



Staff Report to the Zoning Administrator

Application Number: **221228**

Applicant: Stephanie Barnes Castro
Owner: Shafi LLC
APN: 067-411-35
Site Address: 631 Worth Lane, Scotts Valley CA 95066

Agenda Date: November 18, 2022
Agenda Item #: 3
Time: After 9:00 a.m.

Project Description: Proposal to construct a 317 square foot second story addition to an existing single-family dwelling, for a total of 5,076 square feet. Requires a Large Dwelling Permit.

Location: Property located on the southeast side of Worth Lane, approximately 650 feet west of the intersection with Twin Peaks Drive, in Scotts Valley.

Permits Required: Residential Development Permit

Supervisory District: 5th District (District Supervisor: Bruce McPherson)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 221228, based on the attached findings and conditions.

Project Description & Setting

The subject property is located on the southeast side of Worth Lane in the Carbonera planning area west of the city of Scotts Valley. The residence is located in a suburban neighborhood with predominantly two-story dwellings that range from 3,000 – 4,000 square feet in size.

In August of 2022, a building permit was filed for the proposed remodel. The building permit issued allowed for an expansion to the existing entryway, extension of the existing kitchen, and the conversion of a portion of the garage to living space, at the lower level. The upper level remodel included an addition of a laundry room, and a playroom. Construction was initiated, but a change order increased the size of the structure and required a large dwelling review. The change order requested the addition of an upper level bedroom, bathroom, and closet over the existing garage.

Zoning & General Plan Consistency

The subject property is a 17,293 square foot lot, located in the R-1-10 (Single-Family Residential) zone district, a designation which allows residential uses. The proposed addition is a principal

permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

Large Dwelling Review

The proposed additions (of approximately 317 square feet) would result in a structure that is over 5,000 square feet of floor area (total of approximately 5,076 square feet). Single family dwellings (or additions to existing single family dwellings) over 5,000 square feet are subject to a Residential Development Permit for large dwelling review.

Design Review

The proposed additions comply with the requirements of the County Design Review Ordinance, in that the proposed additions will be consistent with the architectural style, colors, and materials of the existing residence and the structure will be adequately screened from view to prevent visual impacts of the proposed development on surrounding land uses and the natural landscape. The proposed materials consist of painted stucco siding, composition shingles, and vinyl windows to match the existing exterior.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **221228**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Michael Lam
Santa Cruz County Planning Department
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Santa Cruz CA 95060
Phone Number: (831) 454-3371
E-mail: Michael.Lam@santacruzcounty.us

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 221228

Assessor Parcel Number: 067-411-35

Project Location: 631 Worth Lane, Scotts Valley, CA 95066

Project Description: Proposal to construct a 317 square foot second story addition to an existing single family dwelling.

Person or Agency Proposing Project: Stephanie Barnes-Castro

Contact Phone Number: (831) 239-0603

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 – New Construction or Conversion of Small Structures (Section 15303).

F. Reasons why the project is exempt:

Construct a residential addition in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Michael Lam, Project Planner

Date: _____

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the addition and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-10 (Single Family Residential) zone district as the primary use of the property will be one dwelling unit that meets all current site standards for the zone district.

The project will comply with the requirements of County Code section 13.10.325 regarding large dwelling review, in that the existing residence and proposed additions are compatible with the architectural character and pattern of development in the surrounding urban residential neighborhood; the construction will not involve excessive grading or substantial modification of the existing topography; the proposed addition will be compatible with the architectural style, colors and materials of the existing residence.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed addition is consistent with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

The proposed addition will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the addition will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed addition will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed addition will comply with the site standards for the R-1-10 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed addition will not change the level of traffic generated by the dwelling, so will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed addition is consistent with the land use intensity and density of the neighborhood. The proposed materials consist of painted stucco siding, composition shingles, and vinyl windows to match the existing exterior.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed addition will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit D: Project plans, prepared by Stephanie Barnes-Castro, dated 07/15/2022.

- I. This permit authorizes the construction of a(n) addition as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the

topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
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- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements of the Environmental Planning section of the Planning Department.
 - D. Meet all requirements and pay any applicable plan check fee of the Scotts Valley Fire Protection District.
 - E. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per square foot for additions to single family dwellings.
 - F. Pay the current fees Child Care mitigation. Currently, these fees are \$0.74 per square foot for additions to single family dwellings.
 - G. As applicable, pay the current fees for Roadside and Transportation improvements for four bedroom(s).
 - H. Provide required off-street parking for four cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - I. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
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- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time

during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any

settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

FIRE PROTECTION NOTES

1. THESE PLANS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (CURRENT EDITION) AND DISTRICT AMENDMENTS.
2. OCCUPANCY CLASSIFICATION: R-3/U
3. BUILDING CONSTRUCTION TYPE: TYPE VB
4. FIRE RATING: SPRINKLERED
5. A 30 FOOT CLEARANCE SHALL BE MAINTAINED TO FLAMMABLE VEGETATION AROUND ALL STRUCTURES. SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY, OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURES, ARE EXEMPT.
6. THE ROOF COVERING SHALL NOT BE LESS THAN CLASS 'B' RATED ROOF.
7. 1 INCH HIGH ADDRESS NUMBERS OF CONTRASTING COLOR WITH BACKGROUND
8. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.
9. THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
10. THE DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL.
11. WHERE ROOF VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL NOT BE LESS THAN NO. 26 GAUGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER MINIMUM 72 LB MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH OF THE VALLEY PER CRC A637.5.3
12. THE ROOF SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM WITH ALL WILDLAND URBAN INTERFACE CONSTRUCTION REQUIREMENTS.

CONSTRUCTION WASTE MANAGEMENT

A MINIMUM OF 65% OF THE CONSTRUCTION AND DEMOLITION WASTE WILL BE RECYCLED, RE-USED ON THE PROJECT, OR SALVAGED FOR LATER USE OR SALE.

CODE COMPLIANCE NOTES

2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRIC CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ENERGY STANDARDS

SHEET INDEX

ARCHITECTURAL:

SHEET A1:	COVER SHEET, SHEET INDEX, PROJECT DATA, NOTES
SHEET A2:	SITE PLAN
SHEET A3:	EXISTING LOWER LEVEL FLOOR PLAN/
SHEET A4:	EXISTING UPPER LEVEL FLOOR PLAN/
SHEET A5:	PROPOSED UPPER LEVEL FLOOR PLAN
SHEET A6:	EXISTING ROOF PLAN
SHEET A7:	PROPOSED ROOF PLAN
SHEET A8:	EXISTING EXTERIOR ELEVATIONS
SHEET A9:	EXISTING EXTERIOR ELEVATIONS
SHEET A10:	PROPOSED EXTERIOR ELEVATIONS
SHEET A11:	PROPOSED EXTERIOR ELEVATIONS
SHEET A12:	SECTIONS

PROJECT DESCRIPTION

UPPER LEVEL BEDROOM, BATH & CLOSET ADDITION OVER AN EXISTING GARAGE TO AN EXISTING TWO STORY 4 BEDROOM, 4 1/2 BATH SINGLE FAMILY RESIDENCE (AS APPROVED UNDER BUILDING PERMIT #B-2235992).

