

Staff Report to the Zoning Administrator

Applicant: Lon and Rebecca SpoonerOwner: Lon, Rebecca, and Hannah SpoonerAPN: 088-211-52Site Address: 185 Snow Crest Road

Agenda Date: 7/21/23 Agenda Item #: 1 Time: After 9:00 a.m.

Project Description: Proposal to construct a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot-high retaining wall within the front yard setback.

Location: Property located on the east side of Snow Crest Road (185 Snow Crest) approximately 630 feet southeast of the intersection of Snow Crest Road and Highway 35 in the Skyline General Planning Area.

Permits Required: Requires a Variance to reduce the front yard setback along Snow Crest Road from 40 feet to 25.2 feet for the non-habitable structure; an Over-Height Wall Permit for a wall that exceeds 3 feet in height within the front yard, and a determination that the project is exempt from further review under the California Environmental Quality Act (CEQA).

Supervisorial District: 5 District (District Supervisor: Bruce McPherson)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231096, based on the attached findings and conditions.

Project Description & Setting

The property is located in the Skyline General Plan Boundary Area, on the west side of Skyline Boulevard (Highway 35). Access to the property is from Snow Crest Road which runs from Skyline Boulevard through the northern portion of the parcel. The surrounding area is characterized by steep slopes and is developed with single-family residences that are accessed from narrow roads. The subject property is located on a majority 50% or greater sloped area, with the parcel sloping down towards the southwest from Snow Crest Road and sloping up to the northwest from Snow Crest Road toward a relatively flat area north of the travelled roadway. The parcel has frontage onto both Skyline Boulevard and Snow Crest Road, but due to the steep topography the parcel can only be accessed from Snow Crest Road. Further, in accordance with the document recorded at 2023-0000885, no direct access to the parcel may be taken from Skyline Boulevard.

County of Santa Cruz - Community Development & Infrastructure - Planning Division 701 Ocean Street, 4th Floor, Santa Cruz CA 95060 This project proposes construction of a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot-high retaining wall that will be within the front yard setback on the northeastern side of Snow Crest Road. A Variance is required to reduce the front yard setback along Snow Crest Road from 40 feet to 25.2 feet for the non-habitable structure; an Over-Height Wall Permit is required for a wall that exceeds 3 feet in height within the front yard. The project also requires a determination that the project is exempt from further review under the California Environmental Quality Act (CEQA).

Project Background

The parcel is currently developed with a single-family dwelling located to the southwest of Snow Crest Road, that was remodeled in 2002 under Building Permit B-212752. In association with the application for a Variance for the proposed non-habitable accessory structure and wall, the property owner has relinquished rights to any direct vehicular access from Skyline Boulevard (Highway 35) that previously existed along the northern property line (Document 2023-0000885). This action was taken at the suggestion of staff to delete the requirement for an additional Variance approval for a reduced front yard setback from Skyline and because access is physically precluded by steep slopes. Building permit application, B-226144, has also been submitted for the proposed structures.

Zoning & General Plan Consistency

The subject property is a 324,086 square foot (7.4 acre) lot, located in the SU (Special Use) zone district, a designation which allows multiple uses, including residential development. The proposed non-habitable structure is an accessory use that is permitted within the zone district in association with the existing dwelling, and the zoning is consistent with the site's R-M (Mountain Residential) General Plan designation.

The applicable standards for this project are set out in the table below:

| Special Use / R-1-1 acre and greater | | | | | | | |
|--------------------------------------|----------------|---------------------------|--|--|--|--|--|
| | Zoning | Proposed | | | | | |
| | District | | | | | | |
| | Standard | | | | | | |
| Height | 28 feet | 19 feet 5 inches | | | | | |
| Front Yard Setback | 40 feet | 25.2 feet | | | | | |
| Side Yard Setback | 20 and 20 feet | Approximately 73 feet and | | | | | |
| | | greater than 135 feet | | | | | |
| Rear Yard Setback | 20 feet | 20 feet | | | | | |
| Lot Coverage | 10% | 1.37% | | | | | |

Special Use / R-1-1 acre and greater

Because of the steep slopes on the parcel, the only suitable building site for the proposed non-habitable accessory structure is within the relatively flat area north of Snow Crest Road. Per County Code 13.10.510(I), "Reductions in the Front Setback to Protect the Environment or Public Safety", the front yard setback may be reduced by 25% to minimize grading on steep lots, pursuant to an Administrative Environmental Setback Reduction, which would potentially allow a 30-foot

front yard setback. As proposed the non-habitable structure would be located approximately 25.2 feet from the edge of the right-of-way at Snow Crest Road and therefore doesn't qualify for an Environmental Setback Reduction and a Variance is therefore required. It should be noted however, that if measured from the paved roadway the location of the proposed accessory structure would conform to this standard. See additional discussion regarding the requested Variance below.

Variance

A Variance is required for the proposed non-habitable accessory structure to allow for a reduction of the required front yard setback from 40 feet to 25.2 feet. Due to the steep slopes and the location of the existing home, no other suitable location exists on the parcel where a garage and storage building could feasibly be located. Staff therefore recommends approval of the requested Variance to allow for a reduced front yard setback. As proposed the proposed structure will be located approximately 30 feet from the edge of the travelled roadway at Snow Crest Road and will not unreasonably infringe on adequate light, air or open space along the street. Further, the structure will not reduce the privacy of adjacent residential properties as it will be located on the other side of Snow Crest Road from other adjacent dwellings. A complete list of Variance Findings is included with this report.

Over Height Fence Permit

Per County Code 13.10.525, Regulations for fences and retaining walls within required yards, walls are restricted to a maximum height of 3 feet unless a greater height is approved pursuant to an Over-Height Certification. The proposed retaining wall, which has a height of 5.5 feet at its tallest point, meets the criteria for approval, in that it allows adequate sight distance for vehicles traveling along Snow Crest Road, as well as for vehicles entering and exiting the property. The proposed wall will be relocated back from the travelled roadway and will allow adequate light and air at the street and does not contain any corners or pockets that would conceal persons with criminal intent. Further, the design of the wall will be compatible with the visual character of the surrounding neighborhood. The retaining wall will have a minimum 5-foot setback to the edge of the existing leach field or septic system.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231096**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Alexandra Corvello Santa Cruz County Planning 701 Ocean Street, 4th Floor Santa Cruz CA 95060 Phone Number: (831) 454-3209 E-mail: <u>Alexandra.corvello@santacruzcounty.us</u>

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231096 Assessor Parcel Number: 088-211-52 Project Location: 185 Snow Crest Road

Project Description: Proposal to construct a detached 1,000 square foot non-habitable structure that includes a 500 square foot garage and a 500 square foot workshop, and a 5.5 foot high retaining wall within the front yard setback.

Person or Agency Proposing Project: Lon, Rebecca, and Hannah Spooner

Contact Phone Number: (608) 723-9820

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
- **B.** _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. <u>Ministerial Project</u> involving only the use of fixed standards or objective measurements without personal judgment.
- **D.** <u>Statutory Exemption</u> other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

E. X Categorical Exemption

Specify type: 15303 New Construction or Conversion of Small Structures

F. Reasons why the project is exempt:

The proposed project is to construct a new accessory, non-habitable structure in association with an existing dwelling, to be used as a garage and workshop.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date:_____

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not result in inefficient or wasteful use of energy and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses, and which allows for the construction of non-habitable accessory structures. The proposed non-habitable structure will be located outside of the private right-of-way and will be constructed in conjunction with other parcel improvements that include the construction of a retaining wall that will provide greater slope stability and improved access from Snow Crest Road. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the 1,000 square foot non-habitable structure and retaining wall, and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district as the primary use of the property will be one single-family dwelling and an associated non-habitable accessory structure and retaining wall that, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification, meet all current site standards for the zone district. A complete list of findings for the proposed Variance is included with this report.

Specific regulations for fencing and walls are contained in section 13.10.525. This proposal complies with the requirements and intents of that section, in that:

- The wall will be situated on the property in a manner that allows adequate sight distance for vehicles traveling along the roadway as well as entering and exiting the property.
- The wall will be located back from the travelled roadway and will allow adequate light and air at the street.
- The location and the design of the wall does not contain any corners or pockets that would conceal persons with criminal intent.
- The location and design of the fence will be compatible with the visual neighborhood character of the surrounding neighborhood.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-M (Mountain Residential) land use designation in the County General Plan.

The proposed 1,000 square foot non-habitable structure and retaining wall with a height of up to 5 feet 5 inches, will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification, meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the proposed 1,000 square foot non-habitable structure and retaining wall will not adversely shade adjacent properties. A complete list of Variance findings for the reduced front yard setback at the non-habitable accessory structure is included with this report.

The proposed 1,000 square foot non-habitable structure and retaining wall with a height of up to 5 feet 5 inches, will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed project will comply with the site standards for the SU zone district (including setbacks-except for the front yard setback-, lot coverage, floor area ratio, height, and number of stories) and will, with the approval of a Variance to allow for a reduced front yard setback and an Over-Height Wall Certification result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed 1,000 square foot non-habitable structure and retaining wall in the front yard setback are to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase the number of peak trips per day because the non-habitable structure will be a garage and workshop area that will not generate any traffic. Further, the retaining wall will be situated on the property in a manner that allows adequate sight distance for vehicles traveling along the roadway as well as entering and exiting the property. Therefore, the proposed structures will not adversely impact existing roads or intersections in the surrounding area. The proposed retaining wall positively impacts the Snow Crest Road by providing increased slope stability above the street.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is in a mixed neighborhood containing a variety of architectural styles, and the proposed 1,000 square foot non-habitable structure and up

Application #: 231096 APN: 088-211-52 Owner: Lon, Rebecca, and Hannah Spooner

retaining wall will be consistent with the land use intensity and density of the neighborhood. The surrounding existing land uses are mostly residential with other Special Use zone district allowed uses; therefore, the structures will complement the existing uses and will be compatible with the existing range of styles.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made since, residential uses including associated accessory structures, constitute a principal permitted use that are allowed in the zone district. The proposed Variance to reduce the front yard setback from 40 feet to 25.2 feet is required due to the steep slopes on the property, which exceed 50% over the majority of the site except for the site of the existing dwelling and a relatively flat area north of the travelled roadway for Snow Crest Road. Per County Code 13.10.510(I), "Reductions in the Front Setback to Protect the Environment or Public Safety", the front yard setback may be reduced by 25% to minimize grading on steep lots, pursuant to an Administrative Environmental Setback Reduction, which would potentially allow a 30-foot front yard setback. As proposed the non-habitable structure would be located approximately 25.2 feet from the edge of the right-of-way at Snow Crest Road and therefore doesn't qualify for an Environmental Setback Reduction and, as such, a Variance is required.

Although the proposed project does not qualify for an Environmental Setback Reduction, the project meets the intent of this code in that the private 40-foot right-of-way for Snow Crest Road does not represent the actual paved roadway. If measured from the edge of the paved roadway, the setback to the proposed accessory structure would be 30 feet 2.5 inches. Therefore, the granting of a Variance to allow a reduced front yard setback is appropriate in that the proposed location of the structure will minimize the grading required to accommodate the structure.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made since, the reduction of the front yard setback to the non-habitable accessory structure will not deprive the neighborhood of light, air and open space or impair sight lines for vehicles travelling along Snow Crest Road. The right-of-way will be improved as a part of this development due to the proposed, in that the associated retaining wall will improve slope stability and drainage at the site, thus reducing the potential for landslides. The approval of a Variance to allow for a reduced front yard setback will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or to the general public, therefore staff is recommending approval of the project as designed.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made since, the proposed Variance will result in a non-habitable accessory structure that will be consistent with the residential use of the site as allowed in the Special Use zone district. The non-habitable accessory structure is consistent with the type of structure that can be developed on other properties that are not constrained by steep slopes or by a right-of-way that

Application #: 231096 APN: 088-211-52 Owner: Lon, Rebecca, and Hannah Spooner

bisects the parcel. Therefore, the approval of a Variance does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated. Therefore, staff recommends the approval of the front yard setback reduction from 40 feet to 25.2 feet.

