



## Staff Report to the Zoning Administrator

Application Number: **221273**

---

**Applicant:** Cade Bell

**Agenda Date:** 10/21/2022

**Owner:** Heidi and Robert Black

**Agenda Item #:** 4

**APN:** 097-222-08

**Time:** After 9:00 a.m.

**Site Address:** 485 Old Turnpike Road, Los Gatos, CA 95030

**Project Description:** Proposal to demolish an existing 36.5 square foot deck and construct an approximately 240 square foot new deck, at an existing nonconforming single-family dwelling that is located approximately 5feet 6 inches from the edge of the right of way.

Requires a variance to reduce the front yard setback from 40 feet to 21 feet 9 inches at the deck post, and from 34 feet to 18 feet 11 inches at the cantilevered deck.

**Location:** Property located on the east side of Old Turnpike Road, at the intersection of Darma Ridge Rd and Old Turnpike Road, in the RA (Rural Agricultural) zone district.

**Permits Required:** Variance

**Supervisory District:** First District (District Supervisor: Manu Koenig)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 221273, based on the attached findings and conditions.

### Project Description & Setting

The subject property is located on the east side of Old Turnpike Road, at the intersection of Darma Ridge Road and Old Turnpike Road within the Summit General Plan Boundary, an area that is characterized by mature evergreen trees, extremely steeped hill sides, and winding rural roads. The parcel is located on the edge of a steep-sided ridge that trends northwest-southeast, and slopes from Old Turnpike Road, which runs close to the top of the ridge, down towards Soquel San Jose Road. The property also fronts onto Soquel San Jose Road, which runs along the eastern property line. Therefore, the parcel has a double frontage, though the Soquel San Jose Road frontage has steep slopes of over 50% that starts from the road edge and continues to the top of the hillside.

The existing two-story single-family dwelling on the parcel is located at the top of the hillside and accessed from Old Turnpike Road. Due to the steep, densely wooded slopes, which mostly exceed 50%, the existing dwelling is located in a small relatively flat area at the top of the ridge

---

where it is only approximately 5 feet 6 inches from the edge of the right-of-way at Old Turnpike Road. The nonconforming dwelling includes a permitted, nonconforming 36.5 square foot deck on the southeast side of the building that is also located within the front setback, which is currently unusable for lounging or sitting outside due to its narrow width. The proposed project is to replace the current unusable deck with a replacement deck that can be usable for outdoor enjoyment of the property. Due to the parcel slope, and current deck plus building configuration, the only feasible location for the construction of the proposed 240 square foot replacement deck is also within the front setback.

A Variance is therefore required to allow for a reduction in the required front setback to the new deck posts from 40 feet to 21 feet 9 inches and for the cantilevered deck front setback to be reduced from 34 feet to 18 feet 11 inches.

### **Project Background**

The proposed variance is in character with the previous development of this parcel. The existing original dwelling was damaged by the 1989 earthquake and the County approved to repair and re-enforce the structural piers. There has been other development approved within the front setback due to the steep slopes on the parcel since then, including a 1992 variance approval (Application 92-0104) to construct a sewing room, den, deck, and reconstruct a bathroom that resulted in a reduction of the front setback from 40 feet to approximately 15 feet from the edge of the road right-of-way. Therefore, the history of development within the front setback for this property due to the extreme topography makes the replacement of deck similar to past development.

### **Zoning & General Plan Consistency**

The subject property is an approximately 213,662 square foot (4.9 acre) lot, located in the RA (Residential Agricultural) zone district, a designation which allows residential uses where development is limited to a range of non-urban densities of single-family dwellings in areas outside the urban services line and rural services line. A single-family dwelling is a principal permitted use within the zone district and small decks, such as the one proposed, are a feature commonly associated with residential structures. The zoning is consistent with the site's R-R (Rural Residential) General Plan designation.

The applicable site and development standards for parcels in the RA zone district are set out in County Code section 13.10.323 – “Development Standards for Residential Districts”. The application of these standards as applied to the subject property is set out in the table below:

	<b>Zone District Standard</b>	<b>Existing Dwelling</b>	<b>Existing Deck</b>	<b>Proposed Deck</b>
Front Yard (to both Old Turnpike Road and Soquel San Jose Road)	40 feet Min. (34 feet min to cantilevered deck)	5 feet 6 inches and 141 feet	25 feet 9 inches and 141 feet	21 feet 9 inches (18 feet 11 inches to cantilevered deck) and 141 feet (cantilever)

Side Yard Setbacks	20 feet (interior and exterior)	298 feet 3.5 inches and 80 feet	295 feet 3 inches and 132 feet 3 inches	286 feet 7 inches and 132 feet 3 inches
Lot Coverage	10% max.	Less than 1% total	Less than 1% total	Less than 1% total

As shown above, the deck remodel does not comply with the required 40-foot front setback to Old Turnpike Road but complies with all other site and development standards. According to County Code 13.10.323 (E)(1), cantilevered decks can encroach by 6 feet into the front yard setback as a structural encroachment. This proposed deck has both nearest posts and cantilevered deck section located within the front yard setback at 21 feet 9 inches for the posts and 18 feet 11 inches for the edge of the cantilevered section to the right-of-way. Like many roadways within the area, the right-of-way is much wider than the actual travelled road. For Old Turnpike Road, the travelled roadway width is approximately 14 feet wide where it runs in front of the dwelling, with an extra 15 feet and 6 inches of the right-of-way, on the property side, not being currently used. Therefore, the visual impact of the proposed deck is lessened from the travelled road, with it being a distance of 37 feet 3 inches from the deck post and 33 feet 8 inches from the cantilevered deck edge. In addition, the proposed deck will be set further from the existing travelled roadway than the main portion of the existing two-story dwelling and will not obstruct sight-lines for vehicles.

### Nonconforming Structures

Another potential consideration for this proposed project is that the existing dwelling on the parcel is a legal nonconforming structure. While the regulations for nonconforming structures do not apply to this proposed deck project because decks are not considered major structural components they do play a role in the justification for approving the proposed project. County Code 13.10.260(A) allows for the “legal nonconforming structures to continue to exist, and to be improved...”, which this proposed deck replacement is accomplishing by improving the usable outdoor space and livability of the parcel.

### Variance

The proposed project requires a variance that to reduce the front setback from Old Turnpike Road from 40 feet to 21 feet 9 inches at the support post and from 36 feet to 18 feet 11 inches at the cantilevered deck edge. This reduction is consistent with previous variances approved for this parcel and the overall neighborhood character. The proposed deck replaces an older, permitted deck that is also located within the setback. The current permitted deck is only 3 feet wide and thus is unusable as outdoor space. The steep slopes on the parcel and surrounding land impact development by reducing the amount of level developable land and usable outdoor space for the enjoyment of the property. The useable yard area is very limited compared to the total parcel size, at approximately 2,741 square feet, and the proposed deck would allow for increased enjoyment and use of the parcel while not impacting the current septic and leach field areas on the property. The use of decks to increase useable outdoor space is in line with the use of space on surrounding parcels that are similarly constrained by steep slopes.

The proposed deck will not impact the sightlines for traffic along Old Turnpike Road due to the distance from the travelled roadway. Furthermore, compared to the existing dwelling, the deck will be located further away from both the right-of-way and travelled road. The right-of-way for

Old Turnpike Road has a width of 40 feet; however, the travelled roadway, which typically runs along the center of the right-of-way is only around 16 feet wide in front of the parcel. Therefore, the post at the proposed deck/cantilevered deck edge would be located approximately 35 feet 9 inches from the post and 33 feet 8 inches from deck edge to the edge of the travelled roadway. This distance from the road along with the mature trees along the south side property line, will limit the visual impact of the proposed deck.

A complete list of Variance Finding is included with this report.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **221273**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

Report Prepared By: Alexandra Corvello  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3209  
E-mail: [alexandra.corvello@santacruzcounty.us](mailto:alexandra.corvello@santacruzcounty.us)

## **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information



# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 221273

Assessor Parcel Number: 097-222-08

Project Location: 485 Old Turnpike Road, Los Gatos, CA 95030

### Project Description:

Person or Agency Proposing Project: Cade Bell

Contact Phone Number: 831-464-7110


- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).  
E. ☒ **Categorical Exemption**

Specify type: Class 2 - Replacement or Reconstruction (Section 15302)

### F. Reasons why the project is exempt:

Replacement or reconstruction of an existing deck attached to a single-family dwelling, where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced

In addition, none of the conditions described in Section 15300.2 apply to this project.

  
\_\_\_\_\_  
Alexandra Corvello, Project Planner

Date: 10/13/2022

## Variance Findings

1. **That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

This finding can be made in that the project is located in an area that is zoned RA (Residential Agriculture), a designation that allows for single-family residential uses. A single-family dwelling is a principal permitted use and small decks, such as the one proposed, are a feature commonly associated with residential structures. The zoning is consistent with the site's (R-R) Rural Residential General Plan designation.