RESULTS IN A 5 BEDROOM, 5 1/2 BATH HOME.

SQ. FOOTAGES:

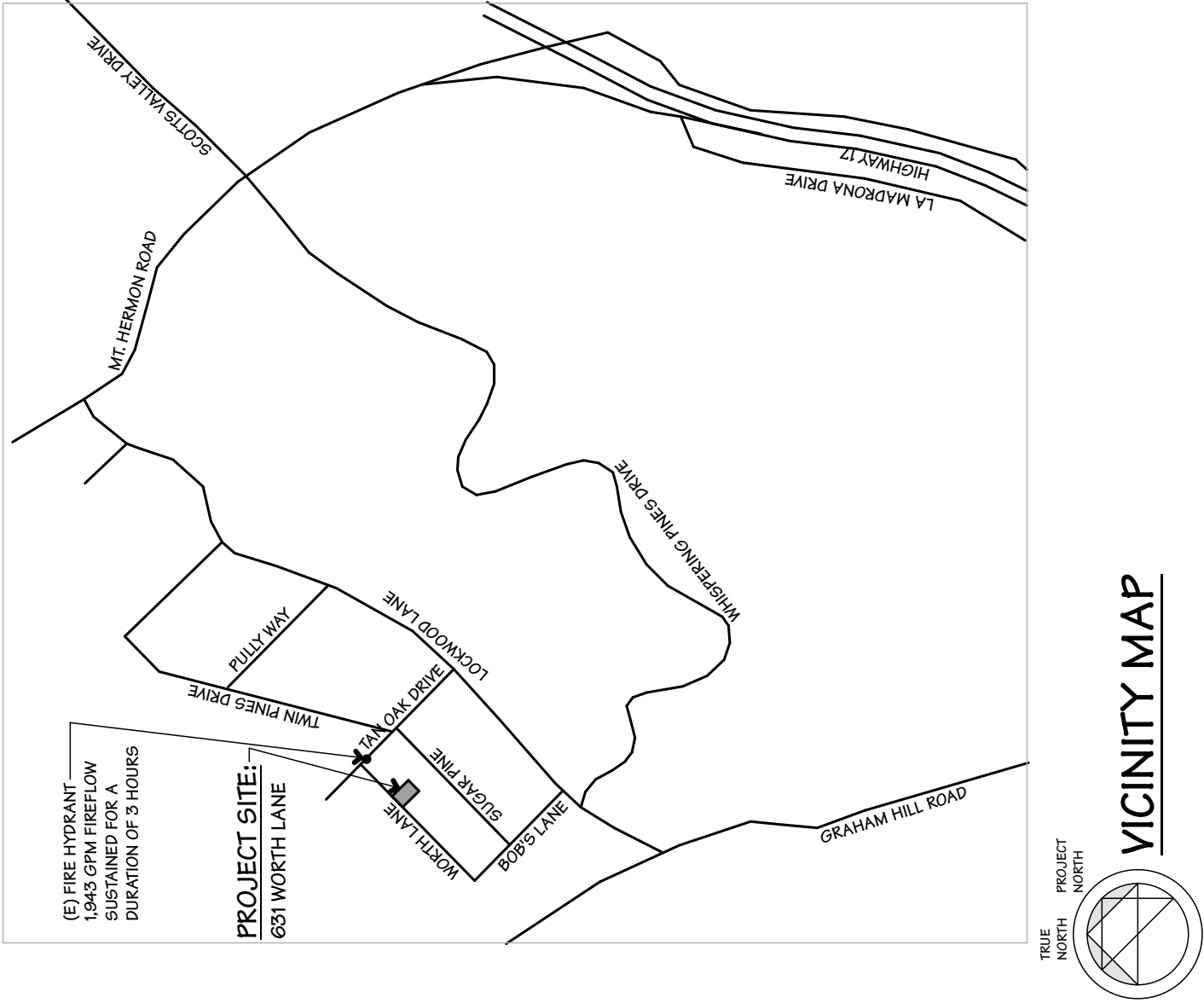
MAXIMUM ALLOWABLE LOT COVERAGE:	LOT AREA X 40% = 17,283 SF X 40% = 6,917 SF
EXISTING LOT COVERAGE:	2,573 SF = 17.2%
(NO CHANGE TO EXISTING LOT COVERAGE):	
MAXIMUM ALLOWABLE F.A.R.:	LOT AREA X 50% = 17,283 SF X 50% 8,646 SF
EXISTING F.A.R.:	4,759 SF = 27.5%
PROPOSED CHANGE TO F.A.R. (NEW BEDROOM OVER GARAGE):	317 SF
TOTAL PROPOSED F.A.R.:	5,076 SF = 29.4%

PROJECT CONTACTS

OWNER:	HINA & BILAL SHAFI 631 WORTH LANE SCOTT'S VALLEY, CA 95066 (978) 592-4745 hinaa@shafi.org
ARCHITECT:	STEPHANIE BARNES- CASTRO 424 LAURENT STREET SANTA CRUZ, CA 95060 sbc@sbarch.com (931) 239-0603
STRUCTURAL ENGINEER:	BUCHANAN ENGINEERING, INC. 1915 CAPITOLA ROAD, SUITE H SANTA CRUZ, CA 95062 (931) 476-3145 bucheng@icloud.com
ARBORIST:	NIGEL BELTON P.O. BOX 1744 APTOS, CA 95001 (931) 690-1239

PROJECT DATA

APN:	067-411-35
SITE ADDRESS:	631 WORTH LANE SCOTT'S VALLEY, CA 95066
ZONE:	R-1-10
OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	VB, SPRINKLERED
WATER DISTRICT:	SAN LORENZO VALLEY WATER DISTRICT
FIRE DISTRICT:	SCOTT'S VALLEY FIRE
PROJECT DESCRIPTION:	
TOTAL PARCEL AREA:	17,293 SQ. FT.
PARKING REQUIRED:	5 SPACES
PARKING PROVIDED:	6 SPACES



STEFHANIE BARNES-CASTRO
ARCHITECT

COVER SHEET

SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE	7/19/22
DATE	
REVISION	

SHEET A1 OF SHEETS

Any project that involves ground disturbance shall include the following minimum erosion control measures on the stormwater pollution control plan. The minimum erosion control measures shall be shown in plan view and shall include installation details and/or notes as shown herein.

- **Seed and Straw Mulch**
Seed and straw mulch is to be used for soil disturbed areas as a means for temporary protection until permanent stabilization is established. It may be used on slopes up to 3:1 H:V (33%).

Seed and straw mulch shall consist of spreading seed (a minimum of 5 lbs/1000 sq. ft.) over disturbed areas and then placing a uniform layer of straw (2-3 bales/1000 sq. ft.) incorporating it into the soil with a studded roller or anchoring it with a tackifier stabilizing emulsion.

