



## Staff Report to the Zoning Administrator

Application Number: **231096**

---

**Applicant:** Lon and Rebecca Spooner  
**Owner:** Lon, Rebecca, and Hannah Spooner  
**APN:** 088-211-52  
**Site Address:** 185 Snow Crest Road

**Agenda Date:** 7/21/23  
**Agenda Item #:** 1  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to construct a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot-high retaining wall within the front yard setback.

**Location:** Property located on the east side of Snow Crest Road (185 Snow Crest) approximately 630 feet southeast of the intersection of Snow Crest Road and Highway 35 in the Skyline General Planning Area.

**Permits Required:** Requires a Variance to reduce the front yard setback along Snow Crest Road from 40 feet to 25.2 feet for the non-habitable structure; an Over-Height Wall Permit for a wall that exceeds 3 feet in height within the front yard, and a determination that the project is exempt from further review under the California Environmental Quality Act (CEQA).

**Supervisory District:** 5 District (District Supervisor: Bruce McPherson)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231096, based on the attached findings and conditions.

### Project Description & Setting

The property is located in the Skyline General Plan Boundary Area, on the west side of Skyline Boulevard (Highway 35). Access to the property is from Snow Crest Road which runs from Skyline Boulevard through the northern portion of the parcel. The surrounding area is characterized by steep slopes and is developed with single-family residences that are accessed from narrow roads. The subject property is located on a majority 50% or greater sloped area, with the parcel sloping down towards the southwest from Snow Crest Road and sloping up to the northwest from Snow Crest Road toward a relatively flat area north of the travelled roadway. The parcel has frontage onto both Skyline Boulevard and Snow Crest Road, but due to the steep topography the parcel can only be accessed from Snow Crest Road. Further, in accordance with the document recorded at 2023-0000885, no direct access to the parcel may be taken from Skyline Boulevard.

---

This project proposes construction of a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot-high retaining wall that will be within the front yard setback on the northeastern side of Snow Crest Road. A Variance is required to reduce the front yard setback along Snow Crest Road from 40 feet to 25.2 feet for the non-habitable structure; an Over-Height Wall Permit is required for a wall that exceeds 3 feet in height within the front yard. The project also requires a determination that the project is exempt from further review under the California Environmental Quality Act (CEQA).

### **Project Background**

The parcel is currently developed with a single-family dwelling located to the southwest of Snow Crest Road, that was remodeled in 2002 under Building Permit B-212752. In association with the application for a Variance for the proposed non-habitable accessory structure and wall, the property owner has relinquished rights to any direct vehicular access from Skyline Boulevard (Highway 35) that previously existed along the northern property line (Document 2023-0000885). This action was taken at the suggestion of staff to delete the requirement for an additional Variance approval for a reduced front yard setback from Skyline and because access is physically precluded by steep slopes. Building permit application, B-226144, has also been submitted for the proposed structures.

### **Zoning & General Plan Consistency**

The subject property is a 324,086 square foot (7.4 acre) lot, located in the SU (Special Use) zone district, a designation which allows multiple uses, including residential development. The proposed non-habitable structure is an accessory use that is permitted within the zone district in association with the existing dwelling, and the zoning is consistent with the site's R-M (Mountain Residential) General Plan designation.

The applicable standards for this project are set out in the table below:

#### **Special Use / R-1-1 acre and greater**

	<b>Zoning District Standard</b>	<b>Proposed</b>
<b>Height</b>	28 feet	19 feet 5 inches
<b>Front Yard Setback</b>	40 feet	25.2 feet
<b>Side Yard Setback</b>	20 and 20 feet	Approximately 73 feet and greater than 135 feet
<b>Rear Yard Setback</b>	20 feet	20 feet
<b>Lot Coverage</b>	10%	1.37%

Because of the steep slopes on the parcel, the only suitable building site for the proposed non-habitable accessory structure is within the relatively flat area north of Snow Crest Road. Per County Code 13.10.510(I), "Reductions in the Front Setback to Protect the Environment or Public Safety", the front yard setback may be reduced by 25% to minimize grading on steep lots, pursuant to an Administrative Environmental Setback Reduction, which would potentially allow a 30-foot

front yard setback. As proposed the non-habitable structure would be located approximately 25.2 feet from the edge of the right-of-way at Snow Crest Road and therefore doesn't qualify for an Environmental Setback Reduction and a Variance is therefore required. It should be noted however, that if measured from the paved roadway the location of the proposed accessory structure would conform to this standard. See additional discussion regarding the requested Variance below.

### **Variance**

A Variance is required for the proposed non-habitable accessory structure to allow for a reduction of the required front yard setback from 40 feet to 25.2 feet. Due to the steep slopes and the location of the existing home, no other suitable location exists on the parcel where a garage and storage building could feasibly be located. Staff therefore recommends approval of the requested Variance to allow for a reduced front yard setback. As proposed the proposed structure will be located approximately 30 feet from the edge of the travelled roadway at Snow Crest Road and will not unreasonably infringe on adequate light, air or open space along the street. Further, the structure will not reduce the privacy of adjacent residential properties as it will be located on the other side of Snow Crest Road from other adjacent dwellings. A complete list of Variance Findings is included with this report.

### **Over Height Fence Permit**

Per County Code 13.10.525, Regulations for fences and retaining walls within required yards, walls are restricted to a maximum height of 3 feet unless a greater height is approved pursuant to an Over-Height Certification. The proposed retaining wall, which has a height of 5.5 feet at its tallest point, meets the criteria for approval, in that it allows adequate sight distance for vehicles traveling along Snow Crest Road, as well as for vehicles entering and exiting the property. The proposed wall will be relocated back from the travelled roadway and will allow adequate light and air at the street and does not contain any corners or pockets that would conceal persons with criminal intent. Further, the design of the wall will be compatible with the visual character of the surrounding neighborhood. The retaining wall will have a minimum 5-foot setback to the edge of the existing leach field or septic system.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231096**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

Report Prepared By: Alexandra Corvello  
Santa Cruz County Planning  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3209  
E-mail: [Alexandra.corvello@santacruzcounty.us](mailto:Alexandra.corvello@santacruzcounty.us)

## **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information



# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231096

Assessor Parcel Number: 088-211-52

Project Location: 185 Snow Crest Road

**Project Description: Proposal to construct a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot high retaining wall within the front yard setback.**

**Person or Agency Proposing Project: Lon, Rebecca, and Hannah Spooner**

**Contact Phone Number: (608) 723-9820**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: 15303 New Construction or Conversion of Small Structures

**F. Reasons why the project is exempt:**

The proposed project is to construct a new accessory, non-habitable structure in association with an existing dwelling, to be used as a garage and workshop.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Alexandra Corvello, Project Planner

Date: \_\_\_\_\_

## **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not result in inefficient or wasteful use of energy and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses, and which allows for the construction of non-habitable accessory structures. The proposed non-habitable structure will be located outside of the private right-of-way and will be constructed in conjunction with other parcel improvements that include the construction of a retaining wall that will provide greater slope stability and improved access from Snow Crest Road. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the 1,000 square foot non-habitable structure and retaining wall, and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district as the primary use of the property will be one single-family dwelling and an associated non-habitable accessory structure and retaining wall that, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification, meet all current site standards for the zone district. A complete list of findings for the proposed Variance is included with this report.

Specific regulations for fencing and walls are contained in section 13.10.525. This proposal complies with the requirements and intents of that section, in that:

- The wall will be situated on the property in a manner that allows adequate sight distance for vehicles traveling along the roadway as well as entering and exiting the property.
- The wall will be located back from the travelled roadway and will allow adequate light and air at the street.
- The location and the design of the wall does not contain any corners or pockets that would conceal persons with criminal intent.
- The location and design of the fence will be compatible with the visual neighborhood character of the surrounding neighborhood.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-M (Mountain Residential) land use designation in the County General Plan.

The proposed 1,000 square foot non-habitable structure and retaining wall with a height of up to 5 feet 5 inches, will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification, meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the proposed 1,000 square foot non-habitable structure and retaining wall will not adversely shade adjacent properties. A complete list of Variance findings for the reduced front yard setback at the non-habitable accessory structure is included with this report.

