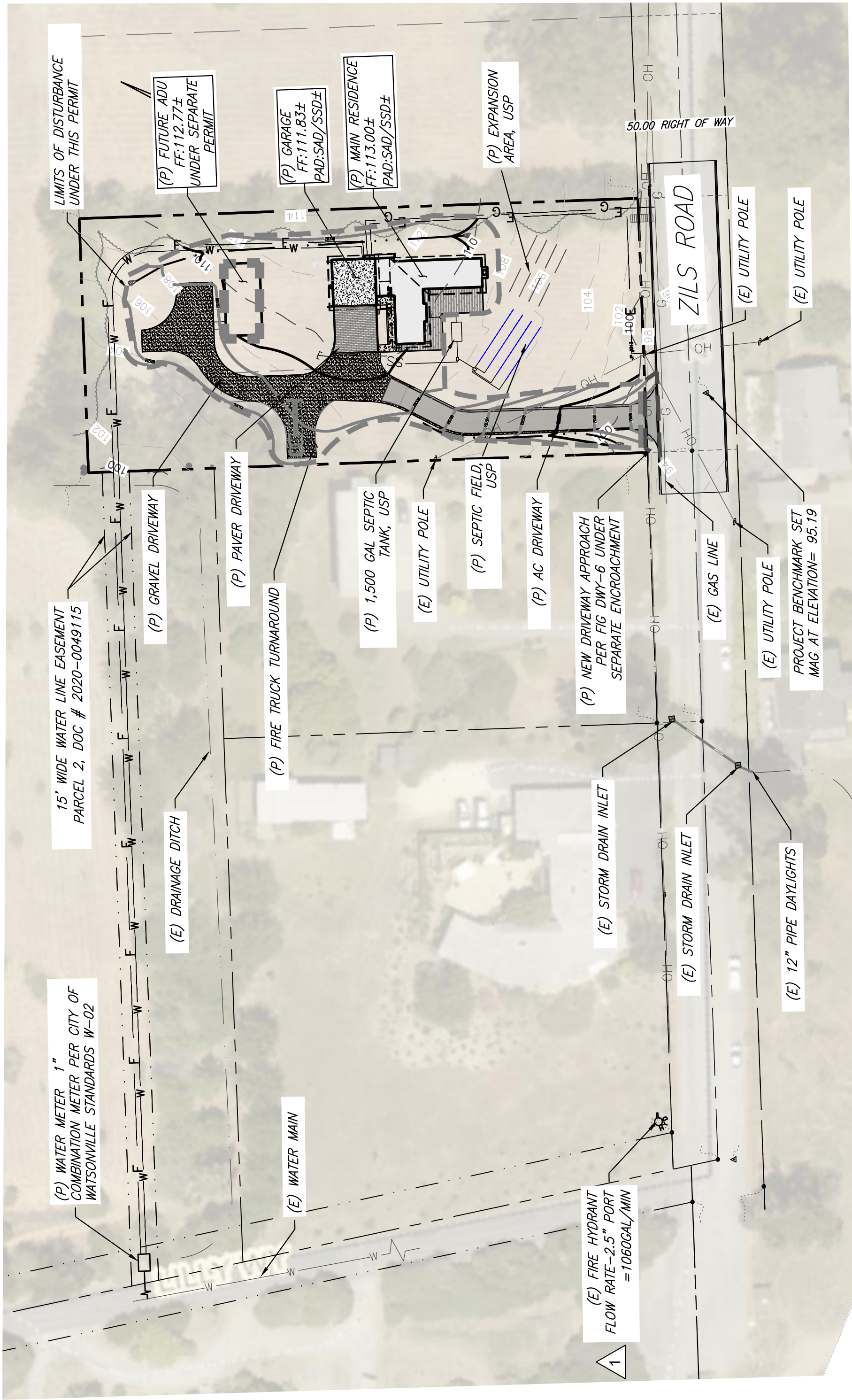


ABBREVIATIONS

AC	ASPHALT CONCRETE	LA	LANDSCAPE AREA
AD	AREA DRAIN	LO	LIVE OAK TREE
BAY	BAY TREE	MAX	MAXIMUM
BVCE	BEGIN VERTICAL CURVE ELEV	MIN	MINIMUM
BVCS	BEGIN VERTICAL CURVE STA	MAZ	MANZANITA TREE
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CL	CENTERLINE	O/	OAK TREE
CO	CLEAN OUT	OC	OAK TREE
DI	DRAIN INLET	(P)	PROPOSED
DS	DOWNSPOUTS	PERF	PERFORATED
(E)	EXISTING	PN	PINE TREE
EG	EXISTING GRADE	PT	POINT
EL	EASEMENT LINE	RCP	REINFORCED CONCRETE PIPE
EVCE	END VERTICAL CURVE ELEV	ROW	RIGHT OF WAY
EVCS	END VERTICAL CURVE STA	RD	REDWOOD TREE
ELEV	ELEVATION	S&D	SEE ARCHITECTURAL DRAWINGS
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSD	SEE STRUCTURAL DRAWINGS
FIR	FIR TREE	TBR	TO BE REMOVED
FL	FLOW LINE	TG	TOP OF GRADE
FS	FINISHED SURFACE	TW	TOP OF WALL
FSS	FIRE SAFE STANDARDS	UON	UNLESS OTHERWISE NOTED
GB	GRADE BREAK	USP	UNDER SEPARATE PERMIT
GEO	GEOTECHNICAL	VIF	VERIFY IN FIELD
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LEVEL

LANDS OF DINIZ
GRADING & DRAINAGE DESIGN

220 ZILS ROAD, WATSONVILLE
APN: 046-221-47



SURFACING SUMMARY		
TYPE	TOTAL AREA	TOTAL IMPERVIOUS AREA
NEW SINGLE FAMILY DWELLING	1507	1507
NEW GARAGE	624	624
NEW CONCRETE PATIO	96	96
NEW AC DRIVEWAY	1815	1815
NEW GRAVEL DRIVEWAY	3953	0
NEW PAVER DRIVEWAY	630	0
NEW DECK	285	0
FUTURE ADU	800	800
TOTAL	9710	4842



ZONING INFORMATION		
ASSESSOR'S PARCEL NUMBER	046-221-47	
LOT SIZE	0.966 AC	
ZONING	R4- RESIDENTIAL AGRICULTURE	
GENERAL PLAN LAND USE	AG	
STATE RESPONSE AREA	LOW- LOW	
TYPE OF CONSTRUCTION	V-B	
OCCUPANCY GROUP	R-RESIDENTIAL	
FIRE SPRINKLERS	YES	
FRONT YARD SETBACK	40'	
SIDE YARD SETBACK	20'	
REAR YARD SETBACK	20'	
NUMBER OF STORIES	1	
LOT COVERAGE	22%	
BUILDING HEIGHT	28' MAXIMUM	

EARTHWORK QUANTITIES TOTAL

CUT = 194 C.Y.
FILL = 62 X 1.15 = 72 C.Y.
NET: 122 C.Y. EXPORT
OVEREXCAVATION & RECOMPACTION = 355 C.Y. X 1.15 = 409 C.Y.
DISTURBED AREA = 0.51 ACRES
EXCESS MATERIAL TO BALANCE ONSITE

NOTE: APPROXIMATE EARTH QUANTITY PROVIDED FOR PERMIT VALUATION. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL TAKEOFFS.

SHEET INDEX

- C1 TITLE SHEET
- C2 GENERAL & FIRE NOTES
- C3 GRADING & DRAINAGE DETAILS
- C4 UTILITY PLANS & SECTION VIEW
- C5 PLAN & PROFILE
- C6 EROSION CONTROL PLAN

PROJECT INFORMATION

PROJECT STATEMENT: THESE PLANS WERE PREPARED TO FACILITATE THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THE PROPOSED RESIDENTIAL DEVELOPMENT. THIS INCLUDES FIRE ACCESSIBLE DRIVEWAY AND NEW SINGLE FAMILY RESIDENCE AND ASSOCIATED DRAINAGE IMPROVEMENTS UNDER THIS PERMIT. THE SEPTIC SYSTEM IS UNDER A SEPARATE PERMIT. THE ACCESSORY STRUCTURE REFERENCED ON THESE PLANS WILL BE ADDRESSED UNDER A FUTURE BUILDING PERMIT.

PROPERTY OWNERS: MARCELO & RENEE DINIZ
2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
(209) 648-0381

DESIGNER INFORMATION-CIVIL: HOGAN LAND SERVICES
2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
(831) 425-1617

DESIGNER INFORMATION-ARCHITECT: HOGAN LAND SERVICES
2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
(831) 685-1206

DESIGNER INFORMATION-STRUCTURAL: XXXXXX
ADDRESS: XXXXXX
CITY: XXXXXX
(XXX) XXX-XXXX

DESIGNER INFORMATION-GEOTECHNICAL: HARO, KASUNICH AND ASSOCIATES, INC
116 EAST LAKE AVENUE
WATSONVILLE, CA 95076
(831) 722-4175

PERMITTING AGENCIES: APOTOS, CA 95003
LEAD AGENCY: SANTA CRUZ COUNTY

TOPOGRAPHIC INFORMATION PROVIDED BY: BOWMAN & WILLIAMS - (SEPTEMBER 29, 2020)

- 1) THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS PER RECORD DATA ONLY.
- 2) HORIZONTAL CONTROL BEARING SHOWN HEREON ARE BASED ON THE CENTERLINE OF ZILS ROAD AS SHOWN AND DELINEATED ON THE MAP ENTITLED "PARCEL MAP FOR STEPHEN J. DALOFF" FILED FOR RECORD IN VOLUME 22 OF PARCEL MAPS AT PAGE 46, SANTA CRUZ COUNTY RECORDS AND ESTABLISHED FROM MONUMENTS AS =N 65°45'E
- 3) VERTICAL CONTROL: THE BASIS OF ELEVATION FOR THIS MAP IS THE COUNTY OF SANTA CRUZ BENCHMARK 159, DESCRIPTION: SC CO. STD CONC MON WITH BRASS CAP LOCATED AT THE ENTRANCE OF MONTEREY BAY ACADEMY, 75' W OF THE C/L OF SAN ANDREAS ROAD ON A CONC ISLAND PLANTER, STAMPED S.A. 7 ELEVATION = 223.36 NAVD 88

REVISION BLOCK

1	DISCRETIONARY REVIEW	7-11-22
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APP 221140

C1 OF 6

220 ZILS ROAD
WATSONVILLE, CALIFORNIA

LANDS OF DINIZ
TITLE SHEET

APN: 046-221-47

2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073

www.hoganls.com

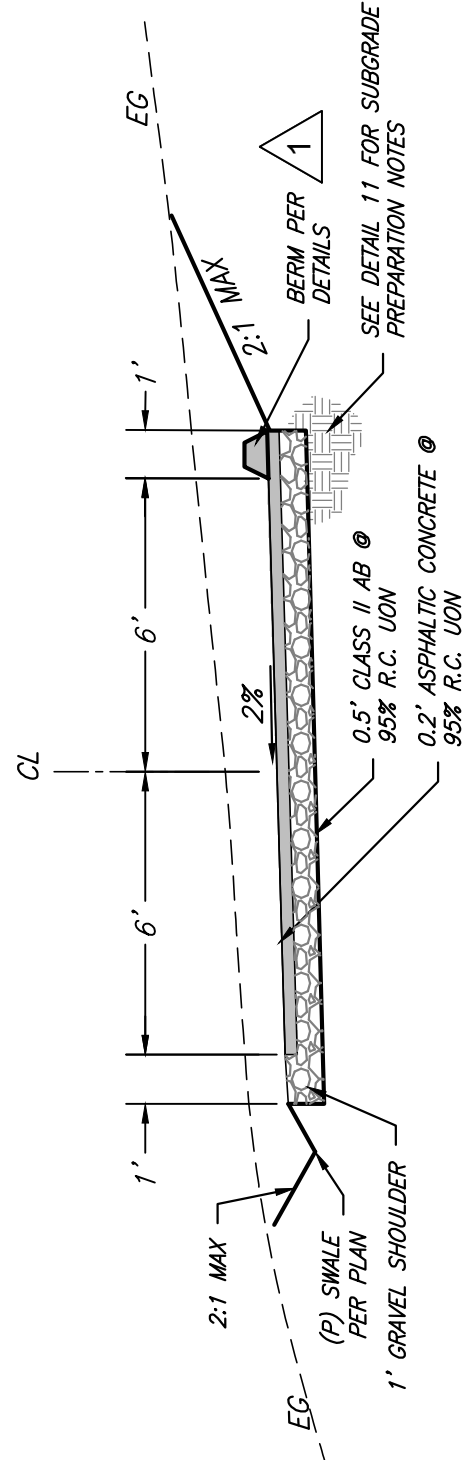
HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

Tel (831) 425-1617
Fax (831) 425-0224

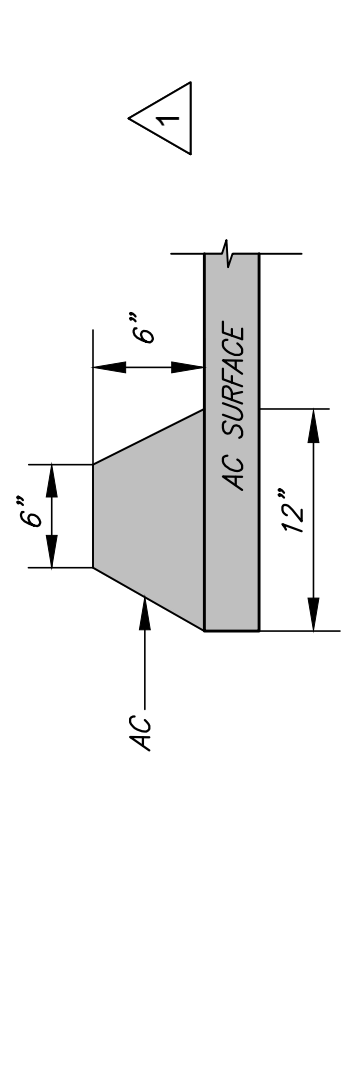
JOB #: 4630
DATE: 3-24-22
PM: KB
CHK: GTF
DRN: RS

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RENEE AND MARCELO DINIZ IN FEBRUARY, 2022

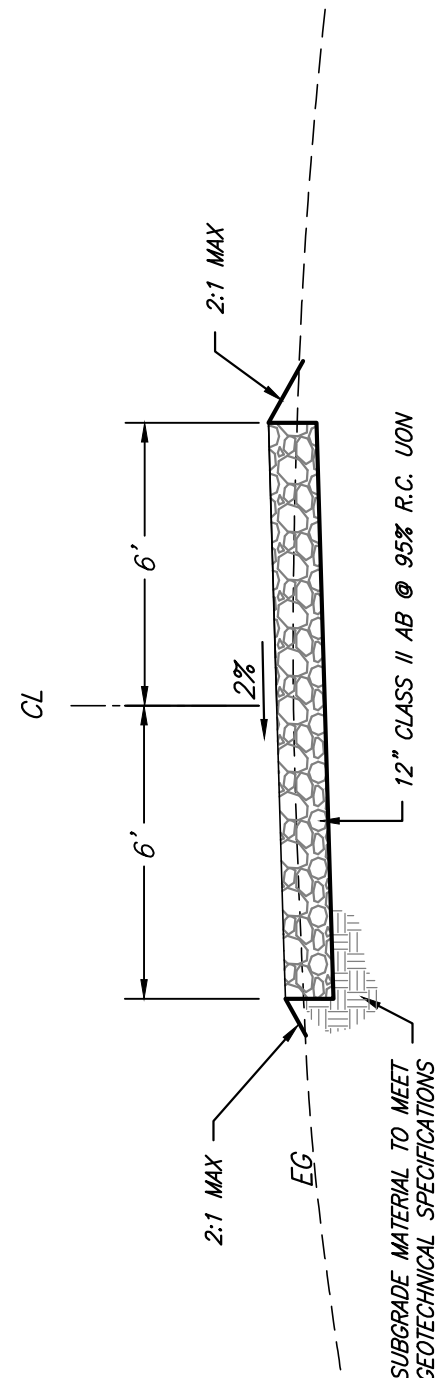




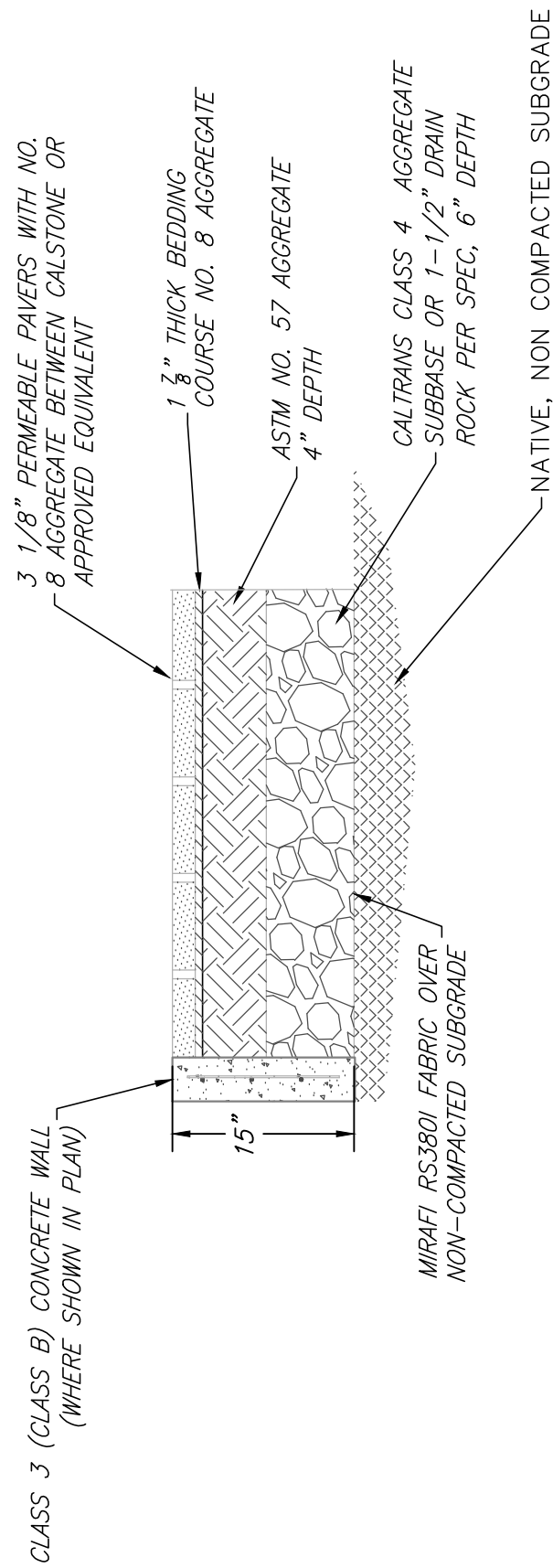
1 AC DRIVEWAY SECTION
STATION: 0+07.3 - 1+62
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



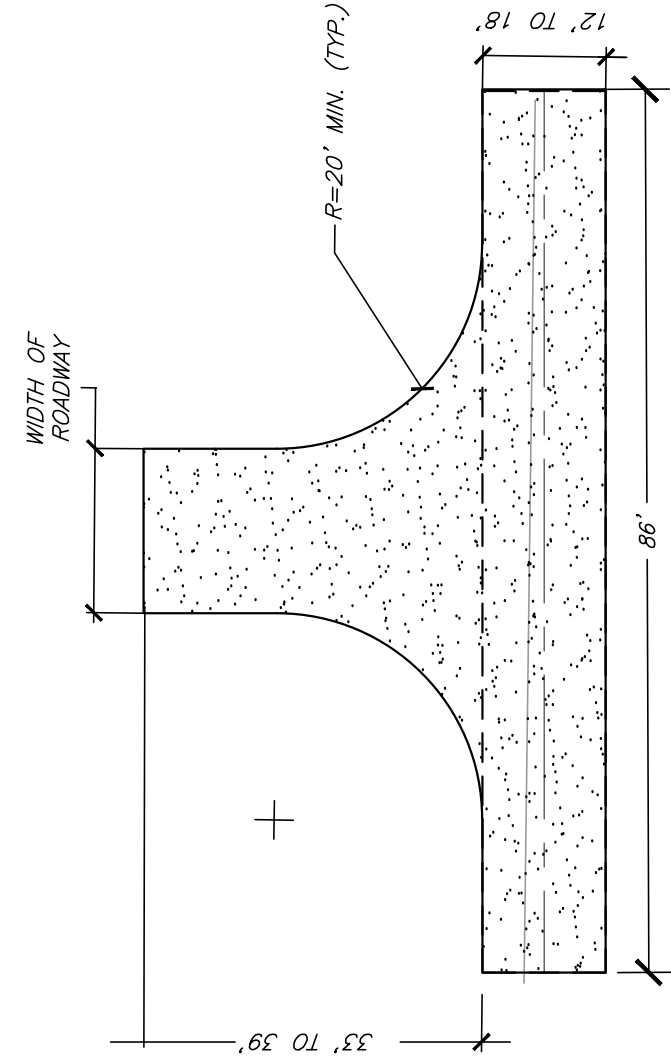
1A AC BERM



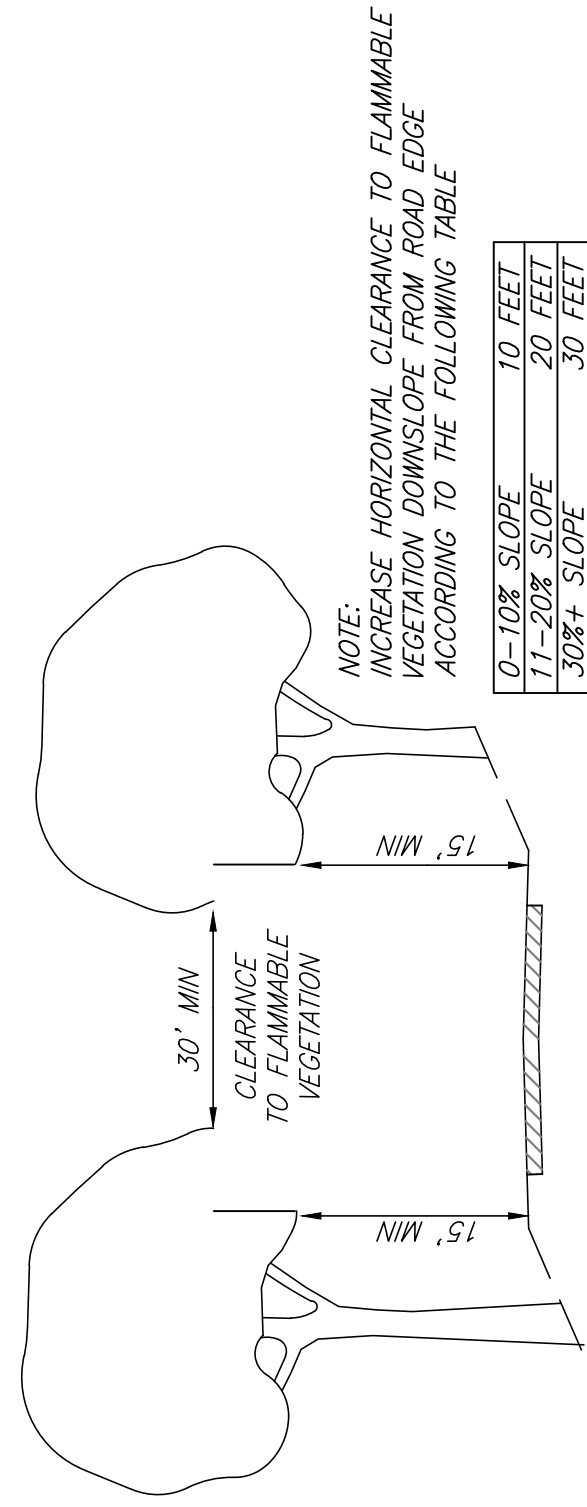
2 GRAVEL DRIVEWAY SECTION
STATION: 1+62 - 3+12
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)