Note: In areas that are not sensitive habitat, the seed shall be annual winter barley and the straw shall be derived from rice, barley or wheat. In areas that are sensitive habitat, the seed mix and straw shall be as recommended by the project biologist, be indicated on the plans, and approved by the Planning Department.

Any project that involves ground disturbance shall include the following minimum *sediment* control measures on their stormwater pollution control plan. The minimum sediment control measures shall be shown in plan view and shall include installation details and/or notes as shown herein.

- Fiber Rolls (or Wattles)

Fiber rolls are to be placed at the down slope perimeter of the disturbance limits to prevent or limit sediment from leaving the site. In urban areas or sites directly adjacent to streets, fiber rolls shall be placed at the back of a sidewalk or curb to limit sediment from entering the street. *Fiber rolls or wattles are generally preferred over silt fences.*

Fiber rolls are best used in low-exposure/low-sediment load areas. Fiber rolls at the toe of slopes greater than 5:1 (H:V) may require the use of 20 inch diameter ROLLS or installations achieving the same protection (e.g., stacked smaller diameter fiber rolls, etc.). Fiber rolls must be adequately trenched to be effective.

If fiber rolls are used as a method to control sediment, the plans must include Figure SC-1.

All projects shall include the following minimum housekeeping notes on the stormwater pollution control plan.

Construction Materials

- All loose stockpiled construction materials that are not actively being used (i.e. soil, spoils, aggregate, fly-ash, stucco, hydrated lime, etc.) shall be covered and bermed.
- All chemicals shall be stored in watertight containers (with appropriate secondary containment to prevent any spillage or leakage) or in a storage shed (completely enclosed).

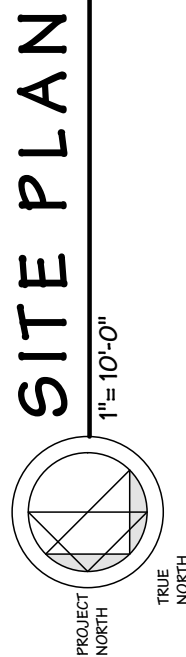
- Disposal of any rinse or wash waters or materials on impervious or pervious site surfaces shall be prohibited.
- Discharge into the storm drain system shall be prevented.
- Sanitation facilities shall be contained (e.g., portable toilets) to prevent discharges of pollutants to the storm water drainage system or receiving water, and shall be located a minimum of 20 feet away from an inlet, street or driveway, stream, riparian area or other drainage facility.
- Sanitation facilities shall be inspected regularly for leaks and spills and cleaned or replaced as necessary.
- Cover waste disposal containers at the end of every business day and during a rain event.
- Discharges from waste disposal containers to the storm water drainage system or receiving water shall be prevented.
- Stockpiled waste material shall be contained and securely protected from wind and rain at all times unless actively being used.
- Procedures that effectively address hazardous and non-hazardous spills shall be implemented.
- Equipment and materials for cleanup of spills shall be available on site and that spills and leaks shall be cleaned up immediately and disposed of properly; and
- Concrete washout areas and other washout areas that may contain additional pollutants shall be contained so there is no discharge into the underlying soil and onto the surrounding areas.

Vehicle Storage and Maintenance

- Measures shall be taken to prevent oil, grease, or fuel to leak in to the ground, storm drains or surface waters.
- All equipment or vehicles, which are to be fueled, maintained and stored onsite shall be in a designated area fitted with appropriate BMPs.
- Leaks shall be immediately cleaned and leaked materials shall be disposed of properly.

- Contain stockpiled materials such as mulches and topsoil when they are not actively being used.
- Contain fertilizers and other landscape materials when they are not actively being used.
- Discontinue the application of any erodible landscape material within 2 days before a forecasted rain event or during periods of precipitation.
- Apply erodible landscape material at quantities and application rates according to manufacturer's recommendations or based on written specifications by knowledgeable and experienced field personnel.
- Stack erodible landscape material on pallets and covering or storing such materials when not being used or applied.

1. ALL DOWNSPROUTS TO REMAIN AT EXISTING LOCATIONS.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. SLOPE GRADES AWAY FROM FOUNDATIONS TO (E) DRAINAGE.
3. NEW FOUNDATION AREAS A MINIMUM OF 5 PERCENT FOR THE FIRST 10 FEET. IMPERVIOUS SURFACES SHALL DRAIN AWAY FROM FOUNDATIONS AT LEAST 2 PERCENT FOR THE FIRST 10 FEET.
4. WHERE LOT LINES, WALLS, SLOPES OR OTHER OBSTACLES PREVENT DRAINAGE FROM 1 TO 3, CONSTRUCTION SHALL BE DONE IN A FALLING IN TO FEET. DRAINAGE OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE FROM 1 TO 3.
5. CONSTRUCTION SHALL BE DONE IN A CONVEYANT AND REASONABLE MANNER.
6. SEE THIS SHEET FOR EROSION AND SEDIMENT CONTROL NOTES.
7. SEE DETAIL AA/2, THIS SHEET, FOR STRAW MAT DETAIL.



WORTH LANE
40' R.O.W.

1"=10'-0"