For parcels located on steep slopes, especially those with greater than 50% slopes, County Code allows for reductions of setbacks in order to build within the developable areas. Since the majority of the parcel is steeply sloped—with majority greater than 50%—and there was a previously approved smaller deck in the same location, the site of the proposed deck is appropriate in that no other location exists that could accommodate the replacement structure. The reduced front yard setback will not result in a significant reduction in light, air, and open space at Old Turnpike Road in that at its closest point the structure will be located approximately 33 feet 8 inches from the edge of the travelled road and will be screened on the south side of the parcel by mature evergreen trees.

Because the steeply sloped site and the location of the existing dwelling it would be impossible to construct a useable deck that would comply with the required 40-foot front setback. The approval of a variance to reduce the front setback from 40 feet to 21 feet 9 inches at the deck post, as well as reduce the cantilevered deck front yard setback from 34 feet to 18 feet 11 inches is therefore justified

2. **That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.**

This finding can be made, in that the intent and purpose of the Residential Agricultural zone is to provide for rural single-family residential uses in areas outside the urban services line and rural services line. The approval of a variance for construction of the proposed deck, that will have a reduced front setback, will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

County Code requires the provision of a 40-foot setback from the front property line. This regulation provides increased distance between the street to any structures, to maintain light, air, and open space at the public street. For the subject property, the edge of the travelled roadway at Old Turnpike Road is located approximately 14 feet from the front property boundary such that there will be 33 feet 8 inches between the cantilevered edge of the deck and the travelled roadway. In addition, there are mature trees along the

south side property line that block views of the deck from the neighboring properties and in views along the travelled roadway from the north and south such that the replacement deck would only be clearly visible from directly in front of the parcel. Therefore, the proposed reduction of the 40-foot setback to 21 feet 9 inches at the deck post, as well as reduce the cantilevered deck front yard setback from 34 feet to 18 feet 11 inches, will not impact the quality of the neighborhood. Further, it will not deprive the neighborhood of light, air and open space or impair sight lines for vehicles traveling along Old Turnpike Road, and will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or to the general public.

**3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.**

The location of the existing single-family dwelling with a 36.5 square foot deck is a result of the parcel's topography, such that the parcel contains only a very limited developable area containing slopes of less than 50% and where there are no mature trees. Therefore, because the proposed project is for the construction of a replacement deck at an existing patio door, no alternative conforming locations exist where the new deck could feasibly be constructed. The granting of variance for a reduced front setback therefore, will not constitute a grant of special privilege to this parcel in that a replacement deck that does not negatively impact neighboring properties would be allowed on other nonconforming dwellings located on similarly constrained parcels in the vicinity and zone in which the project is located. This finding can therefore be made.

## **Development Permit Findings**

- 1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.**

This finding can be made, in that the project is located in an area designated for single-family residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

The proposed deck will not affect sight lines for traffic travelling along Old Turnpike Road in that the proposed deck will be set back approximately 33 feet 8 inches from the edge of the travelled road at Old Turnpike Road. Therefore, the proposed deck will not be materially injurious to properties or improvements in the vicinity.

- 2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.**

This finding can be made, in that the proposed location of the deck and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district as the primary use of the property will be a single-family dwelling on site with a deck that, with the approval of a variance, meets all current site standards for the zone district. A complete list of variance findings is included with this report.

- 3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.**

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-R (Rural Residential) land use designation in the County General Plan.

The proposed 240 square foot deck will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the small deck is located approximately 131 feet from the closest adjacent property and is not visible from that parcel because it is on the opposite side of the dwelling. The useable yard area is very limited compared to the total parcel size, at approximately 2,741 square feet, and the proposed deck will allow for increased enjoyment and use of the parcel while being further away from the right-of-way and travelled road than the dwelling and screened from the south side yard by mature evergreen trees.

The proposed deck will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between

Structure and Parcel Sizes), in that the proposed deck will be attached to an existing nonconforming dwelling. Although the dwelling and proposed deck will not comply with the site standards for the RA zone district this is appropriate because of the site-based constraints on this steeply sloped parcel. Therefore, the proposed project will result in a structure consistent with a design that could be approved on any similarly constrained lot in the vicinity where the existing dwelling is nonconforming.

A specific plan has not been adopted for this portion of the County.

**4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.**

This finding can be made, in that the proposed uncovered deck is to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is anticipated to not be impacted by the project, therefore it will not adversely impact existing roads or intersections in the surrounding area.

**5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.**

This finding can be made, in that the proposed structure is located in a mixed rural neighborhood containing a variety of architectural styles, and the proposed new deck is consistent with the land use intensity and density of the neighborhood.

## Conditions of Approval

Exhibit D: Project plans 10 sheets, prepared by Cade Bell, 9/30/2022.

- I. This permit authorizes the construction of a new deck as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
    3. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.

- B. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
  - C. Meet all requirements of the Environmental Planning section of the Planning Department.
  - D. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County Fire Protection District.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active

negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

---

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**



Application #: 221273  
APN: 097-222-08  
Owner: Heidi and Robert Black

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Steven Guiney AICP  
Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



# County of Santa Cruz

## DEPARTMENT OF COMMUNITY DEVELOPMENT AND INFRASTRUCTURE

701 OCEAN STREET, FOURTH FLOOR, SANTA CRUZ, CA 95060-4070  
Planning (831) 454-2580 Public Works (831) 454-2160

**Matt Machado, Deputy CAO, Director of Community Development and Infrastructure**

**Carolyn Burke**  
*Assistant Director*  
*Unified Permit Center*

**Stephanie Hansen**  
*Assistant Director*  
*Housing & Policy*

**Kent Edler**  
*Assistant Director*  
*Special Projects*

**Steve Wiesner**  
*Assistant Director*  
*Transportation*

**Travis Cary**  
*Director*  
*Capital Projects*

**Kim Moore**  
*Assistant Director*  
*Administration*

September 16, 2022

Cade Bell  
825 Alfadel Lane  
Soquel, CA 95062

**Subject: Incomplete Application - Additional Information Required**  
**Application #: 221273; Assessor's Parcel #: 097-222-08**  
**Owner: Robert and Heidi Black**

Dear Cade Bell:

This letter is to inform you of the status of your application. On 9/6/2022, the above-referenced application was submitted for a development permit with the Santa Cruz County Planning Department. The Planning Department and reviewing agencies have examined your application and determined that it is **incomplete** and additional information is required.

**\*\*\* Please submit all requested materials digitally through the ePlan portal at this time. Additional physical (paper) copies of plans and materials will be required prior to the public hearing for the project. \*\*\***

For your proposal to proceed, please submit the following items:

1. Please submit full and complete sets of revised plans which include the following information:
  - a. In order to include all structures on the plans, please show the front porch and front stairs on the plans.
    - i. Based on our records the porch seems to have been added without an official permit, if you would like to include the recognition of the front porch as well, we can add it to this variance application. If you would like to include the front porch, please dimension the distance from the edge of the porch to the right-of-way. This is not required for the scope of this permit but is an option if you would like.
  - b. In addition to showing the edge of the deeded right-of-way, please include a line on the plans to show the edge of the travelled roadway.
  - c. Please dimension the distance from the edge of the travelled roadway to the proposed deck and existing front deck (if you would like to have the front deck recognized).

E x h i b i t D

2. Please submit an annotated list detailing where the required information has been provided in your next submittal. Please affix a copy of the annotated list and copies of the required submittal materials (technical reports, drainage calculations, arborist report, etc.) to each agency plan set prior to re-submittal of all the plans to ensure that requested materials are routed to the appropriate agencies.
3. Please note that you will be required to install signage on the subject property that notifies the public of your development permit application. Please refer to the Neighborhood Notification Guidelines for the standards for preparing your sign. Please do not prepare or install the sign until all other completeness issues have been resolved as the project description may change during the review process. Guidelines for Neighborhood Notification (including sign format and installation certificate) online: [www.sccoplanning.com](http://www.sccoplanning.com) (under Handouts & Forms > Zoning & Development). If you do not have internet access and require a paper copy, please let us know and one can be provided to you.

You must submit the required materials to the Planning Department at one time. Revisions to plans must be included in complete, updated sets of plans. All plan sets must be individually stapled and folded into an ~ 9" x 12" format (per Folding Plans handout). To reduce waste and to aid in recycling, plan sets should be printed on bond (white) paper and should not include colored binding material of any kind. You have until **11/15/2022**, to submit all of the information required in this letter. Pursuant to Section 18.10.430 of the Santa Cruz County Code, failure to submit the required information may lead to abandonment of your application and forfeiture of fees. Alternatively, you may withdraw the application and any unused fees will be refunded to you. If you wish to withdraw the application, please notify me in writing.