The proposed 1,000 square foot non-habitable structure and retaining wall with a height of up to 5 feet 5 inches, will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed project will comply with the site standards for the SU zone district (including setbacks-except for the front yard setback-, lot coverage, floor area ratio, height, and number of stories) and will, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed 1,000 square foot non-habitable structure and retaining wall in the front yard setback are to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase the number of peak trips per day because the non-habitable structure will be a garage and workshop area that will not generate any traffic. Further, the retaining wall will be situated on the property in a manner that allows adequate sight distance for vehicles traveling along the roadway as well as entering and exiting the property. Therefore, the proposed structures will not adversely impact existing roads or intersections in the surrounding area. The proposed retaining wall positively impacts the Snow Crest Road by providing increased slope stability above the street.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is in a mixed neighborhood containing a variety of architectural styles, and the proposed 1,000 square foot non-habitable structure and up

Application #: 231096  
APN: 088-211-52  
Owner: Lon, Rebecca, and Hannah Spooner

retaining wall will be consistent with the land use intensity and density of the neighborhood. The surrounding existing land uses are mostly residential with other Special Use zone district allowed uses; therefore, the structures will complement the existing uses and will be compatible with the existing range of styles.

## Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made since, residential uses including associated accessory structures, constitute a principal permitted use that are allowed in the zone district. The proposed Variance to reduce the front yard setback from 40 feet to 25.2 feet is required due to the steep slopes on the property, which exceed 50% over the majority of the site except for the site of the existing dwelling and a relatively flat area north of the travelled roadway for Snow Crest Road. Per County Code 13.10.510(I), “Reductions in the Front Setback to Protect the Environment or Public Safety”, the front yard setback may be reduced by 25% to minimize grading on steep lots, pursuant to an Administrative Environmental Setback Reduction, which would potentially allow a 30-foot front yard setback. As proposed the non-habitable structure would be located approximately 25.2 feet from the edge of the right-of-way at Snow Crest Road and therefore doesn’t qualify for an Environmental Setback Reduction and, as such, a Variance is required.

Although the proposed project does not qualify for an Environmental Setback Reduction, the project meets the intent of this code in that the private 40-foot right-of-way for Snow Crest Road does not represent the actual paved roadway. If measured from the edge of the paved roadway, the setback to the proposed accessory structure would be 30 feet 2.5 inches. Therefore, the granting of a Variance to allow a reduced front yard setback is appropriate in that the proposed location of the structure will minimize the grading required to accommodate the structure.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made since, the reduction of the front yard setback to the non-habitable accessory structure will not deprive the neighborhood of light, air and open space or impair sight lines for vehicles travelling along Snow Crest Road. The right-of-way will be improved as a part of this development due to the proposed, in that the associated retaining wall will improve slope stability and drainage at the site, thus reducing the potential for landslides. The approval of a Variance to allow for a reduced front yard setback will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or to the general public, therefore staff is recommending approval of the project as designed.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made since, the proposed Variance will result in a non-habitable accessory structure that will be consistent with the residential use of the site as allowed in the Special Use zone district. The non-habitable accessory structure is consistent with the type of structure that can be developed on other properties that are not constrained by steep slopes or by a right-of-way that

Application #: 231096  
APN: 088-211-52  
Owner: Lon, Rebecca, and Hannah Spooner

bisects the parcel. Therefore, the approval of a Variance does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated. Therefore, staff recommends the approval of the front yard setback reduction from 40 feet to 25.2 feet.

## Conditions of Approval

Exhibit D: Project plans, prepared by Michael Achkar, dated 4.19.2023.

- I. This permit authorizes the construction of a 1,000 square foot non-habitable accessory, structure that includes a garage and workshop and a retaining wall with a height of up to 5 feet 6 inches, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
    3. Grading, drainage, and erosion control plans, as required.

4. The front yard setback shall be a minimum of 25.2 feet from the edge of the right-of-way for Snow Creek Road.
  5. The retaining wall shall be located a minimum of 8.3 feet from the edge of the right-of-way for Snow Creek Road and shall have a maximum height of 5 feet 6 inches feet in accordance with the approved elevations.
  6. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
  2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- D. Meet all requirements of the Environmental Planning section of the Santa Cruz County Planning Division.
- E. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County Fire Protection District.
- F. Include the already recorded Declaration of Restriction to construct a non-habitable accessory structure with the supplemental documents submitted as part of the building permit.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the



satisfaction of the County Building Official.

- C. The project must comply with all recommendations of the approved soils reports, if applicable.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

#### IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

#### V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

---

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

---

Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.











This ongoing embodies ideas designs, arrangements, plans and specifications that are proprietary to AM Star Construction, Inc. and which were designed, created, evolved, and developed for use solely in connection with AM Star's use alone. No transfer of any rights there to be transferred or affected by delivery hereof. And except upon written permission of AM Star this drawing is not to be disclosed to

Governmental approval. Any person relying on these drawings to do at their own risk, and shall field verify all job conditions and dimensions. Variations thereof from the drawings must be reported to the Designer. Details indicated on the drawings are representative and typical. All attachments and connections shall conform to best practice and shall be installed responsibly. Owner will verify all plans and dimensions prior to construction holding AM Star free of all Liquidated and Consequential damages including any and all liability from these drawings.

AM STAR CONSTRUCTION, INC.  
2315 SOUTH BASCOM AVENUE, SUITE 200  
CAMPBELL, CA 95008  
TELE: 408.377.3099 FAX: 408.377.2189

**CHANGES:**

OWNER REVIEW, 2/07/2022

PLAN CHECK 12/12/2022

DRAWN BY: MILCH  
DATE: FEB. 7, 2022

A-3

SCALE: 1"=

SIT

## Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE SKYLINE BOULEVARD - STATE ROUTE 35, AS SHOWN ON THAT MAP FILED IN VOLUME 66 OF MAPS, AT PAGE 39, SANTA CRUZ COUNTY RECORDS.

## Benchmark

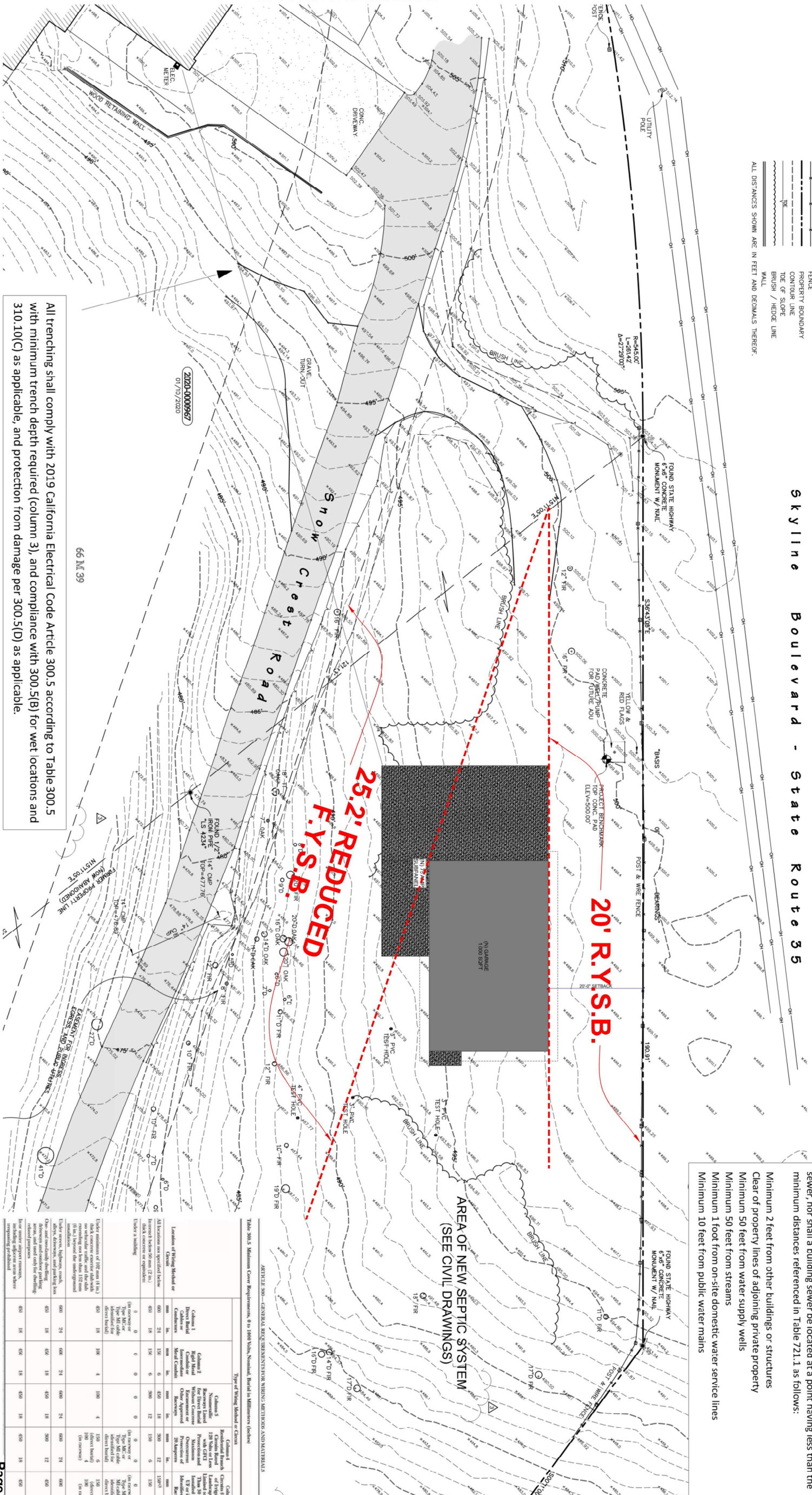
THE ELEVATIONS SHOWN ON THIS SURVEY ARE ON AN ASSUMED DATUM. THE SITE BENCHMARK IS THE TOP OF THE CONCRETE PAD ACROSS SNOW CREST ROAD FROM 185 SNOW CREST ROAD.  
BENCHMARK ELEVATION = 500.00' (ASSUMED DATUM)