Stephanie Barnes-Castro Architect
2005 Commendation for All Subjects



STEFHANIE
BARNES - CASTRO
ARCHITECT

EXISTING
LOWER LEVEL
FLOOR PLAN

SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #0067-411-35

SUBMITTAL DATE	
7/15/22	
DATE	REVISION

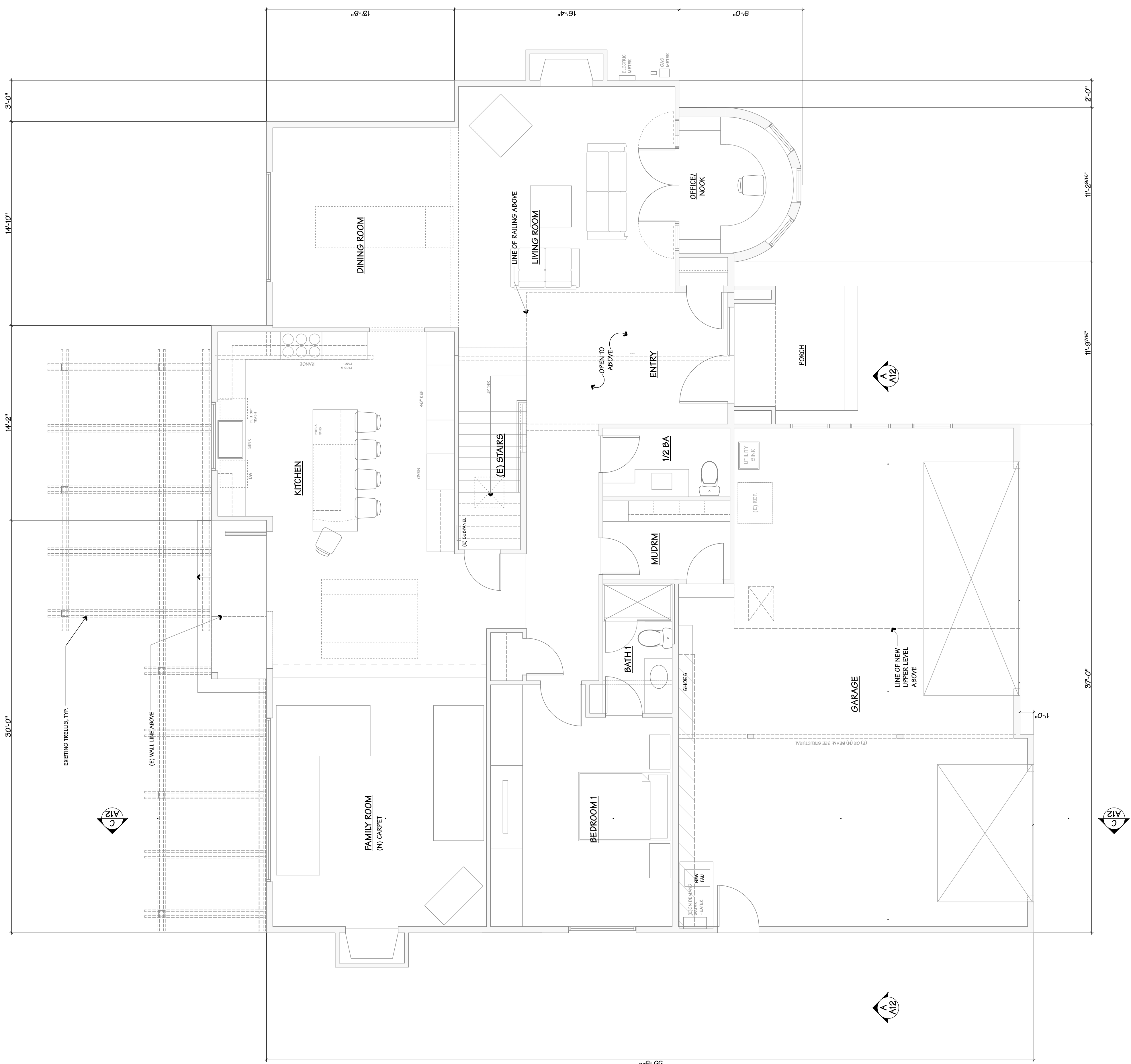
SHEET

A3

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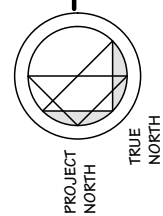
SHEETS

Stephanie Barnes-Castro Architect

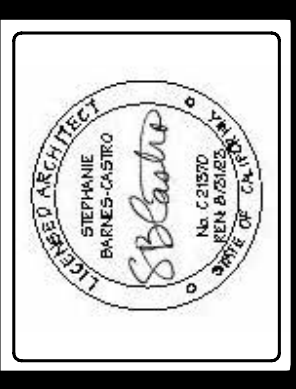


EXISTING LOWER LEVEL FLOOR PLAN AS APPROVED UNDER BUILDING PERMIT # B-223582

(NO CHANGES)



1/4" = 1'-0"



STEPHANIE
BARNES - CASTRO
ARCHITECT

EXISTING
UPPER LEVEL
FLOOR PLAN

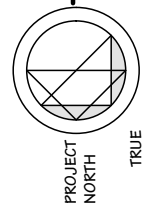
SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE		7/8/22
DATE	REVISION	
SHEET		A4
OF		1

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EXISTING UPPER LEVEL FLOOR PLAN AS APPROVED UNDER BUILDING PERMIT # B-2235582

1/4" = 1'-0"





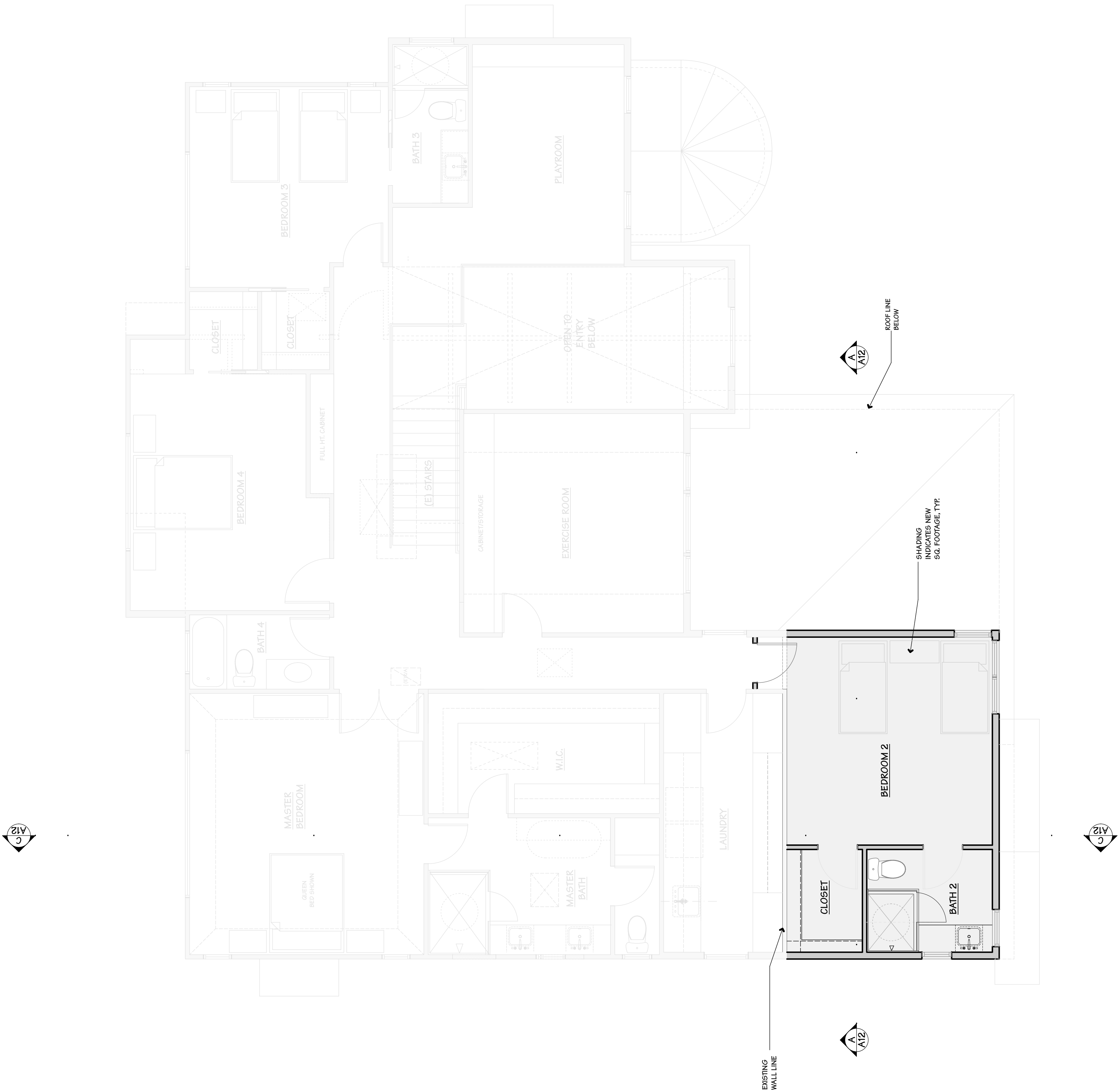
STEPHANIE
BARNES - CASTRO
ARCHITECT

PROPOSED
UPPER LEVEL
FLOOR PLAN

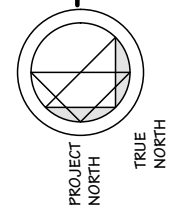
SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE		7/10/22
DATE	REVISION	
SHEET		A5
OF		1