Conditions of Approval

Exhibit D: Project plans, prepared by Michael Achkar, dated 4.19.2023.

- I. This permit authorizes the construction of a 1,000 square foot non-habitable accessory, structure that includes a garage and workshop and a retaining wall with a height of up to 5 feet 6 inches, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 - 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 - 1. A copy of the text of these conditions of approval incorporated into the fullsize sheets of the architectural plan set.
 - 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 - 3. Grading, drainage, and erosion control plans, as required.

- 4. The front yard setback shall be a minimum of 25.2 feet from the edge of the right-of-way for Snow Creek Road.
- 5. The retaining wall shall be located a minimum of 8.3 feet from the edge of the right-of-way for Snow Creek Road and shall have a maximum height of 5 feet 6 inches feet in accordance with the approved elevations.
- 6. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 - 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 - 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- D. Meet all requirements of the Environmental Planning section of the Santa Cruz County Planning Division.
- E. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County Fire Protection District.
- F. Include the already recorded Declaration of Restriction to construct a non-habitable accessory structure with the supplemental documents submitted as part of the building permit.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the

satisfaction of the County Building Official.

- C. The project must comply with all recommendations of the approved soils reports, if applicable.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
 - A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

- 1. COUNTY bears its own attorney's fees and costs; and
- 2. COUNTY defends the action in good faith.
- C. <u>Settlement</u>. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. <u>Successors Bound</u>. The "applicant/owner" shall include the applicant and/or the owner and the successor'(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

| Approval Date: | |
|------------------|--|
| Effective Date: | |
| Expiration Date: | |

Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

SPOONER GARA Π

VICINITY MAP

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DESIGN-BUILD CONTRACTOR

STRUCTURAL ENGINEER

MPE ENGINEER

GEOTECHNICAL ENGINEER

ALL LED LIGHTS, Not Required **TITLE 24 CALCULATIONS**

CIVIL ENGINEER

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| SU SU SU SU SU SU SU SU SU SU | I Engineer of Record observe on-site construction methods asrequired as part of this plan I to the building permits. | | MARK HATCHER MARK C. HATCHER ENGINEERING, INC. 1205 W. CHAUCER AVENUE SPOKANE, WA 99208 509.808.4877 |
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Exhibit D