GRAPHIC SCALE: 1 INCH = 10 FEET



2019 CPC 721.1, which states that no building sewer shall be located in a lot other than the lot that is the site of the building or structure served by such sewer, nor shall a building sewer be located at a point having less than the minimum distances referenced in Table 721.1 as follows:

- Minimum 2 feet from other buildings or structures
- Clear of property lines of adjoining private property
- Minimum 50 feet from water supply wells
- Minimum 50 feet from streams
- Minimum 1 foot from on-site domestic water service lines
- Minimum 10 feet from public water mains



All trenching shall comply with 2019 California Electrical Code Article 300.5 according to Table 300.5 with minimum trench depth required (column 3), and compliance with 300.5(B) for wet locations and 310.10(C) as applicable, and protection from damage per 300.5(D) as applicable.

66 M 39

2020-0000967  
01/10/2020

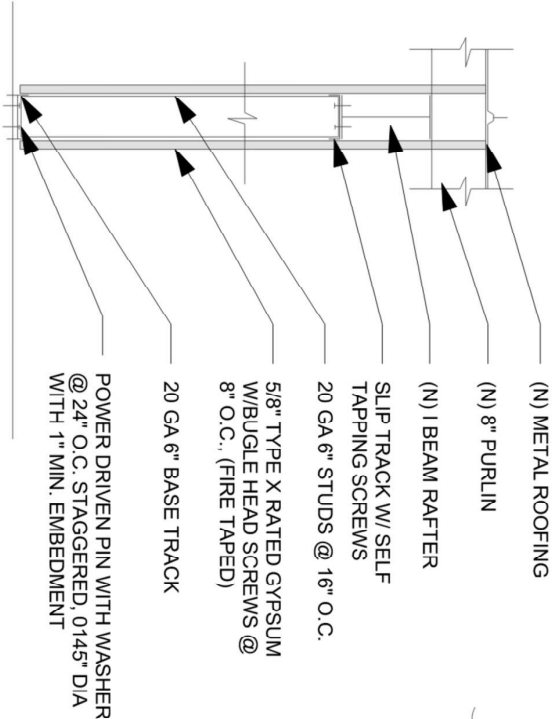
25.2' REDUCED  
F.Y.S.P.

# 20' R.Y.S.B.

AREA OF NEW SEPTIC SYSTEM  
(SEE CIVIL DRAWINGS)

[illegible]

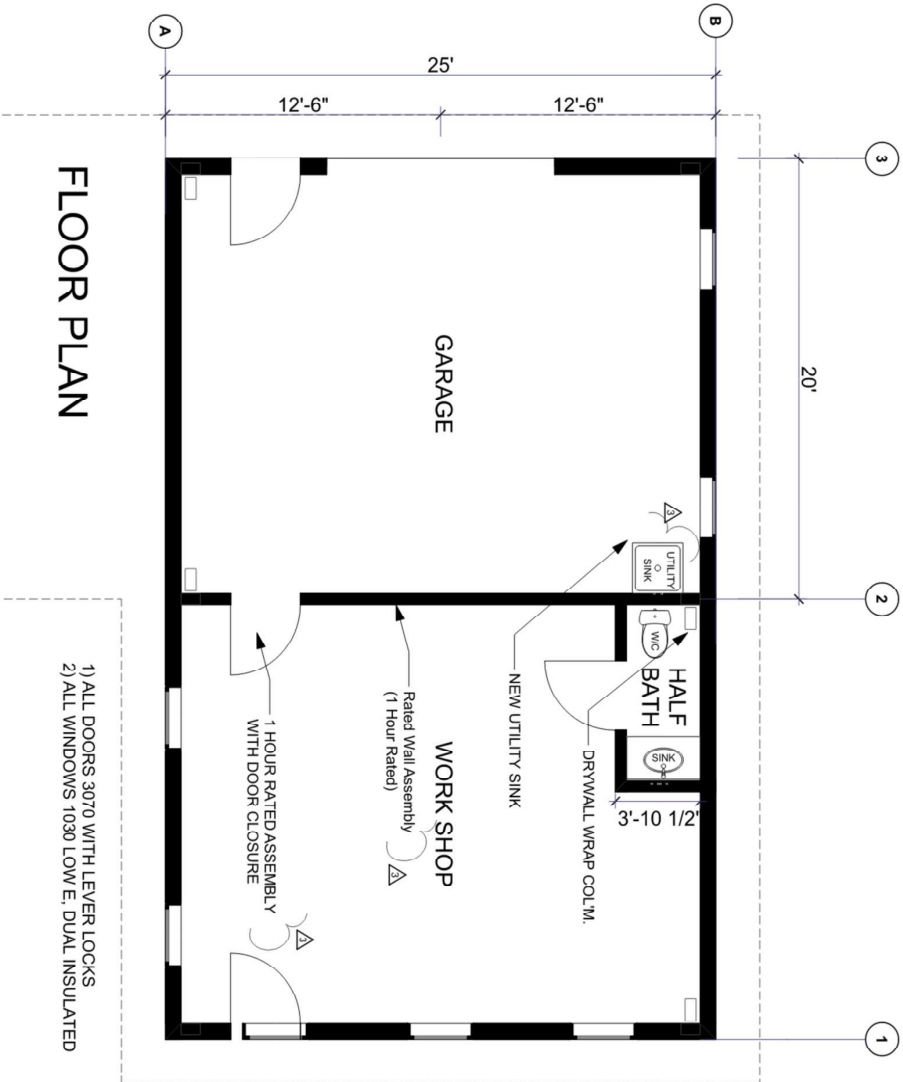




## 1 HOUR RATED WALL

### Allowable Wall Heights L/120 Deflection

Member	5 PSF				10 PSF				15 PSF				20 PSF				25 PSF			
	12	16	24	32	12	16	24	32	12	16	24	32	12	16	24	32	12	16	24	32
Size (in.)	(ft.-in.)				(ft.-in.)				(ft.-in.)				(ft.-in.)				(ft.-in.)			
1-5/8 STN	25	8-10	8-11	7-10	7-10	7-0	5-8	6-7	5-8	4-8	5-8	4-11	4-0	5-1	4-5	3-7				
1-5/8 STN	22	11-5	10-4	9-0	9-0	8-2	7-1	7-11	7-1	5-10	7-1	6-2	5-0	6-5	5-6	4-6				
2-1/2 STN	20	12-1	11-0	9-7	9-7	8-8	7-7	8-5	7-7	6-8	7-7	6-11	5-10	7-1	6-5	5-2				
2-1/2 STN	25	13-7	12-4	10-8	10-8	9-4	7-7	8-10	7-7	6-2	7-7	6-7	5-5	6-10	5-11	4-10				
2-1/2 STN	22	15-8	14-4	12-6	12-6	11-4	9-6	10-11	9-6	7-8	9-6	8-2	6-8	8-6	7-4	6-0				
3-1/2 STN	22	15-10	15-4	13-4	13-4	12-1	10-7	11-7	10-7	9-5	7-8	9-8	8-5	8-5	6-11					
3-1/2 STN	25	17-7	16-0	13-1	13-1	11-4	9-4	10-8	9-4	7-7	9-4	8-0	6-1	8-4	7-0	5-2				
3-1/2 STN	22	20-5	18-6	16-2	16-2	14-7	11-11	13-8	11-11	9-8	11-11	10-4	8-5	10-7	9-2	7-6				
3-1/2 STN	20	21-10	19-10	17-4	17-4	15-8	13-7	15-1	13-7	11-1	13-7	11-10	9-7	12-2	10-6	8-7				
3-5/8 STN	25	18-1	16-4	13-4	13-4	11-6	9-5	10-11	9-5	7-7	9-5	8-1	6-1	8-5	7-0	5-2				
3-5/8 STN	22	21-0	19-0	16-7	16-7	14-11	12-2	14-1	12-2	10-0	12-2	10-7	8-7	10-11	9-6	7-8				
3-5/8 STN	20	22-5	20-4	17-10	17-10	16-1	13-11	15-6	13-11	11-5	13-11	12-1	9-11	12-6	10-10	8-10				
4 STN	25	19-6	17-1	14-0	14-0	12-1	9-11	11-5	9-11	7-5	9-11	8-1	6-0	8-7	6-10	5-1				
4 STN	22	22-7	20-7	18-0	18-0	16-0	13-1	15-1	13-1	10-8	13-1	11-4	9-2	11-8	10-1	8-4				
4 STN	20	24-2	22-0	19-2	19-2	17-5	14-11	16-10	14-11	12-2	14-11	12-11	10-7	13-4	11-7	9-5				
5-1/2 STN	22	25-2	23-5	20-4	22-4	19-4	15-10	18-2	15-10	12-11	15-10	13-7	11-1	14-1	12-2	10-0				
5-1/2 STN	20	31-2	28-5	24-10	24-10	22-6	18-8	21-7	18-8	15-4	18-8	16-2	13-2	16-8	14-6	11-10				
5-1/2 STN	22	31-4	28-5	23-2	23-2	20-1	16-5	18-11	16-5	13-5	16-5	14-2	11-7	14-8	12-6	10-5				
6 STN	20	33-6	30-5	26-7	26-7	24-2	19-11	23-0	19-11	16-4	19-11	17-4	14-1	17-10	15-6	12-7				