Stephanie Barnes-Castro Architect
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PROPOSED UPPER LEVEL FLOOR PLAN @ BEDROOM ADDITION



1/4" = 1'-0"



STEFHANIE
BARNESS - CASTRO
ARCHITECT

EXISTING
ROOF PLAN

SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

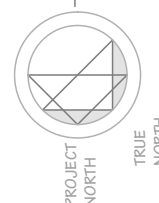
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7/15/22	
△	DATE REVISION

SHEET

A6

SHEETS

EXISTING ROOF PLAN AS APPROVED UNDER BUILDING PERMIT # B-223582



1/4" = 1'-0"



STEPHANIE
BARNES - CASTRO
ARCHITECT

PROPOSED
ROOF PLAN

SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

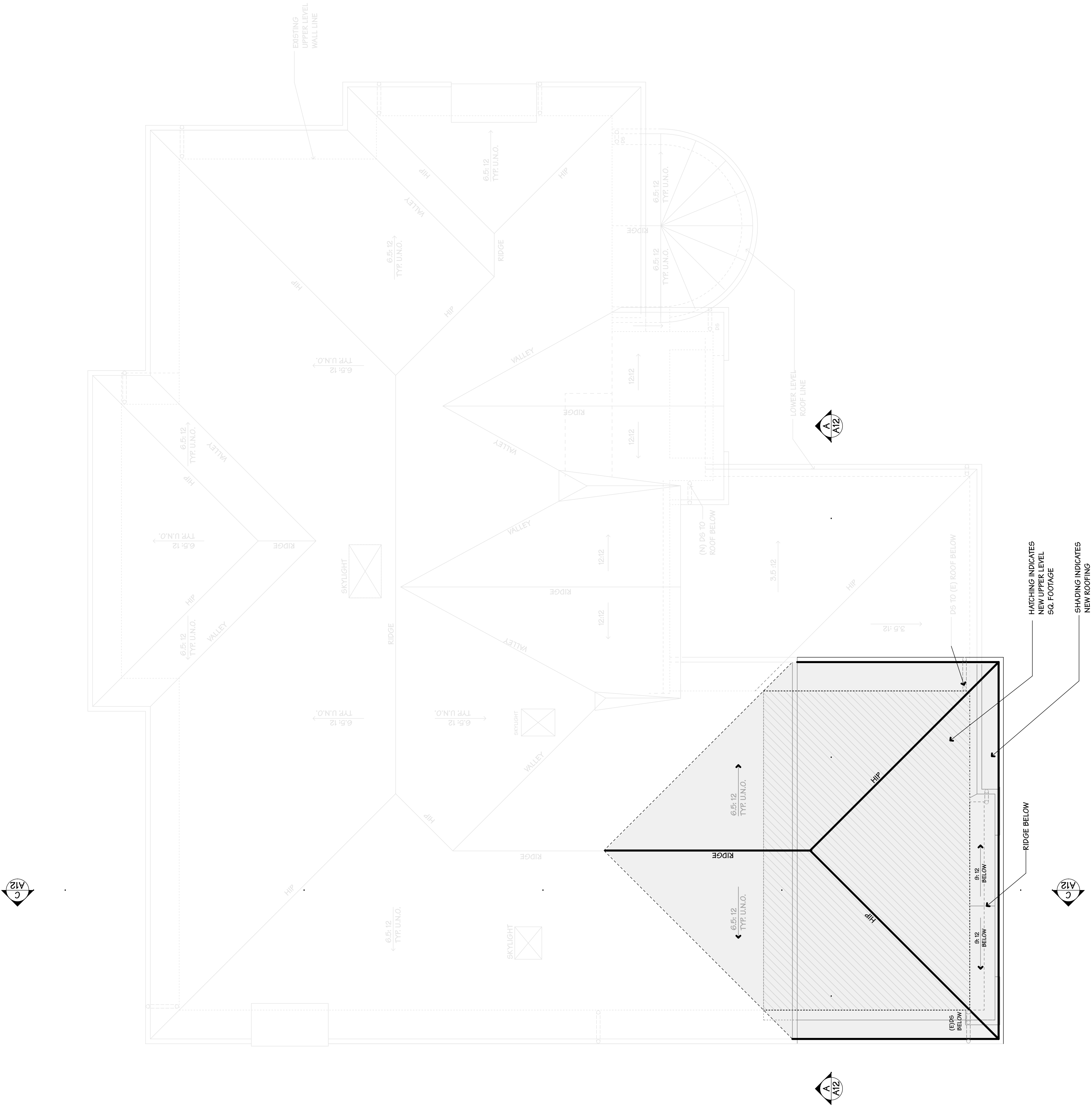
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7/15/22

DATE
7/15/22

REVISION

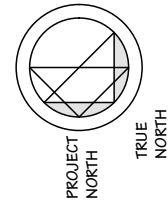
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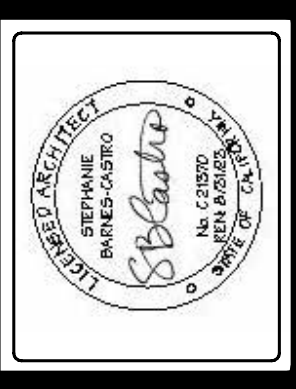
SHEETS
OF



PROPOSED ROOF PLAN @ BEDROOM ADDITION

1/4" = 1'-0"





STEPHANIE
BARNES - CASTRO
ARCHITECT

EXISTING
EXTERIOR
ELEVATIONS

SHAFI RESIDENCE
631 WORTH LANE
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APN# #067-411-35