If it has been determined that your application remains incomplete more than once, then you have the right to appeal the determination that the application is incomplete pursuant to Section 65943 of the Government Code. Appeals of application completeness determinations are considered by the Board of Supervisors. To appeal, submit the required fee for appeals to the Board and a letter addressed to the Clerk of the Board of Supervisors, with a copy also provided to the Planning Director, stating the determination appealed from and the reasons you believe the completeness, determination is erroneous and/or unjustified. The appeal letter and fee must be received by the Clerk of the Board and the Planning Department no later than 5:00 p.m., 9/30/2022.

The following items are included as general information, are intended to assist you in understanding county requirements, and do not need to be addressed in order for your application to be declared complete.

- A. Please note that a printed, full-size copy of the final revised plans will be required prior to the public hearing for this project.

Should you have further questions concerning this application, please contact me at: (831) 454-3209, or e-mail: [alexandra.corvello@santacruzcounty.us](mailto:alexandra.corvello@santacruzcounty.us)

Sincerely,



Alexandra Corvello - Project Planner - Development Review

E x h i b i t     D



# Bell Built Inc.

825 Alfadel lane ♦ Soquel, CA. 95073

Office Ph 831-464-7110 ♦ Cell 831-818-9559

Email: [bellbuilt@gmail.com](mailto:bellbuilt@gmail.com) [www.Bell-builders.com](http://www.Bell-builders.com).

## County Incomplete Application Corrections

To Alexandra Corvello,

The Following Is a List of Corrections for project at:

Application Number: 221273  
Project APN: 09722208  
Permit Number: B-205126  
Project Owner: Heidie & Robert Black  
Project Address: 485 Old Turn Pike Rd.  
Los Gatos, Ca.

### Applications Corrections list

For your proposal to proceed, please submit the following items:

1. Please submit full and complete sets of revised plans which include the following information:

a. In order to include all structures on the plans, please show the front porch and front stairs on the plans.

Added on SH A-1 Site Plan, SH A-2 South Elevation added porch to view, On SH. A-3, New Deck Plan shown on the front of building.

I added the stairs on the site plan that lead down to the road, the stairs end about 8 feet back from edge of roadway traveled.

1. Based on our records the porch seems to have been added without an official permit, if you would like to include the recognition of the front porch as well, we can add it to this variance application. If you would like to include the front porch, please dimension the distance from the edge of the porch to the right-of-way. This is not required for the scope of this permit but is an option if you would like.

The edge of right of way is to (E) PORCH is 4" noted on sh. A-1 the dimension line for this will not be clear if added to the sheet

b. In addition to showing the edge of the deeded right-of-way, please include a line on the plans to show the edge of the travelled roadway.

Sheet a-1 added Road Edge. The traveled road is approximately 14' wide, varies along the way.

c. Please dimension the distance from the edge of the travelled roadway to the proposed deck and existing front deck (if you would like to have the front deck recognized).

Added dimensions on Sheet A-1 to proposed (N) Deck is 33'8" and (E) Porch is 17'4" from traveled roadway edge.



# Bell Built Inc.

825 Alfadel lane ♦ Soquel, CA. 95073

Office Ph 831-464-7110 ♦ Cell 831-818-9559

Email: [bellbuilt@gmail.com](mailto:bellbuilt@gmail.com) [www.Bell-builders.com](http://www.Bell-builders.com).

## County Incomplete Application Corrections Continued

2. Please submit an annotated list detailing where the required information has been provided in your next submittal. Please affix a copy of the annotated list and copies of the required submittal materials (technical reports, drainage calculations, arborist report, etc.) to each agency plan set prior to re-submittal of all the plans to ensure that requested materials are routed to the appropriate agencies.

No new supplementals to submit.

3. Please note that you will be required to install signage on the subject property that notifies the public of your development permit application. Please refer to the Neighborhood Notification Guidelines for the standards for preparing your sign. Please do not prepare or install the sign until all other completeness issues have been resolved as the project description may change during the review process. Guidelines for Neighborhood Notification (including sign format and installation certificate) online: [www.sccoplanning.com](http://www.sccoplanning.com) (under Handouts & Forms > Zoning & Development). If you do not have internet access and require a paper copy, please let us know and one can be provided to you.

Client Has been informed.