All materials, including interior wall framing materials, to comply with Construction Type II-B as listed on Sheet A-1, per 2019 CBC 602.2 Type II construction building elements shall be of noncombustible materials.

2019 CRC R302.9.1 All wall and ceiling finishes shall have a flame spread index of not greater than 200.

2019 CRC R302.9.2 which states that wall and ceiling finishes shall have a smoke-developed index of not greater than 450.

Per 2019 CRC R302.10.1, all insulating materials installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl spaces, and attics shall exhibit a flame spread index not to exceed 25 and a smoke-developed index not to exceed 450 where tested in accordance with ASTM E84 or UL 723.

Per 2019 CRC R302.6, the garage shall be separated from dwelling areas as required by Table R302.6, attachment of gypsum board shall comply with Table R702.3.5, separation from dwelling areas shall be not less than ½-inch gypsum board or equivalent applied to the garage side, and 2019 CRC R302.5.1 which states that openings between the garage and dwelling area shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with self-closing or automatic closing and self-latching device.

Per 2019 CRC R302.14, all combustible insulation shall be separated not less than 3 inches from recessed luminaires, fan motors and other heat-producing devices except where heat-producing devices are listed for lesser clearances, combustible insulation complying with the listing requirements shall be separated in accordance with the conditions stipulated in the listing.

# VARIANCE REQUEST SET

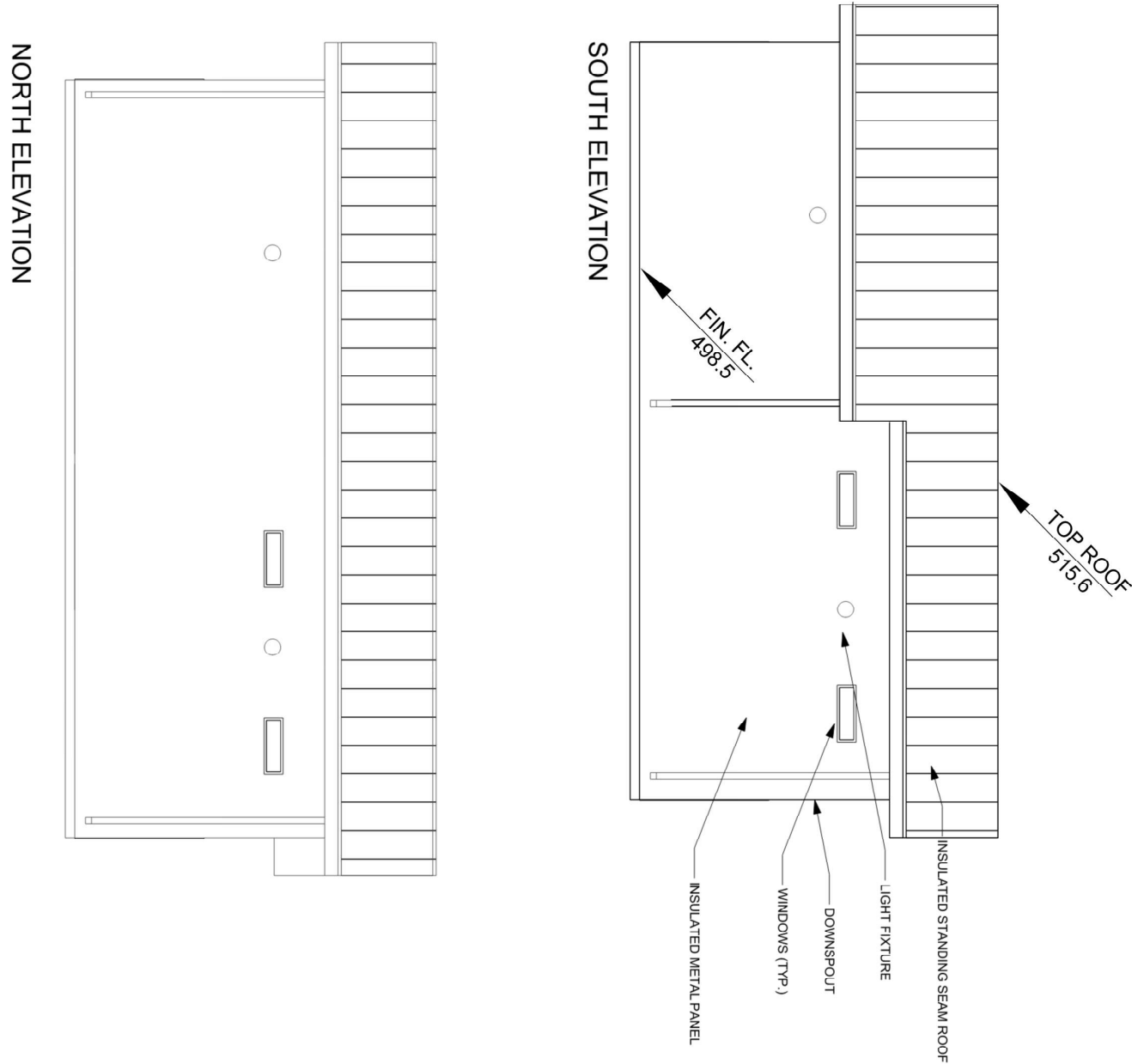
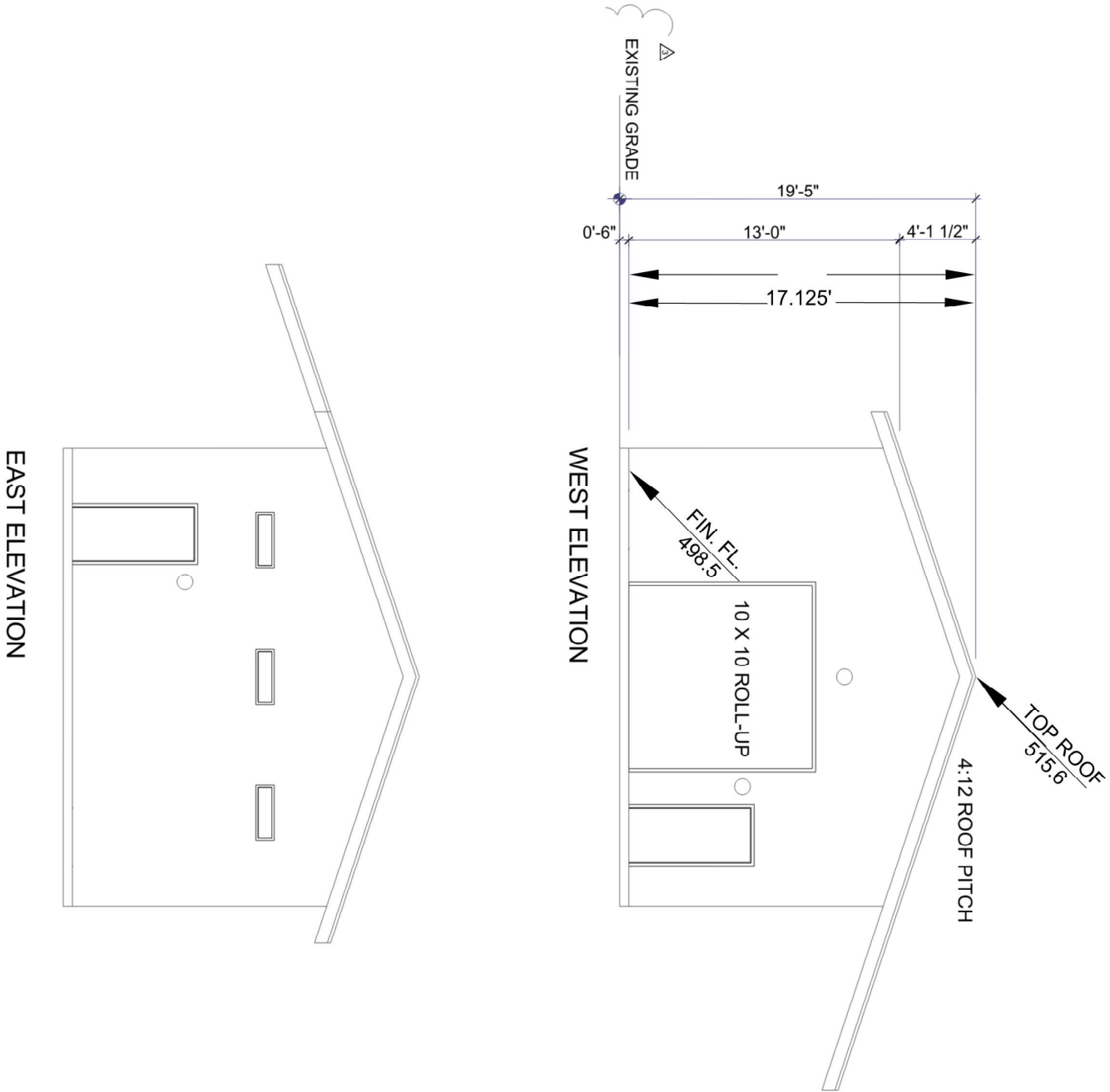
AM STAR CONSTRUCTION, INC.  
2315 SOUTH BASCOM AVENUE, SUITE 200  
CAMPBELL, CA 95008  
TELE: 408.377.3099 FAX: 408.377.2189