3 PAVER DRIVEWAY SECTION
(ACTUAL DESIGN SLOPE DIRECTIONS ARE AS PER PLAN.)

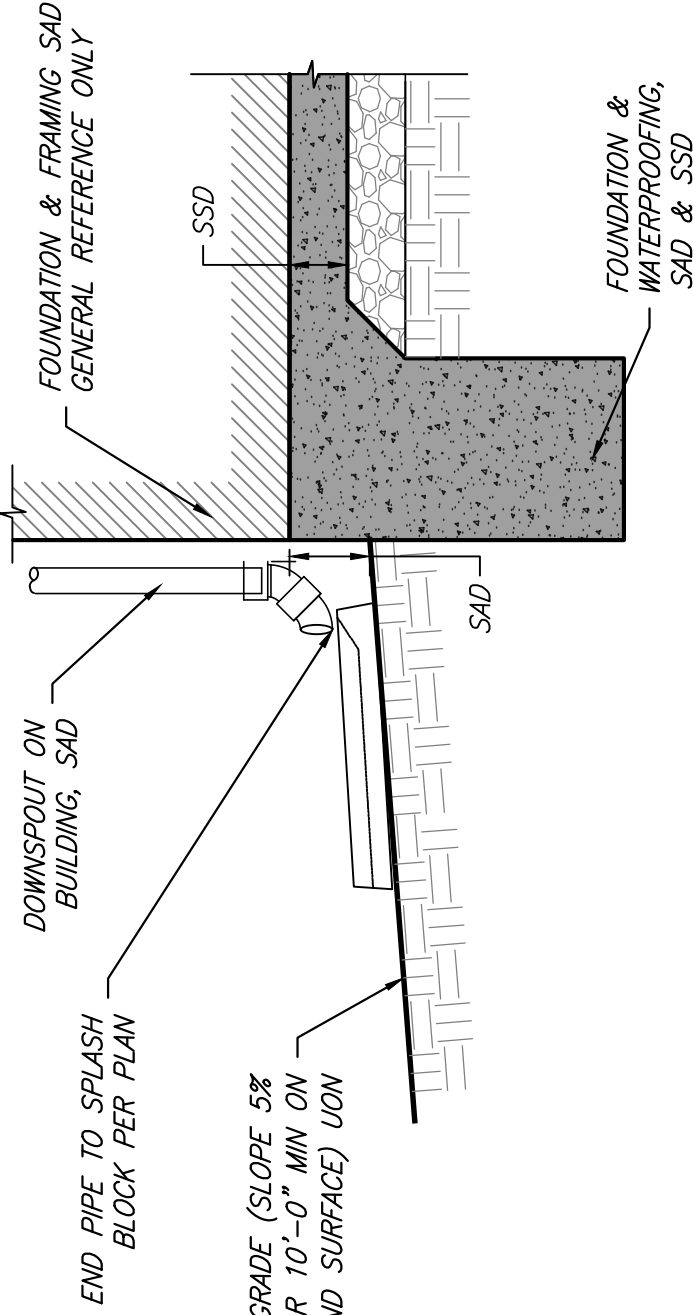


5 FIRE SAFE LATERAL SLIP TURNAROUND
SEE SECTION PFL 015 FOR TURNAROUND CONFIGURATIONS

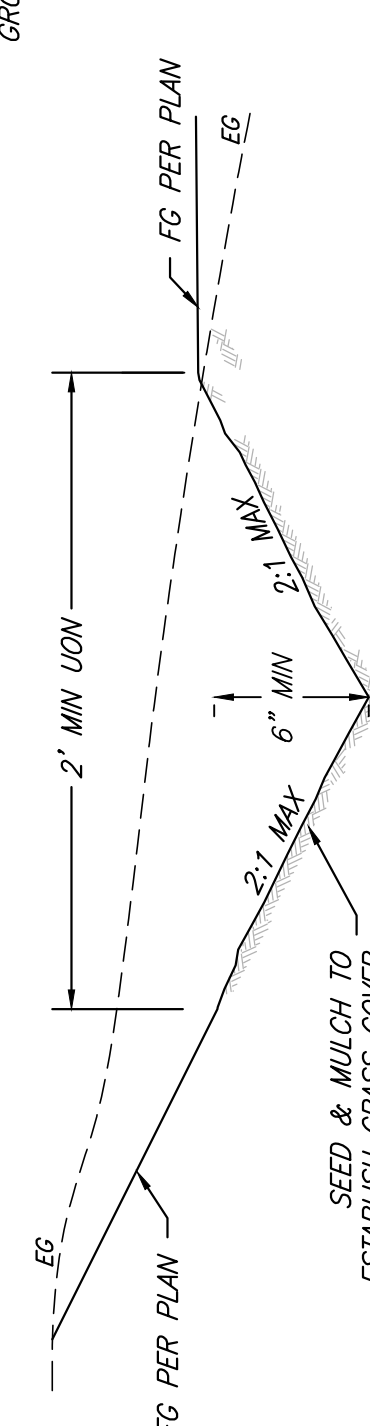


6 ROAD VEGETATION CLEARANCE

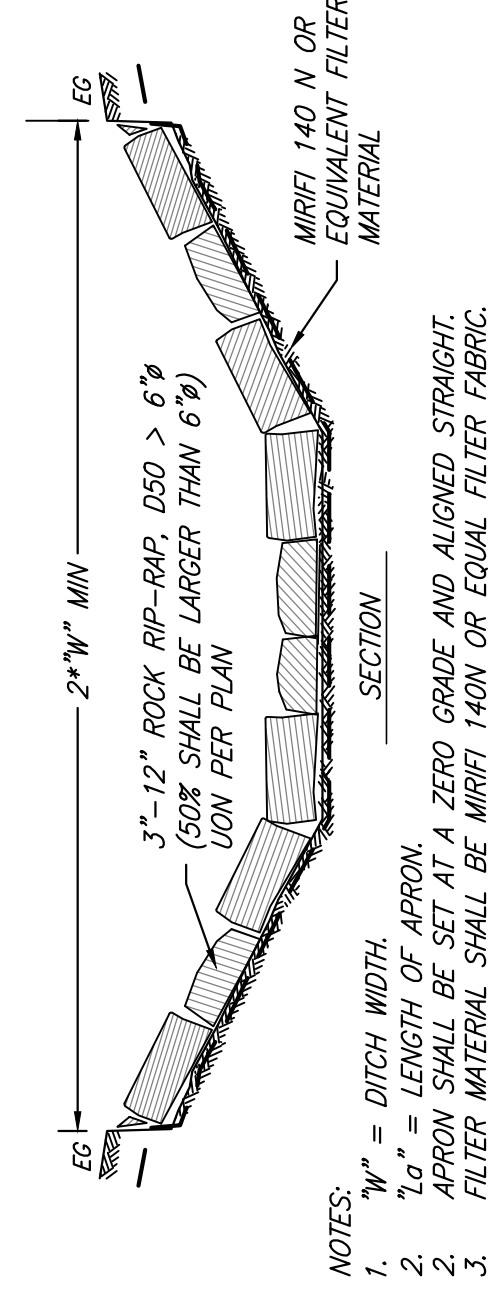
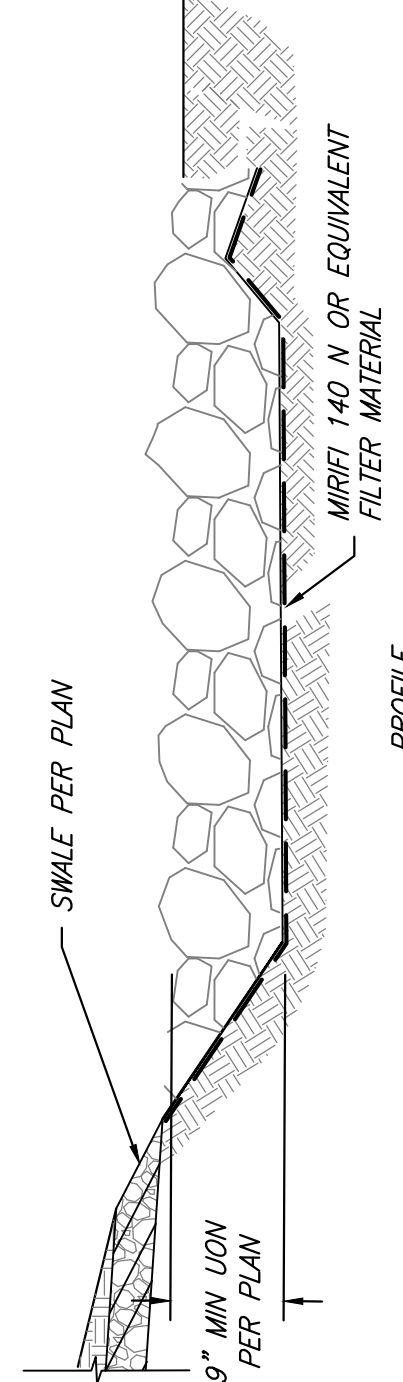
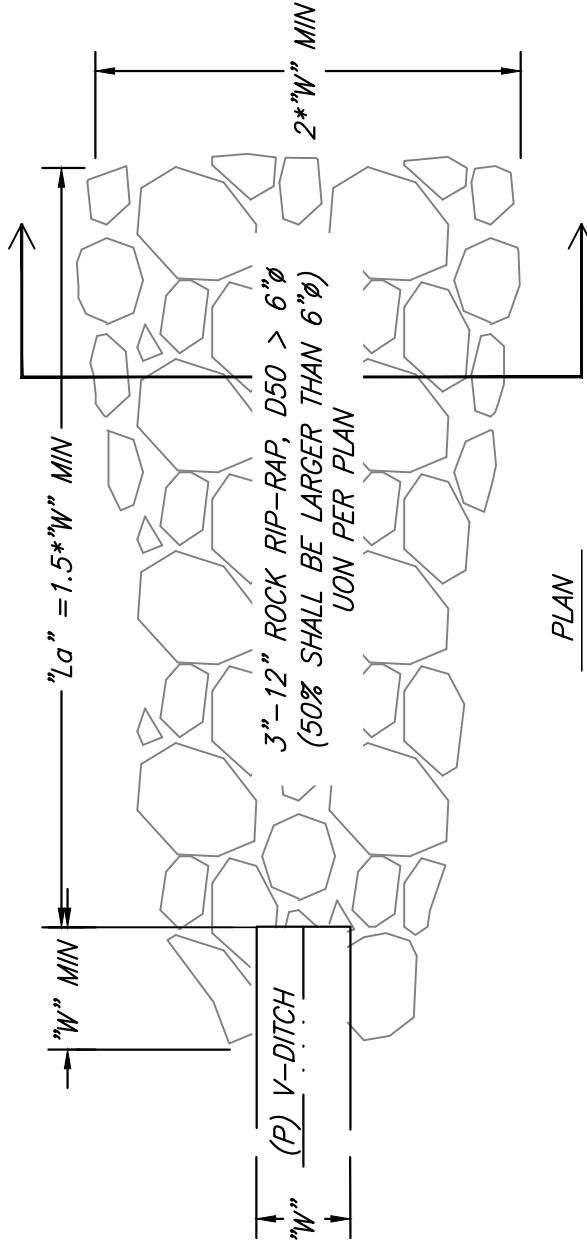
0-10% SLOPE	10 FEET
11-20% SLOPE	20 FEET
30%+ SLOPE	30 FEET



9 TYPICAL PERIMETER FOOTING & DOWNSPOUT CONNECTION
GENERAL FOOTING & WALL SHOWN FOR REFERENCE ONLY;
SEE ARCH PLANS & STRUCTURAL PLANS.



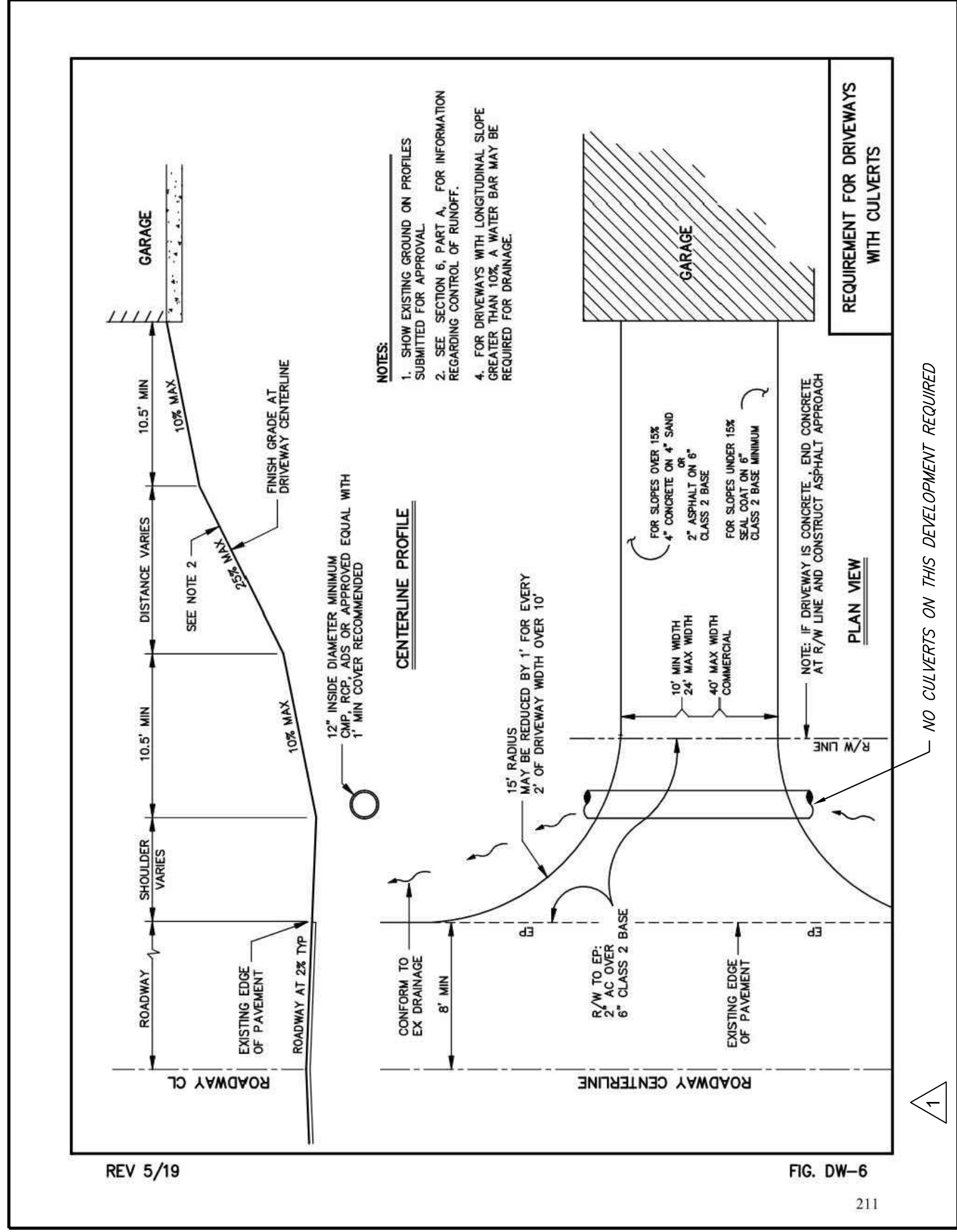
7 EARTH SWALE
SLOPE @ 2% MINIMUM ALONG LENGTH



8 RIP-RAP OUTLET

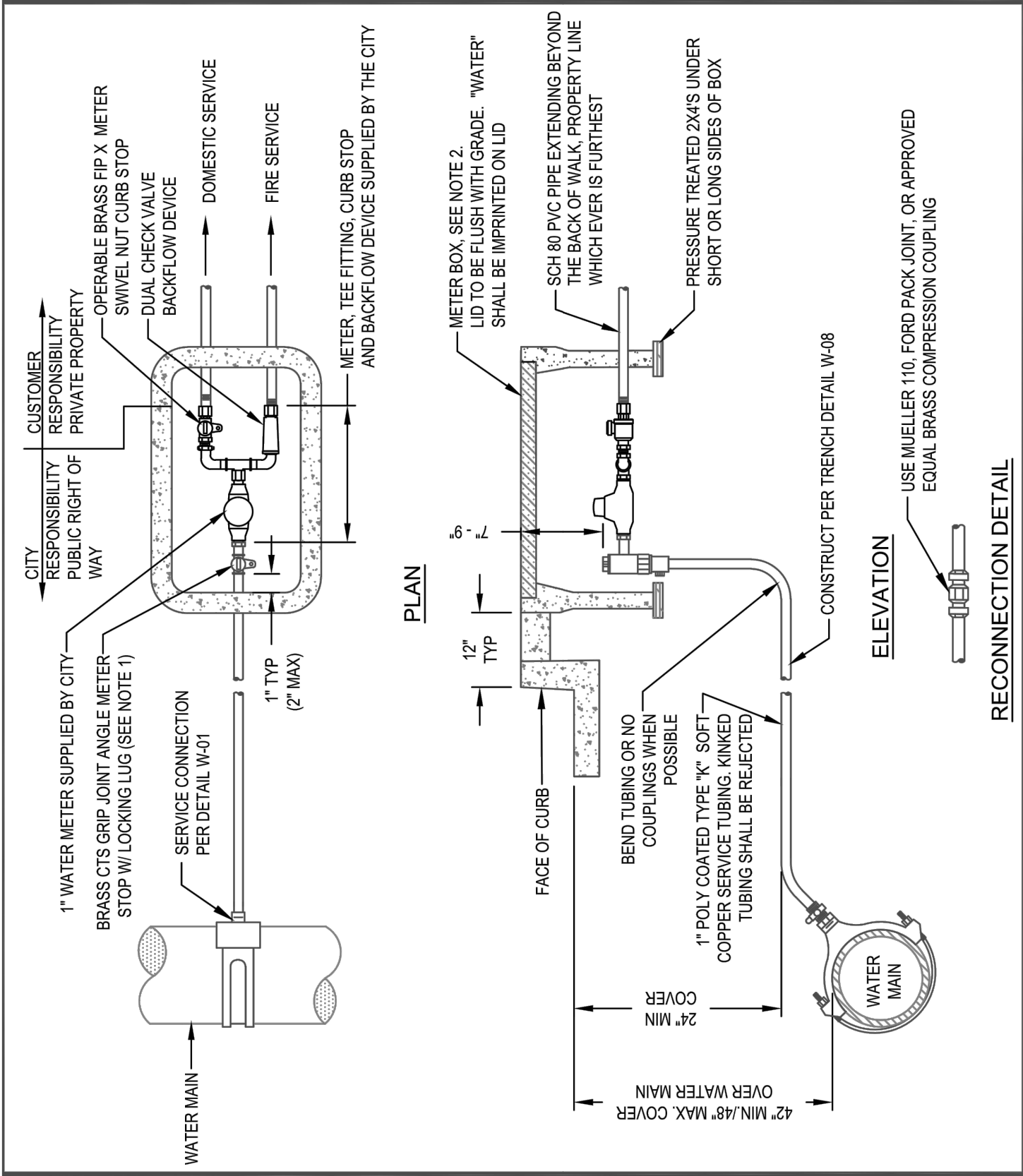
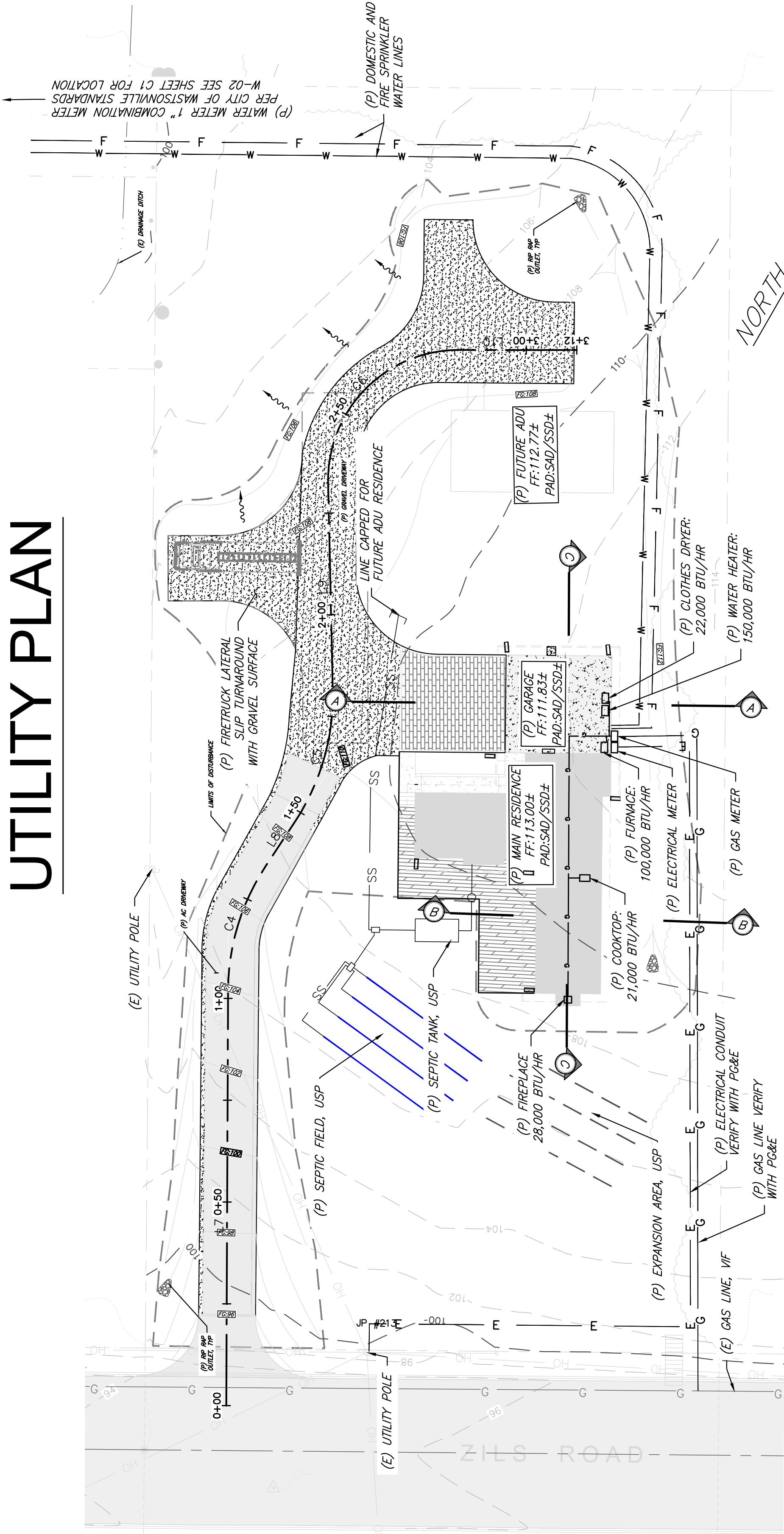
- SUBGRADE MATERIAL PREPARATION**
- CLEARED AREAS SHOULD THEN BE STRIPPED OF ORGANIC-LADEN TOPSOIL. STRIPPING DEPTH SHOULD BE FROM 2"-6".
 - ON-SITE SOILS ARE SUITABLE AS ENGINEER FILL. IMPORTED SOILS UTILIZED AS ENGINEERED FILL SHALL BE FREE OF ORGANIC MATTER, ROCKS OR LUMPS GREATER THAN 2.5" DIA; NOT CONTAIN MORE THAN 25% OF FINES PASSING #200 SIEVE; HAVE A SAND EQUIVALENT GREATER THAN 18; PLASTICITY INDEX < 15 AND HAVE AN R VALUE < 30. SHALL BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO USE.
 - ALL FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" AT 90% R.C.
 - SUBGRADE SOIL WITHIN THE PROPOSED STRUCTURED BUILDING PERIMETER BE SUB EXCAVATED TO A DEPTH OF 3' BELOW EXISTING GRADE OR 2' BELOW THE BOTTOM OF PROPOSED FOOTING (WHICHEVER IS GREATER).
 - THE BOTTOM OF THE SUB EXCAVATION SHOULD BE SCARIFIED, MOISTURE CONDITIONED AND RECOMPACTED.
 - THE UPPER 6" OF PAVEMENT SECTION SUBGRADE SHOULD BE RECOMPACTED TO AT LEAST 95% R.C AT SLIGHT ABOVE OPTIMUM MOISTURE.
 - REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS.