| ABBREVIATIONS AND SYMBOLS 7 | GRD UNE SECION DEAL PROPERTY LINE PROPERTY LINE PROPERTY LINE COP OF WALL COP OF SYMBOL COP OF SYMBOL | MILHO MARKA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA MILHA | BEL DEFA DEFA 0.0. DAMATER BEL 0.1. DAMATER SUL 0.1. DAMATER SUL 0.1. DAMATER SUL 0.1. DAMATER SUL 0.1. SUL | | ACOS. ACORECATE MICH INC. MICHANICAL ACORECATE MICH INC. MICH INC. MICHANICAL ACORECATE MICH INC. MICH INC | AND HE HOLE HE HOLE BEB | DEMOLITION NOTES 6 | | COMPRETAVES, CONFRECENTATION OF SCOPE OF DEMOUTION UT S NOT INTENDED TO SE COMPRETAVE. CONFACTOR TO REVER VISITING CONTINUE TO SCOPE OF NEW WORK ON AL ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL DEMOUTION REQUIREMENTS. PRIOR TO FINALIZING BID. CONTACT ARCHITECT IN THE EVENT OF ANY CONFLICTS OR DISCREPANCIES. | APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS. 11. SAW CUT EXISTING CONCRETE TO BE DEMOUSHED WHEREVER "EASIBLE. | 9 . THE CONTRACTOR SHALL DEFAULT LECENSARY PERMIS FROM THE LOCAL JURSDOTTON PROR TO COMMENCING DEMOLITION. | 2. FOUNDE LEBY AND TAKEN AND TAKEN AND AND TAKEN AND | FROM ONSTEE, COMPLY WITHLOCAL REQUIREMENTS FOR OFF HAULING AND DISPOSAL. VERIFY ITEMS TO BE SALVAGED WITH OWNERIN FIELD. 5. NOTIFY ARCHITECT AND OWNER OF SUSFECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY UCENSED HAZMAT CONTRACTOR. | DEPENDENT AND AND CLEECE DEPOCIESY AND WITH MUTCH CONCLISION REPORT OF DEPORTUGE INFORMATION OF DEPORTUGIES |
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| PLAN & INTERIOR GENERAL NOTES 5 | OUTSDE LANDING MUST BE NO MORE THAN 1.5 BELOW THE TOP OF THRESHOLDS (#OUT.SWINGING EXTERIOR EXCERTS DOORS, AND NO MORE THAN 1.5 BELOW THE TOP OF THRESHOLDS (IIN-SWINGING EXTERIOR SEES) DOORS PROCES JULIN, DOORS CONFER THAN THE REQUIRED EXERSIS DOORS. JULIN, WONGE THAN 1.7 BELOW THE TOP OF THRESHOLD SEES DOORS. JULING WITH A LANDING NO MORE THAN 7.7 SELOW THE TOP OF THRESHOLD SERVICES WITH EXISTING FULL SIZE STUDS AS REQUIRED TO ALCH NEW WALL SURFACES WITH EXISTING FULL SIZE STUDS AS REQUIRED. ALL DIVENSIONS SHOWN ARE TO F.O. STUD. CONTACT ARCHITECT IN THE EVENT OF ANY DIMEDSIONAL CONFLUCT. ALL DIVENSIONS SHOWN ARE TO F.O. STUD. CONTACT ARCHITECT IN THE EVENT OF ANY DIMEDSIONAL CONFLUCT. ALL STREW AND FANT COLORS SELECTIONS WITH OWNER. ALL CRYSLINBOARD TO RECEVES MOOTH LIKELS SHALL BE LISTED FANTI COAT PROR TO APPLICATION OF TWO COATS OF NEW INTERIOR LAKE PAINT COAT PROR TO APPLICATION OF TWO COATS OF NEW INTERIOR LAKE PAINT. THE ARKA OF FLOORS USED FOR PARKING OF AUTONCERLE OR OTHER VEHICLES SHALL BE SLOPED TO FACULTATE THE MOVEMENT OF LODING TO A DRAIN OF THE MAIN VEHICLE ENTRY DOOR AUTOWATIC GARAGE DOOR OPENERS IS SHALL BE USED IN ACCORDANCE WITH UL325 | 27. A DEDICATED BRANCH CIRCUT SHALL BE PROVIDED TO WATER HEATER, INSTALL PER MANUFACTURER NSTRUCTIONS 28. A 125 V RECEITACLE SHALL BE LOCATED WITHIN 20 FT OF ALL HEATING, AC AND REFRIGERATION EQUIPMENT 29. ELECTRICAL SHALL NOT 3E LOCATED IN THE VICINITY OF EASLY (CNITABLE MATERIAL SUCH AS IN CLOHES CLOSED, IN BATHROOMS OR OVER STEPS, SEE CEC 240-24(D), IEJ AND [F] FOR ADDITIONAL NOTES. ELECTRICAL GENERAL NOTES 44 4 | | 22. PLACERCEPTACLES IN REMODELD AREA (9) 12.FEF O.C. MAXIMUM AND WITHIN (FEETO FED WILLS, WALL SPACES INCLUE FRED FANELS IN ROTROW MALLS EXCLUDING SUDING PAREES AND ALSO FRED ROOM DVIDERS SUCH AS BAR THE COUNTERS OR RAINNGS. CEC 210.52(A) 23. SMORE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THER PRIMARY POWER FROM BUILDING WEINING, BE COLUMPED WITH ANTER BACCHU, AND BE INTERCOVERET HER PRIMARY POWER FROM BUILDING ACTIVATION OF ONE ALARMS YMLL ACTIVATE ALL OF THE ALARMS. ALARMS SHALL FROM SUBPLY OR RETURN RECEIVES OF HEATING OF ONE CALARMS STATUS OF THE INFORMATION OF ONE FLAT HER ROOMS. SMORE ALARMS SHALL NOT DE INSTALLED WITHIN 36 "HORONIAL PART FROM SUBPLY OR RETURN RECEIVES OF HEATING OR COOLING SYSTEMS AND SHALL BE ALARMS. ALARMS SHALL FROM SUBPLY OR RETURN RECEIVES OF HEATING OR COOLING SYSTEMS AND SHALL BE ALARMS. ALARMS SHALL FROM SUBPLY OR RETURN RECEIVES OF HEATING OR COOLING SYSTEMS AND SHALL BE NATULED OUTSIDE OF THE IDENTION OF THE INSTALLED LESS THAN 36 INCHEST ROM THE DOOR OR OFENING OF A BACHROOM WITH A TUB OR SIGNATE. FOR THE NATULED LESS THAN 36 INCHEST ROM THE DOOR OR OFENING OF A BACHROOM WITH A TUB OR STATUS FOR THE PROVIDE NATURE TO RESULTATION. IN ROOMS WITH WARATIONS IN CELING HEIGHT. OWNER TO PROVIDE DETICTORS FOR INSTALLATION. | 20. LAUNDRY RECEPTACLE OUTLET TO BE A DEDICATED 20-AMP BRANCH CIRCUIT FRE CEC 210.11(C)[2] & 210.52[F]. PROVIDE AN ADDITIONAL 30-AMP 4-WIRE CIRCUIT FOR ELECTRICAL DRYER. 21. DEDICATED 20-AMP C RCUIT REQUIRED TO SERVE BATHROOM CUTLETS. THIS CIRCUIT AGNIOT SUPPLY ANY OTHER RECEPTACLES. UGHTS, FANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER RECEPTACLES. UGHTS, TANS, ETC. [EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER CIRCUITS, THIS SUPPLIES A SINGLE BATHROOM, STALL BE FEMILITED TO BE SUPPLIED.] CEC 210.11(C)[3] & 210.52[D] | 18. FOR REMODEL PROJECTS: EXISTING WIRING TO BE UPGRADED TO MEET CURRENT CODE. 19. TWO SMALL APPLIANCE BRANCH CREATING RE REQUERD GOB THE KICHEN AND ARE UNTED TO SUPPLYING MALL AND CONTREST SPACE COTTER FOR THE REAL REAL REAL REAL DATA DATA TO AS SMALAR AREAS, NOTE: THESE CIRCUITS CANNOT SERVE OUTSDE PLUGS RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES—ONLY THE REQUIRED CONTERTOPYMALL OUTLETS INCLUDING THE REPRICEMADO, CEC 210.11 (C)(1) 5. 21(3218) | 17 ALL RECEIVACIES IN MATHOOMS, GARAGES, ACCESSOPY BUIDINGS, OUTDOODS, GARMI, SPACES, UNFINISHED ASSEMENT, SUTCHES INHERE RECEIVACIESSEVE COUNTER TOP SUBFACES, DISMOSHES, DISPOSILS), UNINDRY AREA, SNMS, WITHING 4EE OF THE EDISC. THE SINS, BATHTURS, OR SHOWERS], SHALL HAVE GROUND-FALLT CIRCUIT INTERLIPTER (GECLOR GR) PROTECTION, ICEC 210.2] | D5 ELECTRICAL BOXES ON OPPOSITE SIDES OF AATED GARAGE WALL TO BE SEPARATED BY HORIZONTAL DISTANCE OF 27 wilk, WITH INDIVIDUAL NON-COMMUNICATING STUD CAVITES. 16, PROVIDE LISED ARC-ANUT CIRCUIT INTERRETING IACID CAVITES. 16, PROVIDE LISED ARC-ANUT CIRCUIT INTERRETING IACID CAVITES. 16, PROVIDE LISED ARC-ANUT CIRCUIT INTERRETING IACID CAVITES. 16, PROVIDE LISED ARC-ANUT CIRCUIT INTERRETING INCOME CIEFACIES. LIGHTS & SMORE ALABMSI INSTALLED IN FAMILY ROOMS. LIVING ROOMS. LIBRARES. DENS BEBOROMS. SUN ROOMS. RECERTING NACOMS. LISED IN FAMILY ROOMS. LIVING ROOMS. UBRARES. DENS BEBOROMS. SUN ROOMS. RECERTING ARCASES, CICCEES. 14, MAYS.GES AND BASURES. COMBINATION A'C/GFCI'S REQUIRED IN LITCHENS AND LAUNDRY AREAS FER 40, ART 2012 AND CE 22103 | MECHANICAL EMANST FANS FER CRC SEC. 1233-4.2.1. BATHROOM CEILING FANS SHOULD BE CENTERED OVER TOLET. 10.4. ALL NEW AND REPLACED 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLES SHALL BE LISTED 10.4. PER RESISTANT RECEPTACLES. CEC ARTICLE 406.12 | 4G FXTURES MUST HAVE | AND SHALL NOT USE OF | ndor tel con securitori i sociali juji (n) 6. SERVICE PAREL SHALL COMPLY WITH CEC 200. 7. CLOSET LIGHT FIXTURES SHALL COMPLY WITH CEC 410.16. 8. BEOLUTE LI LIGHTE BYTINES NA DAMA DO ANDALE AND KANANGA LITADI E STOR WET DAMARD O ATTOWN SER O CO | ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARES TO BE ALWAYS ON. 5. OUTDOOR LIGHTS ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY CONTROLLED BY MOTION SBNSOR AND 9HOTO-CELL OR CONTROLLED BY PHOTO-COVERCL AND AUTOMATIC TIME SWITCH. BY AN ASTRONOMICAL TIME CLOCCY OB BY AN ENERGY MANAGEMENT SYSTEM, ALL OUTDOOR UNGETHING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOOS NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF THE FEATURES MENTIONED | 1. AL INVALUE JOINTONE JURGE END ETFOCT, LEEK JOAKS JAL, LANKE HEH ETECACY LUMINARES, AT LEAST ONE 2. GRACE, BARNONS, UTILT AND LANDOR YOONS SHALL HAVE HEH ETECACY LUMINARES, AT LEAST ONE OF THE FINDRES IN THE RCOM/SPACE SHALL BE CONTROLED BY VACANCY SENSOR. CEC SECTION 1500[R]2[1]. 3. VACANCY SENSORS OF DIMMERS SHALL BE ROWIDED FOR ALL LUMINARES REQUIRED TO HAVE LIGHT SOURCES. COMPLIANT WITH RETERENCE OWNERS SHALL BE ROWIDED FOR ALL LUMINARES REQUIRED ON HAVE LIGHT SOURCES. SICEPT FOR HALLWAYS AND CLOSED LESS THAN 70.5F. CEC SECTION 1500[R]2[1]/b. 4. OCCUPANT CHEREBRICE OWNERS LESS THAN 70.5F. CEC SECTION 1500[R]2[1/b]. 4. OCCUPANT CHEREBRICE OWNERS HAVE ALL NOT VALUE AND CLOSED SENSOR AND MOTON SENSOR THE LUMINARES TO SETIMATE YEARDONG INJORS FOR TOWN AND ALL NOT VALUE ACCONSTITUENT HAVE INMANDED. TO SETIMATE YEARDONG HAVE FOR TOWN AND ALL NOT VALUE ACCONSTITUENT HAVE INVESTIGATED OF TIMETE YEARDONG HAVE FOR TOWN AND ALL NOT VALUE ACCONSTITUENT HAVE INVESTIGATED. |
| | INPEAS PER LOCAL COOR REGULATIONS. INPEAS PER LOCAL COOR REGULATIONS. A APPLANCES STEME TO BE FAID IN POSITION SHALL BE SECURELY FASTINED IN PLACE. SUPPORTS FOR APPLANCES SYNUE REDESCREE AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORICONTAL LOADS WITHIN THE STRESS LIMITATIONS SYSTEME OF EARLY CONSTRUCTED TO SUSTAIN VERTICAL POINT 3 HEET ABOVE THE FOOS AND 2 REFERENCE OF MAINTAINES A MUNIMUM NUDOR TEMPERATURE OF 68TF AT A POINT 3 HEET ABOVE THE FOOS AND 2 REFERENCE OF MAINTAINES A MUNIMUM NUDOR TEMPERATURE OF 68TF AT A POINT 3 HEET ABOVE THE FOOS AND 2 REFERENCE OF MAINTAINES A MUNIMUM NUDOR TEMPERATURE OF 68TH AT A POINT 3 HEET ABOVE THE FOOS AND 2 REFERENCE OF MAINTAINES A MUNIMUM NUDOR TEMPERATURE OF 68TH AT A POINT 3 HEET ABOVE THE FOOS AND 2 REFERENCE OF MAILS IN ALL HABIT/ABLE FOODUCING DS ARE CHANGE FREE HOURD FOR INARCOM VENIL-LINDING SYSTEMA NILST BE CAPABLE OF PRODUCING DS ARE CHANGE FREE COMPUTED ON THE BASKS OF 2 OCCUPANTS FOR THE FIRST BECROOM AND 1 OCCUPANT FOR FACH ADDITIONAL BEDROOM (CRC R303.1 EDCEFTIONS 1). IZ. VENILATION HER THE ARE CONTIONING SYSTEMS SHALL HAVE MERY 6 FLIES OR BETTER. IB. WHERE COMMUNISION APPLIANCES OR SOLD-FILE, BURNING APPLIANCES ARE LOCACED IN SIDE THE PRESSURE BOUNDARY. THE MANNUM ALLOWABLE KET BANAIST FLOW OF THE TWO LARGEST BY MAILST FAILS SHALL NOT DOCEDD IS CARED THE REMOVE FLOW STATEM SHALL HAVE FARES SHALL NOT DOCATED IS OCTAPERATING OUT-COOR A RACE WINK OF THE THOULARGEST BY AND IS FAILS THAN SHALL NOT DOCATED IS DOWN AND ALLOWABLE KET BENALTS FLOW WAST BE REDUCED BY REQUISION THE MUST BE UNDITIED OUT-POOR A REFORM (FOR THE READUCED BY REDUCING THE HAUST FAILS ON PROVINING COMPENSATION OF THE WALKST FLOW WAST BE REDUCED BY REAL NOT THE DESIGNED DOWN AND ALLOWABLE ARE EXALUST FLOW WAST BE REDUCED BY REAL NOT THE DESIGNED DOWN AND ALLOWABLE ARE EXALUST FLOW WAST BE REDUCED BY REAL NOT THE STATEM THE LARGEST EXALLS FLOW WAST FLOW AND ALLOWABLE ARE DERIVED AND ALLOWABLE ARE DESIGNED TO THE ADDITIONAL FLOW BERTON THE ALLOWAST F | 10. HEATING EQUIPMENT CEREMING A GLOW SPAR, OR FLAME CAPAGE FIGHING FLAMMABLE VAPORS SHALL BE INSTALLED A MINUMO OF 18 INCLESS ADVETHE GAAGGE FLOOR. 11. WHEN A CLOSET IS DESCNED FOR INSTALLATION OF A CLOTHES DRYER, A MINUMUM OPENING OF 100 SQUARE INCLES FOR MAKEUP AR SHALL BE PROVIDED IN THE DOOR OF RLOOR AND CELLING OR BY OTHER APPROVED MEANS. 