SUBMITTAL DATE
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DATE
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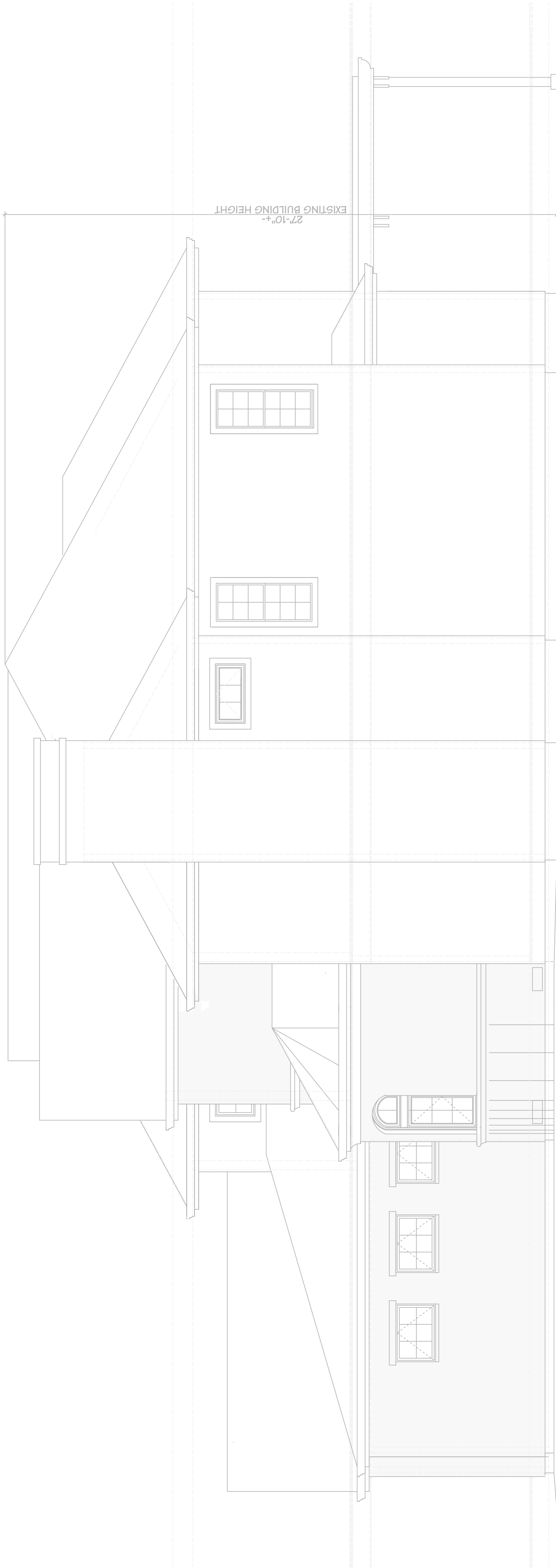
REVISION

SHEET
A8

OF
SHEETS



EXISTING WEST ELEVATION AS APPROVED UNDER BUILDING PERMIT B-223582



EXISTING SOUTH ELEVATION AS APPROVED UNDER BUILDING PERMIT B-223582



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ARCHITECT

EXISTING
EXTERIOR
ELEVATIONS

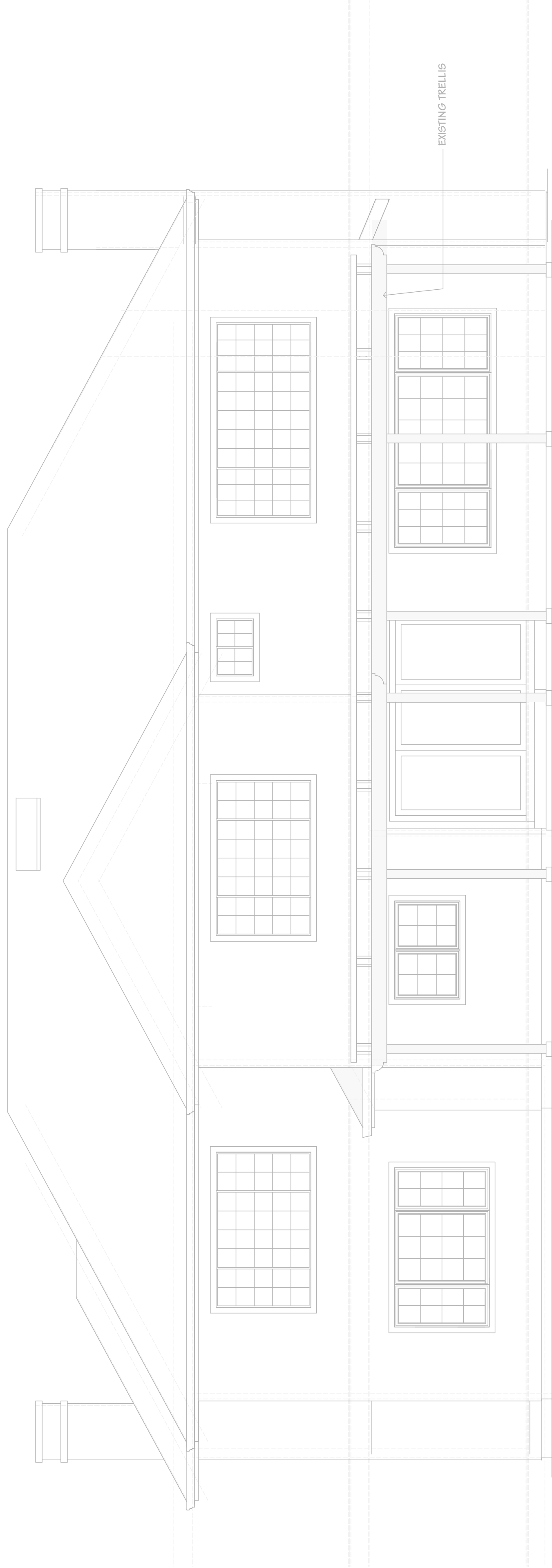
SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE
7/10/22