11 SUBGRADE PREPARATION NOTES



10 FIG DW-6 STANDARD DRIVEWAY APPROACH

UTILITY PLAN

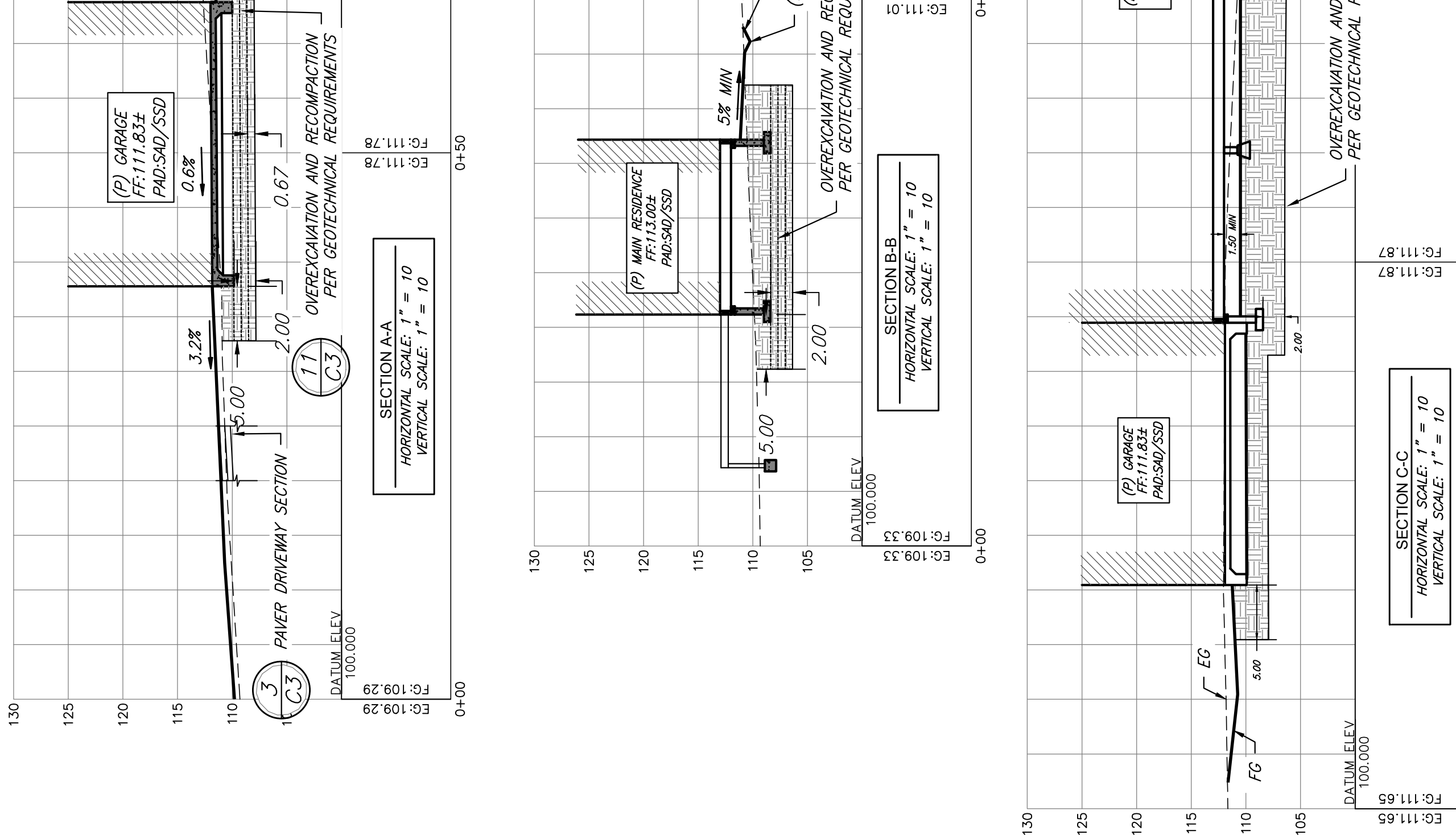


- NOTES:**
1. BALL ANGLE CURB METER VALVES: MUELLER #110 COMPRESSION TYPE 3/4" B-24258; MUELLER #110 COMPRESSION TYPE 1" B-24258; FORD COMPRESSION TYPE "Q", OR CITY APPROVED EQUAL 3/4" B-443-S30Q, 1" B-443-444Q
 2. METER BOX: CHRISTY B-36 W/ N36RP R-COMPOSITE LID NON TRAFFIC, B-720 BOX W/ B7730-51GH STEEL CHECKER PLATE LID FOR TRAFFIC, ALL LIDS SHALL HAVE A PORT ACCEPTING THE WIRELESS METER READER.
 3. ALL CORPORATION STOPS, ANGLE METER STOPS, COUPLINGS AND CONNECTIONS SHALL BE MUELLER 110, OR FORD TYPE "Q" COMPRESSION TYPE FITTINGS WITH COT TRIGAD ON CITY APPROVED EQUAL.
 4. ALL PRIVATE INSTALLATION SHALL COMPLY WITH CITY ORDINANCE NO. 508-80 AS AMENDED REGARDING "WATER SERVICES AND CHARGES", DOMESTIC AND FIRE SERVICE LINE SHALL BE SIZED PER CALIFORNIA PLUMBING AND FIRE CODES.
 5. THE CUSTOMER SHALL INSTALL SUITABLE CONTROL VALVES ON EACH PRIVATE SERVICE LINE ON THE RISER TO EACH BUILDING OR A MAXIMUM OF 50 FEET FROM THE METER. THE VALVES SHALL CONTROL THE ENTIRE WATER SUPPLY FROM THE SURFACE.

SCALE: NTS	WATER DIVISION STANDARD DRAWING	REV:
DRAWN BY: STAFF	1-INCH	MAY 2018
CHECKED BY: TC	COMBINATION METER	RESOLUTION: 98-18 (CM)
		DWG NO. W-02

EXHIBIT E

EXHIBIT D



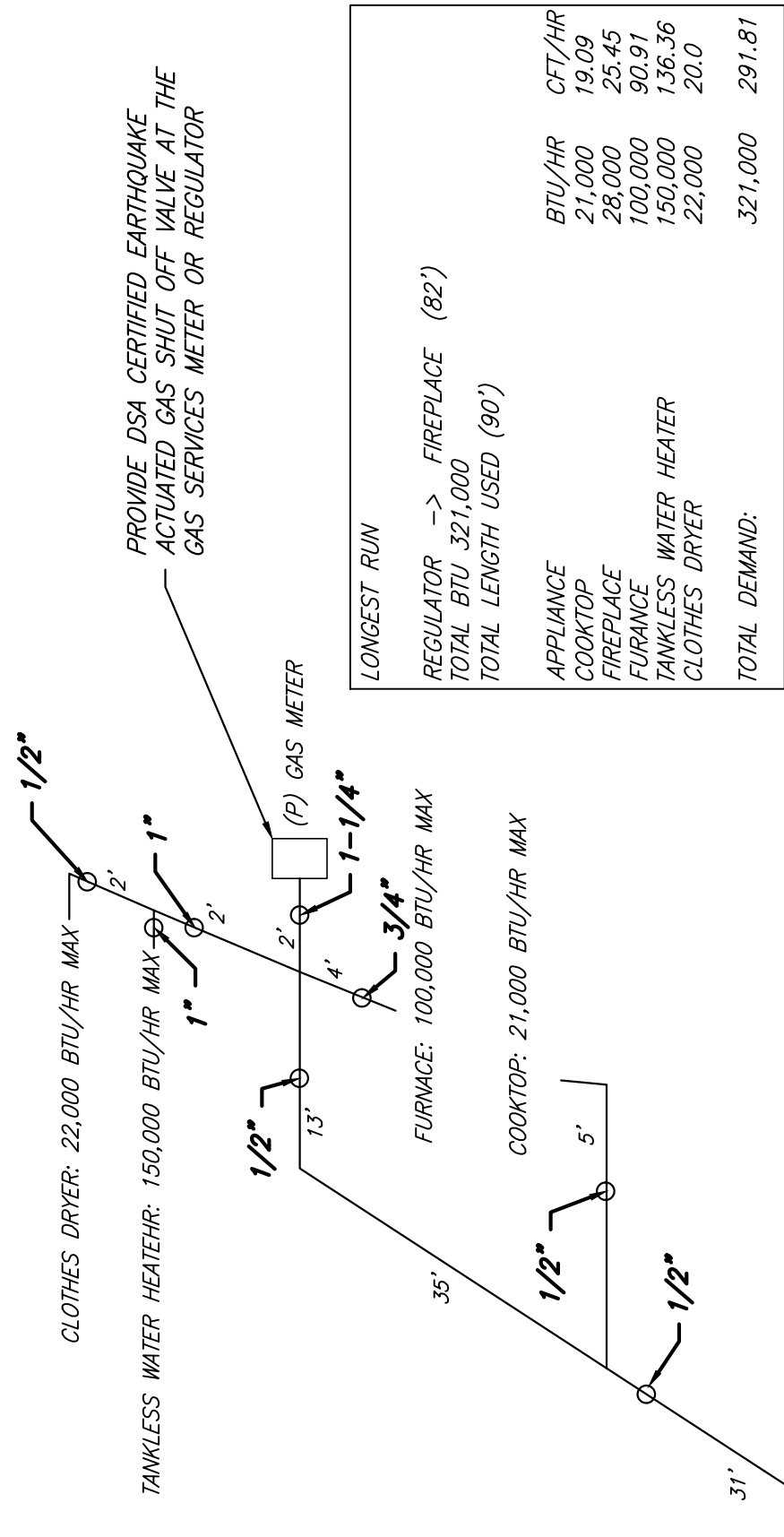
FUEL GAS PIPING

TABLE 1216.2(1) SCHEDULE 40 METALLIC PIPE (NFPA 54; TABLE 6.2(b)) ^{1, 2}											
GAS: NATURAL											
INLET PRESSURE: LESS THAN 2 psi											
PRESSURE DROP: 0.5 in. w.c.											
SPECIFIC GRAVITY: 0.80											
CAPACITY IN CUBIC FEET OF GAS PER HOUR											
PIPE SIZE (inch)											
NOMINAL:	1/2	3/4	1	1 1/4	1 1/2	2	2 1/2	3	4	6	8
ACTUAL ID:	0.622	0.824	1.049	1.380	1.610	2.067	2.469	3.068	4.026	5.047	6.065
LENGTH (ft)	10	172	360	678	1390	2090	4020	6400	11300	23100	41800
	20	118	247	466	957	1430	2760	4400	7780	15300	28700
	30	95	199	374	768	1150	2220	3530	6250	12700	23300
	40	81	170	320	657	985	1900	3020	5350	10900	20300
	50	72	151	284	583	873	1680	2680	4740	9660	17500
	60	65	137	257	528	791	1520	2430	4290	8760	15200
	70	60	126	237	486	728	1400	2230	3950	8050	14600
	80	56	117	220	452	677	1300	2080	3670	7490	13600
	90	52	110	207	424	635	1220	1950	3450	7030	12700
	100	50	104	195	400	600	1160	1840	3260	6640	12000
	125	44	92	173	355	532	1020	1630	2890	5890	10600
	150	40	83	157	322	482	928	1480	2610	5330	9830
	175	37	77	144	296	443	854	1360	2410	4910	8880
	200	34	71	134	275	412	794	1270	2240	4560	8260

GAS LINE TABLE 1216.2 (1)

UTILITY LEGEND	
1" FIRE SPRINKLER LINE	(P) GAS SERVICE LATERAL
1" GAS SERVICE LATERAL	(P) SEWER LATERAL
1" SEWER LATERAL	(P) WATER
1" WATER	(P) GALLERY/STORMWATER W/ SIZE & TYPE
1" GALLERY/STORMWATER W/ SIZE & TYPE	(P) PERFORATED SUBDRAIN W/ SIZE & TYPE
1" PERFORATED SUBDRAIN W/ SIZE & TYPE	(P) SOLID SUBDRAIN W/ SIZE & TYPE
1" SOLID SUBDRAIN W/ SIZE & TYPE	(P) GALLERY/STORMWATER W/ SIZE & TYPE
1" GALLERY/STORMWATER W/ SIZE & TYPE	(P) GAS SERVICE LATERAL
1" GAS SERVICE LATERAL	(P) WATER
1" WATER	(P) METER, FLOWING & SERVICE
1" METER, FLOWING & SERVICE	LOCATION IN FIELD PRIOR TO CONSTRUCTION

GAS LINE SCHEMATIC



- NOTE:
1. ALL GAS LINES SHALL BE 1/2" BLACK PIPE SCH 40 UNLESS OTHERWISE NOTED.
 2. EACH APPLIANCE TO INCLUDE BRASS SHUTOFF VALVES, REDUCERS, SEDIMENT TRAP AND FLEXIBLE TUBING CONNECTION AS NECESSARY.
 3. LENGTHS SHOWN ARE APPROXIMATE.

FIRE PLACE: 28,000 BTU/HR MAX

LANDS OF DINIZ PLAN & PROFILE

APN: 046-221-47

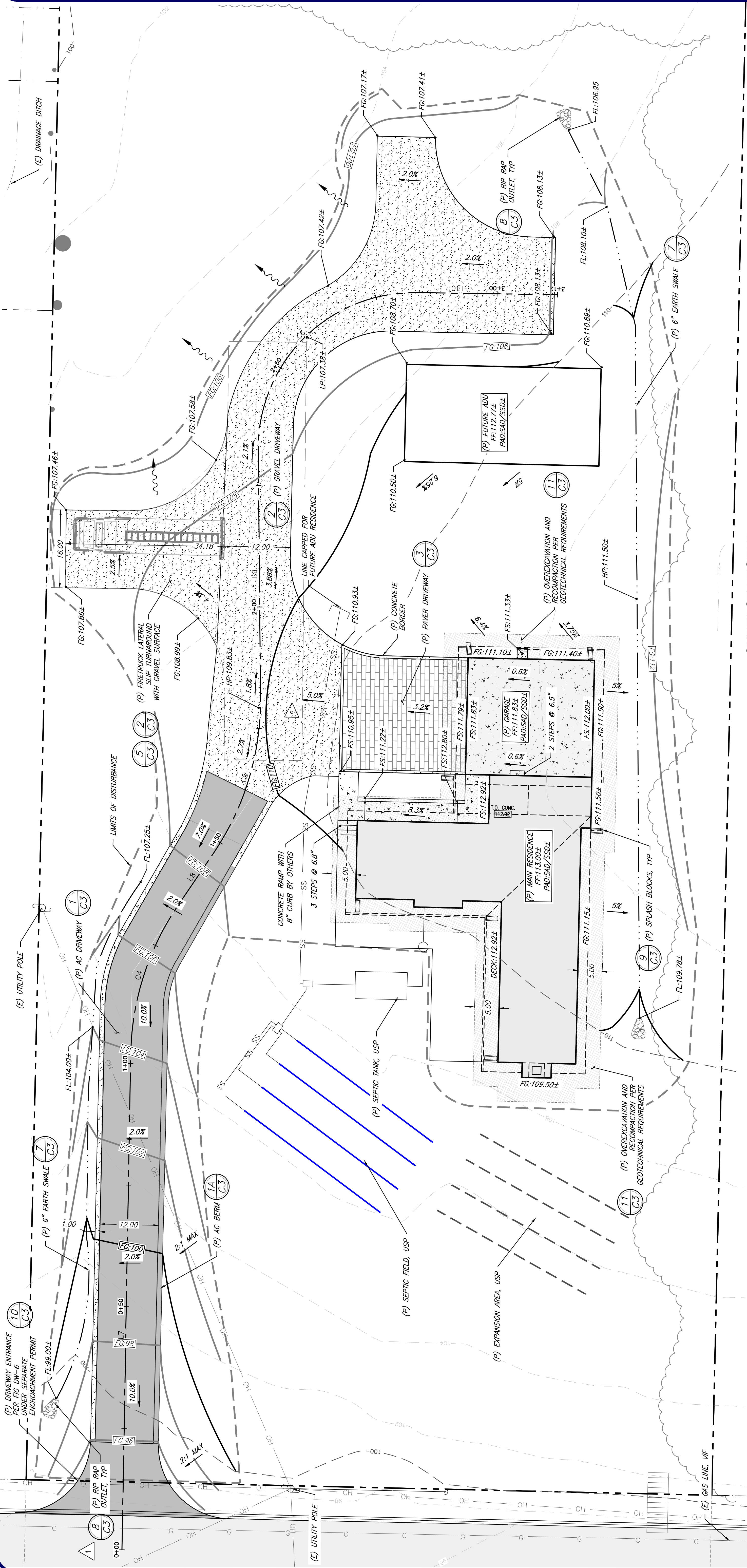
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DRN:	RS
CHK:	GTF
PM:	KB
DATE:	3-24-22
JOB #:	4630

GEOFF FLEISSNER R.C.E. 82889



CURVE ALIGNMENT CONSTRUCTION TABLE				
CURVE NUMBER	RADIUS	LENGTH	DELTA	START STATION END STATION
C4	56.00	32.44	33°11'16"	1+34.35
C5	56.00	33.94	34°43'47"	1+81.36
C6	32.00	51.02	91°20'46"	2+32.32 2+83.34

ALIGNMENT CONSTRUCTION TABLE				
LINE NUMBER	LENGTH	DIRECTION	START STATION	END STATION
L7	101.92	N24° 32' 36" W	0+00.00	1+01.92
L8	13.06	N8° 38' 40" W	1+34.35	1+47.41
L9	50.96	N26° 05' 06" W	1+81.36	2+32.32
L10	29.05	N65° 15' 39" E	2+83.34	3+12.39

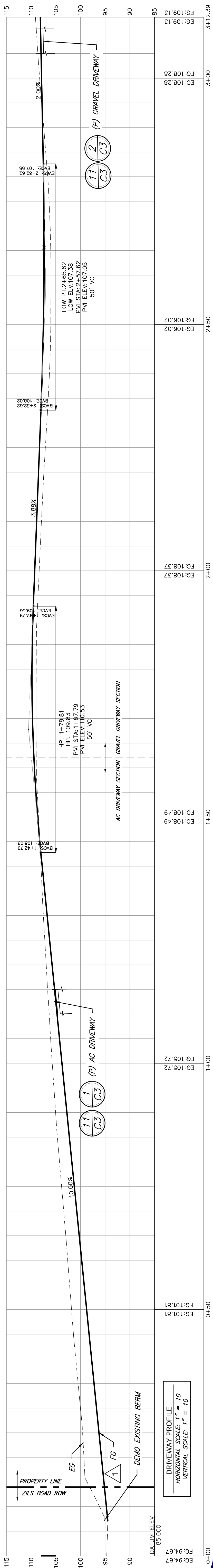
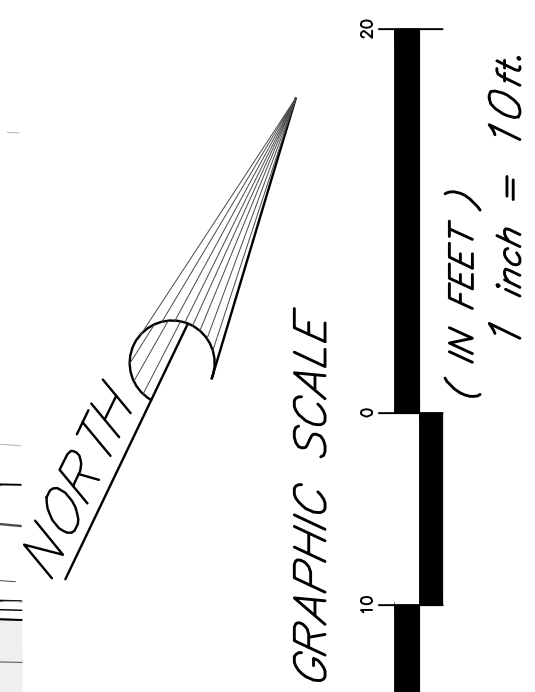


EXHIBIT E

EXHIBIT D

EROSION CONTROL PLAN

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAMINANT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

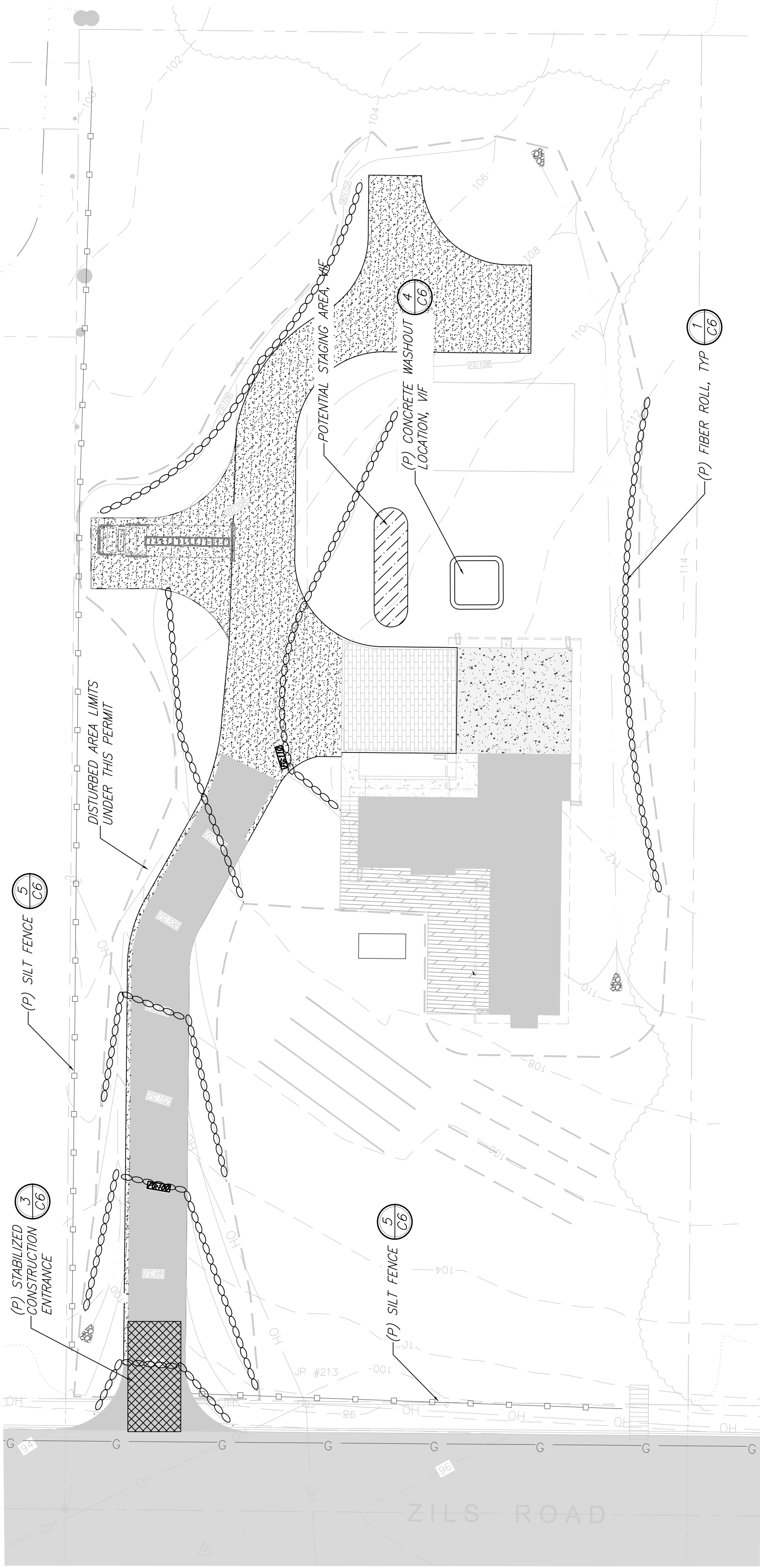
- DISPOSAL OF AND RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SAWTOON FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRAINAGE, STREAM, IRRIGATION AREA OR OTHER DRAINAGE FACILITY.
- SAWTOON FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

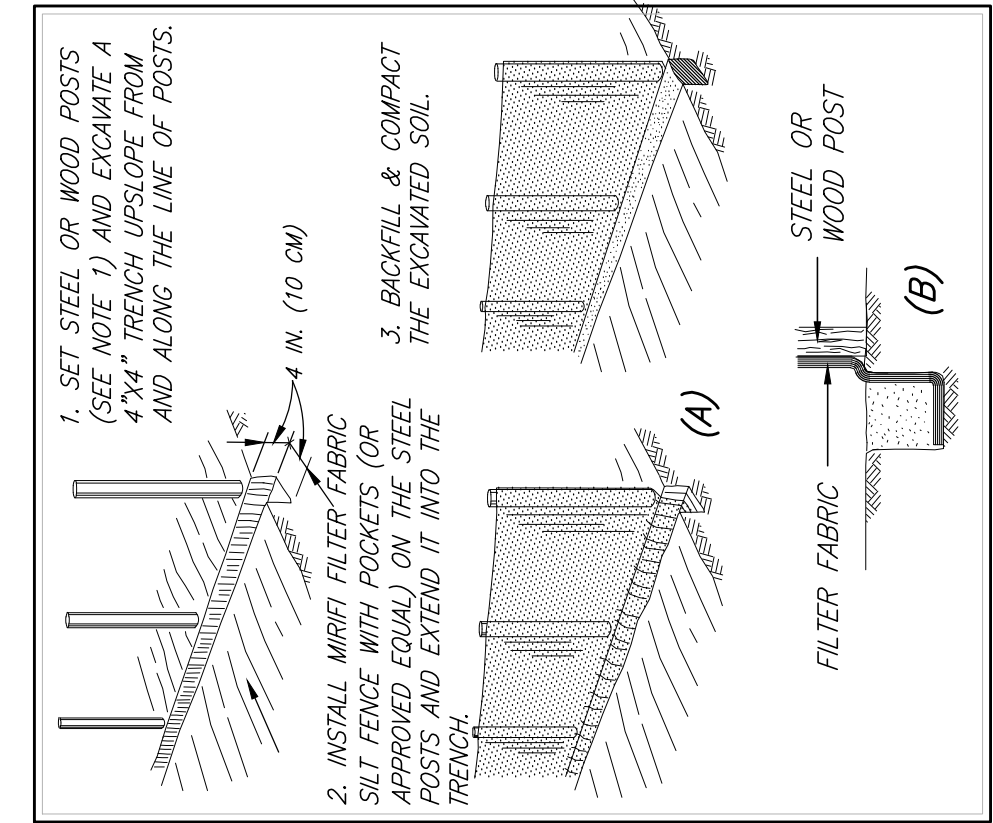
LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF AND ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTER RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



1 FIBER ROLL BARRIER

NOTE: INSTALL FIBER ROLL ON CONTOUR.