12. WHEN GAS TRED FURMACE COMPARIMENTS ARE USED. PROVIDE AN UPPER AND LOWER COMBUSION AR OPENINGS THE OPENING SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 OF THE ENCLOSURE. COMMUNION ARE REQUERINGED TO COMPARIMENT ARE USED. PROVIDE AN UPPER AND LOWER 12 OF THE ENCLOSURE. 13. ALL AR CONDITIONER JUITS OR ARCONDITIONER CONDENSES SHALL BE LOCATED AWAY FROM PROPERTY 13. ALL AR CONDITIONER JUITS OF ARCONDITIONER CONDENSES SHALL BE LOCATED AWAY FROM PROPERTY | JADAKAZ BAHREONG CONTAINING BAHHIBS, SHOVERS, SPAS, AND SIMLAR BATHING FIGURES SHALL HAVE HUMIDIT CONTROLLED EMANUS FAVE PER CRC 4/5/5 AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS (PAULIANL VERIFLACK). NOT AN ALTERNATIVE REPACEMENT. SUPPLY A SMOOTHMETAL DUE FOR DRYRE SHALLS FETENDING TO CUTSIDE OF BUILDING (14-67 MAXIMUM BARCH, INCLUDING TWO SPE BEOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS) WITH PACC DRAFT DAMEREL UNLESS MANUFACTURER PERMITS LONGER BING OR A POWRE EMAND SP EBOWS DATE DAMEREL UNLESS MANUFACTURER PERMITS LONGER MANNE A INCLUEUS UNCLASS STANDER AND DATE DAMEREL UNLESS MANUFACTURER PERMITS DATE BING DATE DATE DATE DATE DATE DATE DATE DATE | 3. MECHANICAL CONTRACTOR/TUMING CONTRACTOR TO SHOW THE TERMINATION USCANIDO, OF HUES AND PLUMING VERKIN REALTON OF OFENICIS AN THE TRUCTURE (SEPECIALY DERALE SYLDIGTS) ON THEE RESPECTIVE DESIGN DRAWINGS. ALL ENVROMMENTAL AR DUCTS SHALE & ANN. OF STEFT ROW, MDOOR PROPERTY INES, OFENING SYLLIGHTS OR AND CUTS SHALE & ANN. OF STEFT ROW, MDOOR WINDOWS, PROPERTY INES, OFENING SYLLIGHTS OR AND CUTS SHALE AND SYLLIA AND DUCTS SHALE AND TUTE AND TOTAL AND TUTE AND THE TRUCTURES SHALE AND THE BULLING'S CHURCHS SYLLIGHTS OR AND COS SHALE AND COS SHALE AND COS SHALE AND THE SHALE AND DUCTS SHALE BE PROVIDED TO THE FELD INSPECTOR AT THE TIME OF INSPECTION. INSTRUCTIONS FOR ALL USED EQUIPMENT SHALE BE PROVIDED TO THE FELD INSPECTOR AT THE TIME OF INSPECTION. INSTRUCTIONS SHALE HAVE BACK DRAFT DAMPERS. AL MECHANICAL VENTILATION SYSTEMS SHALE HAVE BACK DRAFT DAMPERS. AL MECHANICAL VENTILATION SYSTEMS SHALE HAVE BACK DRAFT DAMPERS. ALM ECHANICAL VENTILATION SYSTEMS IN BATHROOMS ARE REQUIRED TO BE VENTILATED WITH A MINIMUM SC CODE COOT PER MINUTE HURDRYSTEM IN BATHROOMS ARE REQUIRED TO BE VENTILATED WITH A MINIMUM SC SHALE AND THE INTERMITIENT OR 32 COBING COOT PER MINUTE CONTINUOUS BHALET FANS CRO. | 1. ALL MECHANICAL WORK SHALL BEIN COMPUANCE WITH THE LATEST ADOPTED CMC CODES. 2. FURNACE LOCATION SHOWN ON PLANS- EXTEND EXISTING DUCT RUNS OR REPLACE WITH NEW TO SERVE NEW LOCATIONS. | PLUMBING/BATHROOM GENERAL NOTES (CONT) 2 | FOOINOTE 4 | SPALLEE RISVALLEU FX. CF. CARC. AN AFFOVEL DAYANSMUM YAWS SHALL BE INSVALLED IN THE CUCLY WHEN DISTRUTION PRINC CONVERSE. COPPER, COPPER ALLOYS, LEAD, AND LEAD ALLOYS INCLUDING BRASS, SHALL NOT BE USED FOR BUILDING SANITARY WATE SEWER ECCEPT FOR DOWISTIC WASTE SIXT RAPS, AND SHORT LENGTHS OF ASSOCIATED CONNECTING PRES WHERE ALTERNATE MATERIALS ARE NOT PRACTICAL NO UNDERFLOOR CLEANOUT SHALL BE WORE THAN 20 FEET FROM CRAVLISPACE ACCESS PER CPC 707.9 PROVIDE A CDRAMAGE PIPE WHENEVER A CR MORE WATER CLOSES ARE CONNECTED DER CPC 104.8 F703.2 | | ARD DUCKSOPENNOS, THE SUPPLY OF COMBUNDINAR WISTEE DWDED EQUALIT. WITH 11/20 FT HEE REQURED MINIMUM 103 SQUARE INCHES OF VENT-ABLE AREA SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12° OF THE ENCLOSURE. 16. SHOWERS TUB-SHOWER COMBINATIONS, AND WHRLPOOL TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONREQUIVALVES OF THE PRESSURE SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SHOCK REDIFICION. VALVES SALANCE. THERMOSTATIC: OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THE SALANCE. THERMOSTATIC OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THERMAL SPACE AND THE SALANCE. THERMOSTATIC OR COMBINATION OF BOTH THAT RPOVIDE SCALD AND THE SALANCE. THE SALANCE AND THE SALANCE | ALL HOSE BBBS OTHER THAN WATTE HEATER DRANS AND WASHET CONNECTORS SHALL REPORTICIENTE BY INTER NON-RELOVABLE HOSE SHIT PRE ACK LOW PREVENTER OF BY ARAIDE SUMMOSTHERIC VACUUM BREAKET NALVE. WHEN GAS FIRED WATTER HEATER COMPARIMENTS ARE USED PROVIDE AN UPPER AND LOWER COMBUSTION 15. WHEN GAS FIRED WATTER HEATER COMPARIMENTS ARE USED PROVIDE AN UPPER AND LOWER COMBUSTION | 60/400 SYNCL YO DE OUSDE UVER A YOANG REMARKER IN SYNTYRE VOR BATTING NORMANNENS, DEVEL SULTINS 2007 2406 PC02.8 13. PLUMBING AND EQUIPMENT VENTING: WHERE FEASBLE, VENT ALL PLUMBING FXTURES, BEHAUST VENTS, FURMACE, AND WATER HEALER TO ROOT. VEREY ALL LOCATIONS OF VENTS WITH ARCHITECT PROR TO INSTALATION ALL DETEOROR PRETERVIONS ARE TO DE KANDER WATERICHT. | DOCRS AND PARELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CRC 308,45 SHEY GLASS OR APPROVED PLASTIC, CRC 308,45 SHEWER AND TUB/SHOWER WALLS TO HAVE SMOOTH, HARD NONABSORBENT SURFACE [E.G., CERANCT TUE OR FREEDCLASS OVER A NO.2018E RESISTANT UNDERLY/INEET [E.G., CEMENT, THERE CEMENT, OR GLASS MAT GYPSIM BACKER] TC A HEIGHT OF 72" ABOVE THE DRAININGEL PLASE NOTE: WATER-RESISTANT GYPSIM BACKING | Converse of source with the interview of conversion of the converse of conver |
| DI IMPINIC/PATHEOOM CENEDAL NOTES | 4 FALCES WITH ATRACHE HOE SPAXS HALL VENTO ATMOSPHEE WDER BACK SPHOWAGE CONDITIONS (CPC SECTION 403.6.7), ALL SINDERS SHALL HAVE ANTI-SCALD VALVE. S NO DISHWASHING AVACHINE SHALL BE DRECH VIC CONNECTED TO A DISCHARGE SYSTEM OR FOOD DISPOSAL WITHOUT THE USE OF AN APPROVED ARGAP FITING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. 4 ALL BUILDING SUPPLY WATRE SYSTEMS IN WHICH GUICK ACTING VALVES ARE INSTALLED SHALL BE RECHTOR 6 ALL BUILDING SUPPLY WATRE SYSTEMS IN WHICH GUICK ACTING VALVES ARE INSTALLED SHALL BE RECHTOR CONSIDE THE MARKES SHALL BE RISTALED BACK ACTING VALVES ARE INSTALLED SHALL BE RISTALED FOR THE VALVES. 7 WATRING MACHINE TO INVEDED/CATED DRAML UNE. CLOTHES WASHER AND LAUNDRY TUB TO BE CONNECTED TO SPEARDER AND DISPENDENT TUMBING TRAFS, BICEFT THAT THE LAUNDRY TRAF MARY RECEIVE WASIE FROM CLOTHES WASHER PER CPC 1001.1 | 1 ALL PUMBING WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED CPC CODES. 1 2 INSTALLATION INSTRUCTIONS FOR ALL USED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTON. 1 3 RPGJECTTON INCOMER HOT AND COLD SUPPLY UNES IN ASEA OF WORK. ALL HOT WATER SUPPLY PPING SHALL BE INJURIED RUM COPPER HOT AND COLD SUPPLY UNES IN ASEA OF WORK. ALL HOT WATER SUPPLY PPING SHALL BE INJURIED RUM COPPER HOT AND COLD SUPPLY UNES IN ASEA OF WORK. ALL HOT WATER SUPPLY PPING SHALL BE INJURIED RUM IN THICK PIPE INSULATION PER CERC 1500(1)(2)(0) AND CPC 509.11. EXCEPT AT FRAMING FEMERATIONS. | NK THE MATERIAL THICK LIEE OF HOT-DIPPED NG TYPES AND WER ORDANCE WITH THE UNER'S STEEL OR EQUIVA | KEP OWNER AREASTOR CONTRACTOR. DELIVERY WHEN REQUED BY CONTRACTOR. I. OR ALL MATERIAS PROVIDED BY CONTRACTOR WHEN SHALL CONTRACT ARCHITECT AND OWNER FOR ALL DEC THE CONTRACT ROS SHALL KEP THE JOSSTE CLEAN AND CLEAN AND ORDERY. AND READY FOR OCCUMENTA CLEAN AND ORDERY. AND READY FOR OCCUMENTA CLEAN AND ORDERY. AND READY FOR CONTRACT AND LIPST VESION. MRC MATER BOOND THM PIECTS (FOR FULL MORTA B MRF. METALEDGING FOR EXPOSED OUTSIDE EDGE CON | ADEQUATE REPEARATION OF THE SUBSTRATE IS IMPERAT SUBSTRATE AS RECOMMENDED BY MANUFACTURES. THE WHERE GONDING THE SUPPLED BY OWNER AND INSTALL CONTRACTOR SHALL ASSITIN DETERMINING QUANTIFIE CONTRACTOR SHALL ASSITIN DETERMINING QUANTIFIE CONTRACTOR SHALL ASSITIN DETERMINING QUANTIFIE CONTRACTOR SHALL ASSITIN DETERMINING QUANTIFIE | 00 | PROVIDE WATER-RESSTANT SYP. BD. AT ALL BATH, TOLET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED. PROVIDE REEMANT REINFORCED CEMENTITIOUS BACCER UNITS AT ALL WALL AND CEILING SURFACES THAT MAY BE FINISHED WITTLE FER CRC720.4.2. ALL WOOD SHALL BE FAINTED AS FOLIOWS: | CONTINUCION I COURDINALE WITH OWNER FOR OWNER-PROVINES MAN ERADIS MUT PROJUCIS CONTRACTOR TO COURDE VEDIS WIEBERER FEASIBLE TO MINAUTE PIPE PENERATIONS THROUGH ROOF. PRAVED RECONTED TO SITE OF ROOF FACING AWAY FROM STREET[S] WIEREVER POSSIBLE. SEE ALSO ROOF PLAN EDX LOCATION OF FALSE CHAMBER'S FOR VENTING. PROVIDE INSULATION IN WALLS, FLOORS, CAELINGS, AND ROOFS ADJUNING EXTERIOR OR UNCONDITIONED SPACES-SEE BID NETRICITORS FOR SCHEDUL (INSULATION VALUES TO BENOT LESS THAN AS INDICATED IN TITE 24 NERCY FEPC07]-INSULATION TO CONFORM TO FLAME SPREAD RATING AND SMORE DENSIFY REQUIREMENTS | | ITHAS NOT EFEN REQUIRED BY THE BUILDING INSPECTOR. THE ARCHITECT AND OWNER SHALL DETERMINE WHETHER THE WORK IST DE UNDERTAGEN. VERIFY ALL GUIMMENT SIZE BEFORE COMMENCEMENT OF THE WORK. ELECTRICAL MECHANICAL AND PLUMBING SYSTEMS ARE DESIGN/BUILD." PERFORMANCE SPECIFICATIONS ARE INSPECIFIC AND THE ARCHITECT AND OWNER BEFORE COMMENCEMENT OF THE WORK. ELECTRICAL MECHANICAL THE THE THE OWNER SHOPE COMMENCEMENT OF THE PROBAMINES SPECIFICATIONS ARE INSPECIFIC AND THE ARCHITECT AND OWNER BEFORE COMMENCEMENT OF THE WORK. | PROCEEDS, APPROVALIOR TO REVEW ALL DESIGN CHANGES OR SUBSTITUTIONS WITH THE ARCHITECT AND RECEVE 10. CONTRACTOR TO REVEW ALL DESIGN CHANGES OR SUBSTITUTIONS WITH THE ARCHITECT AND RECEVE 11. CODE UPGRADE WORK NOT REQUIRED BY SUILDING INSPECTORS BLEVES CODE UPGRADE IS MECSSARY AND OWNER TO DETERMINE CONTRES OF ACTION IF THE CONTRACTOR BLEVES CODE UPGRADE IS MECSSARY AND | CONTRACTOR SHALL ARRANGE FOR A MEETING AFTER DEERMINING THE PROJECT DIMENSIONAL LAYOUT FOR REVIEW BY THE ARCHITECT AND OWNER. . CHANGE ORDERS MUST BE AROUTOED IN WRINIG AND SHALL BE FOR EITHER ADDITIONS OR SUBTRACTIONS TO THE CONSTRUCTION CONTRACT. CHANGE ORDERS MUST BE SIGNED BY ALL PARTIES BEFORE THE WORK | CONTRACTOR TO VERFY ALL FIELD CONDITIONS AND MEASUREMENTS BEFORE STARTING CONSTRUCTION. A CONTRACTOR TO VERFY ALL FIELD CONDITIONS AND MEASUREMENTS BEFORE FRACEBOING WITH WORK. CONTRACTOR TO REPORT ON THE PROGRESS OF WORK TO THE ARCHITECT. AT A MINIMUM, ON A B-WEEKLY BASIS OF MORE FREQUENTLY AS CONDITIONS WAREANT, MEETINGS WITH THE ARCHITECT STAAL LEE WEEKLY DEMONSTOR WAS AND AND ENTER ON THE ON DOWN ON THE ARCHITECT. STAAL DE WEEKLY SHOULD DE WORK SHEROWERD AND AND AND ENTER ON DOWN ON THE ARCHITECT STAAL LEE WEEKLY MAN THE ARCHITECT STAAL LEE WEEKLY DEMONSTOR AND ENTER ON DOWN ON THE ARCHITECT. | CONTRACTOR SHALL PICK UP AL. PERMITS. CONTRACTOR SHALL PICK UP AL. PERMITS. CONTRACTOR SHALL PICK UP AL. PERMITS. CONTRACTOR SHALL RECVOE WORK COMPLETELY AND IN ACCORDANCE WITH CURRENT APPLICABLE CODES. CONTRACTOR SHALL RECVOE WORK COMPLETELY AND IN ACCORDANCE WITH CURRENT APPLICABLE CODES. CONTRACTOR SHALL RECEPONBLE FOR ANY DAMAGE INCURRED THROUGH ANY ERRORS OR COMISSIONS MITHINH INF VORK TO THIS PERCEPENCE OVER SCALE. DO NOT SCALE THE DRAWINCS. NOTIFY THE ARCHITECT MITHINH INF VORK TO MAR PRECEDENCE OVER SCALE. DO NOT SCALE THE DRAWINCS. NOTIFY THE ARCHITECT MITHINH INF VORK TO MAR PRECEDENCE OVER SCALE. DO NOT SCALE THE DRAWINCS. NOTIFY THE ARCHITECT |