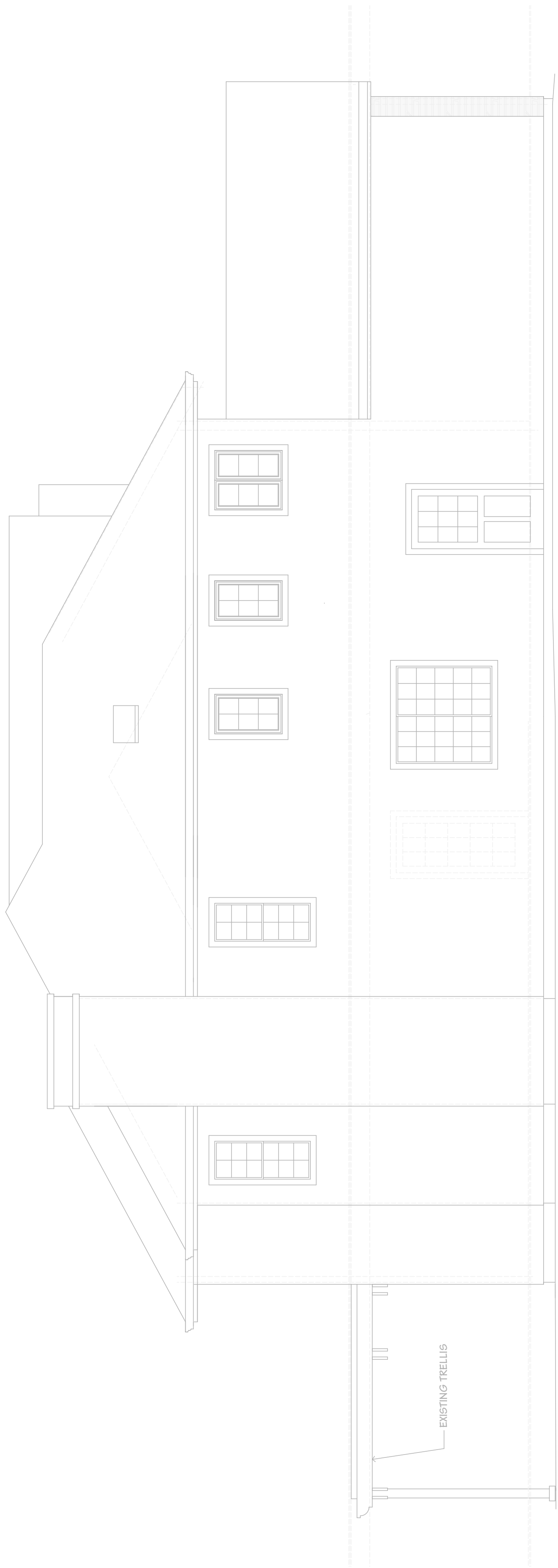
DATE
7/10/22

REVISION

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OF
SHEETS



EXISTING EAST ELEVATION AS APPROVED UNDER BUILDING PERMIT #B-2235582



EXISTING NORTH ELEVATION AS APPROVED UNDER B-2235582



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PROPOSED
EXTERIOR
ELEVATIONS

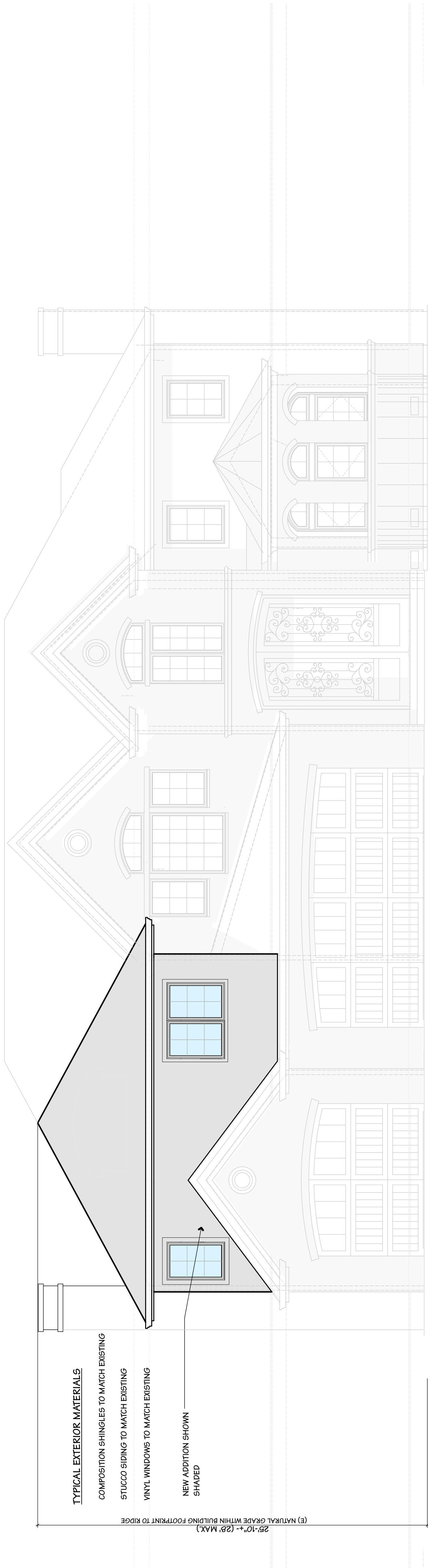
SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE
7/10/22

DATE
7/10/22

REVISION

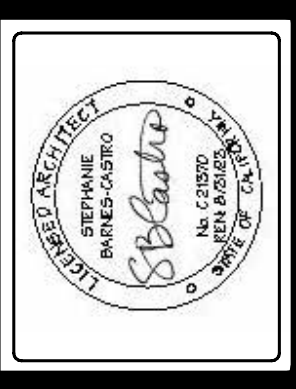
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OF
SHEETS



WEST ELEVATION SHOWING PROPOSED BEDROOM ABOVE GARAGE



SOUTH ELEVATION SHOWING PROPOSED BEDROOM ABOVE GARAGE



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PROPOSED
EXTERIOR
ELEVATIONS

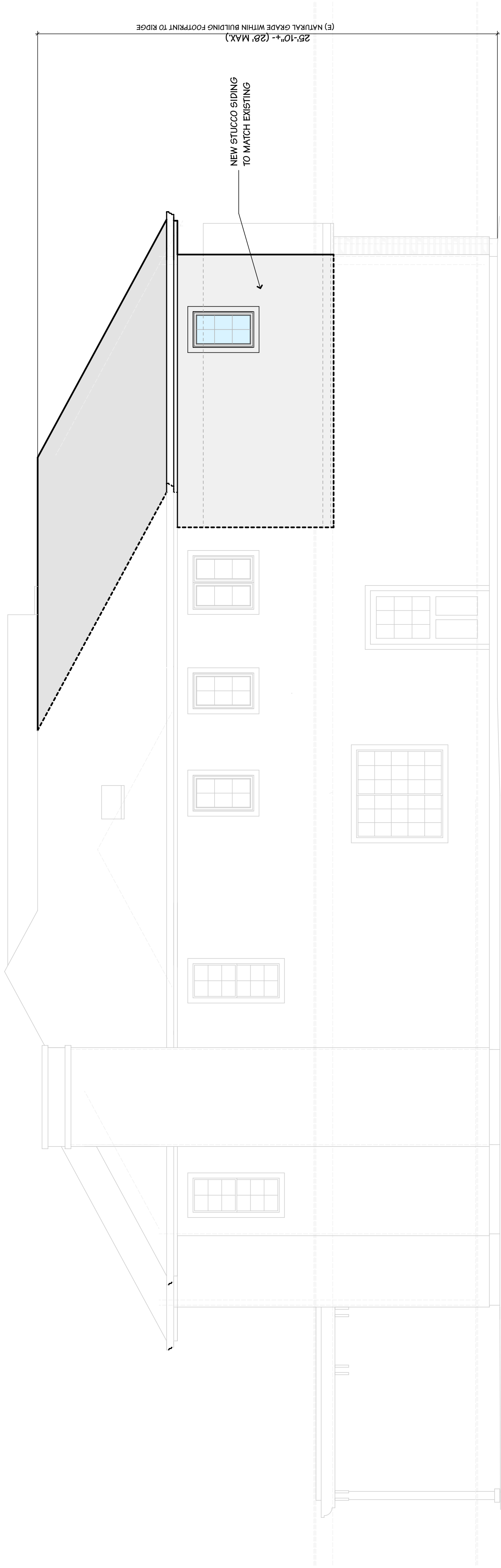
SHAFI RESIDENCE
631 WORTH LANE
SCOTT'S VALLEY, CA 95066
APN# #067-411-35

SUBMITTAL DATE	
7/9/22	
DATE	REVISION
Δ	

SHEET
A11
OF
SHEETS



EAST ELEVATION (NO CHANGES)



NORTH ELEVATION SHOWING PROPOSED BEDROOM ABOVE GARAGE

SEC. 23

SEC. 24



Note - Assessor's Parcel & Block Numbers Shown in Circles.