COPYRIGHT  
AM STAR CONSTRUCTION, INC.



HANNAH SPOONER GARAGE  
185 SNOW CREST RD.  
LOS GATOS, CA 95033  
(908)448-6520  
APN: 088-211-32

SCALE: 1/4" = 1'-0"  
TITLE:  
FLOOR



# VARIANCE REQUEST SET



20

20

20

20

20

20

20

20

20

20



20







---

# VARIANCE REQUEST SET





This drawing embodies ideas and specifications that are property to AM Star Construction Inc. and shall not be reproduced or altered without the written consent of AM Star Construction Inc. This drawing is to be used solely in connection with AM Star's use alone. No part of this drawing shall be intended or relied upon without the written consent of AM Star Construction Inc. Any reproduction, in whole or in part or used in the design, construction, erection, building, structures, foundations, design guidelines, or any portions thereof for other than AM Star Construction Inc. shall be deemed to be a violation of the terms of this agreement and shall be held upon by AM Star Construction Inc. All rights do to all their own risk and shall be verified by all parties as not to be relied upon by Governmental approval. Any reproduction, in whole or in part, shall be held upon by AM Star Construction Inc. All rights do to all their own risk and shall be verified by all parties as not to be relied upon by Governmental approval. Any reproduction, in whole or in part, shall be held upon by AM Star Construction Inc. All rights do to all their own risk and shall be verified by all parties as not to be relied upon by Governmental approval.

COPYRIGHT  
AM STAR CONSTRUCTION, INC.

AM STAR CONSTRUCTION, INC.  
2315 SOUTH BASCOM AVENUE, SUITE 200  
CAMPBELL, CA 95008  
TELE: 408.377.3099 FAX: 408.377.2189

CHANGES:

△	OWNER REVIEW 2/27/22
△	OWNER REVIEW 2/24/20
△	PLAN CHECK 12/12/2022
△	

DRAWN BY: MICHAEL KOHNEN  
DATE: FEB. 7, 2022

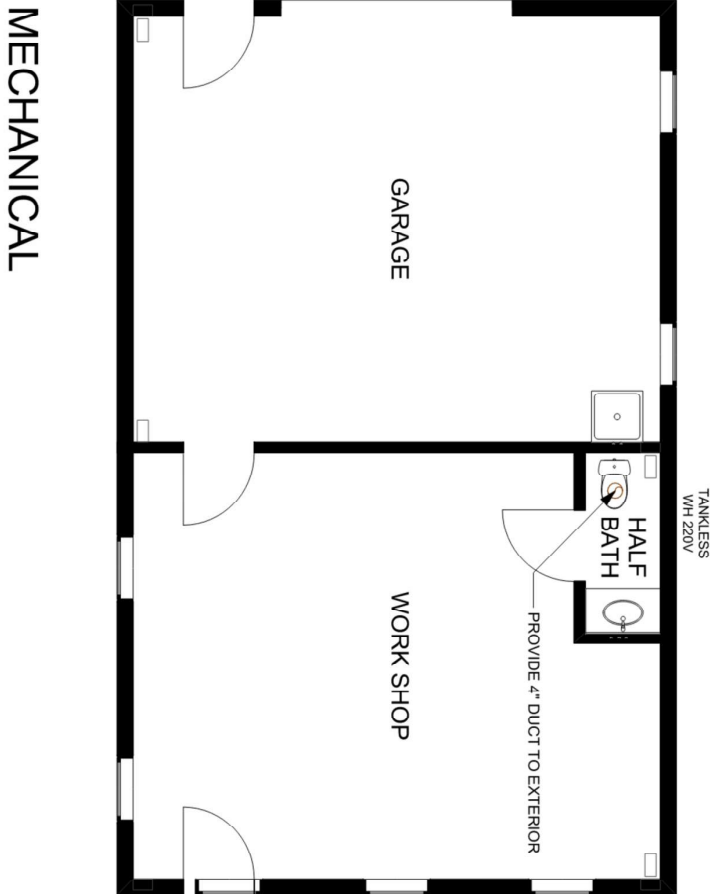
PAGE:

M-1

SCALE: 1/4" = 1'-0"

TITLE:

MECH.