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185 LOS

45 SNOW CREST RD. 25 SNOW CREST RD. 25 GATOS, CA 95033 (608)448-6620 4PN: 088-211-32

Exhibit D

Building Sales

The drawing embodies idea design arrengements, plans and geneficializes that are properly to AM. Star Construction, Inc. and A. Star Construction, Inc. and environment of any replaced for use serviced, and Sectorize there to interded or affected by release the service of any replace to the service permission of AM Star this strend in a star to be disclosed for use which AM Star this strend is and to be disclosed for a star to be disclosed for the star to be started for the star there on risk and shall field work all all continue to be procide and shall continue to be procide and sha

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VARIANCE REQUEST SET

AM STAR CONSTRUCTION, INC. 2315 SOUTH BASCOM AVENUE, SUITE 200

CAMPBELL, CA 95008

TELE: 408.377.3099 FAX: 408.377.2189

3

MICHAEL

OWNER REVIEW,

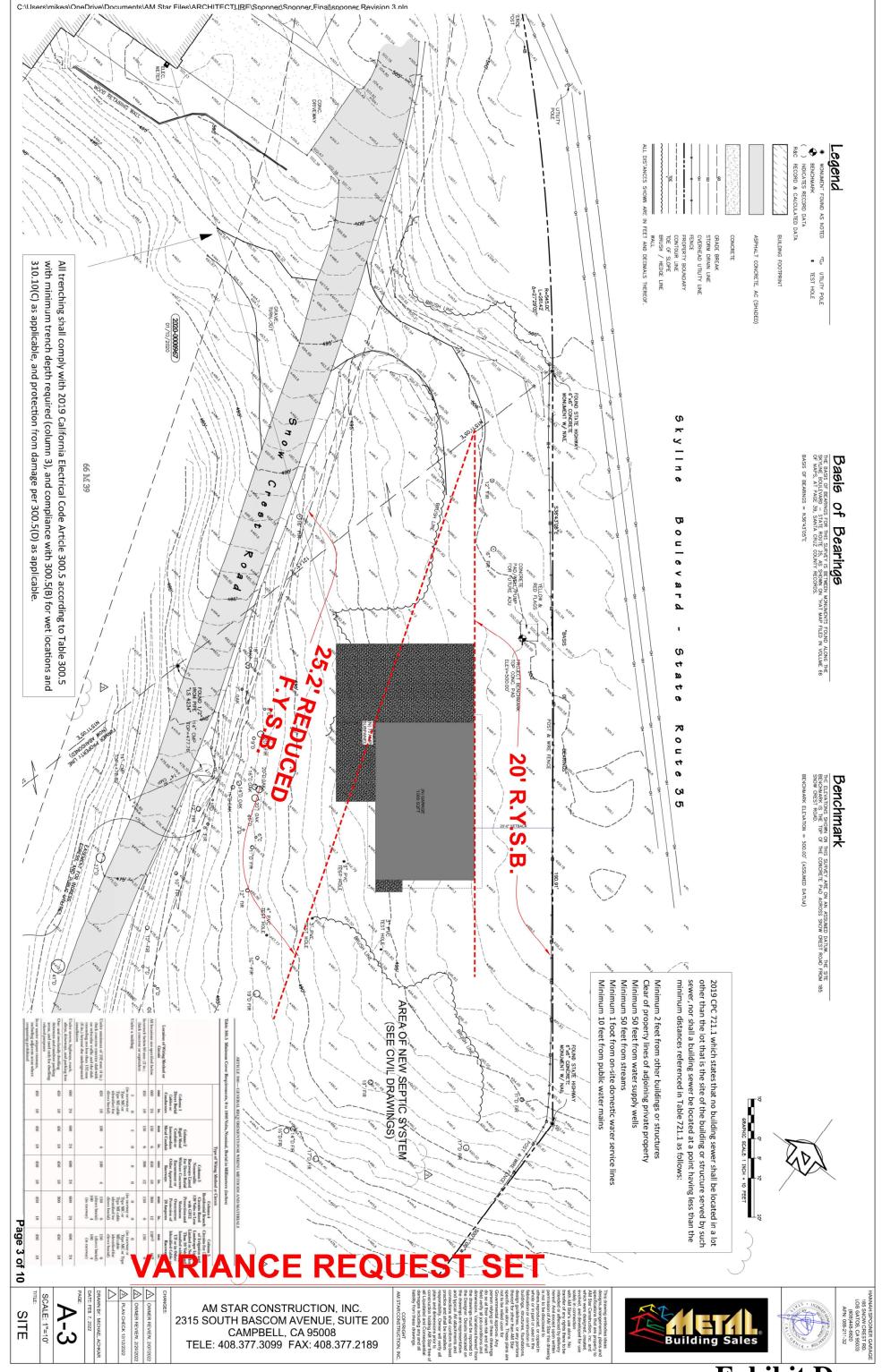
OWNER REVIEW,

PLAN CHECK 12/12/2022

Page 2 of 10 SPEC'S

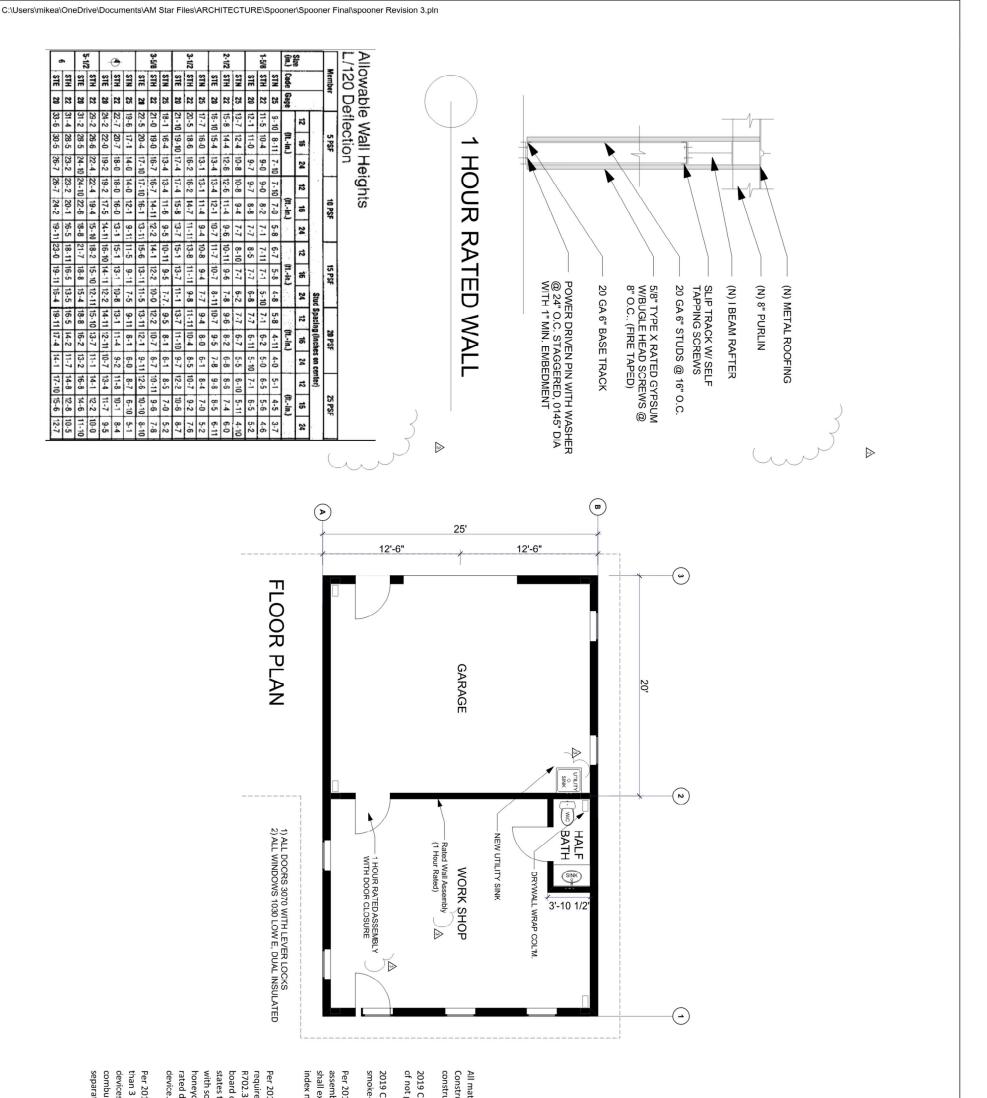
SCALE: NTS

A-2



17

Exhibit D



separated in accordance

R702.3.5, separation from dwelling areas shall be not less than % -inch gypsum board or equivalent applied to the garage side, and 2019 CRC R302.5.1 which honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fre-rated doors, equipped with self-closing or automatic closing and self-latching with solid wood doors not less than 1 3/8 inches in thickness, solid or states that openings between the garage and dwelling area shall be equipped required by Table R302.6, attachment of gypsum board shall comply with Table Per 2019 CRC R302.6, the garage shall be separated from dwelling areas as shall exhibit a flame spread index not to exceed 25 and a smoke-developed index not to exceed 450 where tested in accordance with ASTM E84 or UL 7 assemblies, roof-ceiling Per 2019 CRC R302.10.1 where tested in accordance with ASTM E84 or UL 723. , all insulating materials installed within floor-ceiling ssemblies, wall assemblies, crawl spaces, and attics

smoke-developed index 2019 CRC R302.9.2 which of not greater than 450. states that wall and ceiling finishes shall have a