END OF CORRECTIONS

If there are any questions, I can be contacted at 1- 831-818-9559

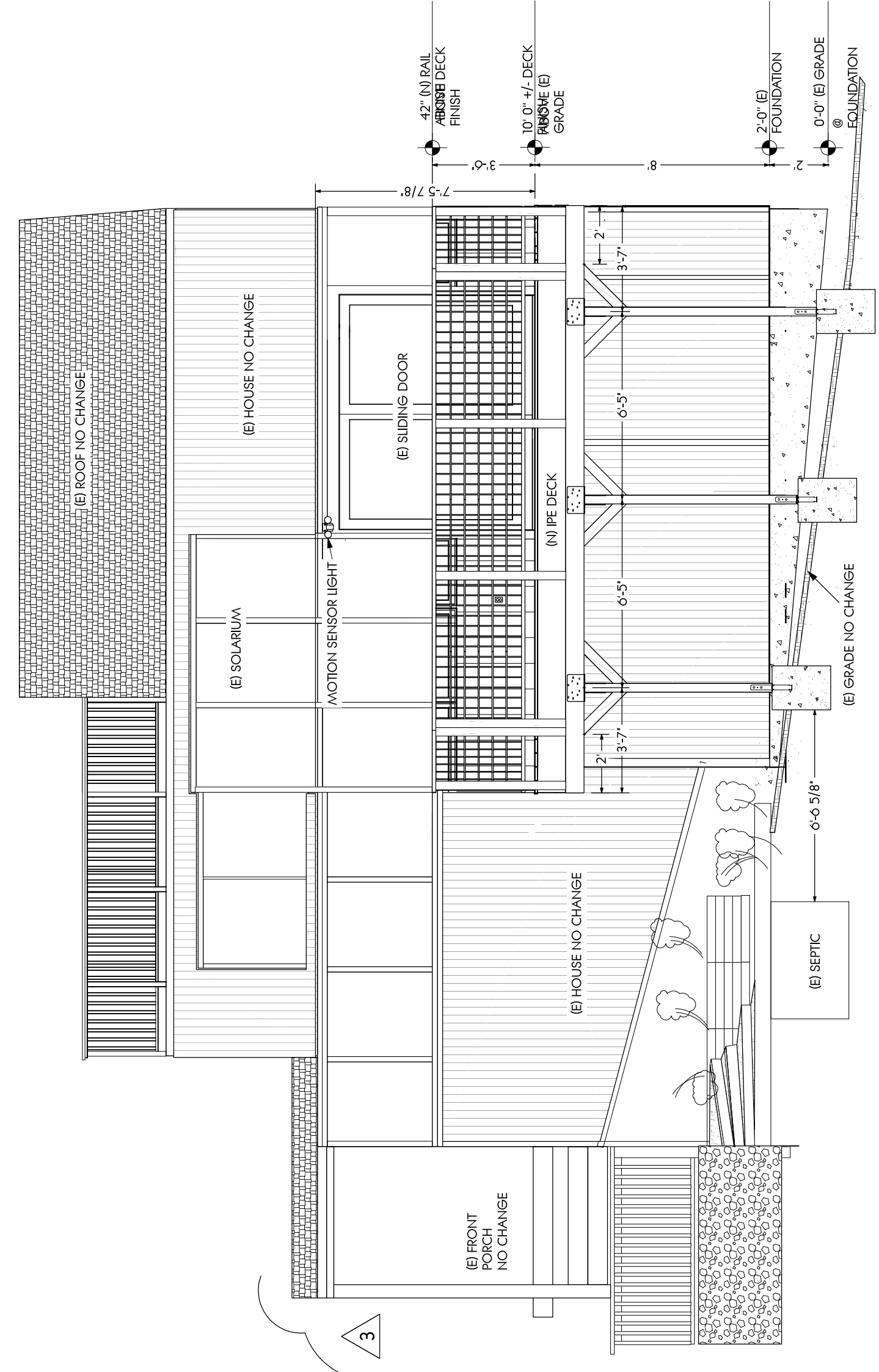
Thank you for your time,

Designer/ Agent Cade Bell Date 9-25-2022  
Cade Bell, cl--1016072

E x h i b i t D





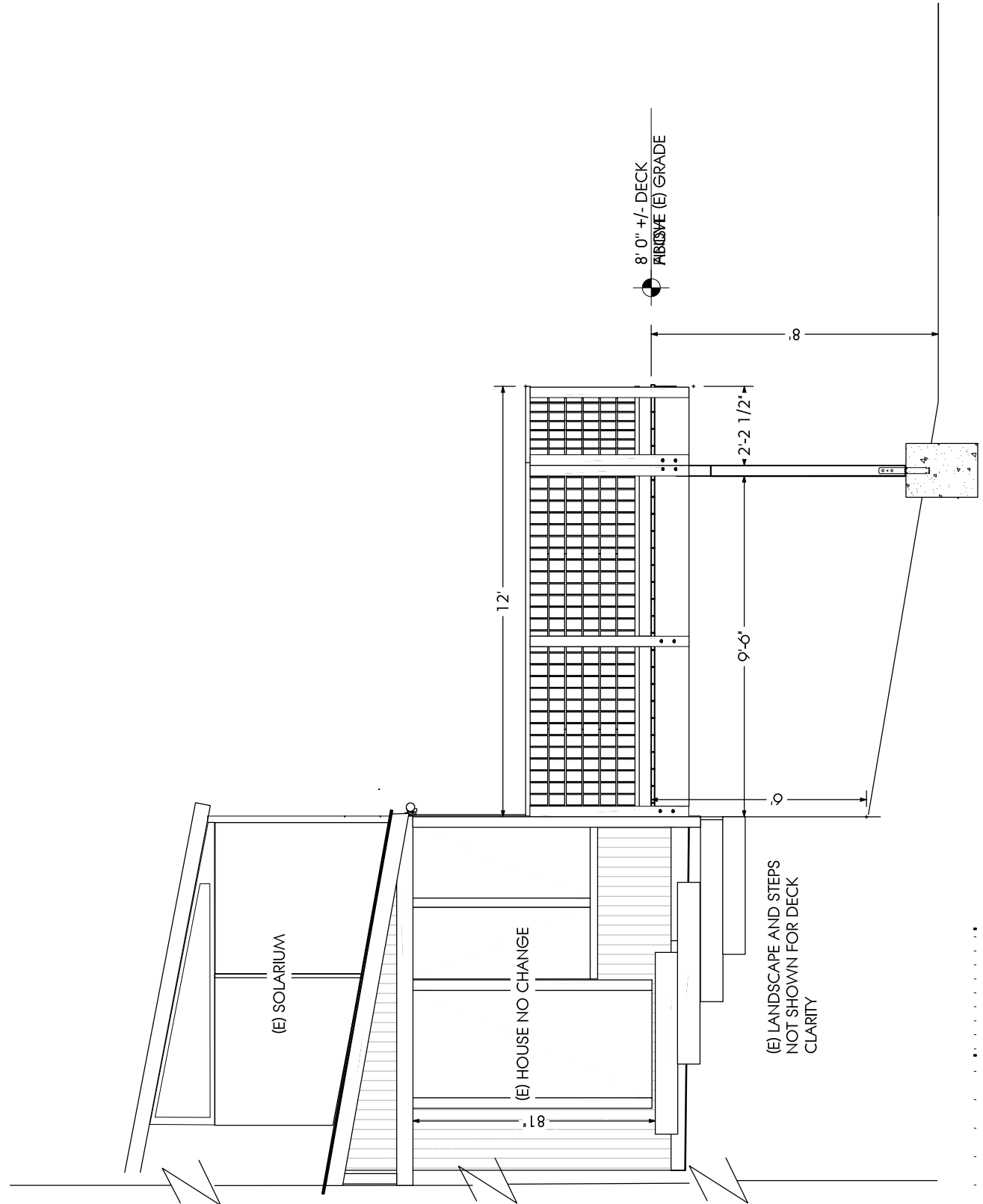


(N) SOUTH ELEVATION  
SCALE 1/4" = 1 FT

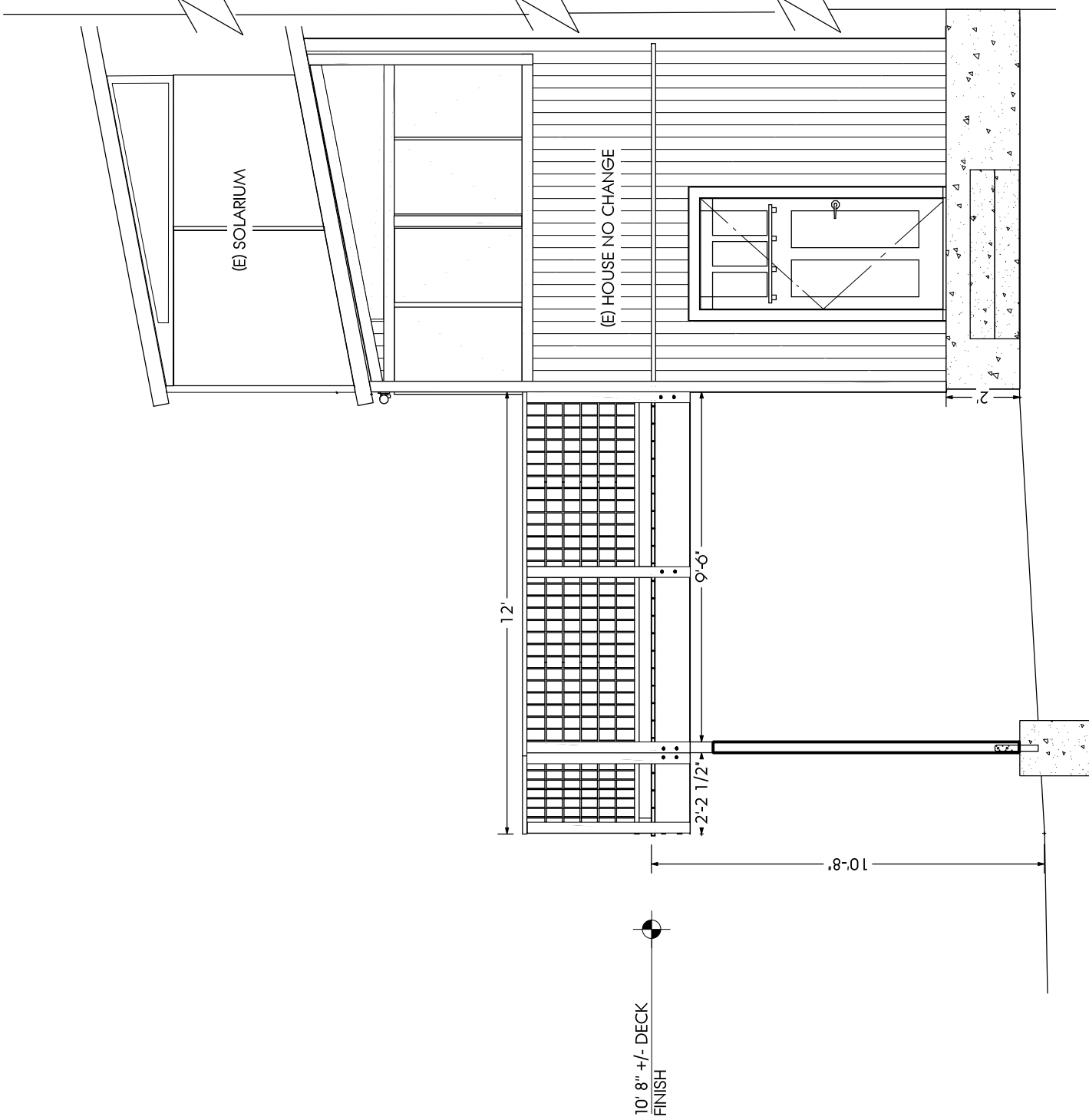


(E) SOUTH ELEVATION  
NO SCALE

ELEVATION NOTES:  
NO CHANGE TO MAIN BUILDING, DOORS OR WINDOWS  
DECK FINISH NOTES:  
5/4 X 6" IPE  
INSTALL DECKING PER MANUFACTURER'S SPECS.  
W/ 5/4 X 12 (WIN) IPE DECK FASCIA  
RAILINGS FINISH NOTES:  
42" HIGH (WIN)  
4" X 4" WIRE MESH (WILD HOG) INSTALL PER MANUFACTURE SPECS  
4" X 4" IPE POSTS @ 6 c.c. (MAX)



(N) WEST ELEVATION  
SCALE 1/4" = 1 FT



(N) EAST ELEVATION  
SCALE 1/4" = 1 FT



REVISION TABLE	
NUMBER	DATE
1	9/10/2021
2	9/10/2021
3	9/25/2022
REVISION BY	
DESCRIPTION	

Plans Prepared For:  
Robert & Heidi Black  
485 Old Turnpike Lane  
Los Gatos, CA, 95062  
A.P.N 097222208

ELEVATIONS

DRAWINGS PROVIDED BY:  
Bell Built Inc.  
825 Alfradel Lane  
Soquel, Ca, 95062  
831-464-7110