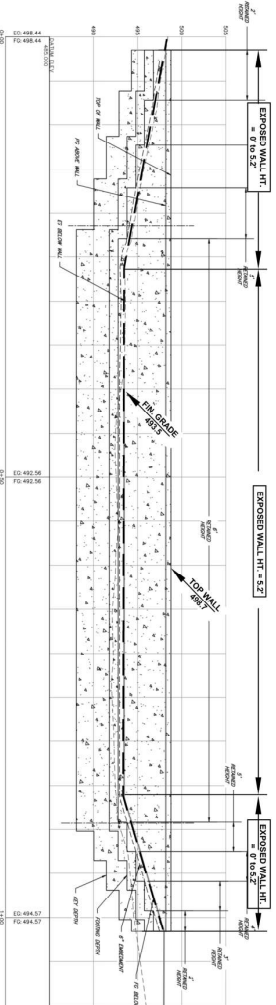
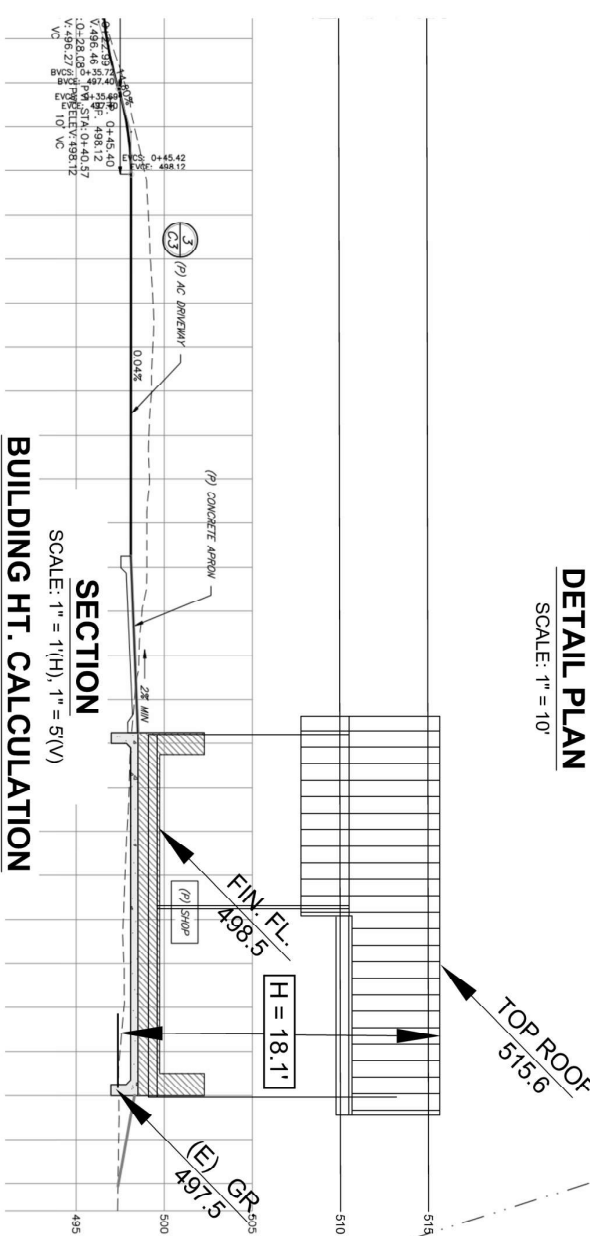
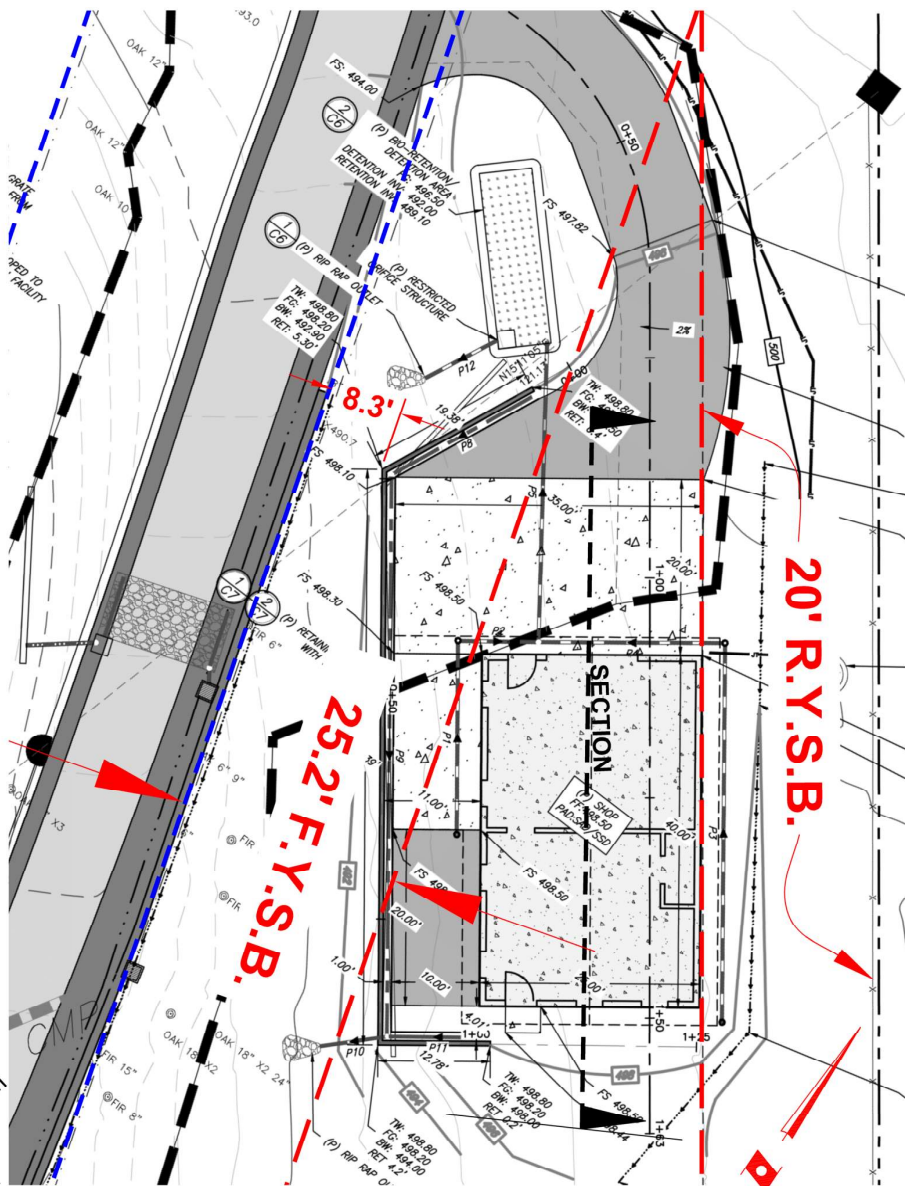
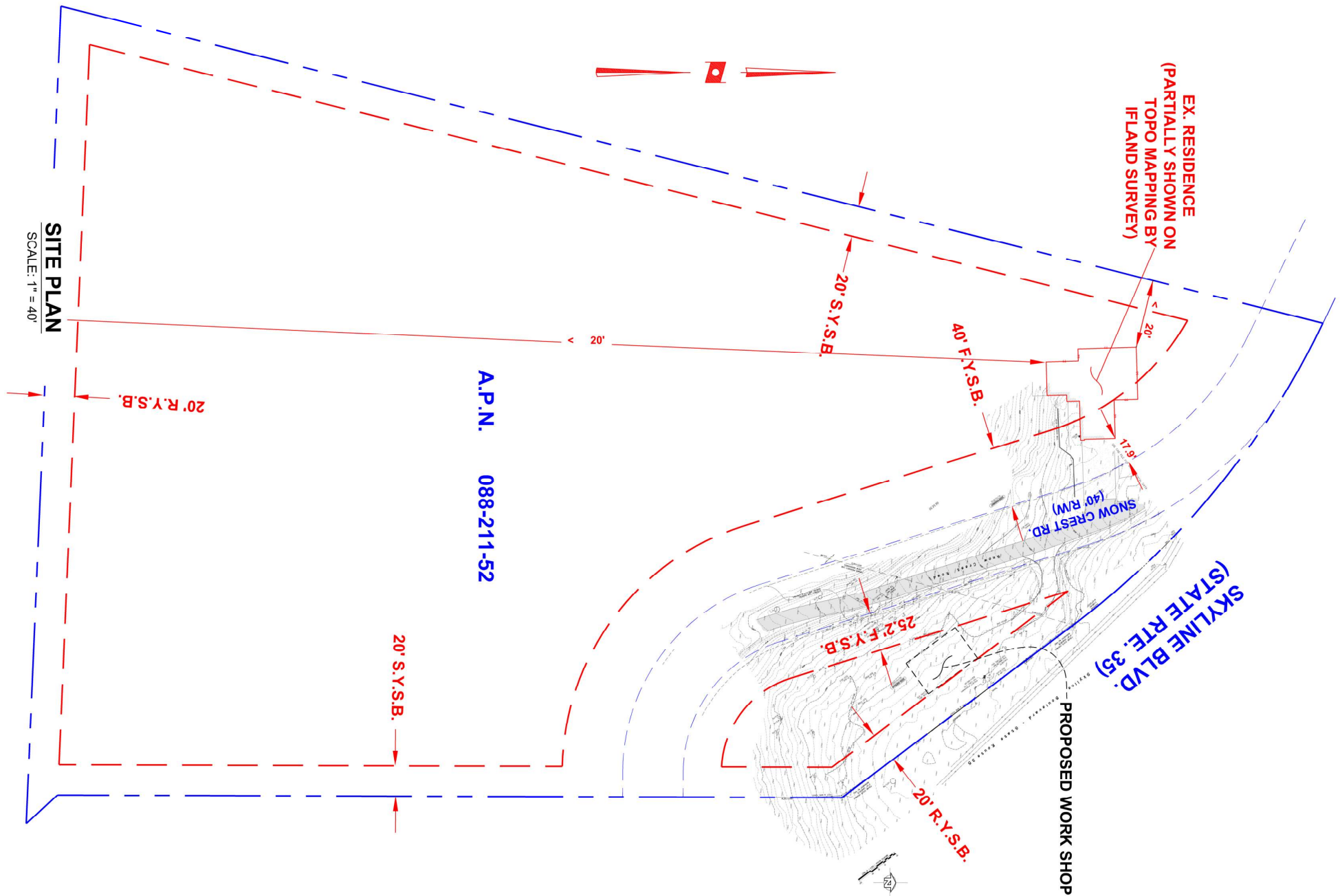