2019 CRC R302.9.1 All wall and ceiling finishes shall have a flame spread index of not greater than 200. construction building elements shall be of noncombustible materials. Construction Type II-B as

All materials, including in terior wall framing materials, to comply with listed on Sheet A-1, per 2019 CBC 602.2 Type II

Page 4 of 10



OWNER REVIEW, 2/37/ PLAN CHECK 12/12/202

AM STAR CONSTRUCTION, INC. 2315 SOUTH BASCOM AVENUE, SUITE 200 CAMPBELL, CA 95008 TELE: 408.377.3099 FAX: 408.377.2189

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with AM Star's u Inter-sepeciatoria circulary in Ante cri parto rusch in ha bidacio ar occustrution of utiling, structures, branches, and segne publicanes, or avy perciona-genergi publicanes, or avy perciona-partici, una allowa, These plans are obtained and own from a structures production and own from a struc-ture and own from and and and provide and and the structures of the structures of the select plans in the structures of the select plans are appearation or transition. A structures for and allowas and three structures of the selective of the structures of the selective or structures of the selective of the structures of the selective of the sele

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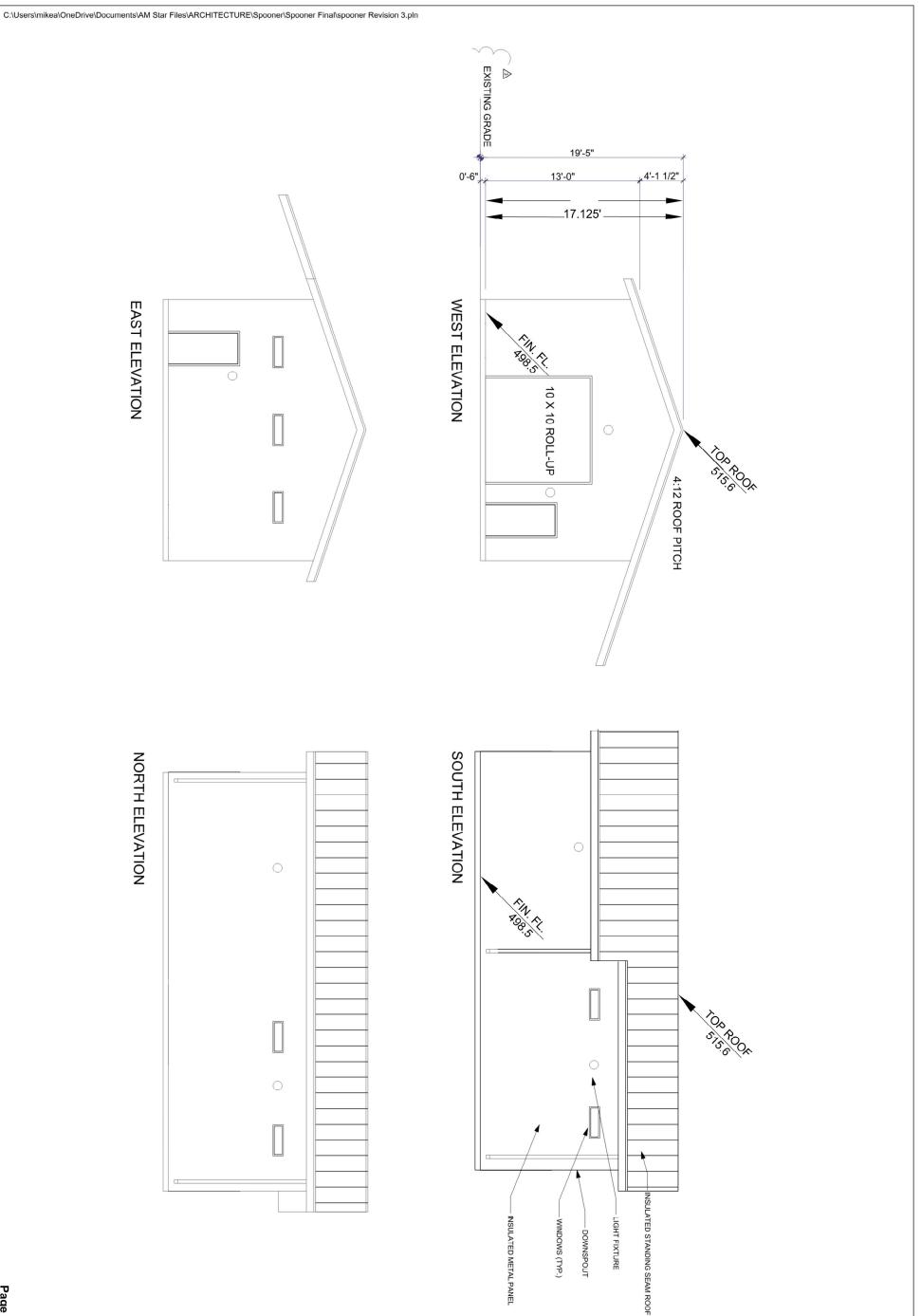
Sales



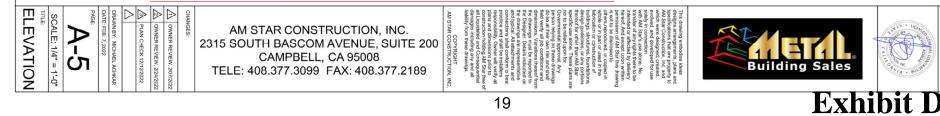
Exhibit D

VARIANCE REQUEST SET

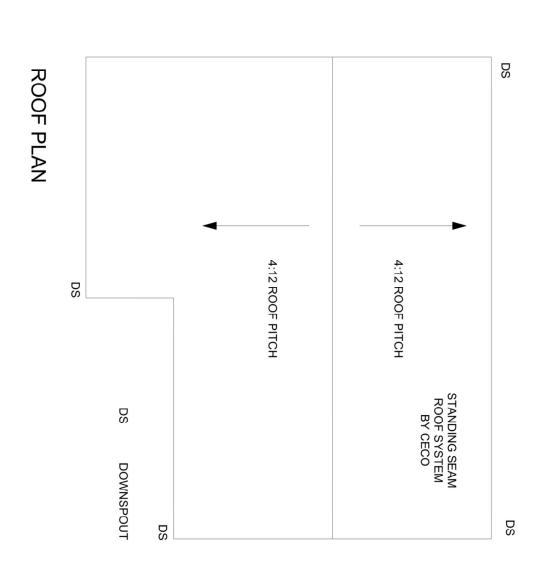
combustible insulation complying with the listing requirements shall be devices except where heat-producing devices are listed for lesser clearances, than 3 inches from recessed luminaires, fan motors and other heat-producing Per 2019 CRC R302.14, all combustible insulation shall be separated not less with the conditions stipulated in the listing.











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Exhibit D

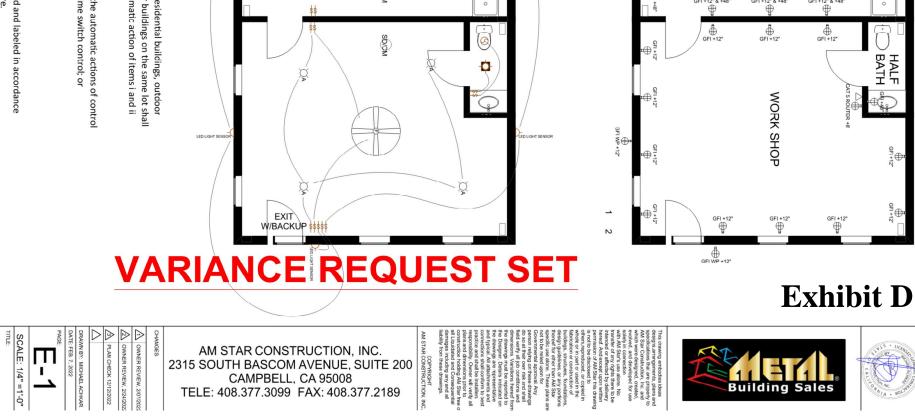
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| | | | tor File 14 | DOUITEOTUS | | nor Elect | ooner Revision 3.pln | | | | | | | | | | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------|--------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|--|
| | ~ | 16) SMOKE DETECTORS ARE TO BE LOCATED IN EACH SLEEPING AREA, HALLWAYS LEADING TO SLEEPING AREAS, AND AT THE TOP AND BOTTOM OF STAIRS. SMOKE DETECTORS IN NEW AREAS ARE TO BE HARD WIRED W/BATTERY BACKUP. SMOKE DETECTORS IN EXISTING AREAS MAY BE BATTERY OPERATED | | 14) DEDICATED RECEPTACLE CIRCUITS - PROVIDE [1] MIN. DEDICATED 20 AMP RECEPTACLE CIRCUIT AT [N] BATHROOMS AND [N] LAUNDRY. PROVIDE [2] MIN. DEDICATED 20 AMP RECEPTACLES CIRCUITS AT [N] KITCHEN. | 13) ALL NEW RECEPTACLES AT KITCHENS AND BATHS ARE TO BE GFI PROTECTED. KITCHEN RECEPTACLES ARE TO BE SPACED 4' MAX. APART. [JON]. EACH COUNTER AREA 12" OR WIDER IS TO HAVE AN OUTLET. | 12) IN ALL AREAS SPECIFIED IN 210.52, ALL 125 VOLT, 15-20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. | 11) COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN ALL BEDROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS. | 10) INSTALL GENERAL RECEPTACLES AT ANY WALL 2' OR MORE WIDE AND SPACE 8' cc HORIZONTAL. MAX. [UON]. | 9) BATHS WITH SHOWERS OR TUB SHOWER ARE TO HAVE BATH FANS DUCTED TO THE EXTERIOR. BATH FANS ARE TO HAVE TIMER SWITCHES AND BE SWITCHED SEPARATELYFROM ANY LIGHTING SYSTEM. | REQUIRED LANDING AND SHALL BE SHIELDED FIXTURES THAT FOCUS LIGHT DOWNWARD. | SWITCHED LOW EFFICIENCY W/MOTION AND PHOTO CONTROL PER CEES §150K[6]. EXTERIOR LIGHTING FIXTURES SHALL NOT BE LOCATED MORE THAN 9' ABOVE ADJACENT GRADE OR | 8) EXTERIOR LIGHTING SHALL BE HIGH EFFICACY OR | BE IC JINSULATION COVERJ LABELED AND AT [AIR TIGHT] RATED. | 6) RECESSED LIGHT FIXTURES AT INSULATED AREAS ARE TO | 5) ALL NEW HIGH EFFICACY LUMINARIES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICIENCY LUMINARIES. | 4) NEW PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND CLOSETS SHALL BE HIGH EFFICIENCY. | 3) GENERAL LIGHTING - NEW LUMINARIES IN ALL AREAS EXCEPT THE KITCHEN, BATHS OR CLOSETS ARE TO BE CONTROLLED BY DIMMERS. | 2) KITCHEN LIGHTING - ALL NEW PERMANENTLY INSTALLED LUMINARIES IN THE KITCHEN SHALL. BE HIGH EFFICIENCY. | T) VERTETS STATE AND LOCATION OF ALL LIGHT FIX TURES, SWITCHES, OUTLETS AND COMMUNICATION-JACKS WITH OWNER OR DESIGNER PRIOR TO ROUGH-IN INSTALLATION. | ELECTRICAL NOTES | |
| | Joint for the second second second second second for the light located in a barmoon, laundry room, utility room, and garage must be controlled by an occupant or vacancy sensor providing automatic-off functionality, it shall be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C. | California Electrical Code Article CEC 210.70(/ t shall be installed in every habitable room, de or entrances or exits. | Electric water heater shall require a disconnecting means within sight from the appliance or shall have a rated switch or circuit breaker capable of being locked in the open position. [CEC Article 422.31(B)] | icle 406.12 whic ptacles in garage garages). | installation of a branch circuit overcurrent protection device, the service panel or subpanel directory shall identify the overcurrent protection device space(s) reserved for future EV charging as "EV CAPABLE", the raceway termination location shall be permanently and visibly marked as "EV CAPABLE". | raceway shall originate at the main service or subpanel and shall terminate at a listed cabinet or box in close proximity to the proposed location of the EV charger, the raceway is required to be continuous at enclosed, inaccessible, or concealed spaces, the service panel or subpanel shall provide capacity to install a 40 ampere dedicated branch circuit and space(s) reserved to permit | Per 2019 California Green Building Standards Code Section 4.106.4, all new construction shall comply with Section 4.106.4.1 to facilitate future installation and use of EV chargers, electric vehicle supply equipment (EVSE) shall be installed in accordance with the California electrical Code Article 625, install a listed raceway to accommodate a dedicated 208/240 volt branch circuit, the raceway shall not be less than trade size 1 (nominal 1 inch inside diameter), the | CAT 5 | THERMOSTAT FIP=FIREPLACE FAU= FORCED AIR UNIT | DOOR BELL | | TELEVISION (2) | | | RECESSED 100 CFM [UON] EXHAUST FAN W/TIMER SWITCH | FIXTURE - HE = HIGH EFFICIENC | CEILING MOUNTED LIGHT FIXTURE - FL = FLUORESCENT, HE = HIGH EFFICIENCY | FM = FLOOR MOUNTED WP= WATER PROOF GFI= GROUND FAULT INTER | WALL MOUNTED 110V DUPLEX OUTLET | ELECTRICAL SYMBOL | |
| 2019 CRC R309.4 The automatic garage door opener shall be listed ar with UL 325, and per CA SB-969 shall have a battery backup feature. | by a photocell with a motion sensor or an automatic time ii: Controlled by an astronomical time clock control. | lighting permanently mounted to a residential building or to other builde be controlled by a manual on and off switch that permits the automat below, and shall meet the requirements of either item i or item ii: i: Controlled by a manual on and off switch that permits the automate item ii: | 2019 California Energy Code Section 150.0(k)(3)(A), single family resid | | EXIT W/BACKUP | | MODS NOT | Å Å | Pero Lion | T SENSOR | POWER PLAN | PANEL AT HOUSE. 75 AMP | RUN 2" SCH, 40 CONDUIT | | GFI +12* & +4 | | GARAGE | GFI 14 ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ | Guine do | | |