Assessor's Map No. 67-41
County of Santa Cruz, Calif.
Aug. 1999



Parcel Location Map



Mapped Area



Parcel: 06741135

- Study Parcel
- Assessor Parcel Boundary
- City Limits

Map printed: 10 Nov. 2022

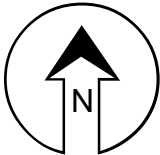


EXHIBIT E 0 25 50 Feet



Parcel General Plan Map



Mapped
Area

CITY OF
SCOTTS
VALLEY

R-M

067-411-35
(R-UL)

R-UL

- ☐ R-M *Residential Mountain*
- ☐ R-UL *Res. Urban Low Density*

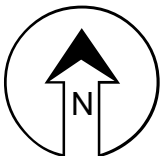


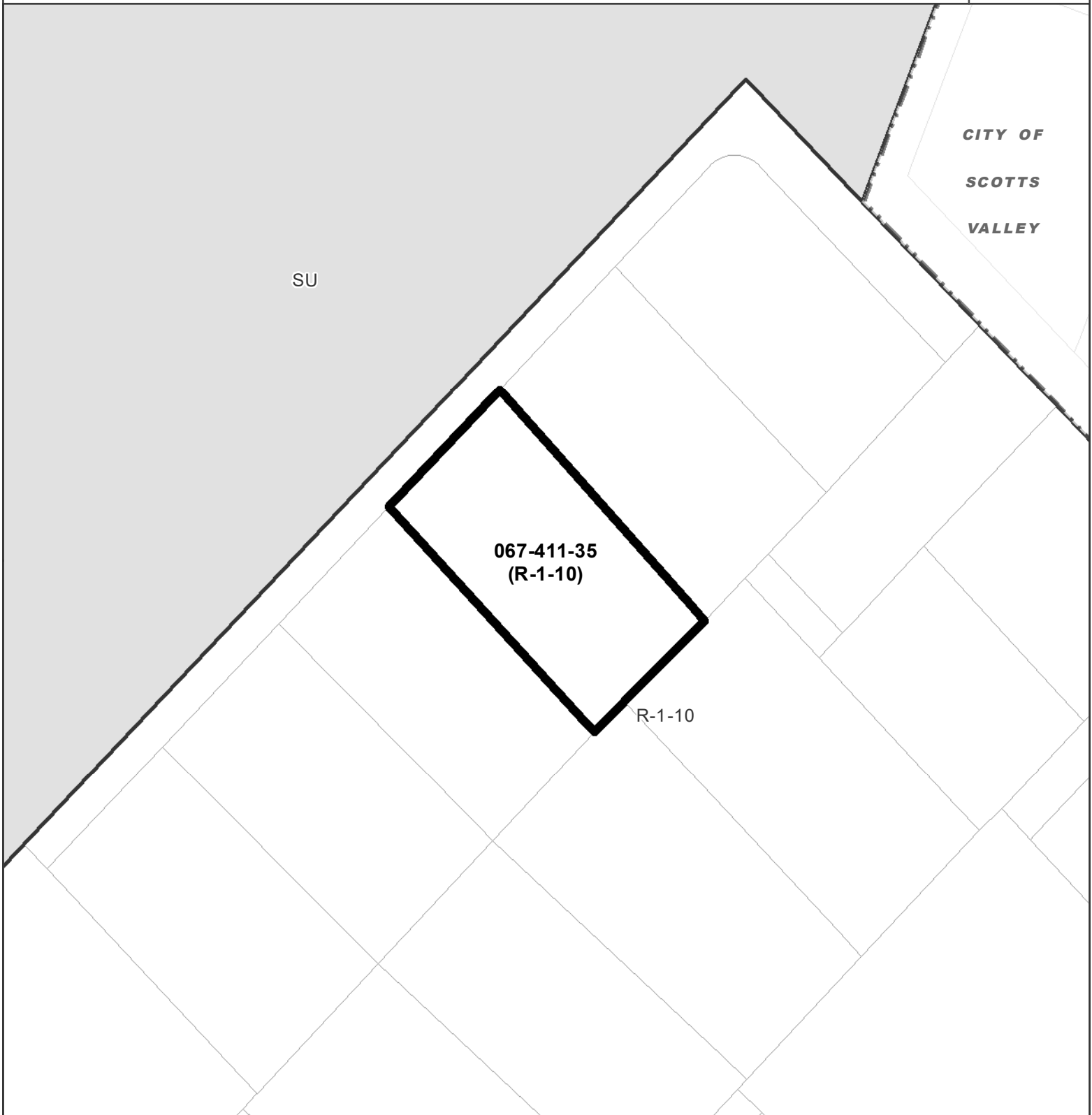
EXHIBIT E 0 25 50
Feet





Parcel Zoning Map



Mapped
Area



-  R-1 *Single-Family Residential*
-  SU *Special Use*

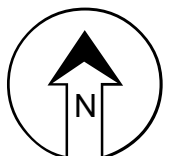


EXHIBIT E 
Feet

Parcel Information

Services Information

Urban/Rural Services Line:	<input type="checkbox"/> Inside	<input checked="" type="checkbox"/> Outside
Water Supply:	San Lorenzo Valley Water District	
Sewage Disposal:	Septic	
Fire District:	Scotts Valley Fire Protection District	
Drainage District:	N/A	

Parcel Information

Parcel Size:	.39 Acres	
Existing Land Use - Parcel:	Single Family Residence	
Existing Land Use - Surrounding:	Single Family Residence	
Project Access:	Worth Lane	
Planning Area:	Carbonera	
Land Use Designation:	R-UL (Urban Low Density Residential)	
Zone District:	R-1-10 (Single Family Residence)	
Coastal Zone:	<input type="checkbox"/> Inside	<input checked="" type="checkbox"/> Outside
Appealable to Calif. Coastal Comm.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Technical Reviews: Soils Report Waiver Review (REV221161)

Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Fire Hazard:	Not a mapped constraint
Slopes:	0-15+%
Env. Sen. Habitat:	Potential Sandhills Habitat
Grading:	No grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	Not a mapped resource
Archeology:	Not mapped/no physical evidence on site