MECHANICAL

VARIANCE REQUEST SET

Exhibit D





**VARIANCE REQUEST SET**

**Exhibit D**

# Exhibit E

FOR TAX PURPOSES ONLY

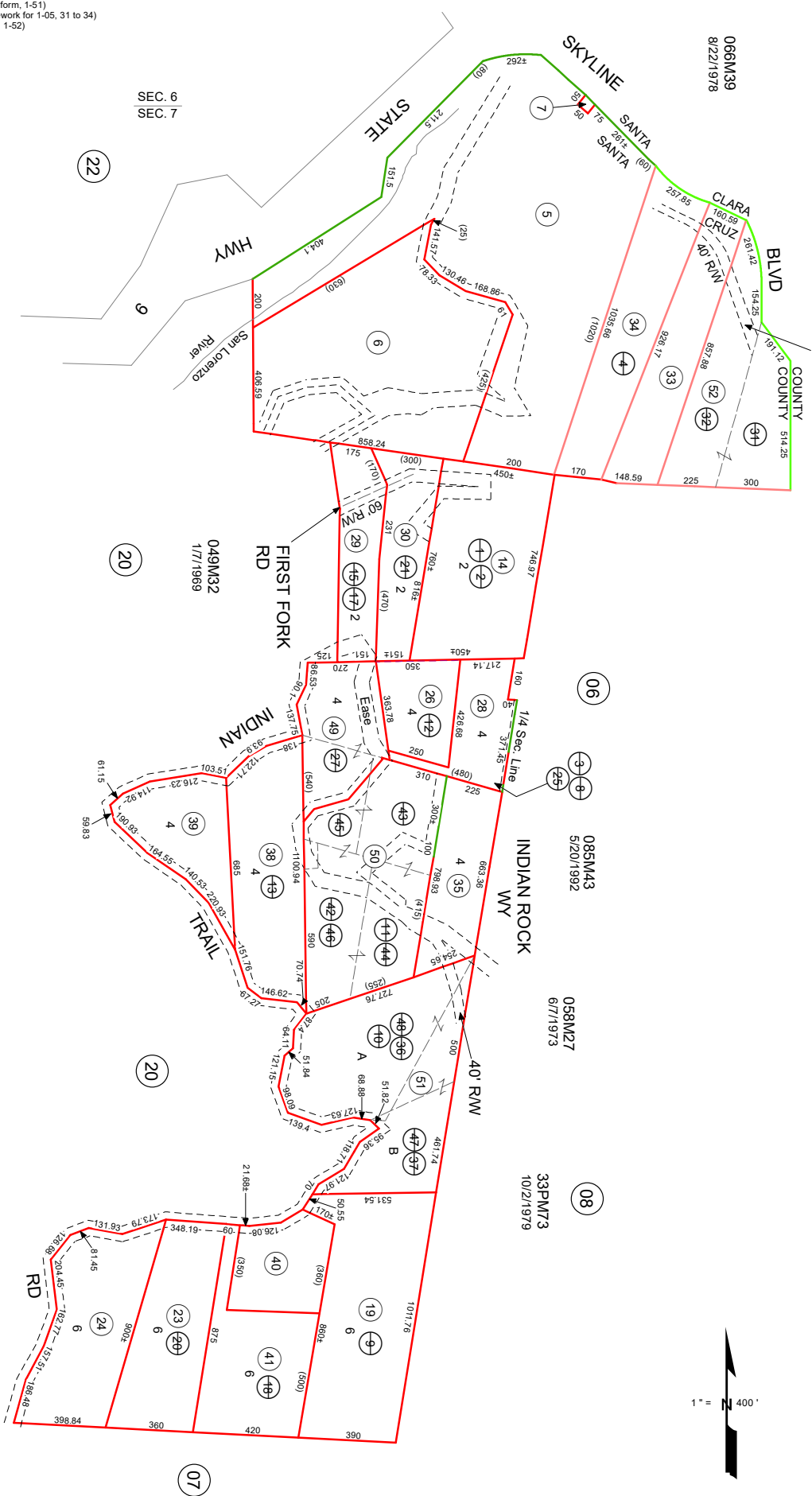
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR INACCURACIES. THE INFORMATION IS PROVIDED FOR YOUR INFORMATION ONLY. ALL RIGHTS RESERVED.  
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 2000

SNOW CREST RD

POR SEC. 7  
T.8S., R.2W., M.D.B. & M.

Tax Area Code  
65-021

88-21



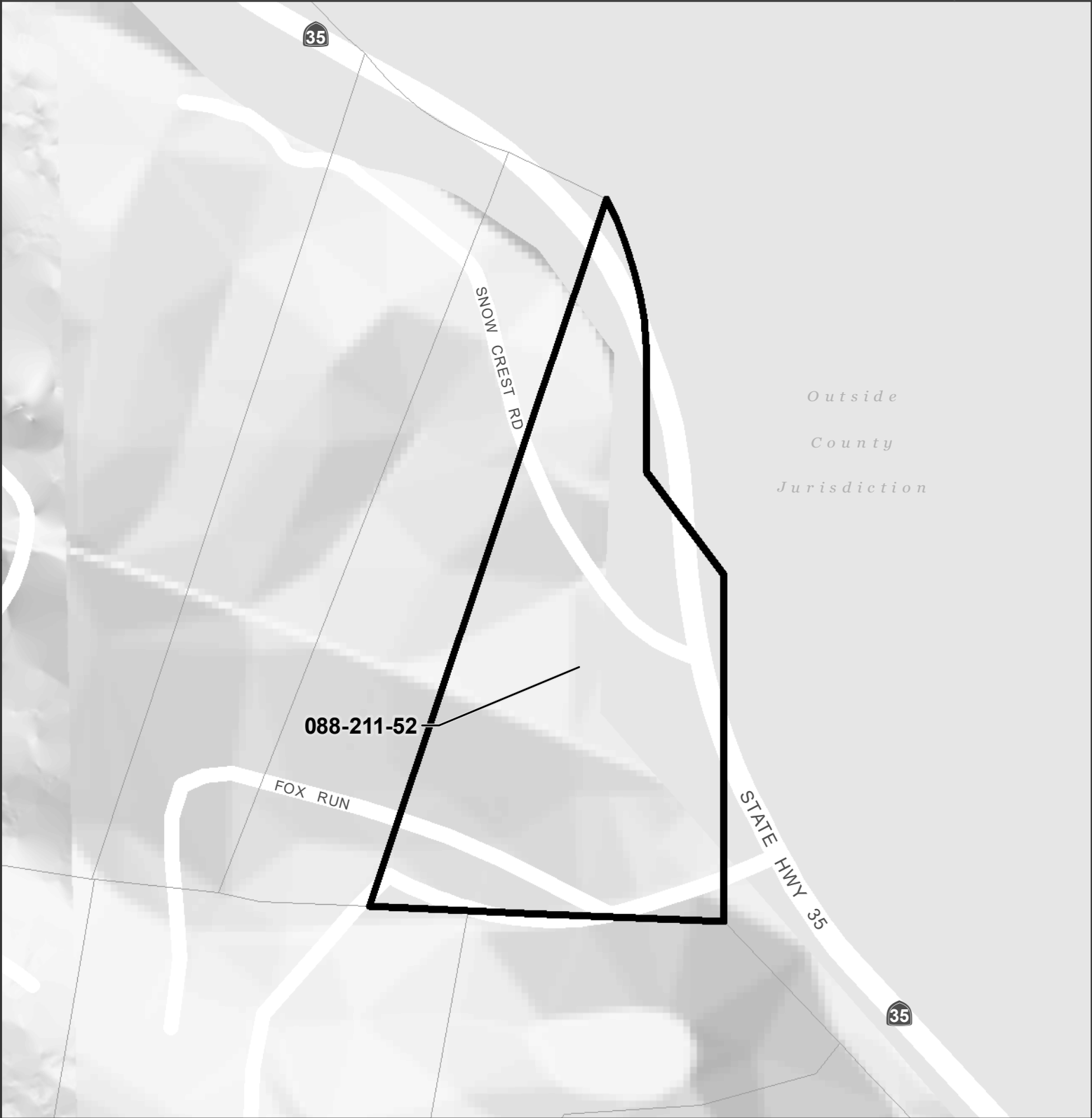
Electronically drawn 2/3/00 mvm  
Rev. 11/13/03 CB (Cor Hwy ref)  
Rev. 5/10/05 DD (combo form, 1-51)  
Rev. 11/5/14 CB (Cor linework for 1-05, 31 to 34)  
Rev. 11/10/20 jg (Combo, 1-52)

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 88-21  
County of Santa Cruz, Calif.  
Feb., 2000