5 SILT FENCE SEDIMENT BARRIER

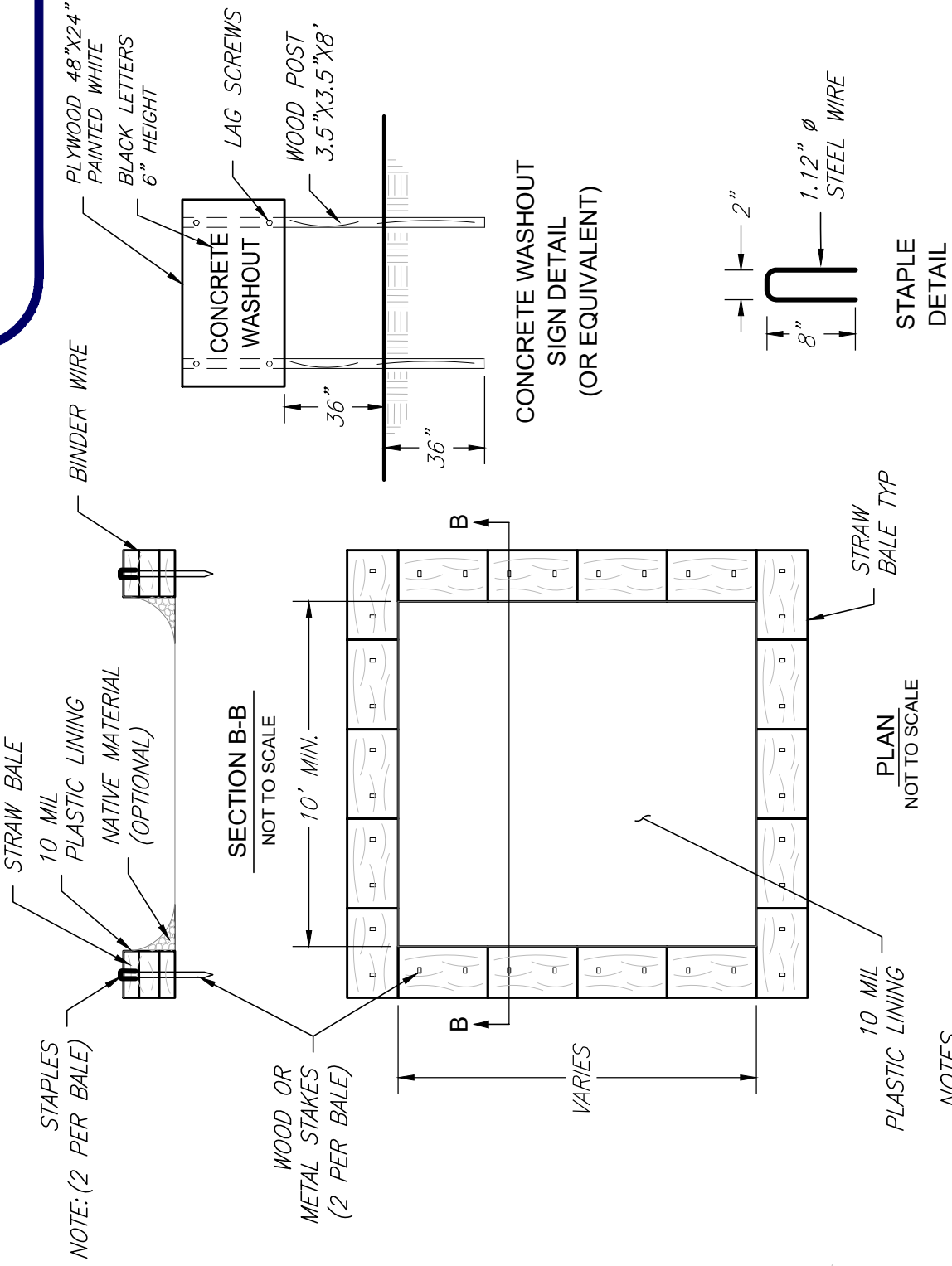
NTS

CONSTRUCTION OF A SILT FENCE. (A) INSTALLATION SEQUENCE. (B) EXTENSION OF FABRIC INTO THE TRENCH.

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER AS ILLUSTRATED IN THE FIGURE AT RIGHT. SPACE POSTS ON 6' CENTERS AND DRIVE THEM A MINIMUM OF 12 IN (30 CM) INTO THE GROUND. POSTS FOR SILT FENCES CAN BE EITHER 1 1/2" (3.8 CM) MIN. DIA. HARD WOOD OR 1.33 LB/FT (1.97 KG/M) STEEL WITH A MINIMUM LENGTH OF 5 FT (1.5 M). STEEL POSTS MUST HAVE PROTECTION FOR FASTENING THE FILTER FABRIC TO THE UPHILL SIDE OF THE FENCE. POSTS AND THE FENCE SHOULD NOT EXCEED 36 IN (9.1 M) TO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 IN (9.1 M) TO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY ANY, SPICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 IN (15 CM) OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
- BACKFILL THE TRENCH OVER THE JOE OF THE FABRIC AND COMPACT THE SOIL.
- PREFABRICATED SILT FENCE WITH POSTS MAY BE USED AS AN ALTERNATE TO SETTING STEEL OR WOOD POSTS.

INSTALLATION OF SILT FENCE SEDIMENT BARRIER

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER AS ILLUSTRATED IN THE FIGURE AT RIGHT. SPACE POSTS ON 6' CENTERS AND DRIVE THEM A MINIMUM OF 12 IN (30 CM) INTO THE GROUND. POSTS FOR SILT FENCES CAN BE EITHER 1 1/2" (3.8 CM) MIN. DIA. HARD WOOD OR 1.33 LB/FT (1.97 KG/M) STEEL WITH A MINIMUM LENGTH OF 5 FT (1.5 M). STEEL POSTS MUST HAVE PROTECTION FOR FASTENING THE FILTER FABRIC TO THE UPHILL SIDE OF THE FENCE. POSTS AND THE FENCE SHOULD NOT EXCEED 36 IN (9.1 M) TO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 IN (9.1 M) TO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY ANY, SPICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 IN (15 CM) OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
- BACKFILL THE TRENCH OVER THE JOE OF THE FABRIC AND COMPACT THE SOIL.
- PREFABRICATED SILT FENCE WITH POSTS MAY BE USED AS AN ALTERNATE TO SETTING STEEL OR WOOD POSTS.



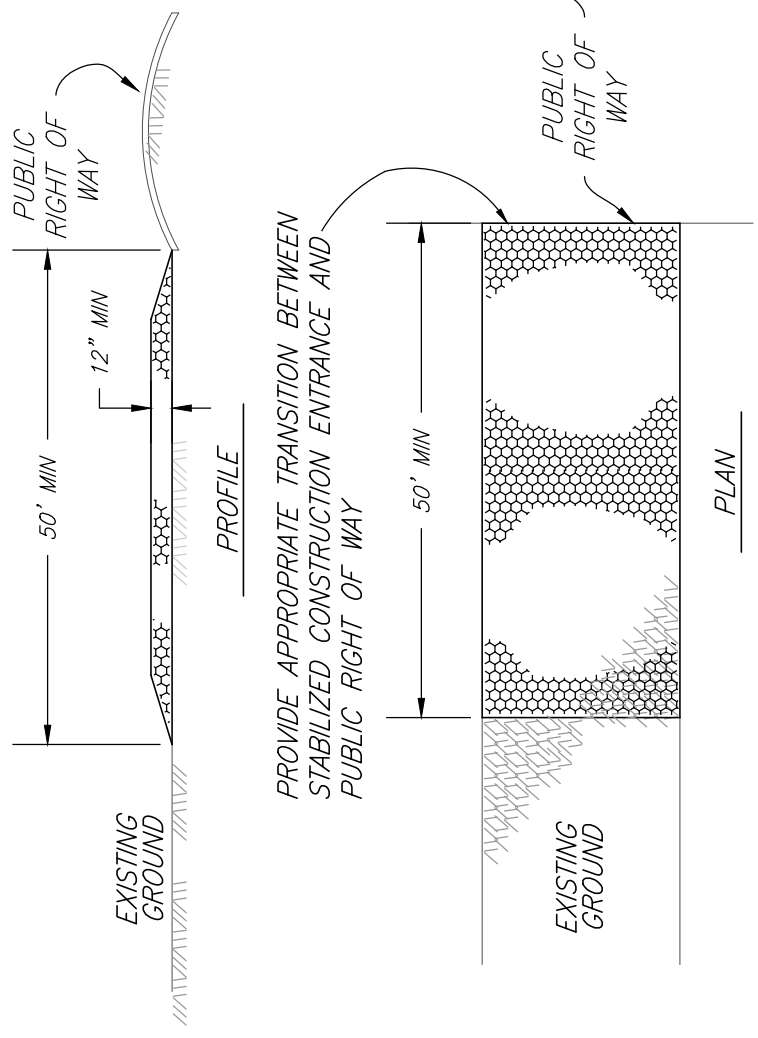
NOTES

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
- PLASTIC TUB WITH SIMILAR DIMENSIONS CAN BE USED INSTEAD OF THIS DETAIL.

4 CONCRETE WASHOUT

ON-SITE WASHOUT SHALL BE USED AS A LAST RESOURCE ONLY. INSTRUCT TRUCKS TO RETURN TO PLANT W/ SPOILS.

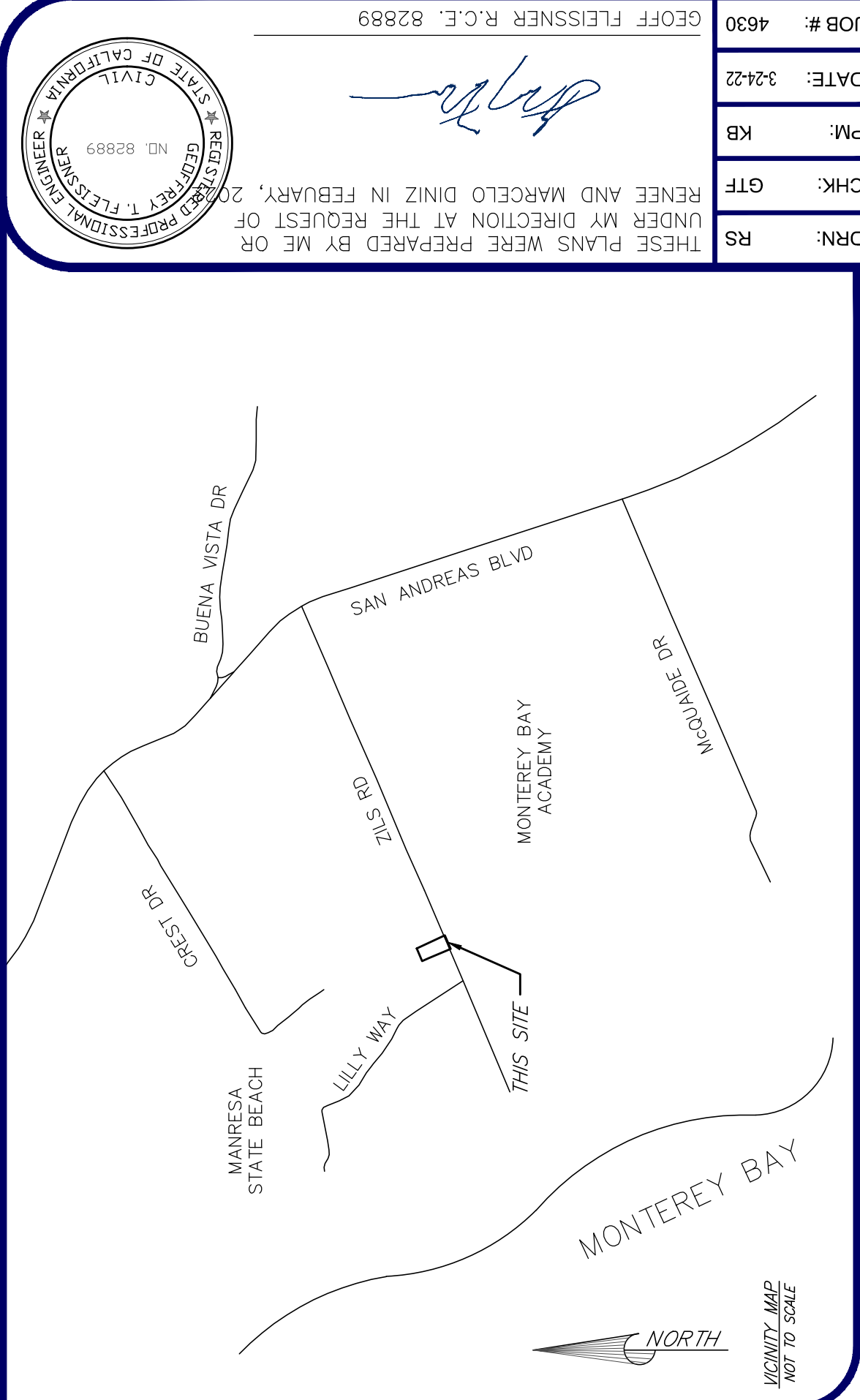
NTS



DESIGN AND CONSTRUCTION SPECIFICATIONS: THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH STONE. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS SHALL BE CLEANED OF SEDIMENT. THE ENTRANCE SHALL BE MAINTAINED IN A STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.

3 STABILIZED CONSTRUCTION ENTRANCE

NTS



EROSION CONTROL NOTES

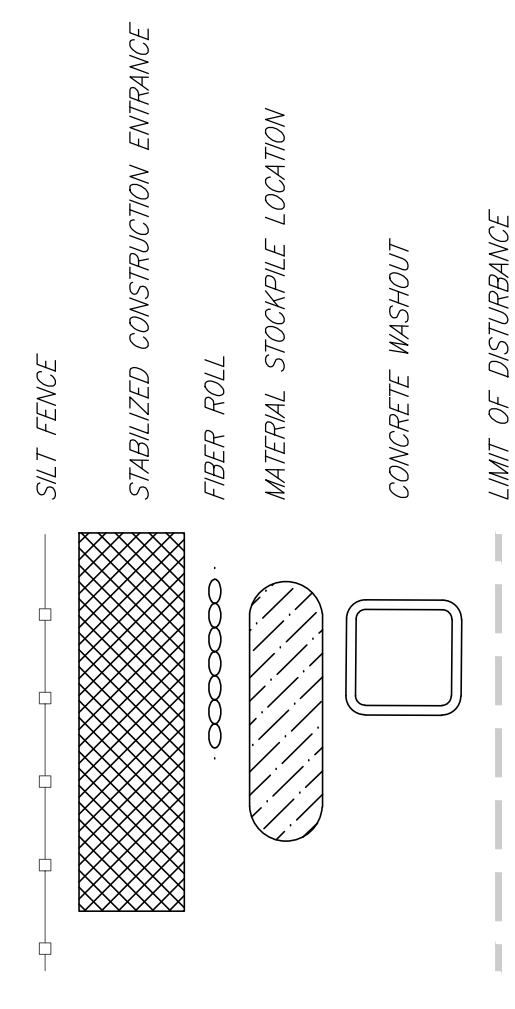
- BETWEEN OCTOBER 15, AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT UNDESIRED RUNOFF TO ADJOINING PROPERTIES.
- UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR HAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
- CONTRACTOR SHALL NOTIFY THE COUNTY OF SANTA CRUZ AT LEAST 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
- ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER DISCHARGE PROTECTION PLAN. ALL EXCAVATION SHALL BE SEIZED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.
- CONTRACTORS SHALL INSTALL UNDERGROUND STORM DRAIN SYSTEM AND STRAW BALE DRAIN BARRIERS PRIOR TO OCTOBER 15.
- BALE SOIL SHALL BE COVERED WITH SEED AND STRAW MULCH AT AN APPLICATION RATE OF 2-3 BALES/1000 S.F.

PROJECT INFORMATION

OWNER/REPRESENTATIVE:
MARCELO & RENEE DINIZ
S.W.P.C.P.
GEOFF FLEISSNER
2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
TEL (831) 426-0224
www.hoganis.com

TOTAL AREA OF DISTURBANCE = 0.51 ACRES

EROSION CONTROL LEGEND



STATE OF CALIFORNIA
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
NO. 88889
GEOFF FLEISSNER

DATE: 3-24-22
JOB #: 4630
PM: KB
CHK: GTF
RS

THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION. THE REQUEST OF RENE AND MARCELO DINIZ IN FEBRUARY, 2022

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A CALIFORNIA CORPORATION

2601 41ST AVENUE, SUITE B
SOUDEL, CA 95073
TEL (831) 426-1617

LANDS OF DINIZ
EROSION CONTROL PLAN

220 ZILS ROAD
WATSONVILLE, CALIFORNIA

APN: 046-221-47

C6 OF 6

LANDS OF DINIZ

CONVENTIONAL SEWAGE DISPOSAL SYSTEM

220 ZILS RD, WATSONVILLE

APN: 046-221-47

GENERAL NOTES

IF THE SOIL IS WET AT ALL, CHECK THE MOISTURE CONTENT OF THE SOIL AT TRENCH DEPTH. IF IT IS TOO WET, SHEARING AND COMPACTION WILL RESULT, THUS REDUCING THE INFILTRATION CAPACITY OF THE SOIL.

SOIL MOISTURE CAN BE DETERMINED BY ROLLING A SOIL SAMPLE BETWEEN THE HANDS. IF IT ROLLS INTO A RIBBON, THE SITE IS TOO WET TO PREPARE. IF IT CRUMBLES, SOIL PREPARATION CAN PROCEED. IF ANY DOUBT, CALL HOGAN LAND SERVICES. (877-544-2104).

DISTRIBUTION TRENCHES FOLLOW THE NATURAL CONTOUR OF THE GROUND; TRENCH BOTTOMS SHALL BE LEVEL. THE MAXIMUM DEVIATION ALONG THE DOWNHILL SIDE OF THE TRENCH SHALL NOT VARY MORE THAN 0.25 FEET (THREE INCHES). CHANNEL AREA DISTRIBUTION TRENCHES SHALL BE ANGLED OR CURVED TO MEET THIS REQUIREMENT.

DRAIN ROCK SHALL BE CLEAN 3/4 TO 2-1/2 IN SIZE AND EITHER COURSE AGGREGATE, CRUSHED ROCK OR WASHED RIVER GRAVEL FROM AN APPROVED SOURCE.

PLACE CLEANSUITS EVERY 100' ON GRAVITY MAIN.

PLACE NON-Biodegradable GEOTEXTILE SYNTHETIC FABRIC (MIRRI 140N OR EQUIVALENT) OVER GRAVEL, OVERLAPPING SECTIONS 9" MINIMUM.

COMPACTED TRENCH SIDES ARE TO BE SCARIFIED TO A DEPTH OF 1" AND THE LOOSE MATERIAL REMOVED BEFORE PLACING THE DRAIN ROCK IN THE TRENCH.

CONTACT HOGAN LAND SERVICES (877-544-2104) AND SANTA CRUZ COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH (831-454-2022) A MIN. OF 48 HOURS BEFORE INITIATING CONSTRUCTION AND ALL REQUIRED INSPECTIONS.

A SEPTIC TANK WATER TIGHTNESS TEST IS REQUIRED.

4' MINIMUM OF SOLID PIPE IS REQUIRED BETWEEN THE DISTRIBUTION BOX AND PERFORATE PORTION OF THE LEACHLINE TRENCHES.

MAXIMUM LENGTH OF INDIVIDUAL LEACHLINES SHALL BE 100' (EXCLUDING 4' SOLID SECTION).

EROSION AND SEDIMENT CONTROL

PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE CBC AND THE SANTA CRUZ COUNTY CODE.

DURING THE RAINY SEASON, OCT. 1 TO APRIL 30, EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.

PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.

THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED ON THE SITE. IF QUESTIONS REGARDING THE COUNTY SPECIFIED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL, CALL HOGAN LAND SERVICES (877-544-2104).

EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE AND AFTER STORM EVENTS.

CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MAY RESULT IN RESPONSE TO FIELD CONDITIONS.

ENTRANCES TO SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY R.O.W. SHALL BE DISPOSED OF AS THEY OCCUR.

EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES, FIBER ROLL SILT BARRIERS AND SILT FENCES SHALL BE KEYED INTO THE SOIL AND INSTALLED ON CONTOUR.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE. AFTER GRADING, GROUND SHOULD BE COMPLETELY COVERED.

STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS.

SOIL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE RUNOFF.

SOLID WASTE AND CONSTRUCTION MATERIALS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS AND DISPOSED OF AT APPROVED DISPOSAL SITES.

ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT BARRIERS.

NO FOUNDATION AND/OR DRIVEWAY CUTS AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FT DOWN SLOPE OR LATERALLY OF THE PRIMARY OR RESERVE/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWN SPOUTS AWAY FROM LEACHFIELD.

NOTES TO OWNER, CONTRACTOR, & OTHERS

1. INSTALLATION OF THIS DESIGN WILL REQUIRE A MINIMUM OF ONE SITE REVIEW BY THE ENGINEER DURING CONSTRUCTION. ADDITIONAL REVIEWS MAY BE REQUIRED DEPENDING ON THE ABILITY OF THE CONTRACTOR TO COMPLETE THE SYSTEM IN A TIMELY MANNER. ANY DELAYS TO THE FIELD REPAIRS WILL BE BILLED TO THE OWNER AT THE PRINCIPAL ENGINEER RATE SHOWN IN THE PROFESSIONAL SERVICE AGREEMENT.

2. ADDITIONALLY, SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH REQUIRES A LETTER OF DESIGN CONFORMANCE ISSUED BY THE ENGINEER ASSESSING DESIGN COMPLIANCE. THIS LETTER IS PREPARED AND SENT UPON COMPLETION OF CONSTRUCTION AND SATISFACTION OF ALL OUTSTANDING INVOICES DUE TO THE ENGINEER.

3. SUBSURFACE CONDITIONS MAY BE COMPLEX AND MAY DIFFER FROM THOSE INDICATED ON THE DESIGN. THE ENGINEER HAS CONDUCTED PRELIMINARY TESTS AND/OR PROFILE TRENCH LOCATIONS THEREFORE, OTHER UNEXPECTED CONDITIONS IN SUBSURFACE CONDITIONS NOT INDICATED IN REPORTS OR SHOWN ON THIS PLAN COULD BE ENCOUNTERED. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY IF ANY ADVERSE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION SO THAT TIMELY ACTION CAN BE TAKEN TO MODIFY THIS PLAN AND/OR THE SYSTEM HEREIN DESIGNED.

4. THIS PLAN AND DESIGN IS BASED ON CURRENT STANDARDS AND TECHNICAL DATA REQUIREMENTS OF SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH. THIS PROFESSIONAL COMPLIANCE WITH CURRENTLY APPLIED COUNTY CODES, STANDARDS, AND REQUIREMENTS. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY SEPTIC SYSTEM FUNCTION OR PERFORMANCE OF THIS SITE.

5. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. IN ADDITION, THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE FUNCTION OF ANY OF THE SYSTEM COMPONENTS MANUFACTURED/DESIGNED BY OTHERS.

6. THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE ENGINEER IS NOT REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL EXEMPT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, INCLUDING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

7. PERMITS OF THESE PLANS USED IN CONSTRUCTION MUST HAVE A "WET" STAMP OF APPROVAL APPLIED BY THE SANTA CRUZ COUNTY ENVIRONMENTAL HEALTH DEPARTMENT TO INDICATE THAT A PERMIT TO INSTALL THE SEPTIC SYSTEM HAS BEEN GRANTED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION DONE WITHOUT PERMITS OR THE COUNTY APPROVED PLANS).

8. SHOULD TREE ROOT ZONE BE IMPACTED, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONSULT WITH A QUALIFIED ARBORIST TO DETERMINE THE APPROPRIATE COURSE OF ACTION.