DATE:	9/10/2021
SCALE:	
SHEET:	A-2

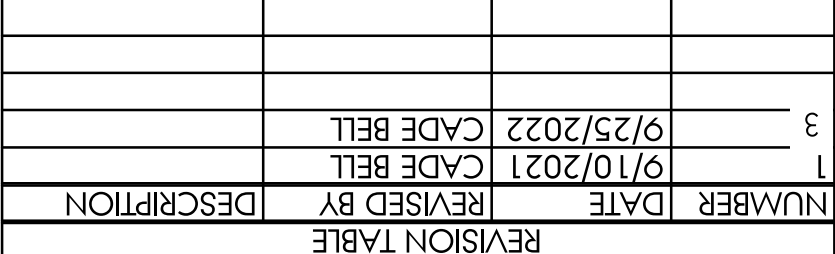
E x h i b i t D

ELEVATIONS

Printed Name: Cade Bell CL. 1016072

Signature :





## NEW DECK PLAN

DATE:	9/10/2021
SCALE:	
SHEET:	A-3

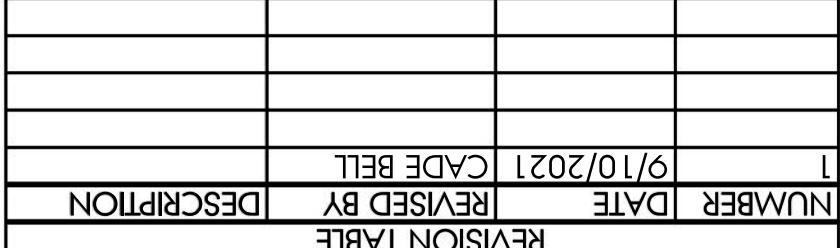


# NEW DECK PLAN

Printed Name: Cade Bell

Signature: \_\_\_\_\_





## FRAMING, FOOTINGS, RAILING

DATE:	09/10/2021
SCALE:	
SHEET:	A-4



1. DECK FOUNDATION REQUIREMENTS.

A. ALL FOOTINGS SHALL BEAR ON SOLID GROUND AND SHALL BE PLACED AT LEAST 12 INCHES BELOW THE UNDISTURBED GROUND SURFACE. PRE-MANUFACTURED POST ANCHORS SHALL BE GALVANIZED.
2. DECK FRAMING REQUIREMENTS.

A. DECK FRAMING SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE FOR BOTH VERTICAL AND LATERAL LOADS. SUCH POSITIVE CONNECTION TO THE PRIMARY STRUCTURE CANNOT BE PROVIDED. DECKS SHALL BE SELF-SUPPORTING, WOOD AND WOOD BASED PRODUCTS EXPOSED TO WEATHER MUST BE PROTECTED FROM DECAY.

B. THE LEDGER SHALL BE ATTACHED AS SET FORTH IN CRC TABLE R302.2.2.1 WITH 1-INCH MINIMUM LAG SCREWS OR BOLTS WITH WASHERS. ALL HOT-DIP GALVANIZED OR STAINLESS STEEL LAG SCREWS SHALL BE PLACED 2" IN FROM THE BOTTOM AND TOP EDGES AND 7.5" FROM THE ENDS OF THE DECK LEDGER, AND SHALL BE STAGGERED. THE TIP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.

C. THE LEDGER, IN CONNECTIONS WITH FLOOR FRAMING, HOT-DIP GALVANIZED OR STAINLESS STEEL SHALL HAVE AN ALLOWABLE DESIGN CAPACITY OF NOT LESS THAN 1500 POUNDS.

D. DECK LEDGERS SHALL BE FLASHED TO PREVENT WATER FROM CONTACTING THE HOUSE BAND/WM JOIST.

E. DECK LEDGER SHALL BE SET AT A MINIMUM 2X8 PRESSURE TREATED NO 2 (OR BETTER) GRADE LUMBER.

F. THE MAXIMUM DISTANCE BETWEEN THE FACE OF THE LEDGER AND THE FACE OF THE BAND JOIST SHALL NOT EXCEED 1 INCH.

G. LEDGER CONNECTIONS NOT CONFORMING TO THE ABOVE REQUIREMENTS SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING:

H. DECK FRAMING (E.G. JOISTS, BEAMS, POSTS, DECKING ETC) SHALL BE OF APPROVED NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
3. GUARDRAIL REQUIREMENTS.

A. GUARDS SHALL BE VERTICALLY LOCATED ON SIDES OF DECKS, PORCHES, LANDINGS, STAIRS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 30 INCHES HORIZONTALLY TO THE EDGE OF THE WALKING SURFACE.

B. GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE WALKING SURFACE, ADJACENT FIXED SEATING, OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.

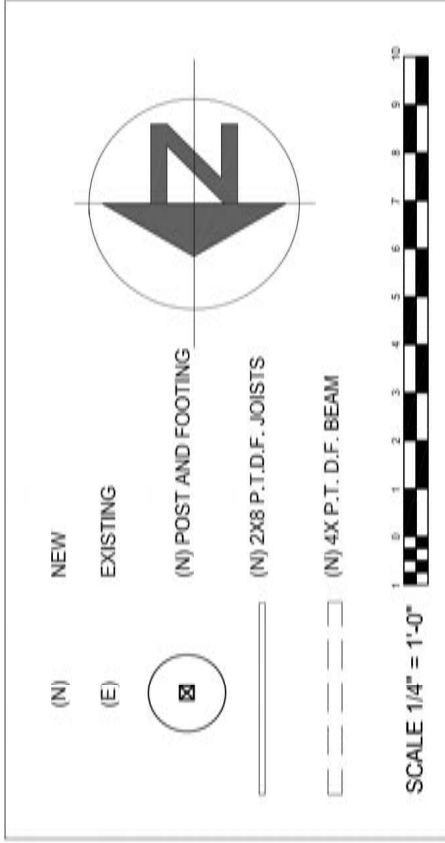
C. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

D. EXCEPTIONS: 1. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A STAIR, SHALL NOT ALLOW PASSAGE OF SPHERES 4 INCHES IN DIAMETER. 2. GUARDS ON THE OPEN SIDES OF STAIRS SHALL BE 36 INCHES HIGH.

D. GUARDRAILS AND HANDRAILS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.

E. GUARDRAIL IN-FILL COMPONENTS, BALUSTERS AND PANEL FILLS SHALL BE CAPABLE TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 LBS ON AN AREA EQUAL TO 1 SQ. FT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.
4. ANY OTHER LIVE LOAD REQUIREMENT.
5. ANY OTHER REQUIREMENTS:

- A. EXTERIOR DOORS SHALL BE PROVIDED WITH LANDINGS, THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SEVERED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.
- B. EXTERIOR LANDINGS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7 INCHES LOWER THAN THE TOP OF THE THRESHOLD FOR THE OUT-SWINGING DOOR AND NOT MORE THAN 7 INCHES BELOW THE TOP OF THE THRESHOLD FOR THE IN-SWINGING DOOR.
- C. DOORS *OTHER* THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS NOT MORE THAN 7 INCHES BELOW EXCEPTION: A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.
- D. EXTERIOR DOORS AND STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. LIGHTING SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT, UNLESS THE LIGHTING IS CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY CONTROLLED.
- E. SMOKE DETECTORS: WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, SMOKE DETECTORS SHALL BE INSTALLED:
  - (A) IN EACH SLEEPING ROOM,
  - (B) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS,
  - (C) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTIC/CELS (SEE SECTION 313.4).
- F. CARBON MONOXIDE ALARMS: WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS WITH CARBON MONOXIDE ALARMS OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - (A) OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S),
  - (B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (SEE SECTION 313.5).







LISTING No.	8110-0203.0100
CATEGORY:	8110 – DECKING FOR WILDLAND URBAN INTERFACE (WUI)
LITTEE:	SABRA INTERNATIONAL, INC. 300 71st Street, Suite 430, Miami Beach, FL 33141 Contact: Jim VanPelt (863) 229-8456 Fax: (863) 229-4359 Email: jim@BRBinter.com
DESIGN:	Sabra Brand "IPE" solid wood square edge deck board, 3/4" thick x 5-5/16" width, nominal density of 63.2 lb/cu.ft.. Refer to manufacturer's installation instructions and data sheet for details.
INSTALLATION:	In accordance with listee's printed installation instructions, applicable codes and ordinances and in a manner acceptable to the authority having jurisdiction.
MARKING:	Listee's name, model number and SFM label
APPROVAL:	Used as solid wood decking material for used in the Wildland Urban Interface areas.
NOTE:	Test Protocol 12-7A-4, Part A only.



This listing is based upon technical data submitted by the applicant. CFSM Fire Engineering staff has reviewed the information and found it to be consistent with the information provided. However, the applicant is responsible for ensuring that the data is accurate and that the product meets the requirements of the listing. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other information for more details.