Page 7 of 10

ELECTRIC

ed and labeled in accordance



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GFI +12*

GFI +12*

GFI +12*

GFI +12'

TANKLESS WH 220V

HANVAH SPOONER GAFAGE 185 SNOW CREST RD. LOS GATOS, CA95033 (608)448-6620 APN: 088-211-32

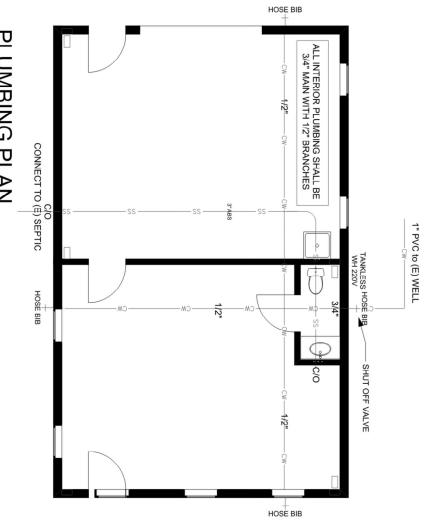
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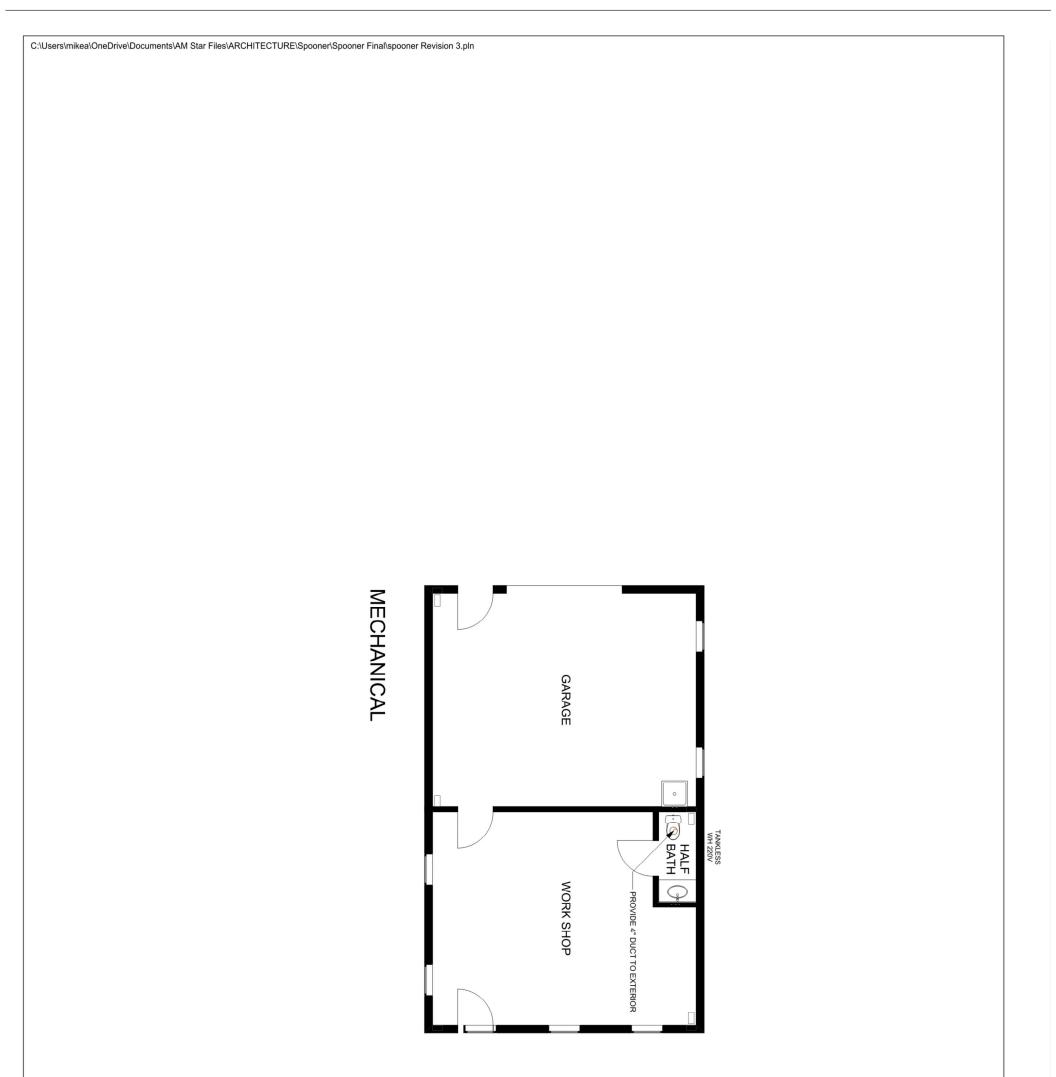
PLUMBING PLAN

VARIANCE REQUEST SET

Page 8 of 10



Exhibit D



SCALE: 1/4" =1'-0"

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MECH.

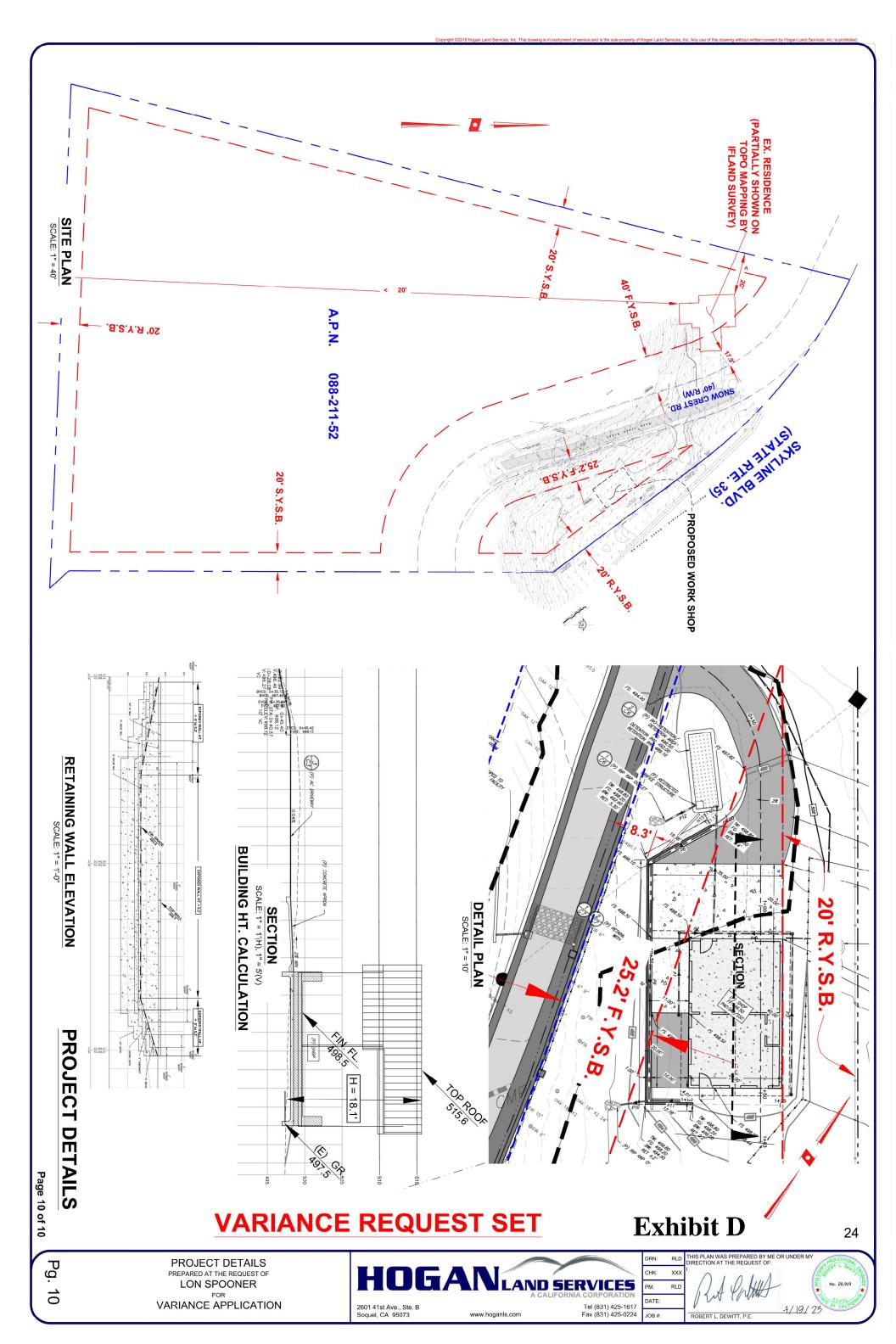
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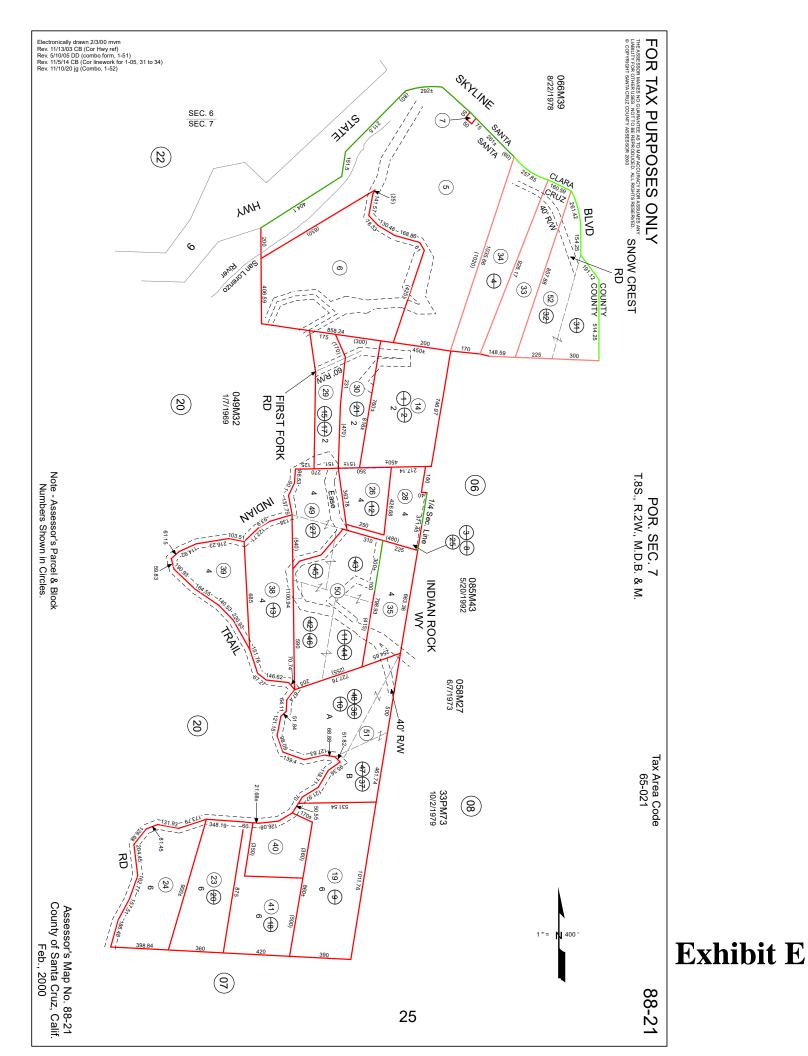
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VARIANCE REQUEST SET