STAGES TO BE INSPECTED

CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND/OR SCC DEH INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES. FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE CONTRACTOR HAVING TO UN-EARTH AND REDO THE WORK. THE ENGINEER MUST ISSUE AN INSPECTION REPORT TO THE COUNTY PRIOR TO ACCEPTANCE OF THE SYSTEM BY THE COUNTY. THE CONTRACTOR SHALL GIVE 48-HOUR NOTICE TO HOGAN LAND SERVICES & SCC DEH FOR ANY OF THESE INSPECTIONS:

4. NOTIFY H.S. & SANTA CRUZ COUNTY END A MIN. OF 48 HOURS PRIOR TO INITIALIZING CONSTRUCTION.

INSPECTIONS BY HOGAN LAND SERVICES ONLY:

1. INSPECTION OF IMPORTED MATERIALS AS REQUIRED (FILL MATERIAL AND GRAVEL).

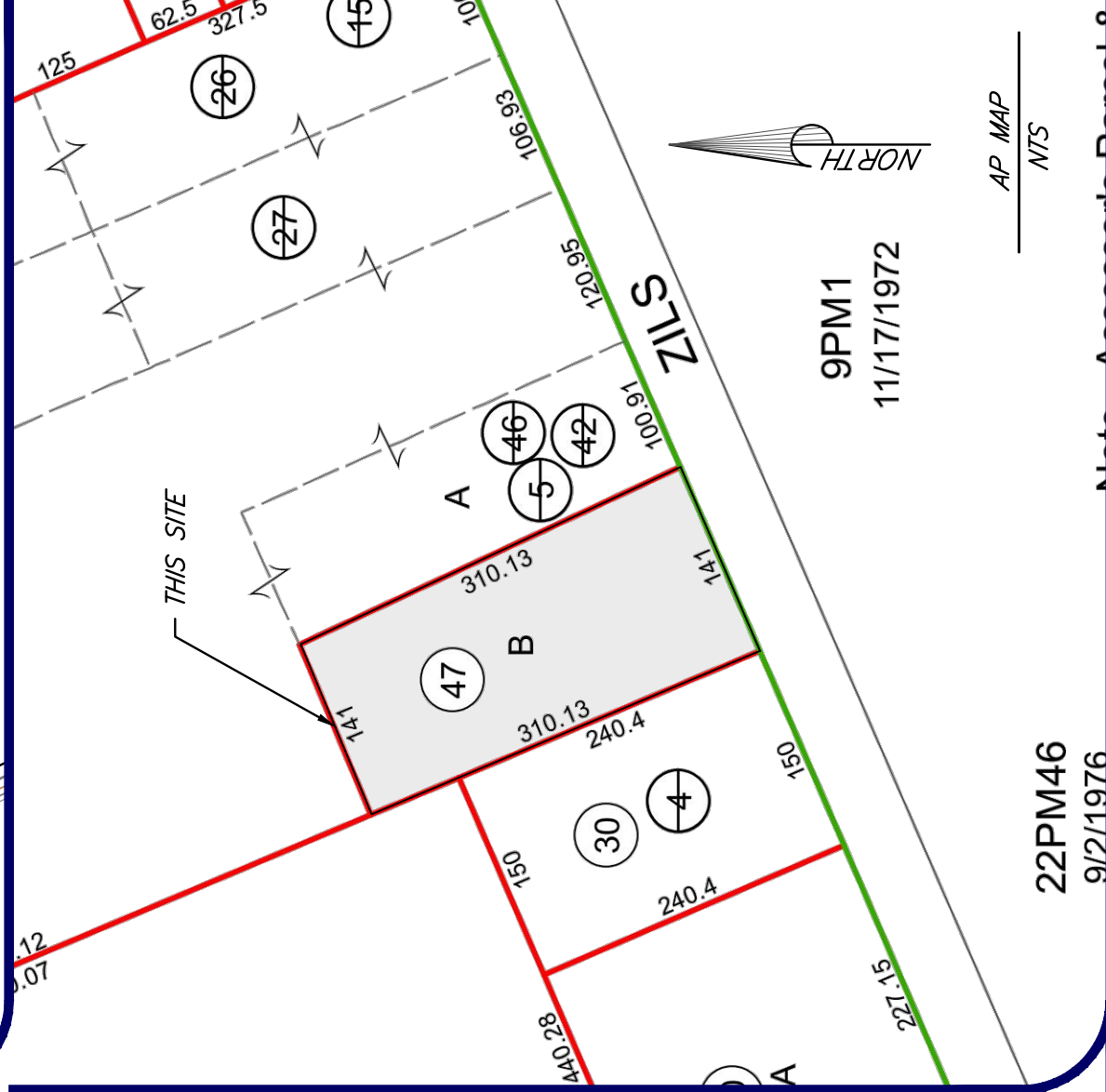
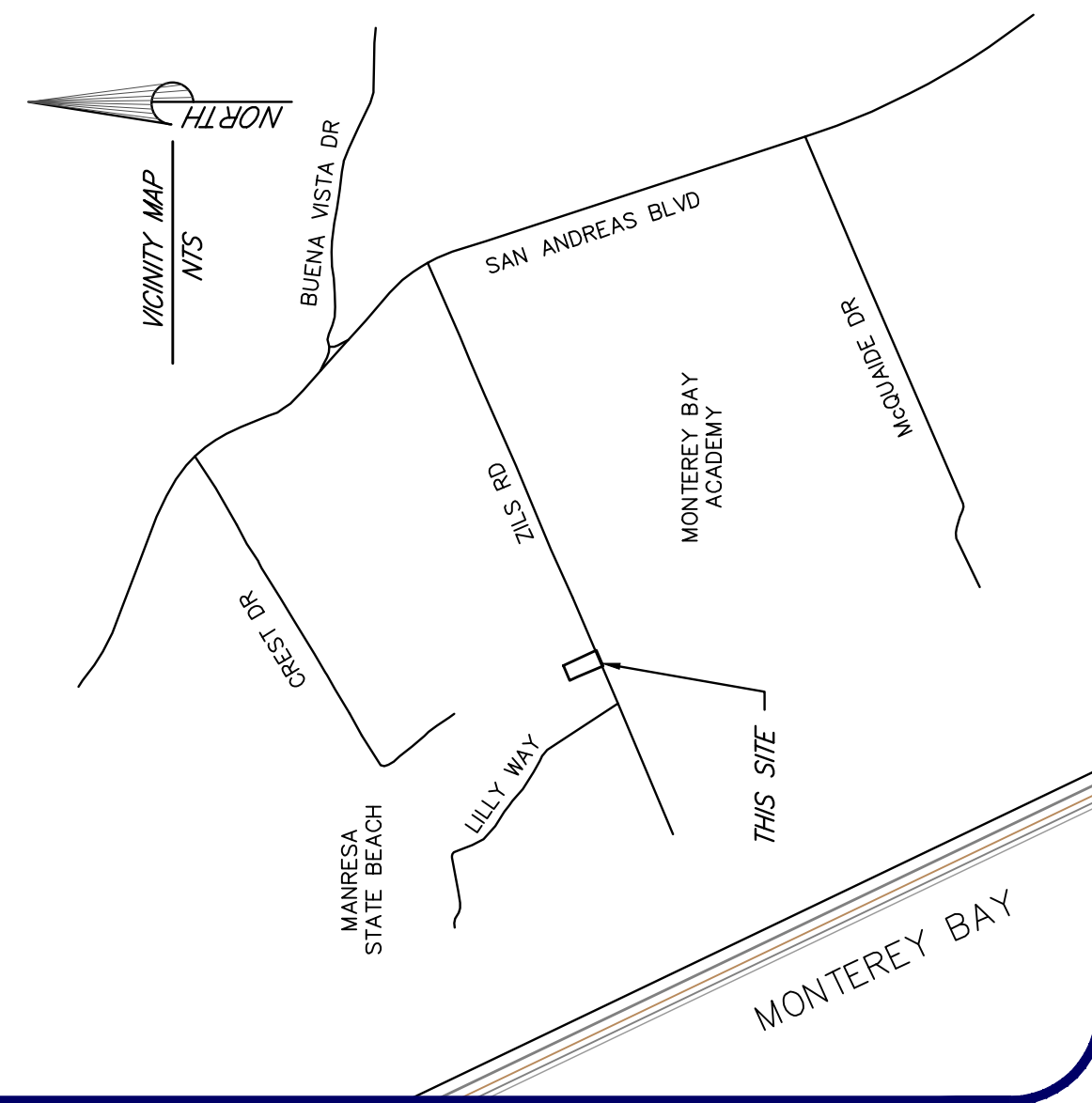
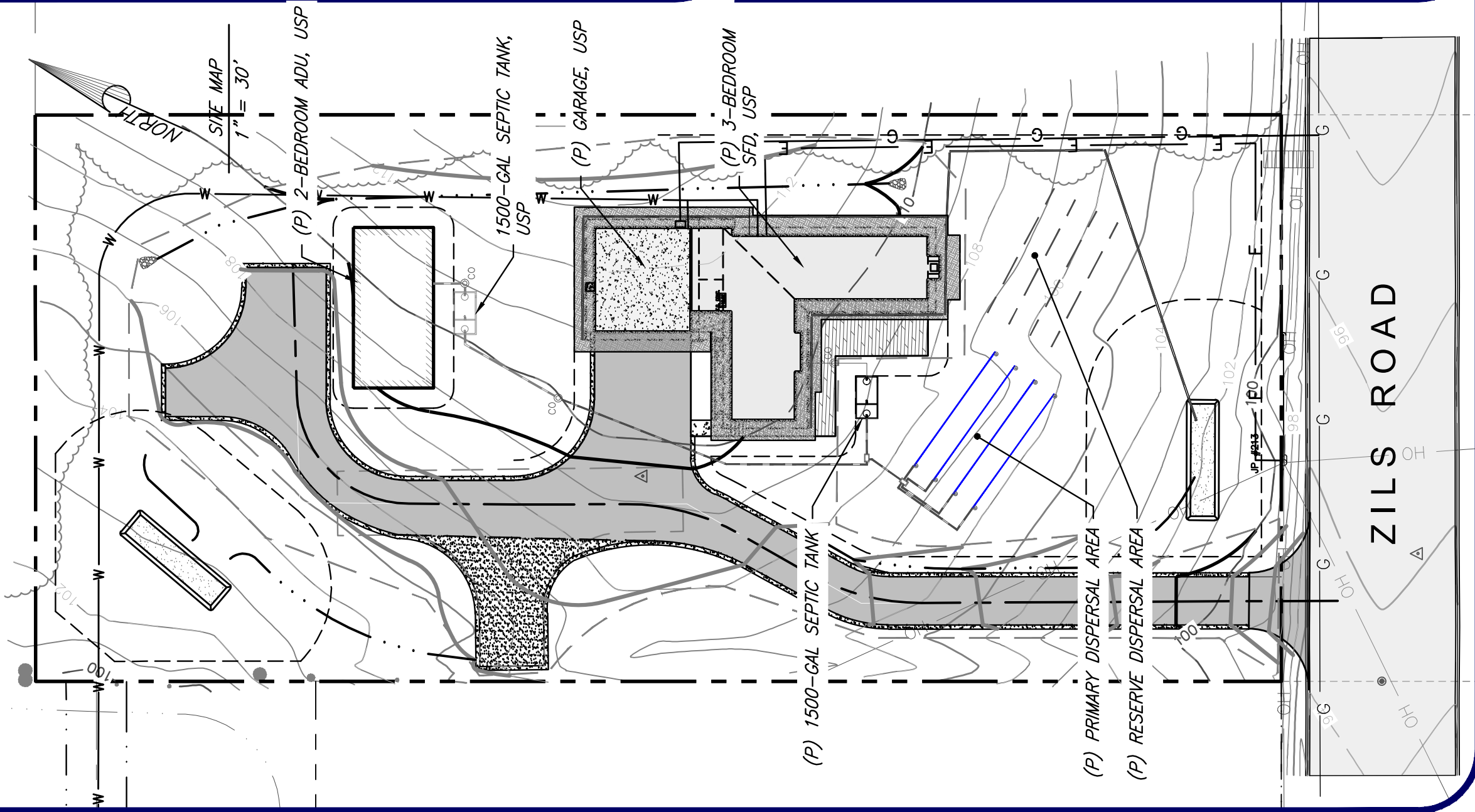
2. CHECKING OF LAYOUT; LINE AND GRADE, STAKES.

FINAL INSPECTIONS BY HOGAN LAND SERVICES AND DEH:

1. SEPTIC TANK WATER TIGHTNESS, TANK FULL, A MINIMUM OF 2" INTO RISER.

2. LEACH LINE LAYOUT, #6 GRAVEL, DEPTH, PRIOR TO EARTH BACKFILL.

3. FINAL INSPECTION & EROSION CONTROL.



NOTE: THIS EXHIBIT DOES NOT REPRESENT A COMPLETE TOPOGRAPHIC SURVEY OR BOUNDARY DETERMINATION. BOUNDARY SHOWN IS PER ASSESSOR RECORDS AND RECORD DATA ONLY AND HAS NOT BEEN SURVEYED OR CONFIRMED.

SYSTEM DESIGN CRITERIA

THIS SYSTEM TO SERVE 2 UNITS @ 675 GPD:

3-BEDROOM STD @ 375 GPD

2-BEDROOM ADULT UNIT @ 300 GPD

THIS UNIT IS NOT BEING BUILT AT THIS TIME, AND WILL BE APPLIED FOR AND CONNECTED TO THE DISPERSAL FIELD UNDER A SEPARATE PERMIT APPLICATION

SITE EVALUATION - 10/21/20

PP1: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PP2: LOAMY SAND 13.5'; NO SIGN OF GROUNDWATER

PERCOLATION TEST - 10/22/20

PH-4 (2'): 0.4 MPI

PH-5 (4'): 1.25 MPI

PH-6 (7'): 1.31 MPI

APPLICATION RATE: 1.2 GAL/SF/DAY

(PER TABLE 3, CA STATE DOWTS POLICY PG 24)

GEOTECHNICAL EVALUATION - 12/14/21

B-3: 51.5'; NO SIGN OF GROUNDWATER

WATER SERVICE BY SAN ANDREAS MMC

PER TABLE 3-4 AND FIGURE 3-1 OF THE SANTA CRUZ COUNTY LAMP, THIS PARCEL IS EXEMPT FROM ENHANCED TREATMENT REQUIREMENTS FOR FAST-PERCOLATING SOILS BECAUSE IT IS OUTSIDE OF THE DEFINED NITRATE CONCERN AREAS

CONVENTIONAL SYSTEM CALCULATIONS

DESIGN FLOW RATE = 2 UNITS @ 675 GPD

675 GAL/DAY / 1.2 GAL/SF/DAY = 562.5 SF

WIDTH OF TRENCH: 2'

BOTTOM TRENCH AREA PER LINEAR FOOT = 2 SF/LF

DEPTH OF ROCK BENEATH PIPE = 1'

SIDEWALL AREA PER LINEAR FOOT = 1 SF x 2 = 2 SF/LF

TOTAL ABSORPTION AREA PER LINEAR FOOT = 4 SF/LF

REQUIRED TRENCH LENGTH FOR 2 UNITS = 562.5 SF / 4 SF/LF = 140.625 LF

TOTAL TRENCH LENGTH PROPOSED = 140 LF

RESERVE LENGTH REQUIRED (100%) = 100% = 140 LF

LANDS OF DINIZ

CONVENTIONAL SYSTEM NOTES

REVISION BLOCK

1	
2	
3	

PROJECT CONTACT INFORMATION

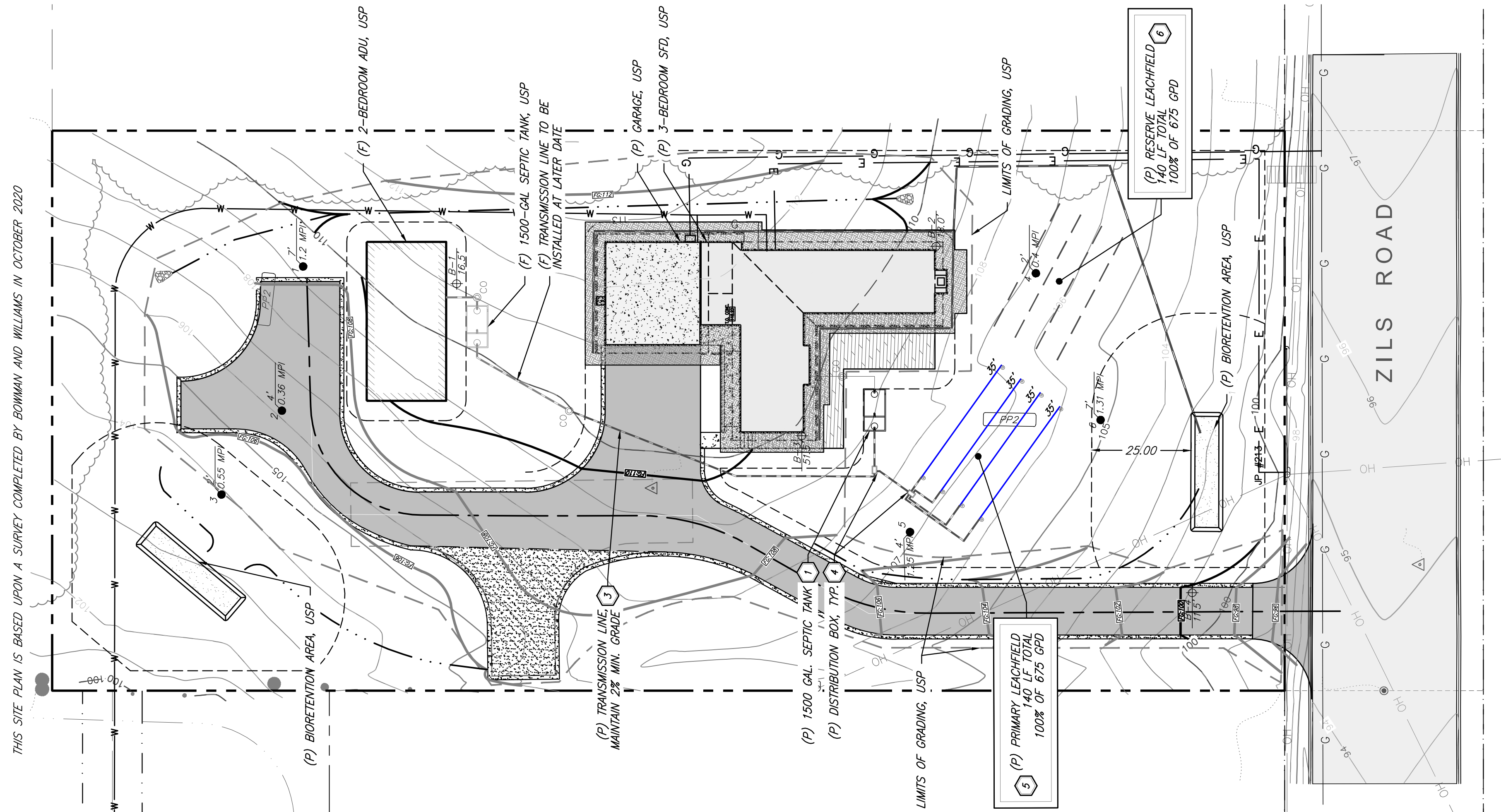
DESIGNER INFORMATION:
HOGAN LAND SERVICES INC.
2601 41ST AVE, STE B, SOQUEL
GEOFF FLEISSNER, RCE 82889
GFLEISSNER@HOGANLS.COM
(831) 425-1617