Date Issued: **July 01, 2019** Listing Expires **June 30, 2020**

Authorized By: **DAVID CASTILLO** Program Coordinator  
Fire Engineering Division

05-27-13.gp



To Whom It May Concern,

Wild Hog steel infill railing panels are compliant with the I.R.C. and the I.C.C. in reference to the code requirements of a 4" or smaller sphere space. Wild Hog panels are a 4"x4" on center welded mesh wire. This 4"x4" on center spacing creates a net space of 3.75"x3.75" +/- per section, but never to exceed a net 4" space.

Wild Hog steel infill panels are 100% Lead Free product.

Wild Hog steel infill panels are 100% Certified American Steel and are manufactured, coated and designed in the United States.

Wild Hog Railing Specs are as follows:

SPECIFICATION SHEET: -

4" x 4" - 3' x 6'

4" x 4" - 3' x 8'

4" x 4" - 5' x 6'

ASTM SPECIFICATION: ASTM A-1064

WIRE DIAMETER (W2.9): 0.189 - 0.195 INCHES

WIRE TENSILE STRENGTH: 75 KSI MINIMUM

FABRIC WELD SHEAR STRENGTH: 1015 POUNDS MINIMUM

AVERAGE WELD SHEAR STRENGTH: 1883 POUNDS

Sincerely,

Wild Hog Development and Engineering Team

Exhibits

that the framing joists be allowed to season before installation.

#### Disclaimer

Our tropical hardwood decking products are carefully manufactured and inspected to ensure quality. However, these products are natural wood products and as such are subject to variations in weight, density, color, grain and performance. Dimensional lumber will change as the moisture content in the wood changes with climatic changes. Swelling, shrinkage and checking are normal occurrences in wood decking.

Sizes, lengths and pricing are subject to change without notice.

Local building codes must be consulted when building an exterior deck. Most counties require building permits.



PO Box 1310  
10 Midvale Avenue Morgan Hill, CA 95038  
National: (800) 800-5609  
So. California: (800) 743-6991  
www.redwoodempire.com

## Redwood Empire

A Div. of Pacific States Industries, Inc.

## IPE Hardwood Decking

The Hardwood Decking Standard!

### Installation Guidelines

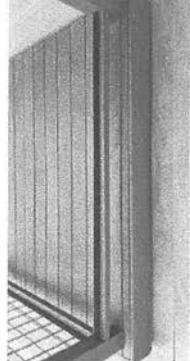
Be sure to complete this checklist:

- Material stored out of direct sun and weather
- Material allowed to equalize at site
- Spacing: side to side: 1/16" for 4" & 6" boards
- T&G Porch flooring in covered areas only
- Adequate ventilation under deck
- Span of 24" max for 1x6
- Span of 32" max for 5/4x6
- Stainless Steel Screw Fasteners
- Pre-drilling required
- Seal and cut with Anchored End Wax
- Oil based finish is optional

Follow enclosed detailed installation instructions...

## HOG TRACKS INSTALLATION GUIDE

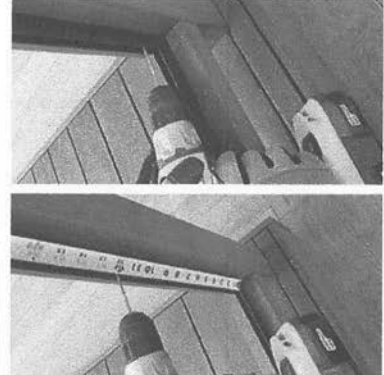
### STEP 1 ATTACH BOTTOM TRACK



Measure and cut track to fit on bottom rail. Paint cut ends with metal spray paint.

Install screws every 12" (per ICC test verification). For exterior installs, drill weep holes at end and middle of track for moisture escape.

### STEP 2 ATTACH SIDE TRACKS



Measure from top of the track mounted on bottom rail to top of post. Subtract 1" to accommodate for top track (step 5). Cut side track and apply touch up spray to cut ends. Install screw every 12".

### STEP 3 FITTING PANEL



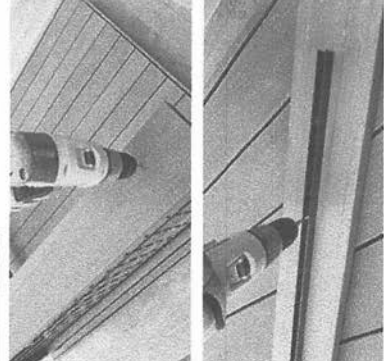
Measure opening for panel size. Add 3/4" of an inch to accommodate for the top rail track. Cut panel with appropriate metal cutting tool. Paint cut ends with metal spray paint.

### STEP 4 INSTALL HOG TUSKS



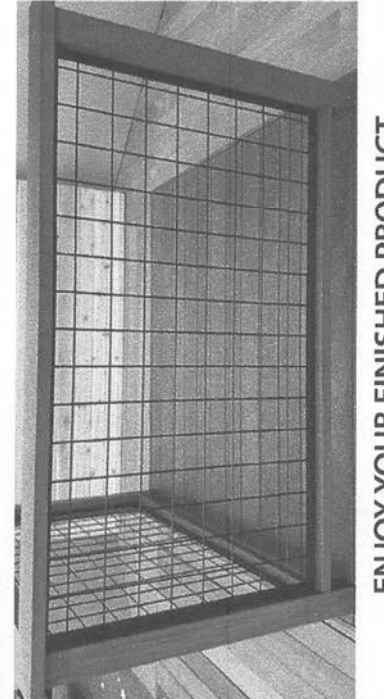
Slip Hog Tusk over cut ends of panels (Hog Tusks are not required but keep the panel snug so it does not rattle in Hog Track).

### STEP 5 ATTACH TOP TRACK



Dry fit the top rail cap and measure or mark where you need to mount the metal Hog Track for top rail.

### STEP 6 FINISHED SECTION



ENJOY YOUR FINISHED PRODUCT.

NOTE: If using a sub-rail under finished top rail, appropriate measurements to adjust to side rail may need to be considered.

1-888-2-HOGINFO | info@wildhogproducts.com **HOG TRACKS KIT** | INSTALLATION GUIDE



Signature: *Cade Bell*

Printed Name: Cade Bell

CL. 1016072

## PRODUCT LISTING & INSTALLATION



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION
1	9/10/2021	CADE BELL	

Plans Prepared For  
Robert & Heidi Black  
485 Old Turnpike Lane  
Los Gatos, CA., 95062  
A.P.N 09722208

## PRODUCT LISTING & INSTALLATION

DRAWINGS PROVIDED BY:  
Bell Built Inc.  
825 Alfrede Lane  
Soquel, Ca, 95062  
831-464-7110

DATE:	9/10/2021
SCALE:	
SHEET:	L & I

Season checking will occur on 4x4 posts or 6x6 timbers. This is a common occurrence as this very dense hardwood shrinks and expands with climatic changes. However it does not normally affect its structural integrity. Cover the exposed ends of these posts with damage while under construction.

### Fastening & Installation

Stainless steel screws are highly recommended. Counter-sink screws and use a positive stop so all screw heads end up at a consistent depth. These fasteners should penetrate 1-1/2" or more into the deck joists. Face screwing down into the joist is the only method of installation we recommend. Be sure to use two screws per-board at the suggested span spacing.

### Finishing

IPE is relatively maintenance free. It may be left to weather naturally to a silver gray hue. One may choose to seal the wood or stain it. IPE may be sealed with a tung oil sealer before or after installation.

An oil based stain may be a preferred appearance choice. It is recommended the deck be installed for at least a month before applying a stain. This allows for the wearing away of the original mill glaze or sticker marks. The natural density and alkaline content of IPE can cause a reaction with certain finishes affecting their drying and adhesion. A color change may also occur. A test on some IPE samples is suggested to insure desired results. We suggest an oil based stain with UV inhibitors. Before applying a sealer or stain the deck surface should be brushed and washed with a mild dish soap and water to remove dirt or sticker marks. Due to the high density of IPE, a light coat of stain should be applied and any excess removed with a clean cloth after 20 minutes. Then allow the stain to dry thoroughly for 24 to 48 hours.