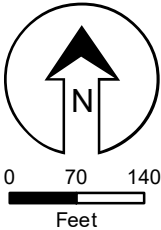


# Parcel Location Map



**Parcel: 08821152**

- Study Parcel
- Assessor Parcel Boundary

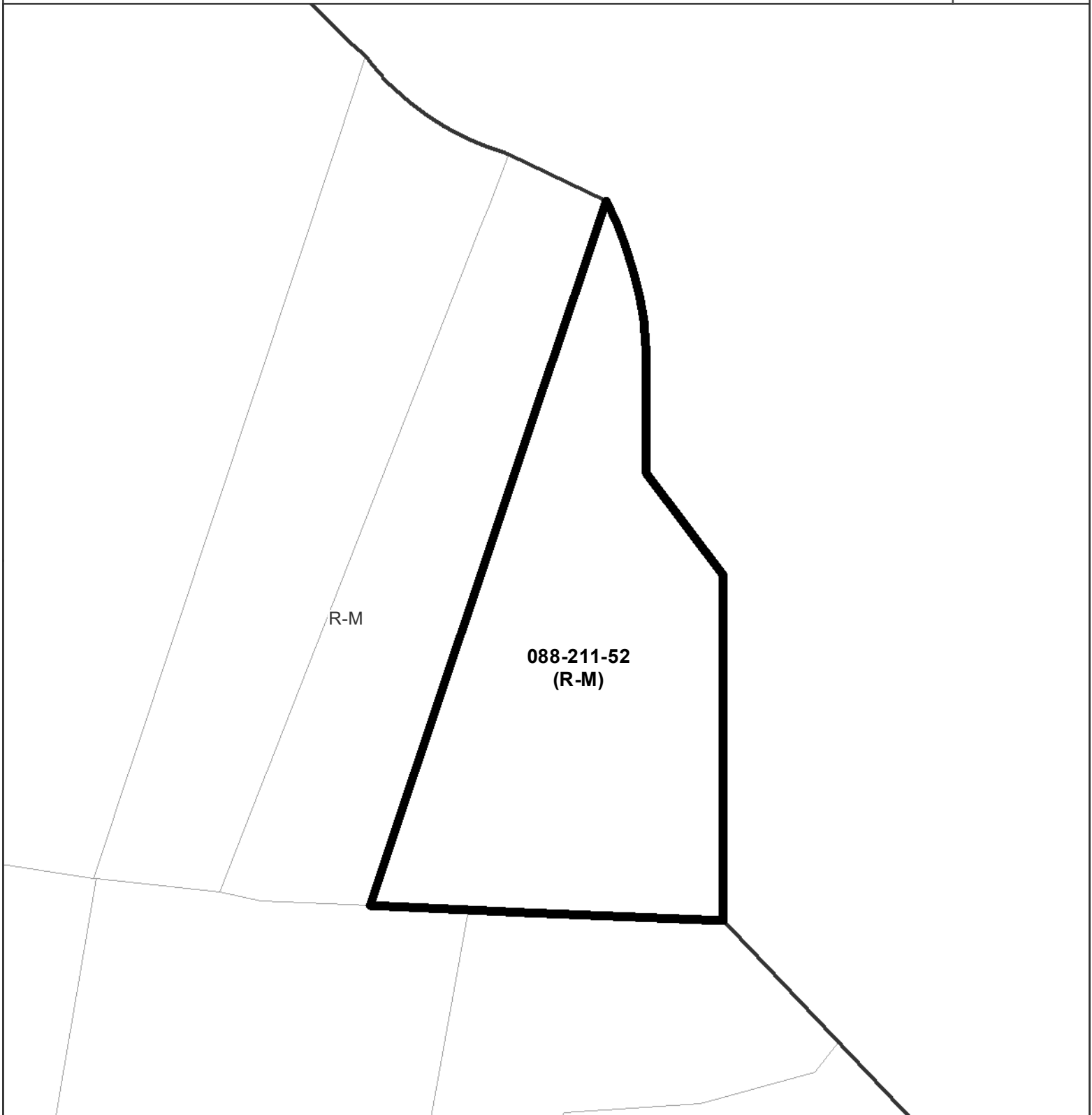




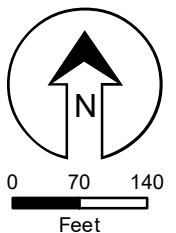
# Parcel General Plan Map



Mapped  
Area



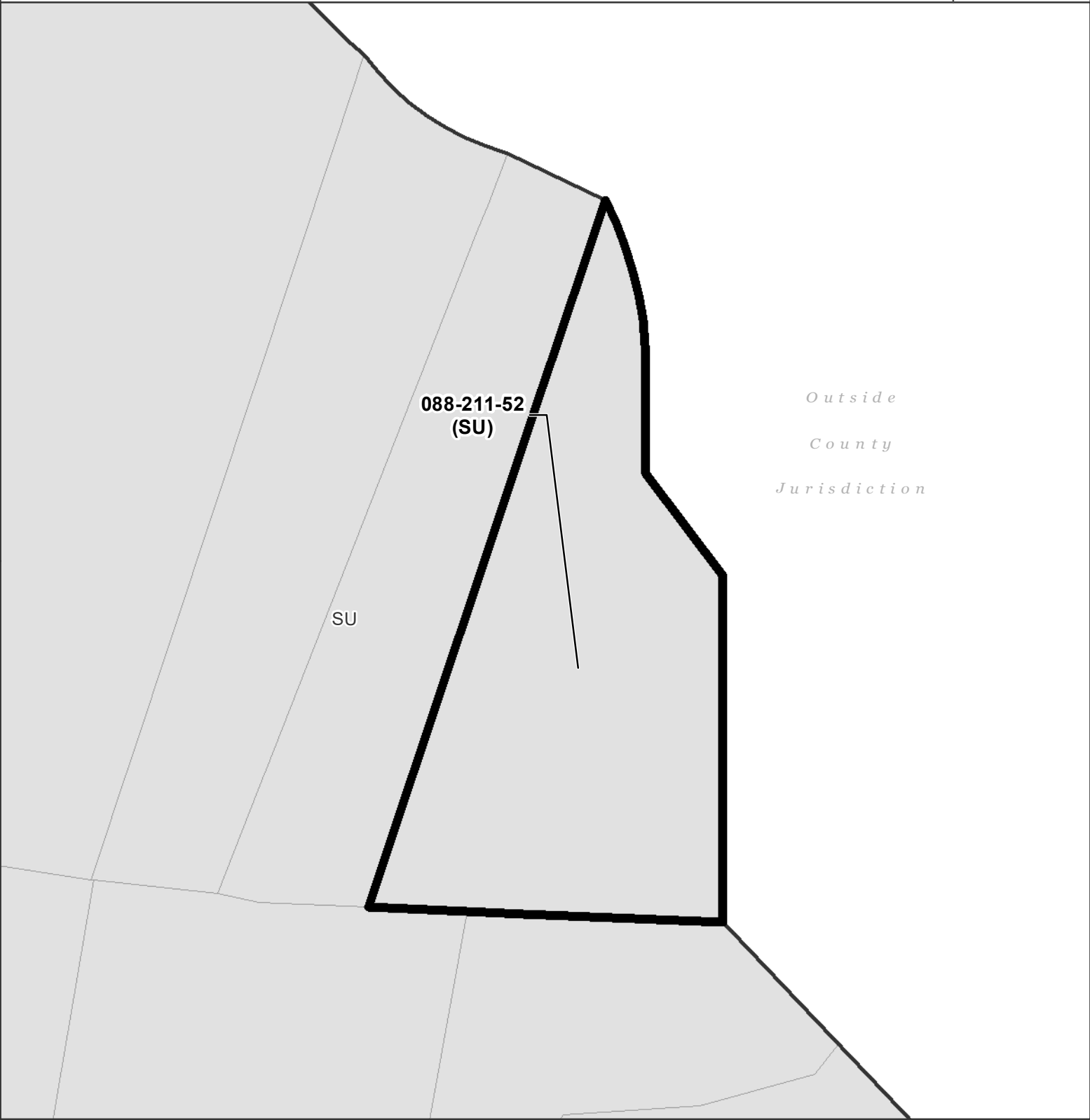
 R-M *Residential Mountain*



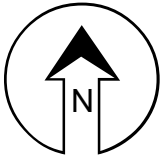


Mapped  
Area

# Parcel Zoning Map



 SU Special Use



0 70 140  
Feet



## Parcel Information

### Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside  
Water Supply: NA/well  
Sewage Disposal: septic  
Fire District: Santa Cruz County Fire Protection District  
Drainage District: Not in a drainage district

### Parcel Information

Parcel Size:  
Existing Land Use - Parcel: residential  
Existing Land Use - Surrounding: residential  
Project Access: Snow Crest Road  
Planning Area: Skyline  
Land Use Designation: R-M (Mountain Residential)  
Zone District: SU (Special Use)  
Coastal Zone: ☐ Inside ☒ Outside  
Appealable to Calif. Coastal Comm.: ☐ Yes ☒ No

Technical Reviews: NA

### Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Fire Hazard: State Response Area - High  
Slopes: Majority greater than 50%  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: No grading proposed  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Archeology: Project outside of mapped areas