OWNER INFORMATION:
RENEE & MARCELO DINIZ
RENEED306GMAIL.COM
(209) 585-8854

SHEET INDEX

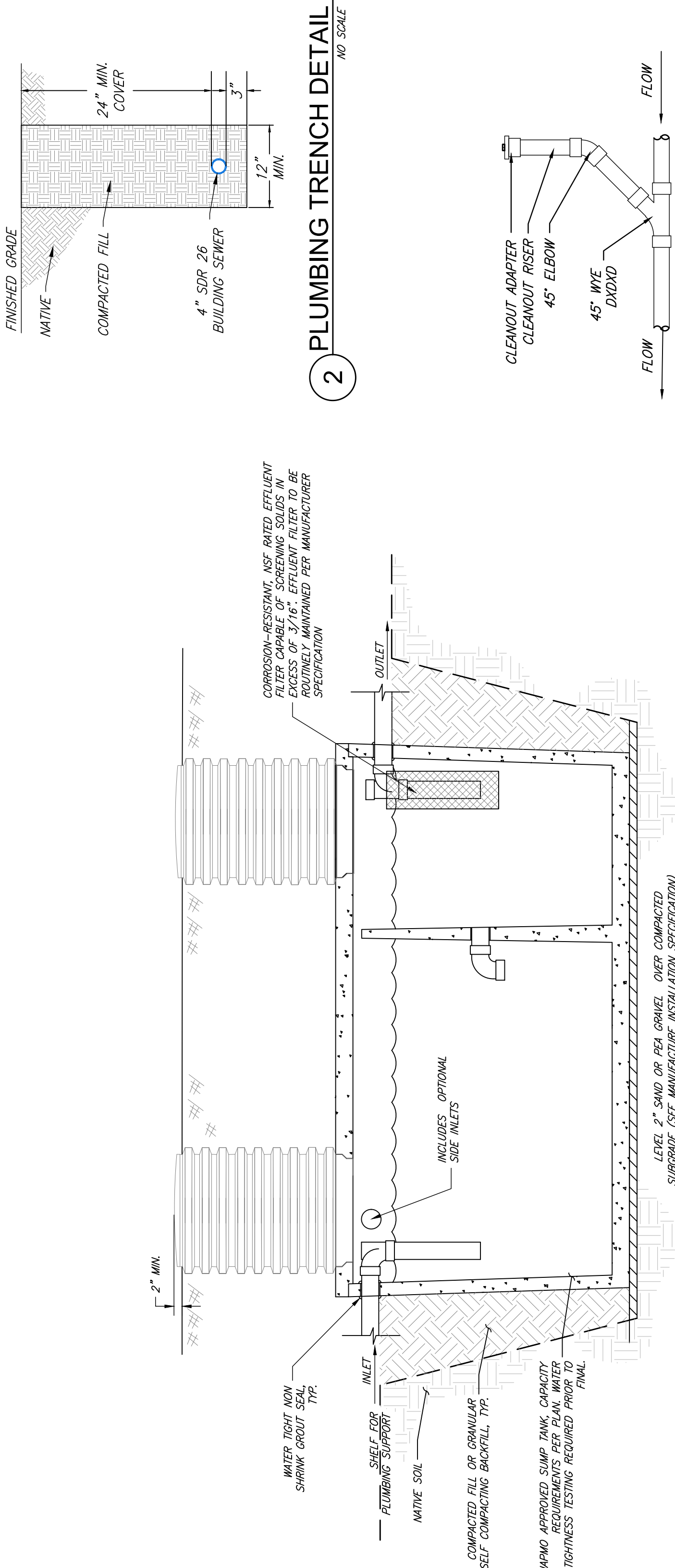
- CONVENTIONAL SYSTEM NOTES
- CONVENTIONAL SYSTEM PLAN & DETAILS

EXHIBIT E

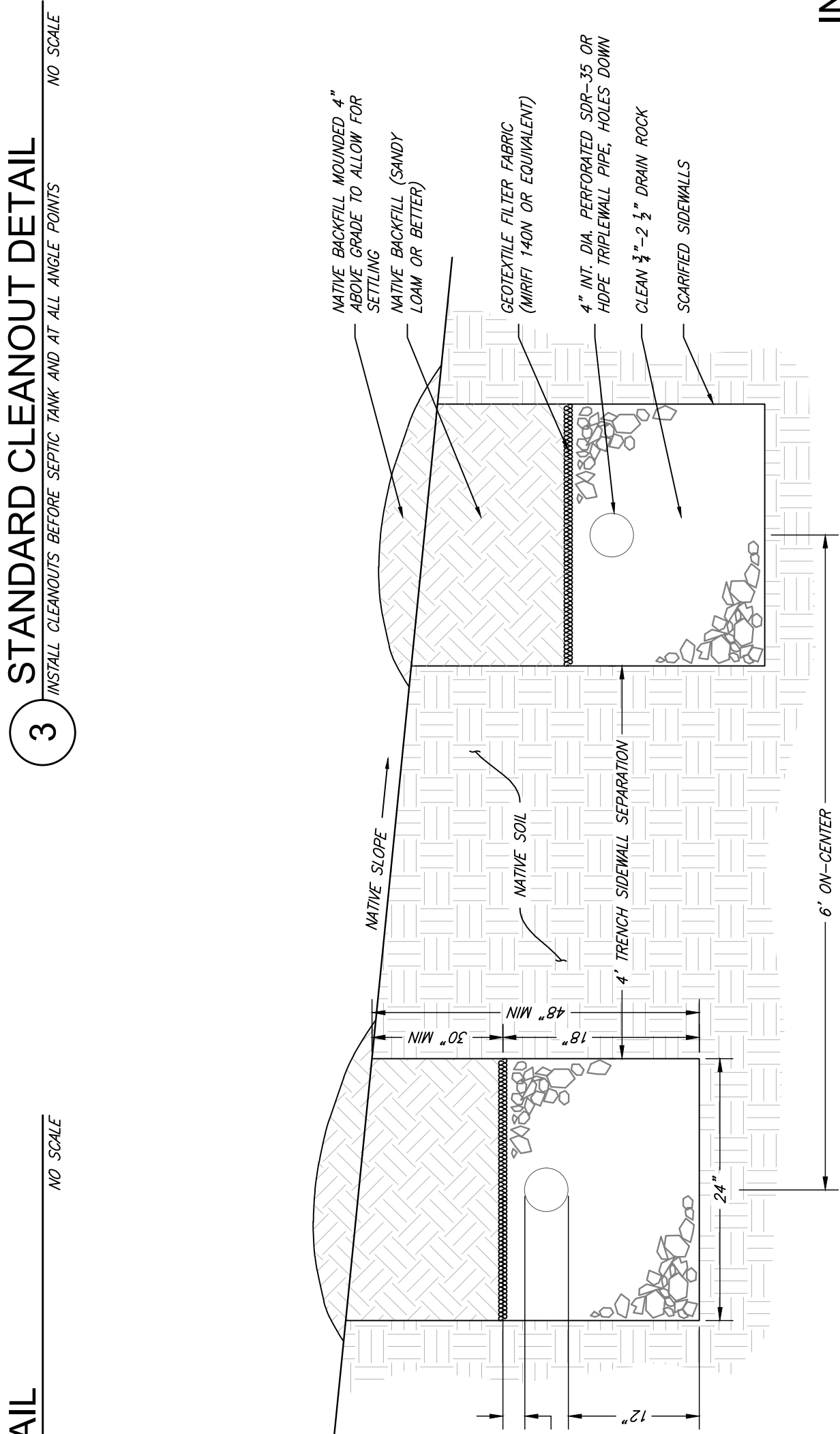


INSTALLATION NOTES

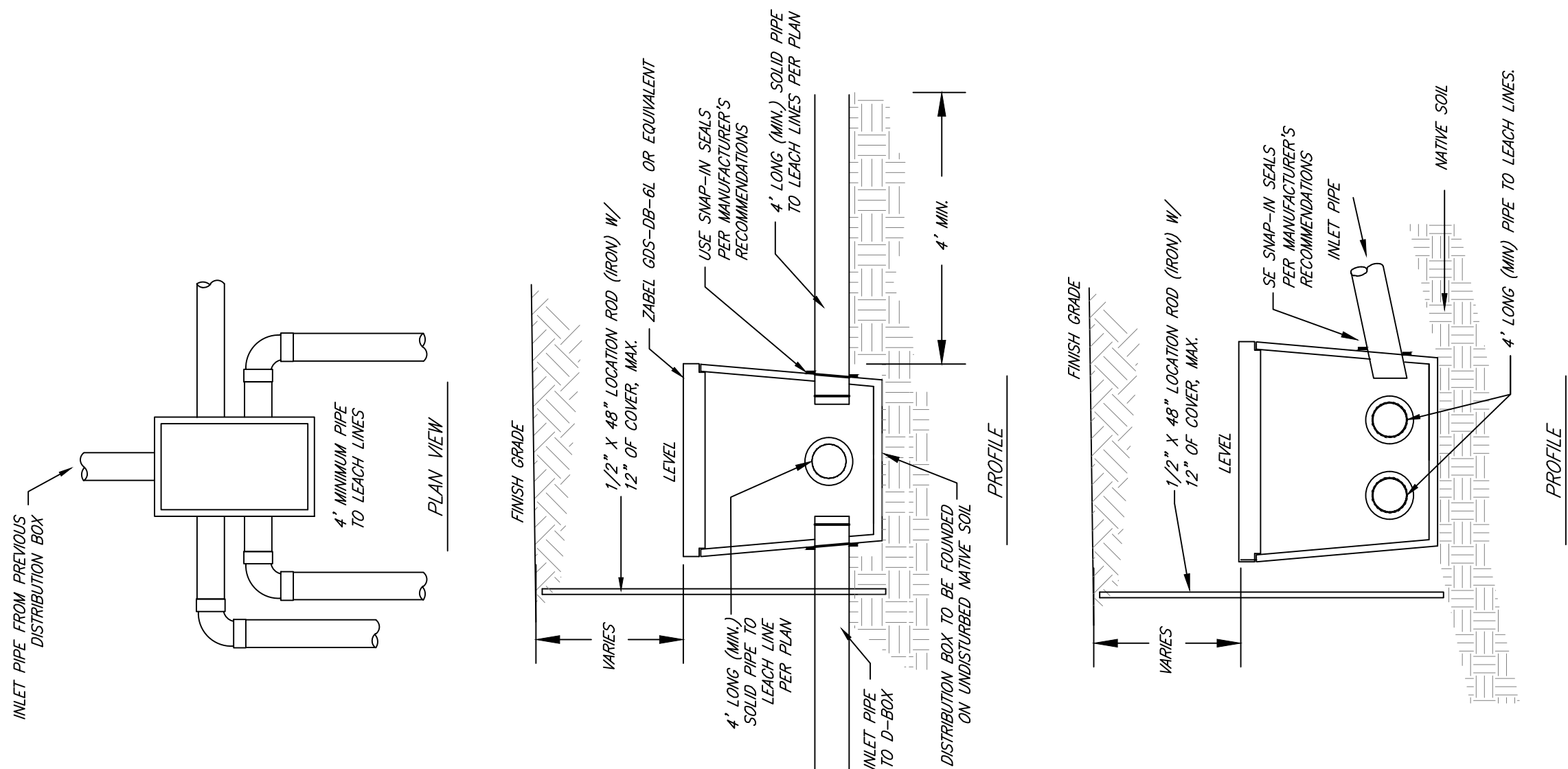
1. INSTALL NEW 1500 GALLON MIN. SEPTIC TANK. DOWNPOUR OF BUILDING SEWER FOR STD. PER DETAIL. 1 ON THIS SHEET. MAINWAIN 5" S/B TO BUILDING AND ON DECK. FOUNDATIONS. FINAL TANK LOCATIONS TO BE DETERMINED AT TIME OF CONSTRUCTION AND VERIFIED WITH HOGAN LAND SERVICES.
2. INSTALL 4" ABS OR SDR35 SEWAGE PIPE AT A 2% MIN GRADE TO ENSURE ADEQUATE FLOW. INSTALL CLEANOUTS AT 100' INTERVALS AND AT MAJOR JUNCTION POINTS PER DETAILS 2 & 3 ON THIS SHEET.
3. INSTALL ADDITIONAL SEWAGE PIPE BETWEEN DISTRIBUTION BOX AND OUTLET PIPES TO MAINTAIN SITE. SEE DETAIL FOR ADDITIONAL PROPOSED DRIVEWAY. THIS PIPE TO BE STUBBED AND NON-FUNCTIONAL AT THIS TIME. SEPTIC TANK FOR ADJ. AND CONNECTION TO LEACHFIELD TO BE ADDRESSED UNDER FUTURE PERMIT APPLICATION.
4. INSTALL 6-PORT DISTRIBUTION BOX AT HEAD OF LEACHFIELD PER DETAIL 4 ON THIS SHEET. CONNECT INLET AND OUTLET PIPES AS SHOWN ON PLAN.
5. INSTALL 4' LEACHLINES AT 35' IF TYP. PER DETAILS 5 AND 6 ON THIS SHEET. MAINWAIN 25" MIN. S/B BETWEEN LEACHLINES AND BORETENTION AREA.
6. RESERVE AREA INDICATED ON THIS PLAN TO REMAIN NATIVE AND UNDISTURBED.



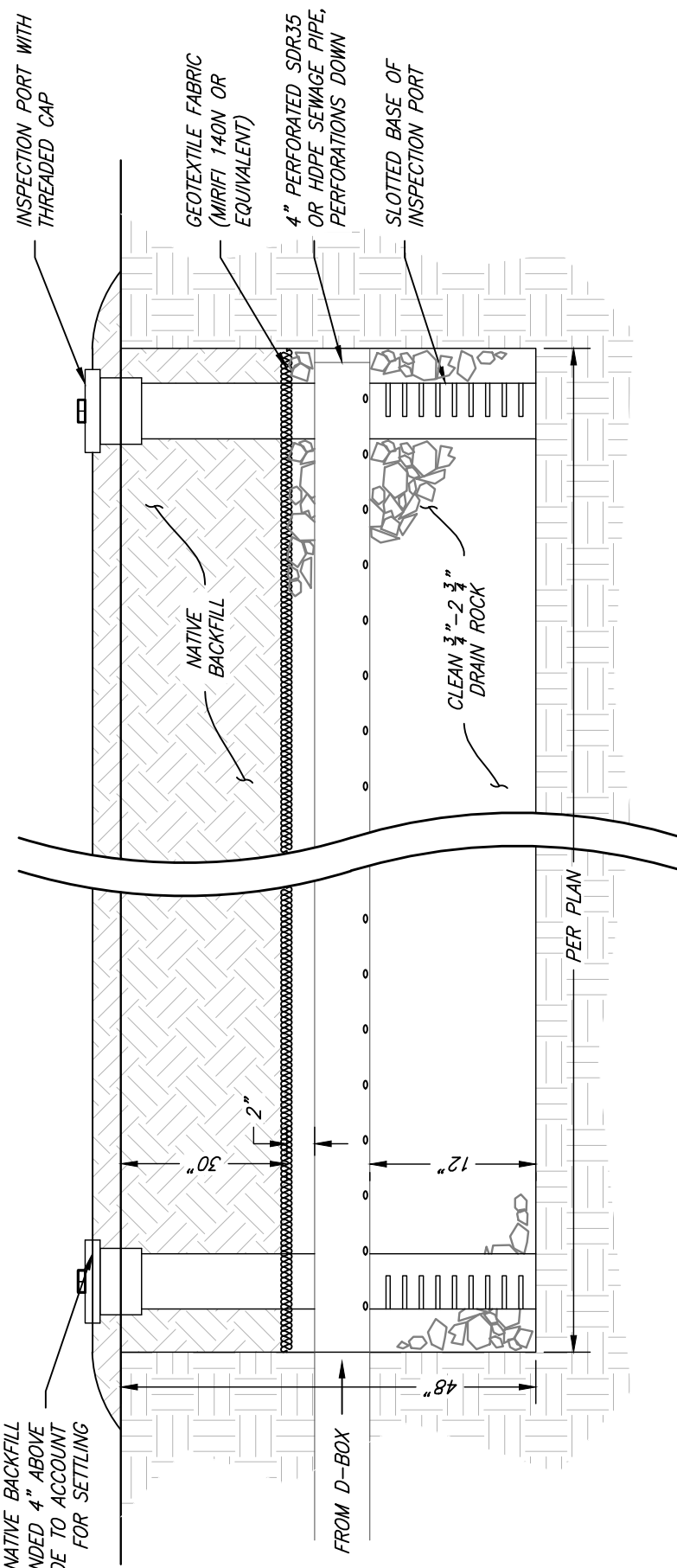
1 SEPTIC TANK DETAIL



5 LEACHFIELD CROSS-SECTION DETAIL

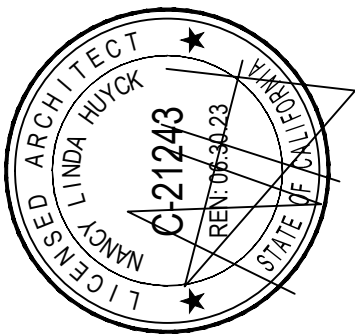






6 LEACHFIELD TRENCH DETAIL NO SCALE



9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huystickarchitects.com
www.huystickarchitects.com



			
			
			
	04-14-22	COASTAL SUBMISSION	
no.	date	description	

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

OVERALL SITE PLAN

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SCALE: 1"=20'-0"

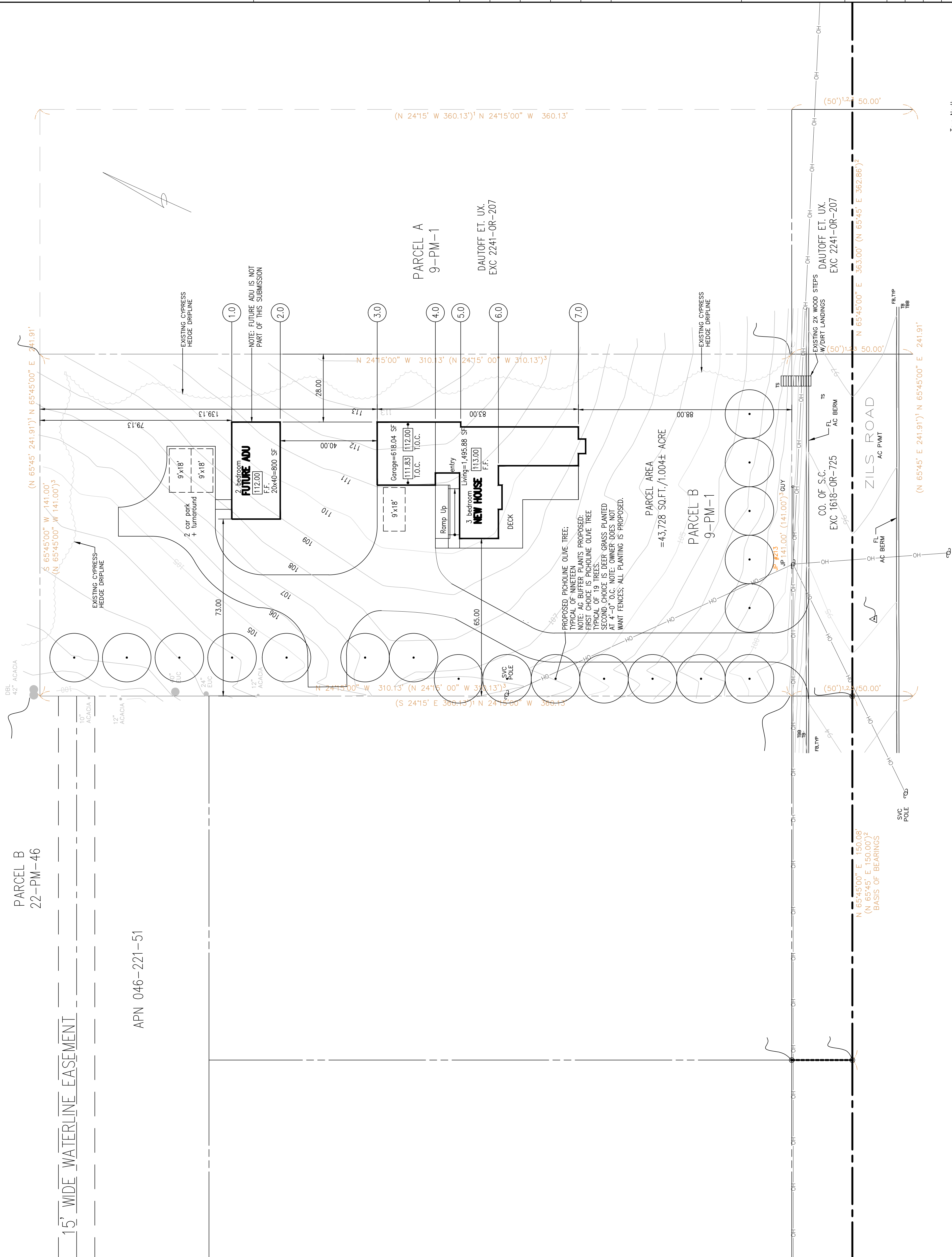
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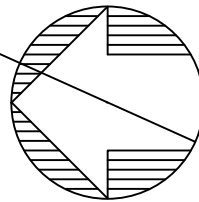
JOB NO.: N2170

A-01

sheet - of - sheets



True, North



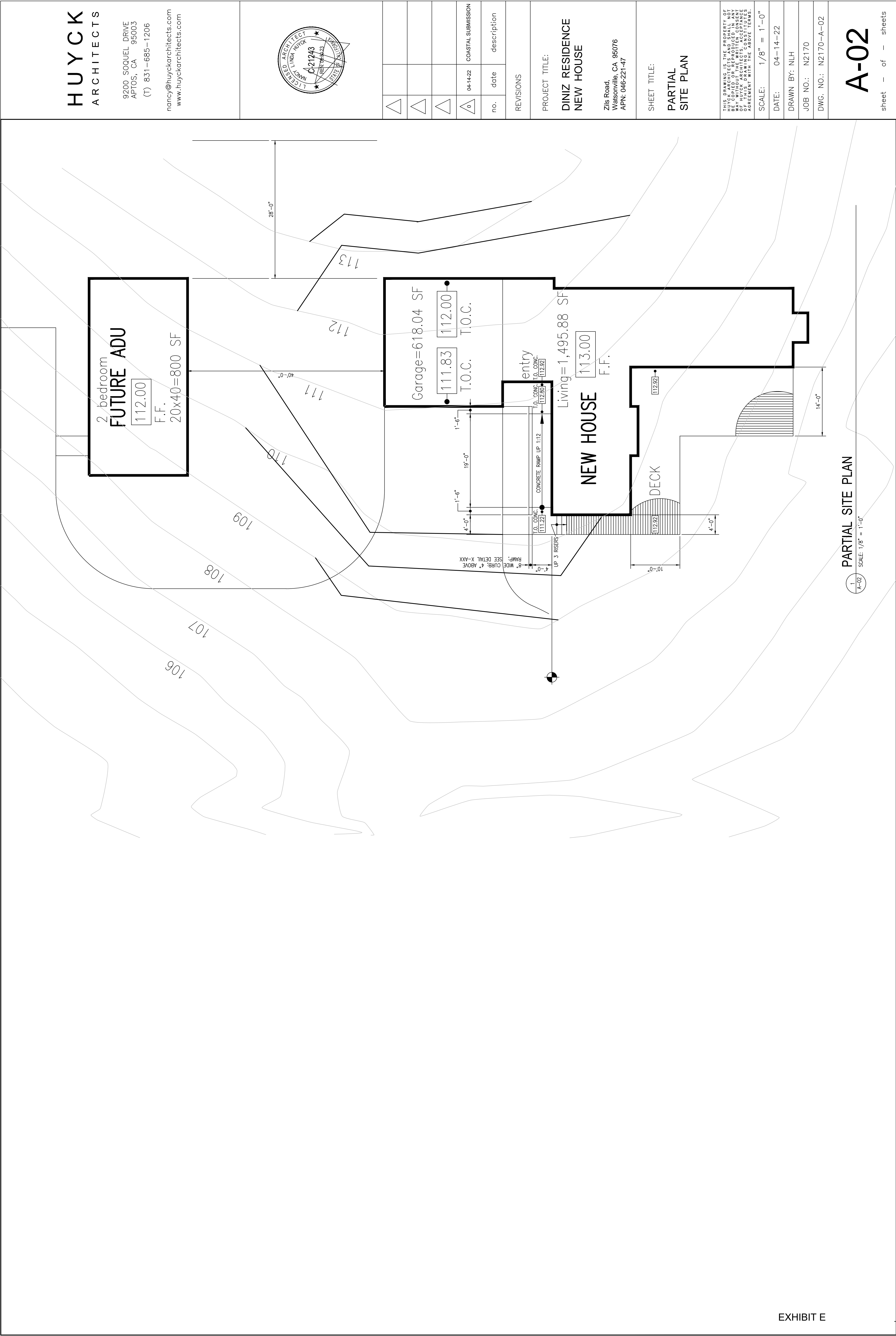
REFERENCE NORTH

OVERALL SITE PLAN

SCALE: $1' = 20'-0''$

NOTE: SEE SHEET A-02 AND CIVIL DRAWINGS FOR PROPOSED NEW CONTOURS

EXHIBIT E

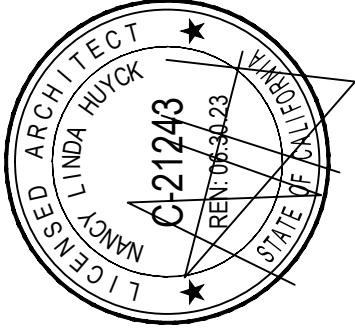


1
A-02
PARTIAL SITE PLAN
SCALE: 1/8" = 1'-0"

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REVISIONS

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NEW HOUSE**

Zils Road,
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APN: 046-221-47

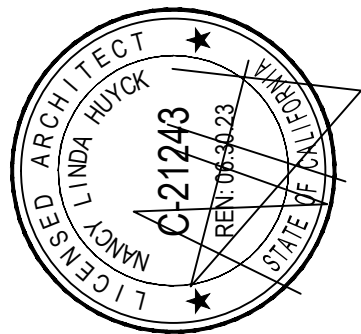
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**PARTIAL
SITE PLAN**





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JOB NO.: N2170
DWG. NO.: N2170-A-02

A-02

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PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
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APN: 046-221-47

SHEET TITLE:

FLOOR PLAN

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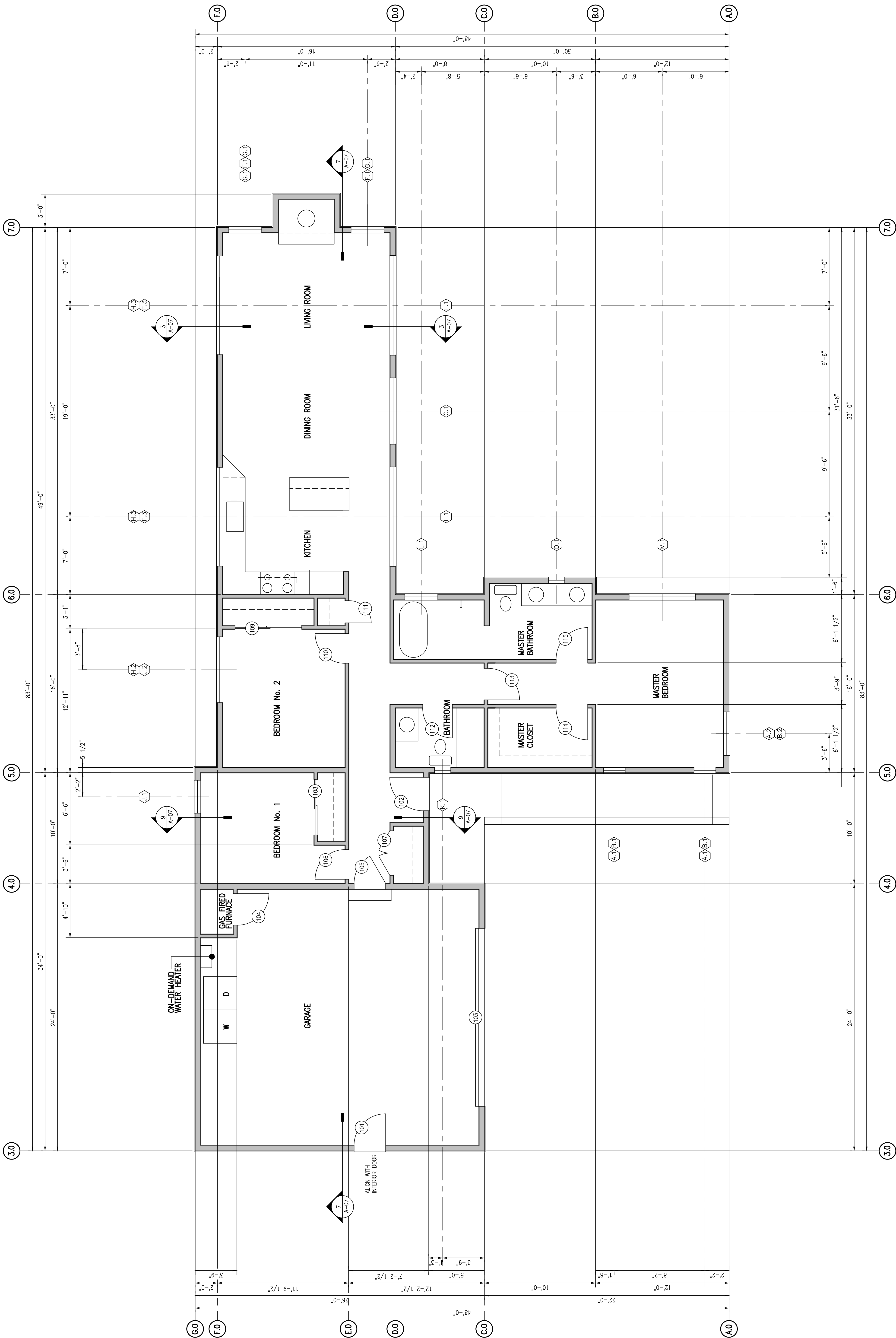
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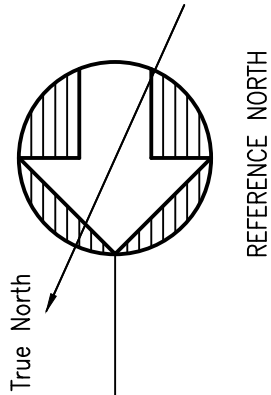
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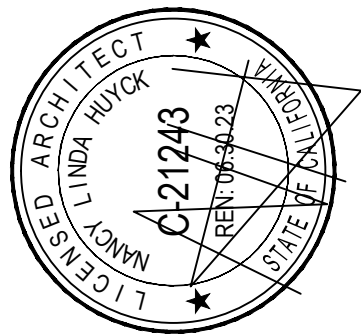
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FIRST FLOOR PLAN





			
			
			
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REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

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APN: 046-221-47

SHEET TITLE:

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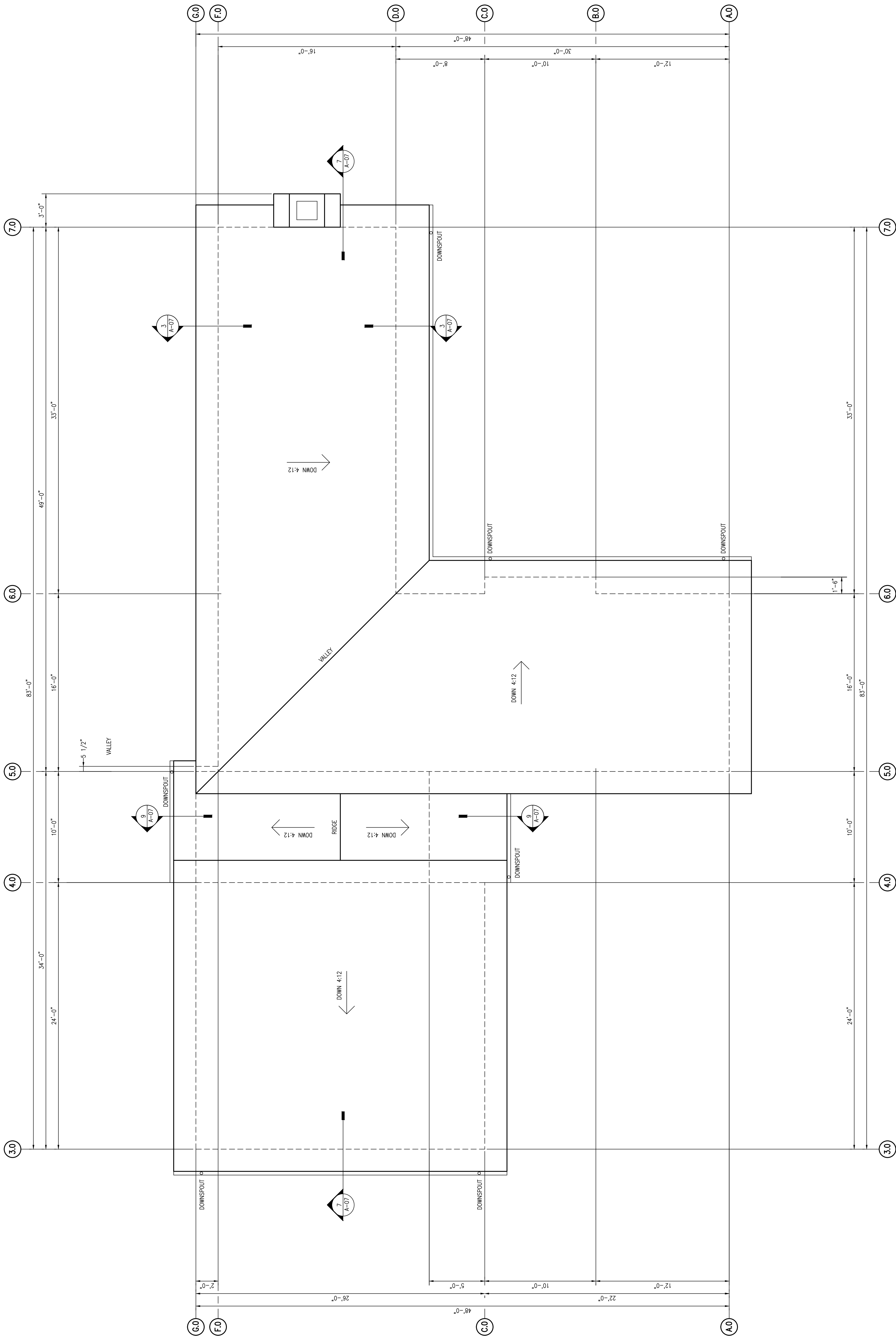
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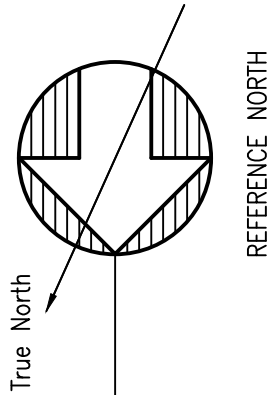
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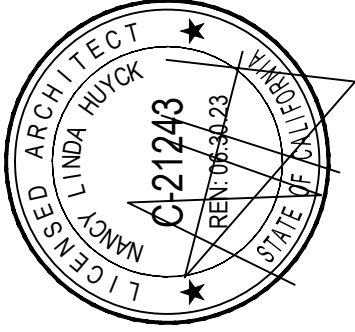
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ROOF PLAN





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REVISIONS

PROJECT TITLE:
**DINIZ RESIDENCE
NEW HOUSE**

Zils Road,
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APN: 046-221-47

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

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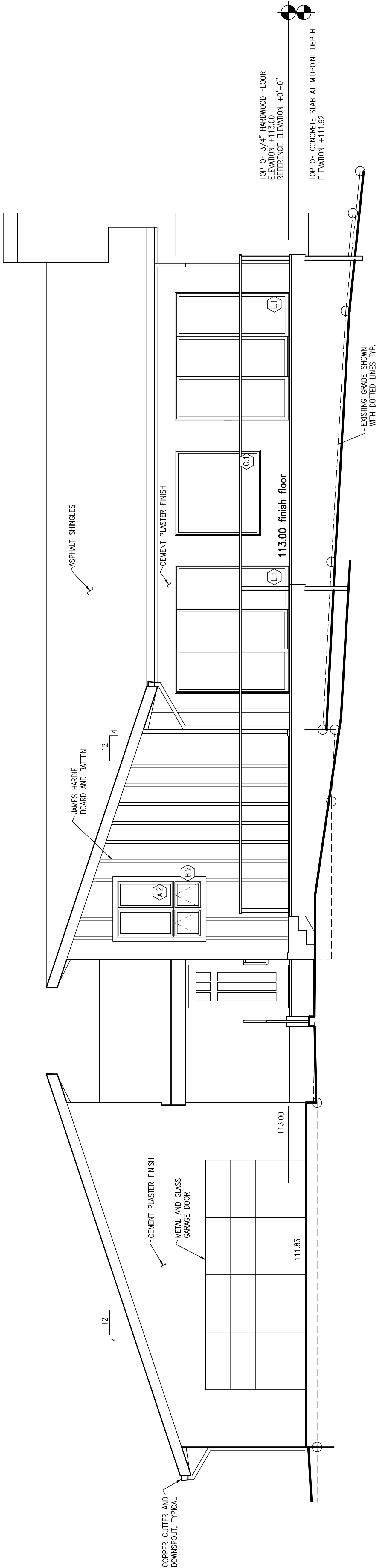
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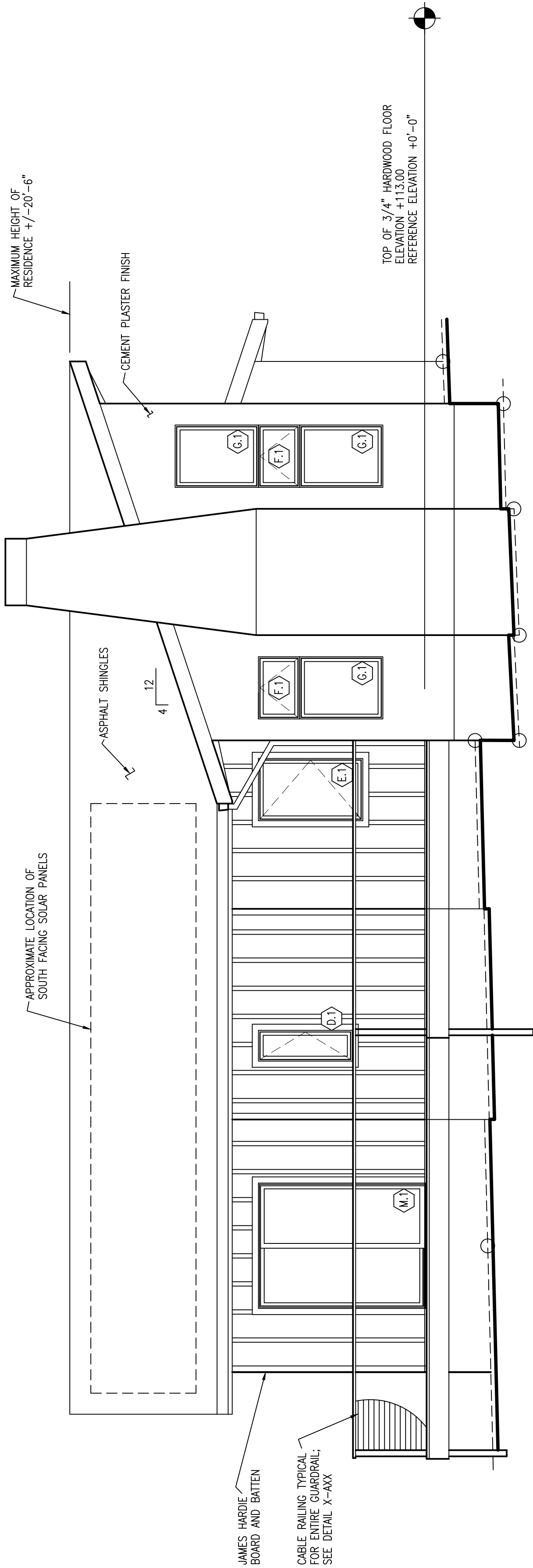
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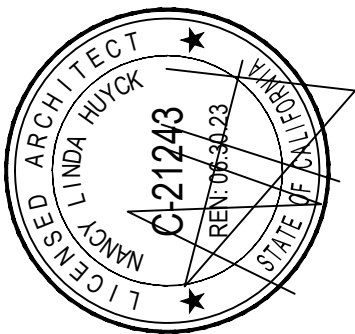
WEST ELEVATION





SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



			
			
			
	04-14-22		COASTAL SUBMISSION
no.	date		description

REVISIONS

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DINIZ RESIDENCE
NEW HOUSE

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APN: 046-221-47

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EXTERIOR ELEVATIONS

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DATE: 04-14-22

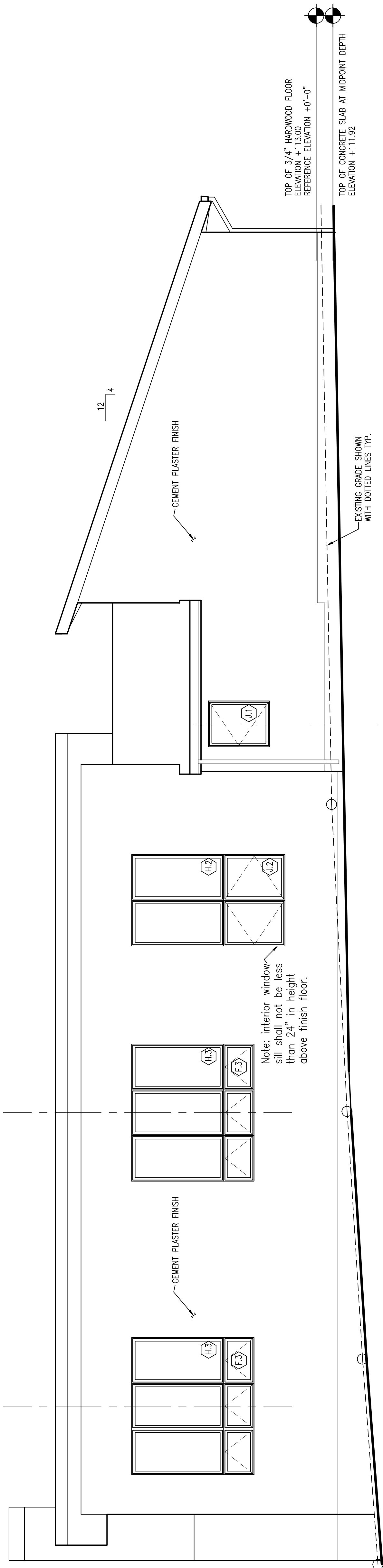
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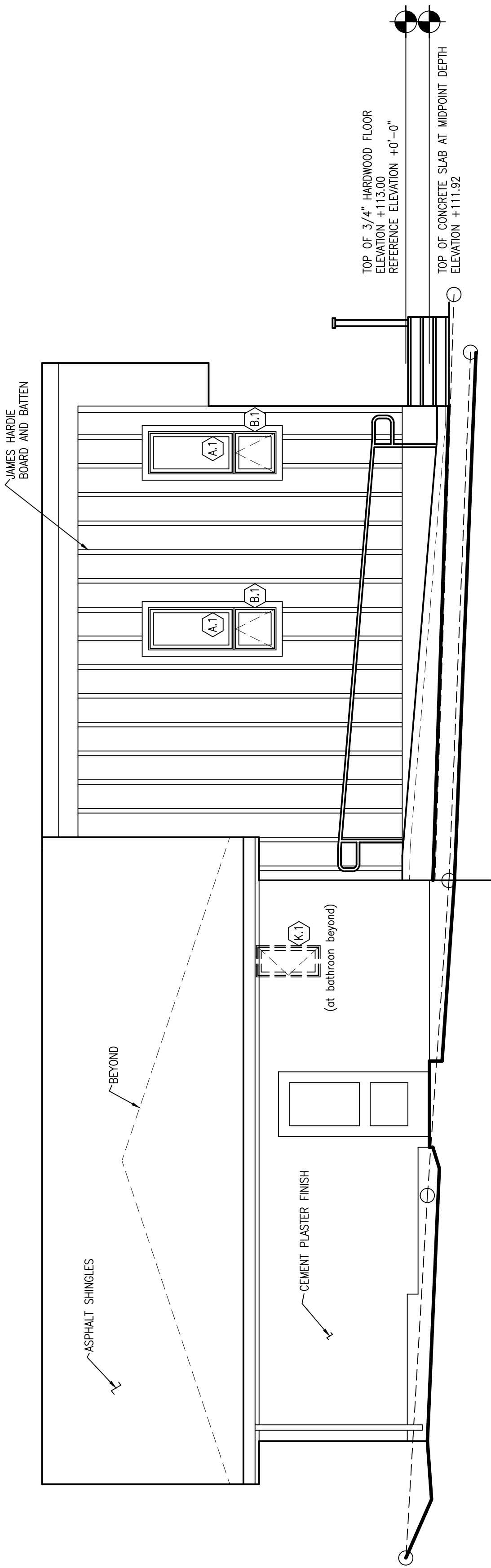
A-06

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EAST ELEVATION

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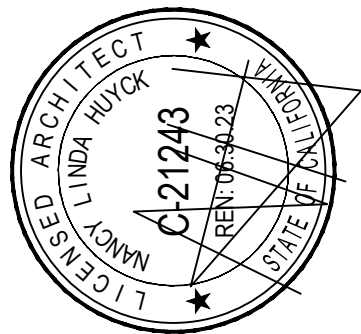


NORTH ELEVATION

SCALE: 1/4" = 1'-0"

9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huyckarchitects.com
www.huyckarchitects.com



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no.	date		description	

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

BUILDING SECTIONS

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SCALE: 1/4" = 1'-0"

DATE: 04-14-22

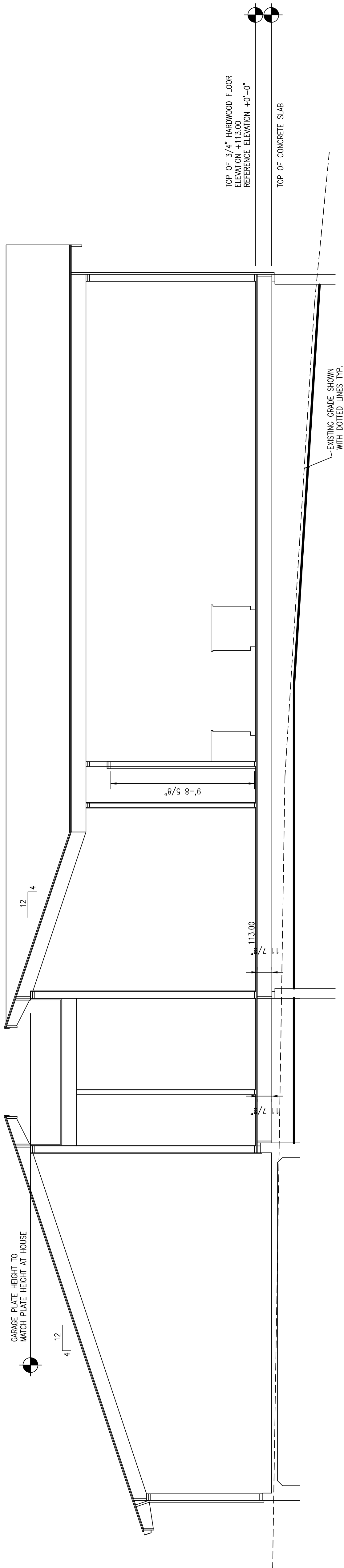
DRAWN BY: NLH

JOB NO.: N2170

DWG. NO.: N2170-A-07

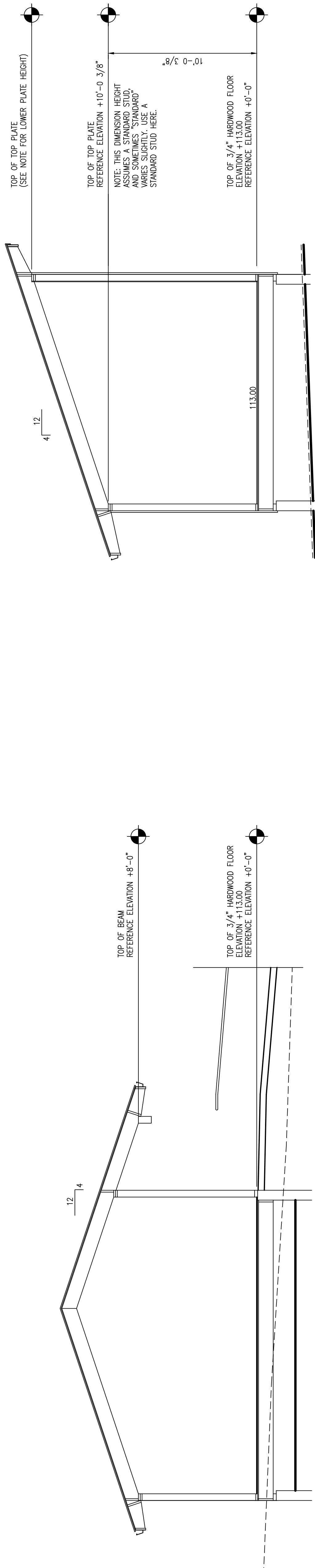
A-07

sheet - of - sheets



LONGITUDINAL SECTION

SCALE: $1/4'' = 1'-0''$



CROSS SECTION

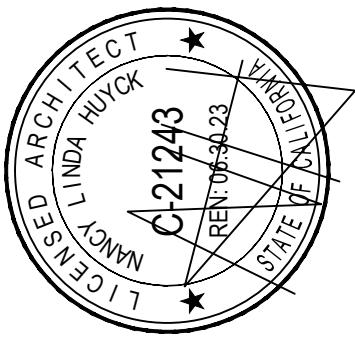
SCALE: 1/4" = 1'-0"





CROSS SECTION

SCALE: $1/4'' = 1'-0''$

9200 SOQUEL DRIVE
APTOS, CA 95003
(T) 831-685-1206

nancy@huyckarchitects.com
www.huyckarchitects.com



		
		
		
	04-14-22	COASTAL SUBMISSION
no.	date	description

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

DOOR +
WINDOW
SCHEDULE

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SCALE: $1/4" = 1'-0"$

DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

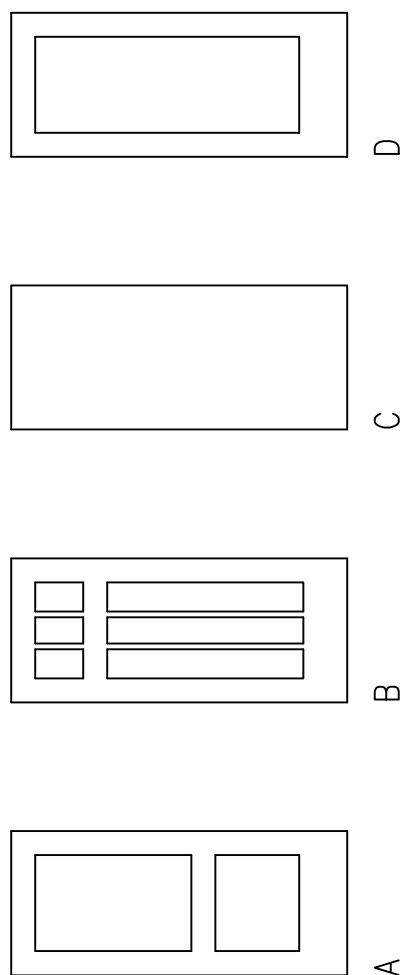
A-09

sheet - of - sheets

DOOR SCHEDULE

NUMBER	TYPE
101	EXTERIOR
102	EXTERIOR
103	EXTERIOR
104	INTERIOR
105	INTERIOR
106	INTERIOR
107	INTERIOR
108	INTERIOR
109	INTERIOR
110	INTERIOR
111	INTERIOR
112	INTERIOR
113	INTERIOR
114	INTERIOR
115	INTERIOR
116	INTERIOR

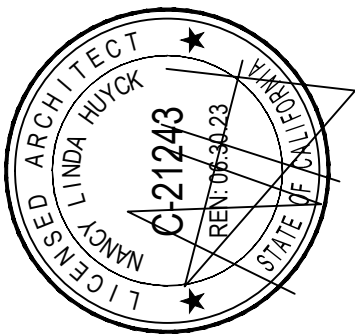
DOOR TYPES







GARAGE DOOR

9200 SOQUEL DRIVE
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	04-14-22	COASTAL SUBMISSION	
no.	date	description	

REVISIONS

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

REFLECTED
CEILING -
LIGHTING

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SCALE: $1/4" = 1'-0"$

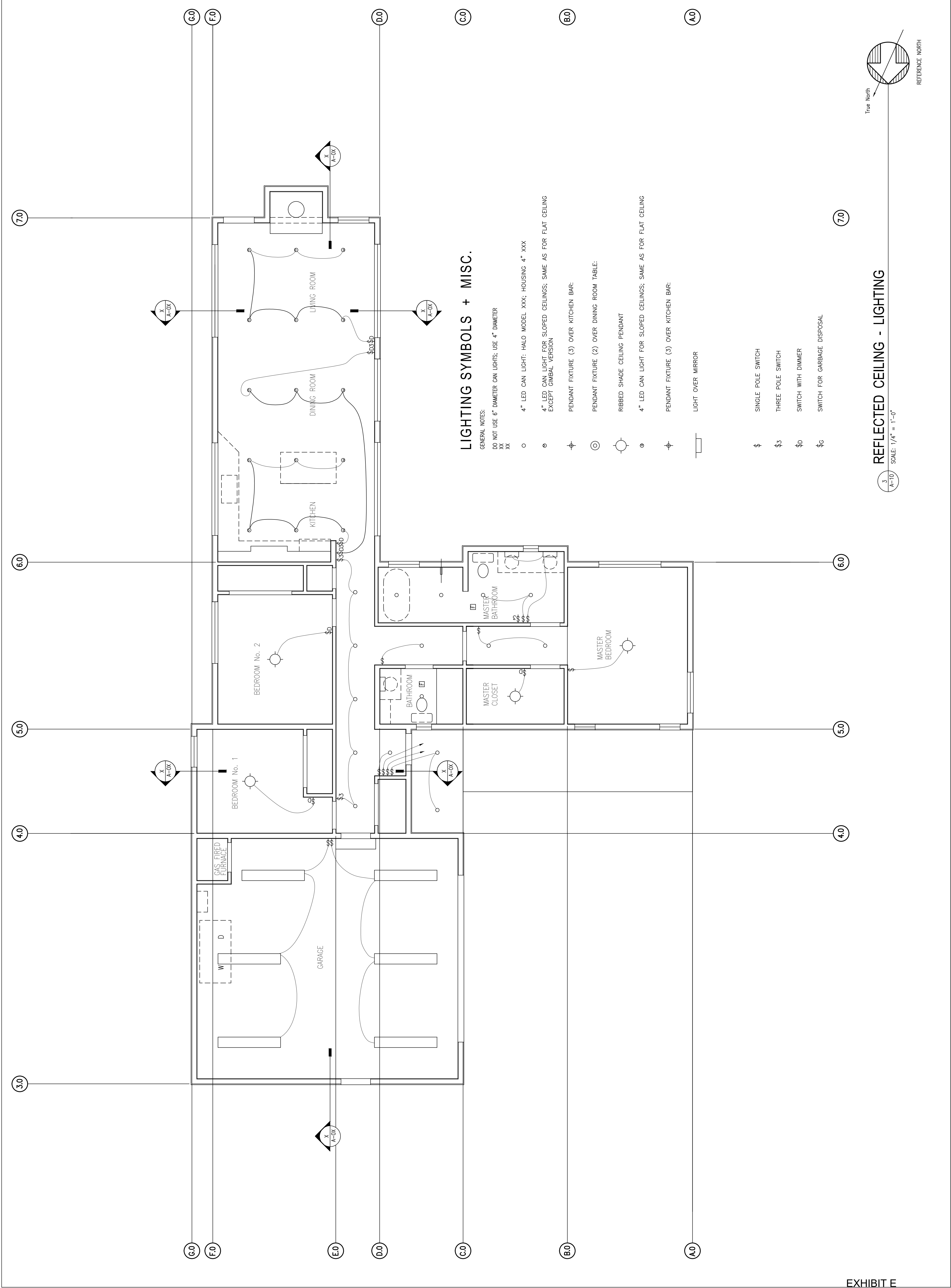
DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

A-10

sheet - of - sheets



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△			
△			
△			
△ 0	04-14-22	COASTAL SUBMISSION	
no.	date		description

S

PROJECT TITLE:

DINIZ RESIDENCE
NEW HOUSE

Zils Road,
Watsonville, CA 95076
APN: 046-221-47

SHEET TITLE:

MATERIALS +
COLORS +
DETAILS

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SCALE: 3"=1'-0"