### Safety Concerns

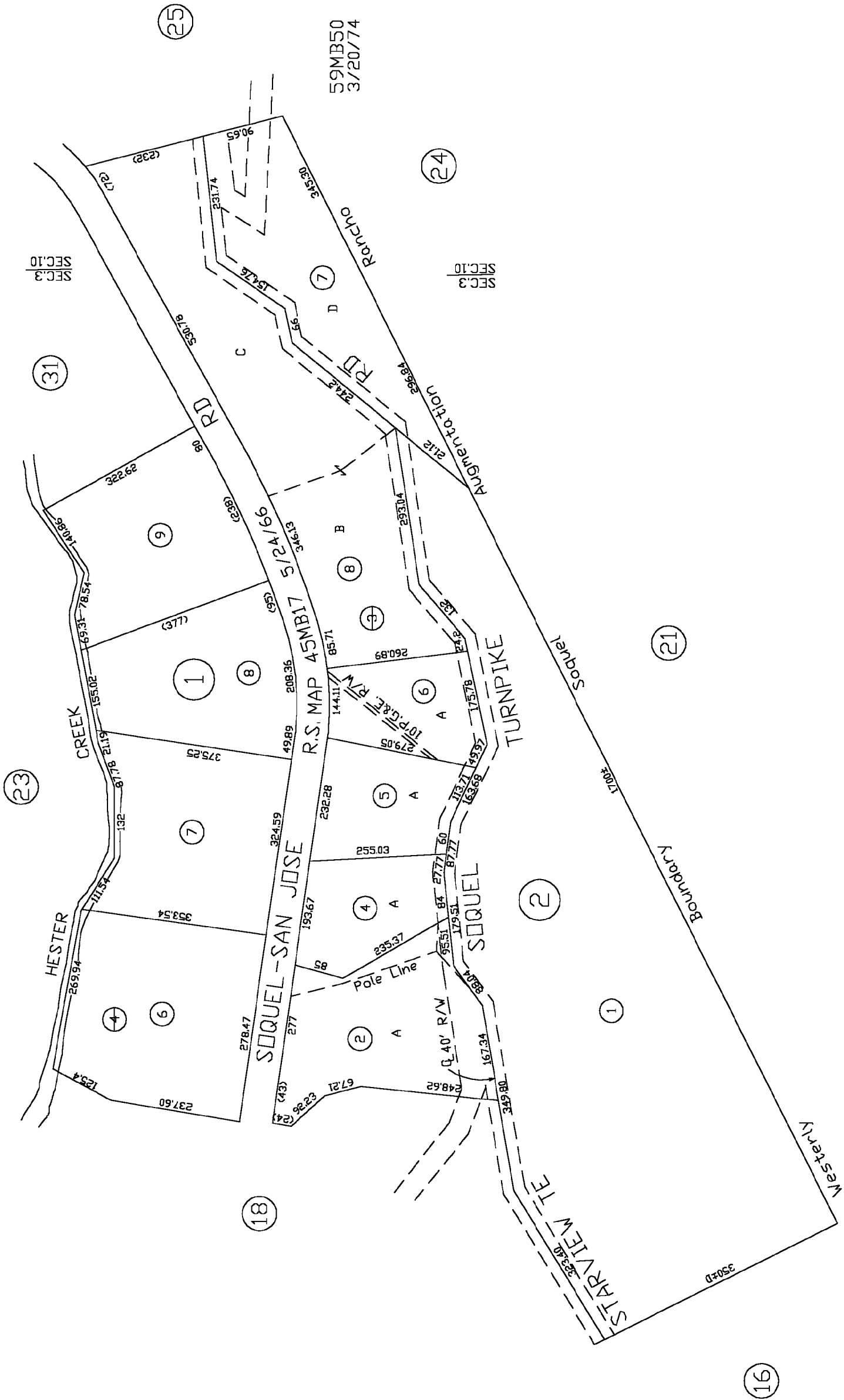
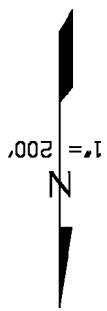
Safety glasses and a dust mask should always be worn when working with hardwood lumber. Some people may have an allergic reaction to hardwood dust. Remove wood slivers immediately to prevent infection.



FOR TAX PURPOSES ONLY  
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1986

SOQUEL AUGMENTATION RANCHO  
POR. SECS. 3, 10 & 11, T.10S., R.1W., M.D.B. & M.

Tax Area Code  
79-032  
97-22



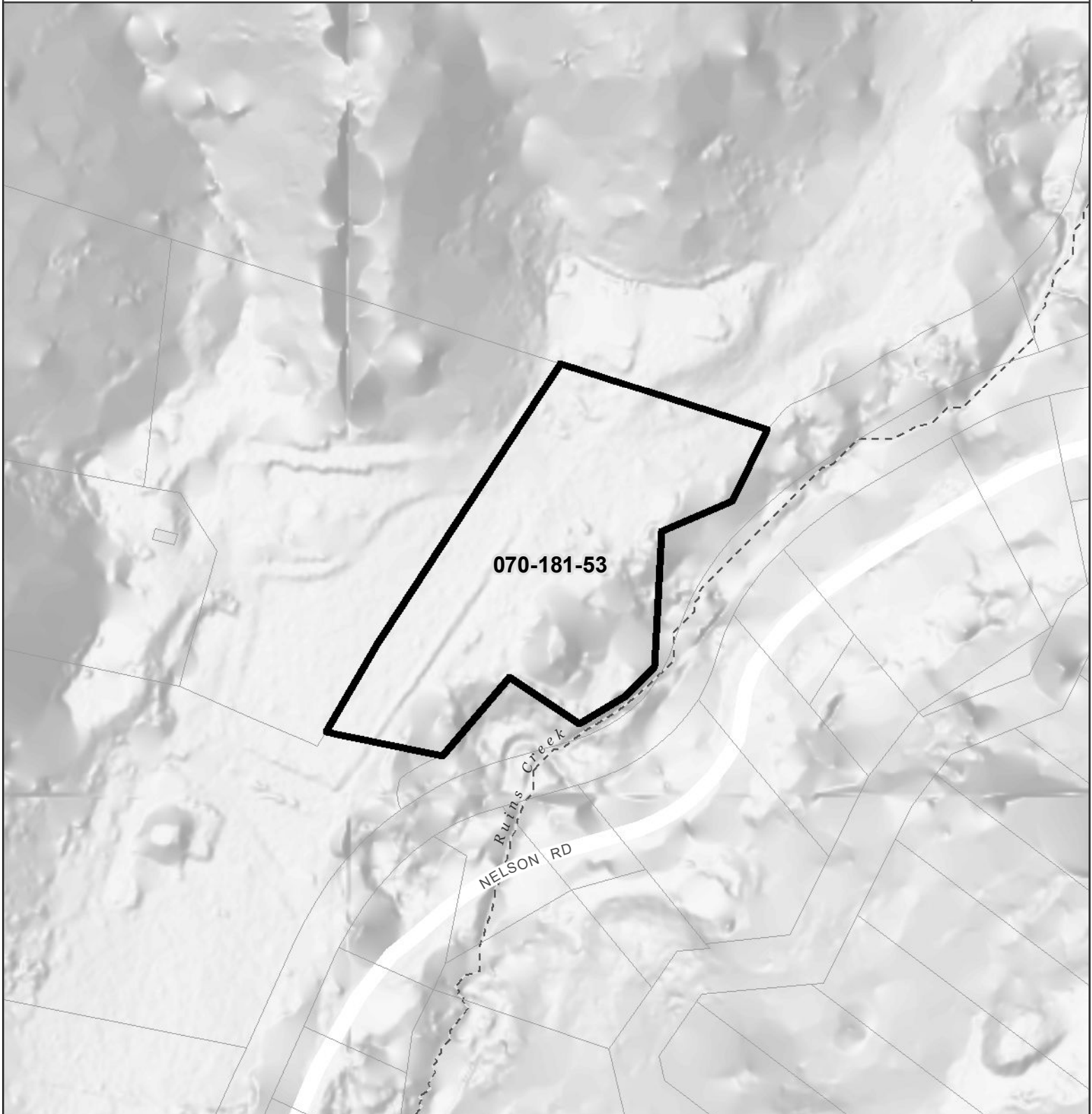
Electronically drawn B/28/96 KSA  
Rev. 8/28/96 KSA (Por. to 97-31)  
Rev. 6/13/97 KSA (Street Name)  
Rev. 8/21/98 KSA (CA)  
Rev. 9/21/01 MVM (changed page refs.)

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.