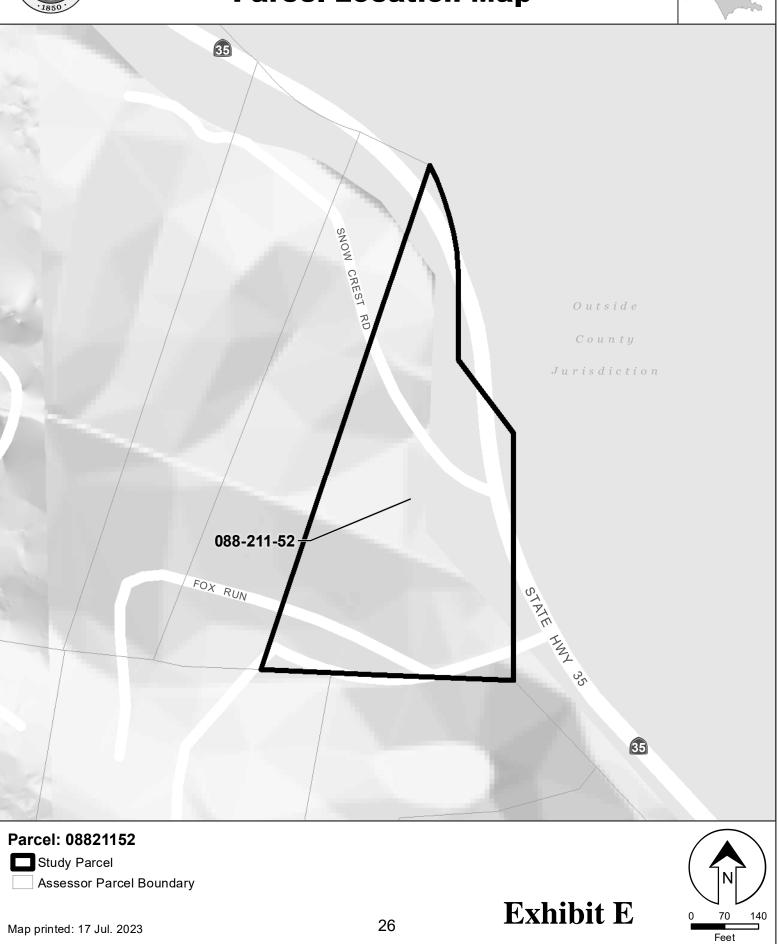




Mapped

Area

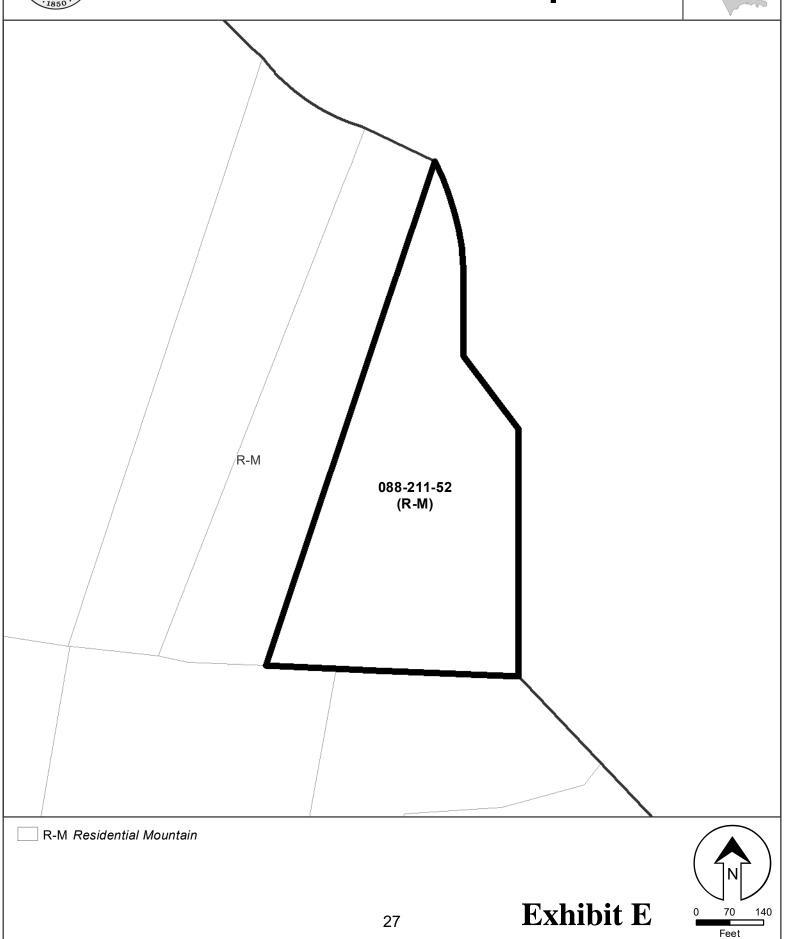
Parcel Location Map





Mapped Area

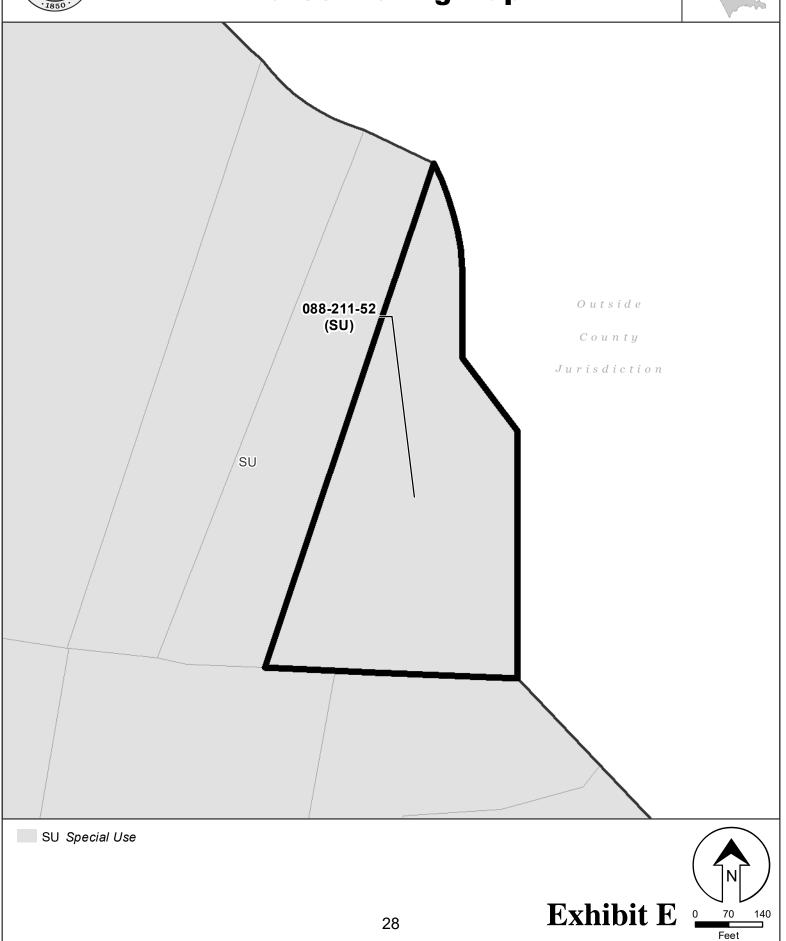
Parcel General Plan Map





Mapped Area

Parcel Zoning Map



Parcel Information

Services Information

| Urban/Rural Services Line: | Inside <u>X</u> Outside |
|----------------------------|--------------------------------------------|
| Water Supply: | NA/well |
| Sewage Disposal: | septic |
| Fire District: | Santa Cruz County Fire Protection District |
| Drainage District: | Not in a drainage district |

Parcel Information

| Parcel Size: | | | | | | |
|----------------------------------|----------------------------|--|--|--|--|--|
| Existing Land Use - Parcel: | residential | | | | | |
| Existing Land Use - Surrounding: | residential | | | | | |
| Project Access: | Snow Crest Road | | | | | |
| Planning Area: | Skyline | | | | | |
| Land Use Designation: | R-M (Mountain Residential) | | | | | |
| Zone District: | SU (Special Use) | | | | | |
| Coastal Zone: | Inside X Outside | | | | | |
| Appealable to Calif. Coastal | <u>Yes</u> <u>X</u> No | | | | | |
| Comm. | | | | | | |

Technical Reviews: NA

Environmental Information

| Geologic Hazards: | Not mapped/no physical evidence on site |
|--------------------|-----------------------------------------|
| Fire Hazard: | State Response Area - High |
| Slopes: | Majority greater than 50% |
| Env. Sen. Habitat: | Not mapped/no physical evidence on site |
| Grading: | No grading proposed |
| Tree Removal: | No trees proposed to be removed |
| Scenic: | Not a mapped resource |
| Archeology: | Project outside of mapped areas |