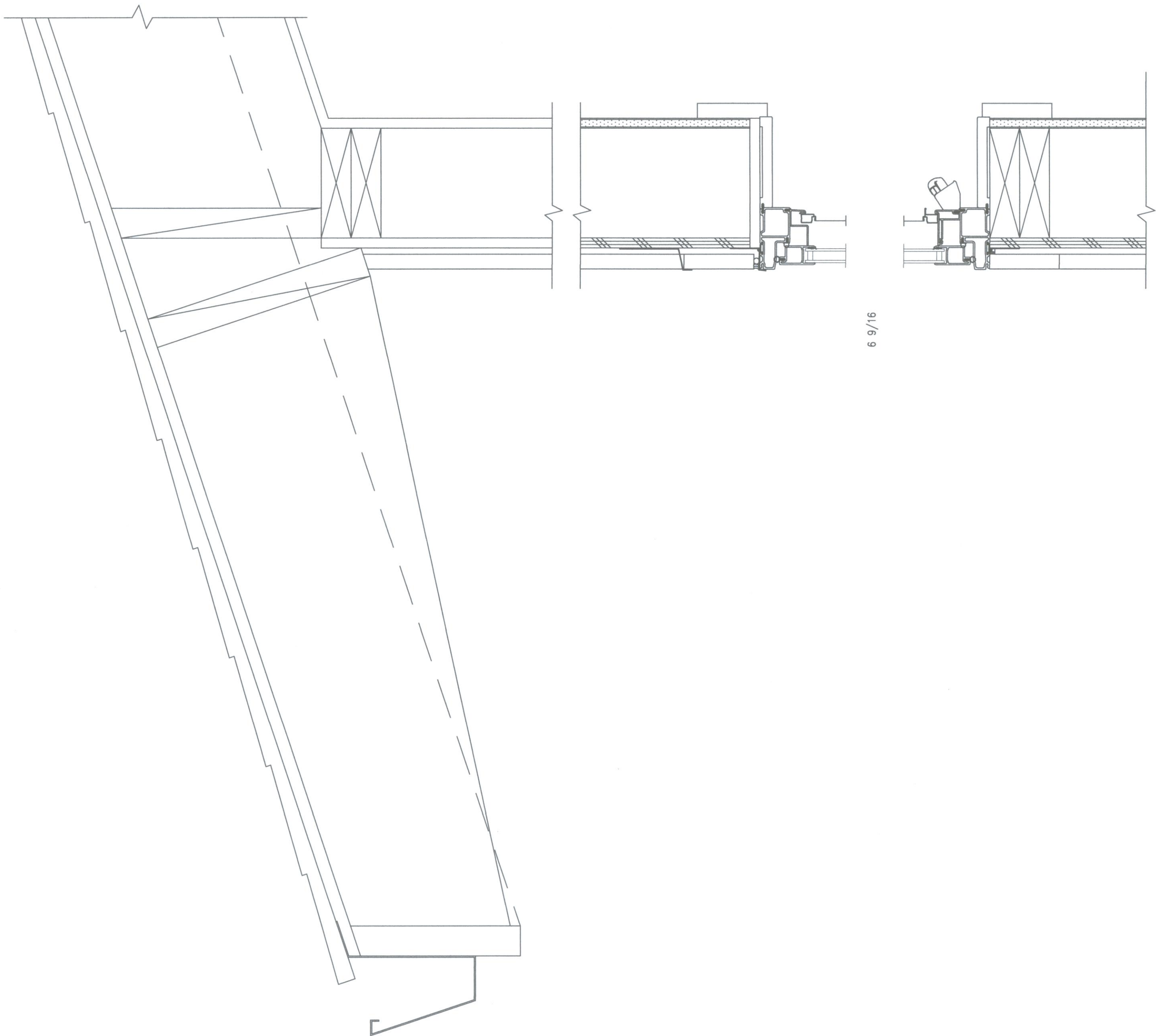
DATE: 04-14-22

DRAWN BY: NLH

JOB NO.: N2170

11A

sheet - of - sheets



5/9/16

HUYCK ARCHITECTS
9200 Soquel Drive, Aptos, CA 95003

Telephone: 831-685-1206
nancy@huyckarchitect
www.huyckarchitect



ROOFING: Asphalt Shingles; CertainTeed Landmark TL Triple Laminated; Color: Moire Black

WALLS: 3-Coat Exterior Stucco Finish (No window trim at stucco application); Color SW Requisite Gray



ACCENT WALLS: James Hardie Board and Batten Finish; Hardie Plank and Battens in Iron Grey (Window trim matches this color)



WINDOWS: Marvin Essential Collection – Fiberglass;
Color: Black



FENCING: None Proposed

RETAINING WALLS: Exposed Poured Concrete

GARAGE DOOR: Manufacturer, "Modern Classic"

EXHIBIT E

Parcel Information

Parcel Size:	42,078 square feet or .9 acre
Existing Land Use – Parcel:	Vacant
Existing Land Use – Surrounding:	Agriculture, Pockets of Residential Agriculture
Project Access:	Zils Road
Planning Area:	San Andreas
Land Use Designation:	A (Agriculture)
Zone District:	RA (Residential Agriculture)
Coastal Zone:	<u>X</u> Inside ___ Outside
Appealable to Calif. Coastal Comm.	<u>X</u> Yes ___ No

Services Information

Urban/Rural Services Line:	___ Inside <u>X</u> Outside
Water Supply:	San Andreas Mutual Water Company
Sewage Disposal:	Septic
Fire District:	Aptos/La Selva Fire Protection District
Drainage District:	None

From: kitshio@aol.com <kitshio@aol.com>
Sent: Tuesday, August 23, 2022 9:21 AM
To: Sheila McDaniel <Sheila.McDaniel@santacruzcounty.us>
Subject: APN: 046-221--47

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Hello, Sheila.....My name is Kit Shiotani and I own the farm surrounding this one acre parcel...My question is the following: I am now retired after running this farm for almost 50 years...My sons are considering farming this land again. Would approval of this Agricultural reduction and approval of the 200 foot setback for the ADU make it difficult to farm our land within the 200 feet?.....thank you for your consideration...Kit Shiotani

FOR TAX PURPOSES ONLY

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POR. SAN ANDREAS RANCHO
SEC. 3, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-278

46-22

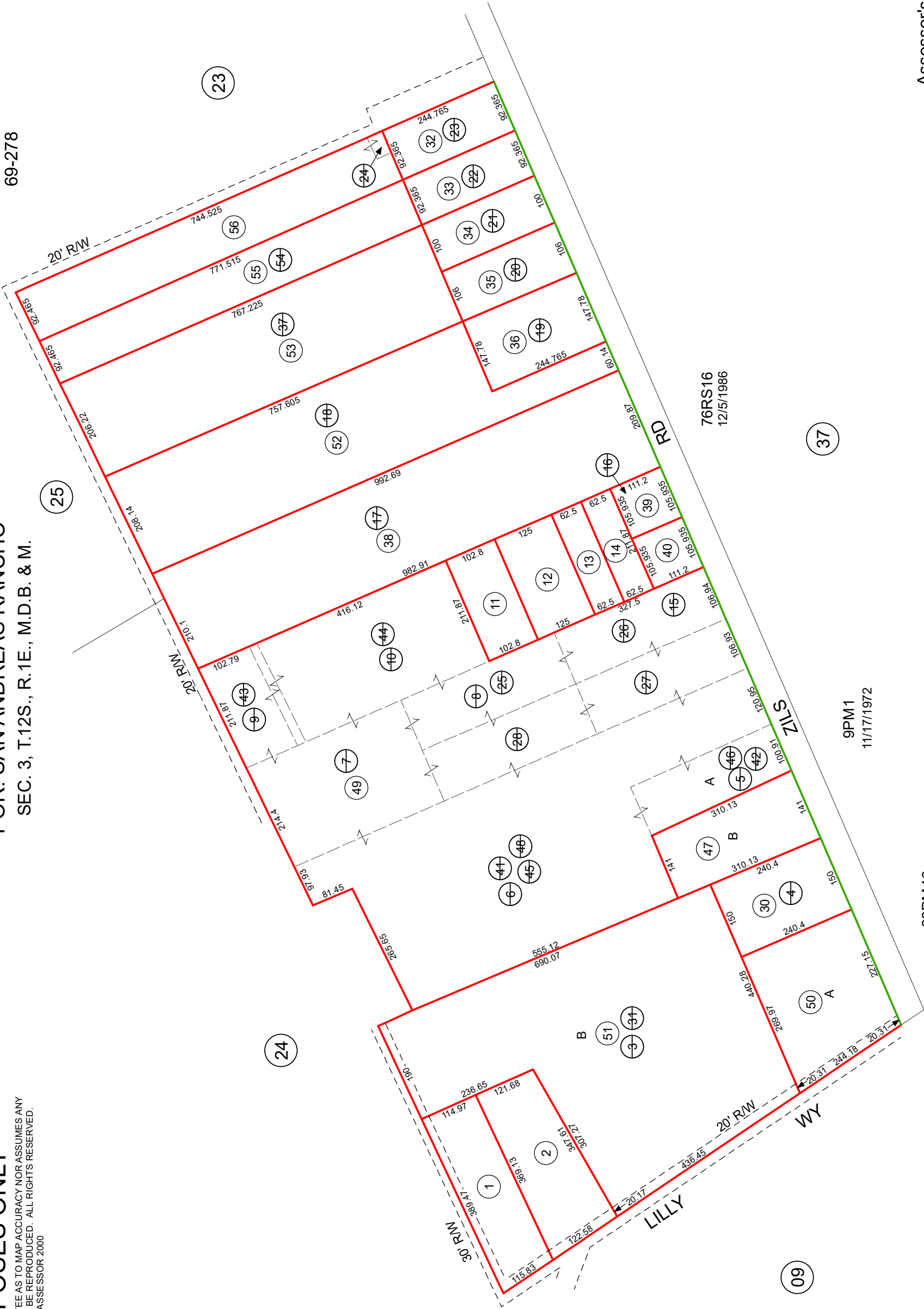


EXHIBIT F

~~EXHIBIT C~~

Electronically redrawn 2/7/00 KSA
Rev. 1/17/18 Jg (2017-0016002 & 03, LBA 1-52 to 54)
Rev. 1/17/18 Jg (2018-0006308 & 09, LBA 1-55 & 56)

Assessor's Map No. 46-22
County of Santa Cruz, Calif.
Feb. 2000

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

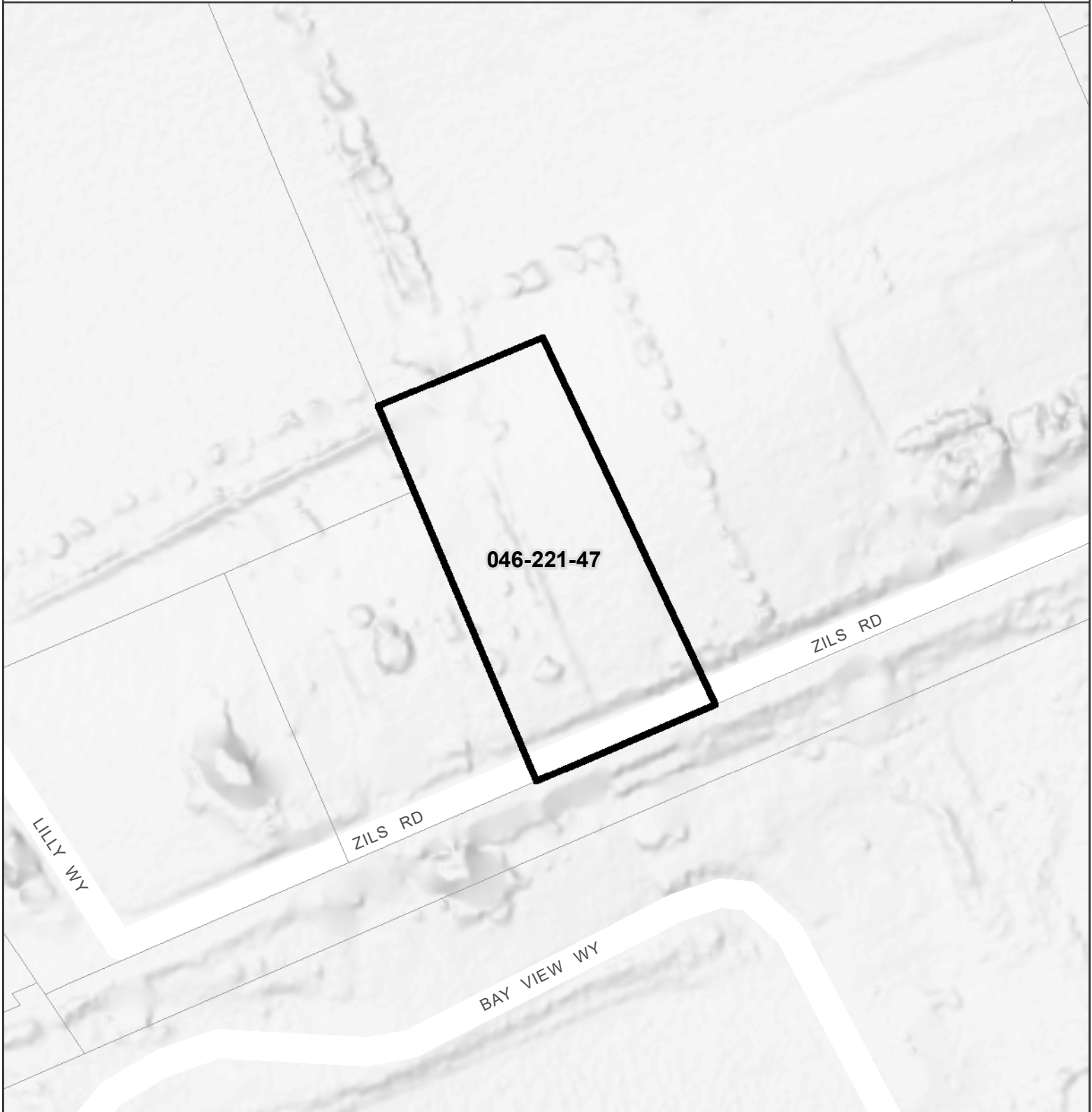
22PM46
9/2/1976

9PM1
11/17/1972



76RS16
12/5/1986



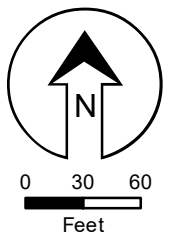
Parcel Location Map



Parcel: 04622147

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 24 Jun. 2022

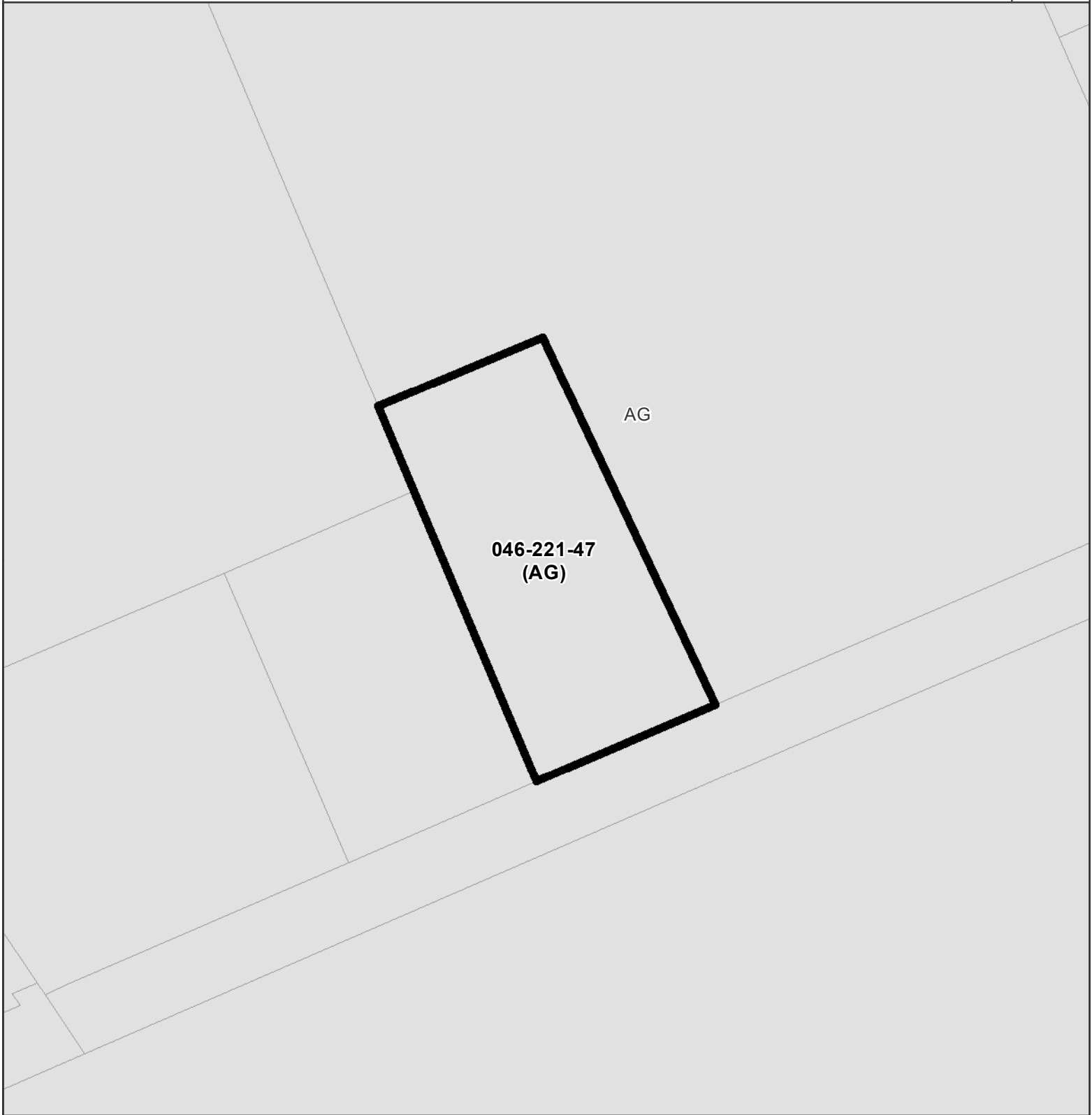




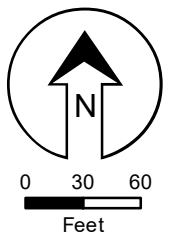
Parcel General Plan Map



Mapped
Area

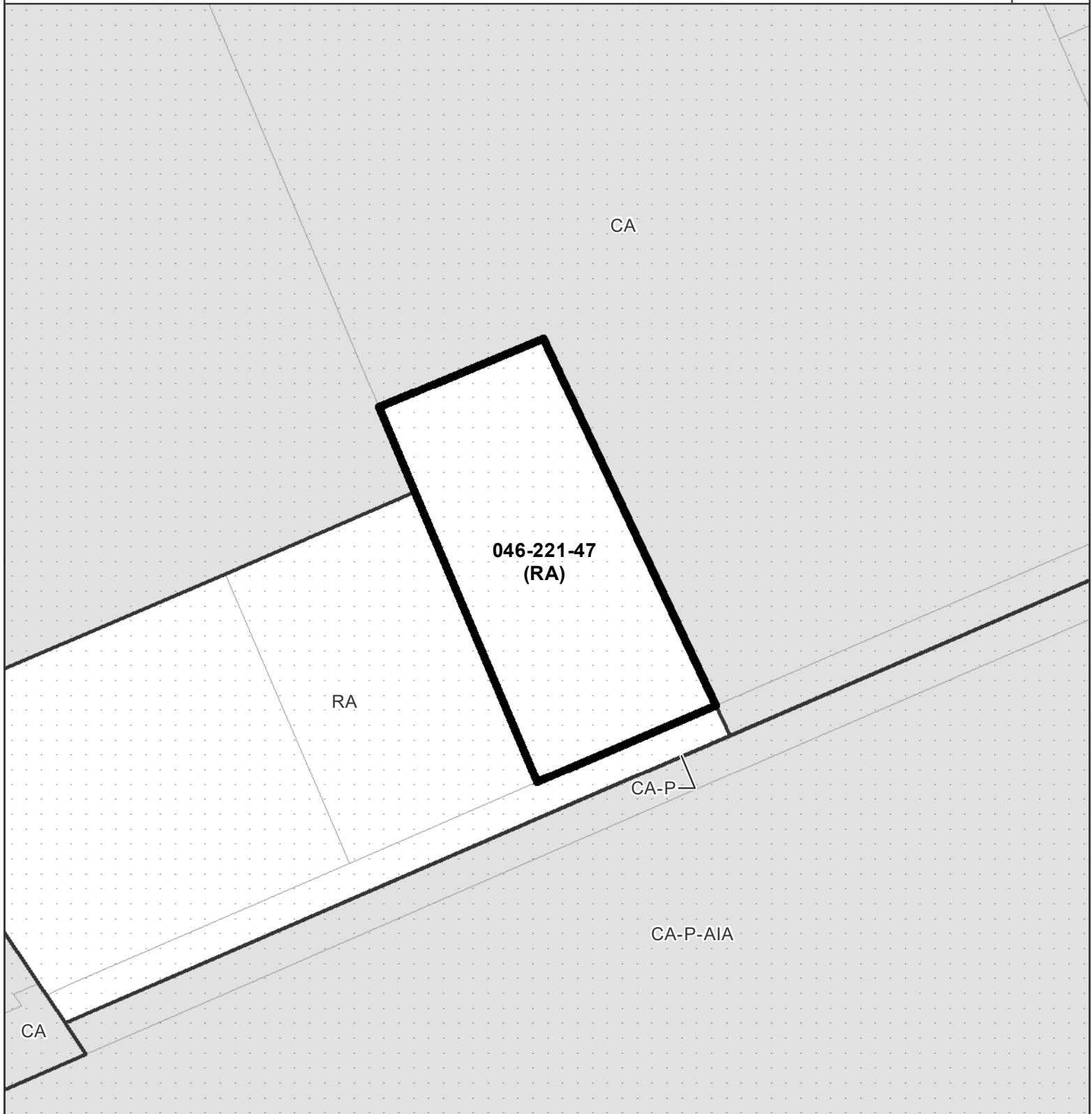


AG Agricultural

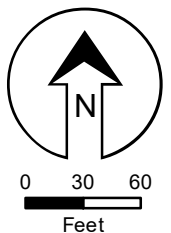




Parcel Zoning Map



- CA Commercial Agriculture
- RA Residential Agricultural



Parcel Information

Parcel Information

Parcel Size:	42,078 square feet or .9 acre
Existing Land Use –	
Parcel:	Vacant
Existing Land Use –	Agriculture, Pockets of Residential
Surrounding:	Agriculture
Project Access:	Zils Road
Planning Area:	San Andreas
Land Use Designation:	A (Agriculture)
Zone District:	RA (Residential Agriculture)
Coastal Zone:	<u>X</u> Inside <u> </u> Outside
Appealable to Calif. Coastal Comm.	<u>X</u> Yes <u> </u> No

Services Information

Urban/Rural Services Line:	<u> </u> Inside <u>X</u> Outside
Water Supply:	San Andreas Mutual Water Company
Sewage Disposal:	Septic
Fire District:	Aptos/La Selva Fire Protection District
Drainage District:	None

Technical Reviews: Geotechnical Report Review

Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Fire Hazard:	Not a mapped constraint
Slopes:	0-15 percent slope
Env. Sen. Habitat:	No physical evidence on site per Environmental Planning site analysis
Grading:	194 cubic yards cut, 74 cubic yards fill
Tree Removal:	No trees proposed to be removed
Scenic:	Not a mapped resource
Archeology:	Not mapped/no physical evidence on site



County of Santa Cruz

BRUCE DAU, Chairperson
KEN KIMES, Vice Chairperson
JUAN HIDALGO, Executive Secretary

MINUTES OF REGULAR MEETING

August 25, 2022

1:30 PM

Remote Public Meeting (Online via MS Teams)

Present: Bruce Dau, Ellen Rinde, Mike Manfre, Ken Kimes
Excused Absence: Doron Comerchero
Others: Jocelyn Drake, Ken Hart, Michael Lam, Kit Shiotani, Juan Hidalgo, David Sanford

1. The meeting was called to order at 1:55 p.m.

2. Approval of Minutes and Modifications

(a) Approved minutes from the May 19, 2022 hearing.

MOTION/SECONDED: Dau/Rinde

AYES: Kimes, Dau, Rinde, Manfre

NOES: None

ABSTAIN: None

ABSENT: None

(b) Additions/Corrections to Agenda: None

(c) Review of APAC correspondence: None

3. APAC Commissioner Presentations: None

4. Staff Presentations: None

5. Updates from the Agricultural Commissioner's Office: The Ag Commissioner's Office is currently taking part in a pilot project for the California Department of Pesticide Regulation's proposed statewide Pesticide Application Notification System, which the state hope to release by 2024. Information can be found at our website www.agdept.com

6. Updates from the Staff Planner: None

7. Oral Communications: None

8. Project: **221110. APN: 104-101-42**

**Approve staff recommendation for project 221110 with the following recommendations:
Plans shall be revised to extend the proposed fence/vegetative buffer by approximately 100 linear feet eastward, for a total buffer of approximately 220 linear feet.**

MOTION/SECONDED: Rinde/Kimes

AYES: Manfre, Dau, Rinde, Kimes

NOES: None

ABSTAIN: None

ABSENT: None

9. Project: **221193. APN: 046-221-47**

**Approve staff recommendation for project 221193 with the following recommendations:
Plans shall be revised to provide solid fencing along the east, north and west property line boundaries.**

MOTION/SECONDED: Kimes/Rinde

AYES: Manfre, Dau, Rinde, Kimes

NOES: None

ABSTAIN: None

ABSENT: None

The meeting was adjourned at 3:05 p.m.