Assessor's Map No. 97-22  
County of Santa Cruz, Calif.  
Aug. 1996



# Parcel Location Map

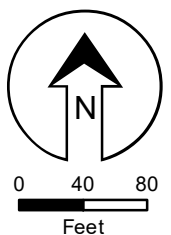


**Parcel: 07018153**

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 13 Oct. 2022

E x h i b i t   E

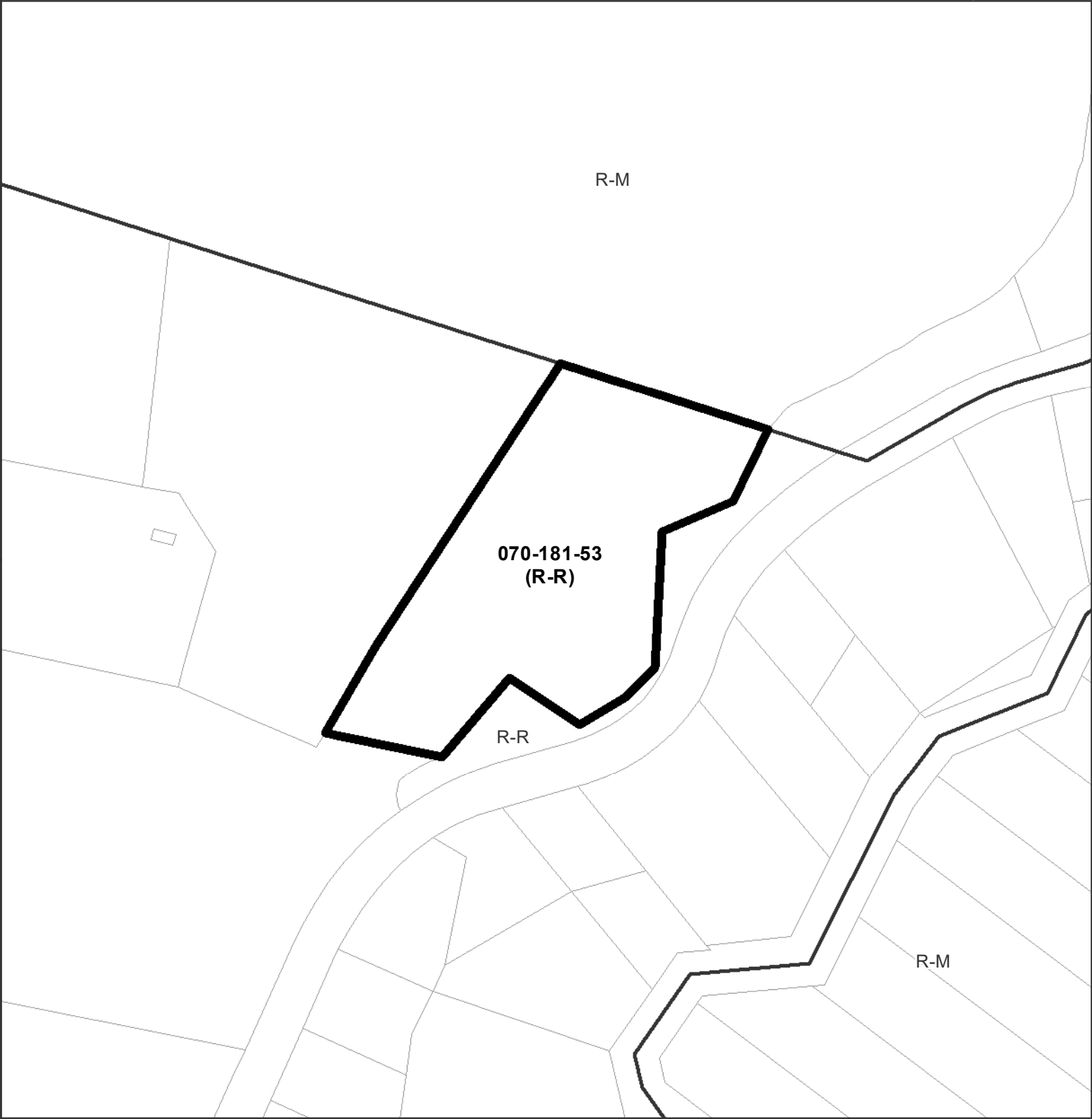




Parcel General Plan Map

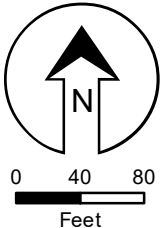


Mapped Area



- ☐ R-M *Residential Mountain*
- ☐ R-R *Residential Rural*

E x h i b i t E

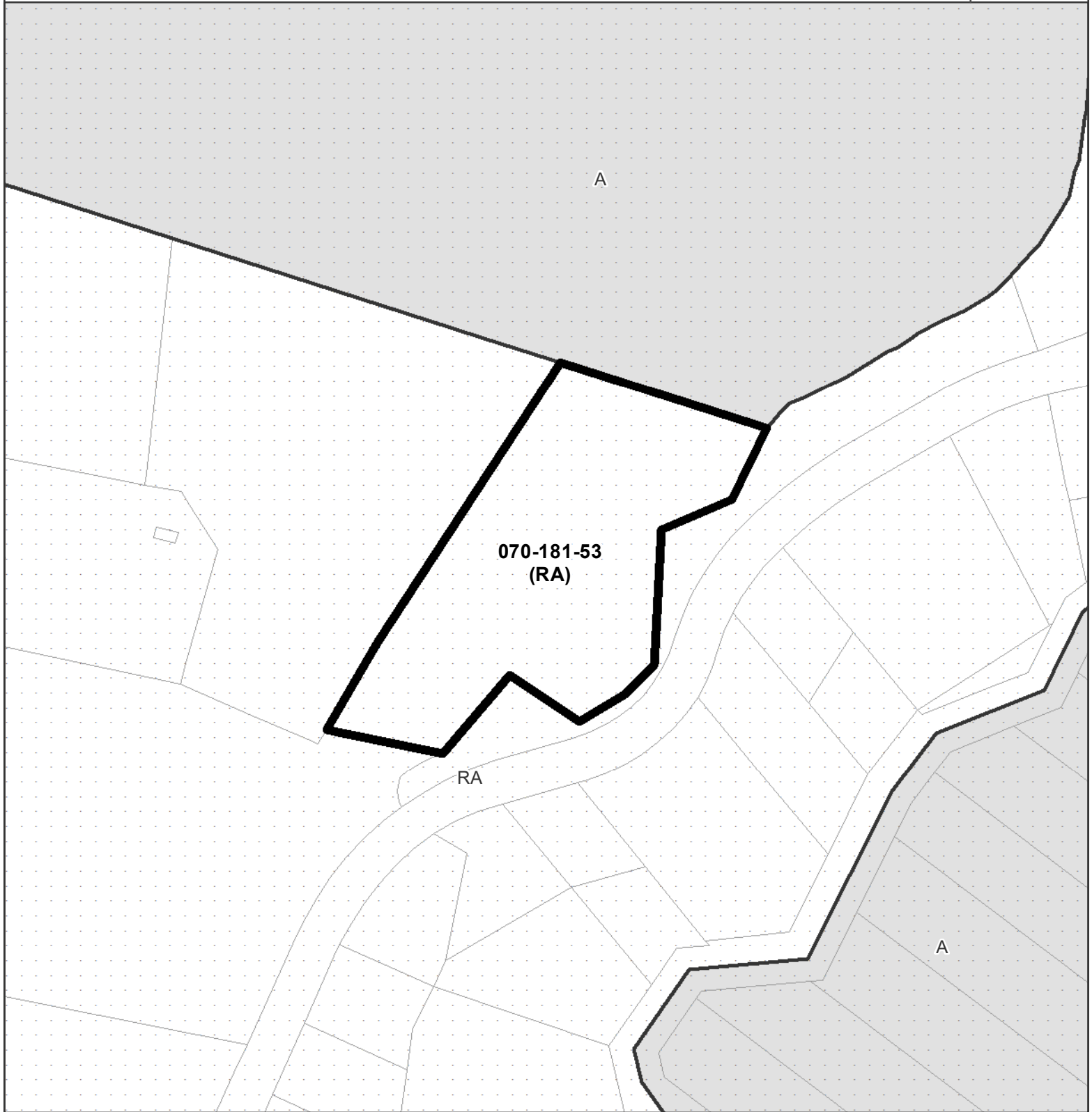




# Parcel Zoning Map

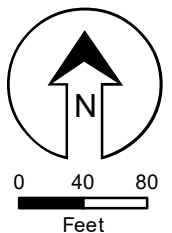


Mapped  
Area



- A Agriculture
- RA Residential Agricultural

E x h i b i t E



## Parcel Information

### Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside  
Water Supply: Private well  
Sewage Disposal: Onsite Waste Disposal System (OWTS)  
Fire District: Santa Cruz County Fire Department  
Drainage District: Not in a drainage district

### Parcel Information

Parcel Size: 4.9050 acres  
Existing Land Use - Parcel: Residential  
Existing Land Use - Surrounding: Rural residential neighborhood with vacant timber production properties to the southwest  
Project Access: Old Turnpike Road  
Planning Area: Summit  
Land Use Designation: R-R (rural residential)  
Zone District: RA (single family residential and agriculture (rural))  
Coastal Zone: ☐ Inside ☒ Outside  
Appealable to Calif. Coastal Comm.: ☐ Yes ☒ No

### Technical Reviews:

### Environmental Information

Geologic Hazards: Mapped/in the County Fault Zone  
Fire Hazard: Not a mapped constraint  
Slopes: Building site sloped less than 15%, remainder of lot is sloped 30% to over 50%  
Env. Sen. Habitat: Site is within mapped Sandhills habitat area but the proposed project is within an already disturbed area  
Grading: No grading proposed  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Archeology: Not mapped for the proposed building site.