



## Staff Report to the Zoning Administrator

Application Number: **221356**

---

**Applicant:** Courtney Hughes

**Owner:** Martin Toeller

**APN:** 045-091-02

**Site Address:** 160 Mar Monte Avenue

**Agenda Date:** 8/4/23

**Agenda Item #:** 3

**Time:** After 9:00 a.m.

**Project Description:** Proposal to construct a 768 square foot detached, single-story accessory structure (garage with workshop) on site with an existing single-family dwelling.

**Location:** Property located on the northern side of Mar Monte Avenue (160 Mar Monte Avenue), approximately 380 feet west of the intersection of Mar Monte Avenue and Robak Drive in La Selva Beach.

**Permits Required:** Requires a Development Permit for a non-habitable accessory structure that exceeds the 640 square foot size limit within the Urban/Rural Services Line; a Variance to increase the building height from 13 feet to 17 feet; a Notice of Coastal Exclusion; and a determination that the project is exempt from further review under the California Environmental Quality Act (CEQA).

**Supervisory District:** Second District (District Supervisor: Zach Friend)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 221356, based on the attached findings and conditions.

### Project Description & Setting

The property is located in the La Selva General Plan Boundary Area, on the northern side of Mar Monte Avenue and is bounded by a private cul-de-sac that extends from Mar Monte Avenue along the southern property boundary with access to the property from Mar Monte Avenue. Mar Monte Avenue, which to the east of the subject property is bordered by steep slopes, turns southwards and upslope just west of the parcel so that the property is located at the low point for the surrounding area. The property itself, which is long and narrow in shape, gently slopes down in a southwesterly direction towards the cul-de-sac and is mapped within an area containing potential Long-Toed Salamander habitat and also potential habitat for the San Francisco Dusky-Footed Woodrat. To the south and east the parcel is bordered by residentially zoned parcels and to the north lies a large rural parcel that is zoned for Commercial Agriculture. The property is located within the Coastal Zone, and, except for the far western corner, which is designated as a scenic

area, is in the Residential Exclusion Area.

The project proposes construction of a 768 square foot detached, single-story accessory structure (garage with workshop) that is located on the eastern side of the parcel, to the right of the current driveway, which is screened by tall bushes from Mar Monte Avenue. The property is located within the Rural Services line, therefore per County Code 13.10.611(C)(3), non-habitable accessory structures are limited to a maximum size of 640 square feet and garages are further limited to a maximum height of 13 feet. Therefore, a Site Development Permit is required to allow for the proposed 786 square foot structure and a Variance is required to permit an increased height of 17 feet. In addition, because the proposed project is located within the Residential Exclusion Area of the Coastal Zone, a Notice of Coastal Exclusion is required. This Notice has been sent to the Coastal Commission.

### **Zoning & General Plan Consistency**

The subject property is a 38,027 square foot lot, located in the R-1-9 (Single-Family Residential, minimum 9,000 square feet per unit) zone district, a designation which allows residential uses. The proposed non-habitable accessory structure is a permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Residential, Low Density) General Plan designation.

Per County Code 1310.611(C)(3), non-habitable accessory structures within the urban/rural services line are allowed with a building permit only for structures of up to 640 square feet and not exceeding 13 feet in height. Since the proposed project is exceeding both of those constraints, a Site Development Permit and Variance are being requested in support of this project.

The project site is located in potential habitat for Santa Cruz Long-Toes Salamander and San Francisco Dusky-Footed Woodrat, therefore a Biotic Report review was conducted and finalized on June 13, 2022, in accordance with the requirements as set out in County Code 16.32 Sensitive Habitat Protection. The conditions included in the Biotic Approval were incorporated into the proposed project plans and the proposed location was found to not disturb sensitive areas since the gravel driveway and ruderal area where the proposed non-habitable structure is located are not suitable upland habitat for salamanders and does not impact the dusky-footed woodrat nest on the parcel. Construction of the project will follow all biotic conditions included in the Biotic Report.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **221356**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available**

**for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

Report Prepared By: Alexandra Corvello  
Santa Cruz County Planning  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3209  
E-mail: [Alexandra.corvello@santacruzcounty.us](mailto:Alexandra.corvello@santacruzcounty.us)

### **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 221356

Assessor Parcel Number: 045-091-02

Project Location: 160 Mar Monte Avenue, Watsonville, CA 95076

**Project Description: Proposal to construct a 768 square foot detached, single-story accessory structure (garage with workshop) on site with an existing single-family dwelling**

**Person or Agency Proposing Project: William Fisher Architecture Attn: Courtney Hughes**

**Contact Phone Number: 831.457.0246**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 3 (15303) – New Construction or Conversion of Small Structures

**F. Reasons why the project is exempt:**

Construction of a non-habitable residential accessory structure (garage/workshop) in an area designated for residential uses.

In addition, in accordance with the Biotic Report dated June 13, 2022, prepared in support of the project, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Alexandra Corvello, Project Planner

Date: \_\_\_\_\_

## **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses, including related accessory structures such as garages and workshops that are a principally permitted use in the zone district. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the 768 square foot non-habitable accessory structure, which includes a garage and workshop, and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-9 (Single-Family Residential, 9,000 square foot minimum lot size) zone district as the primary use of the property will be one single-family dwelling with a residential zone district, a designation which allows for the construction and use of non-habitable accessory structures. The proposed project results in the addition of a non-habitable accessory structure, (garage/workshop) which is allowed per County Code 13.10.322. With the approval of a Variance in accordance with the provisions of County Code 13.10.230, and a Site Development Permit as allowed under County Code 13.10.611(C)(3), the proposed project will comply with all site and development standards for the R-1-9 zone district standards, as recommended by staff, to allow for the structure to be over 13 feet in height and greater than 640 square feet within the Urban/Rural Services Line area respectively.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Residential-low density, urban) land use designation in the County General Plan.

The proposed garage and workshop will be located roughly in the center of the property, and approximately 280 feet from the closest neighboring dwelling, with bushes that will screen it in views from Mar Monte Avenue. Further, the proposed project will meet all required setbacks for the zone district. The proposed garage/workshop, with the approval of a Variance to allow for an increase in height from 13 feet to 17 feet, meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance). As such, the garage/workshop will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties and will not adversely shade adjacent properties.

Although the structure will exceed 640 square feet in size and will have an increased height of 17 feet, the proposed non-habitable structure will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes). This is because the proposed garage/workshop will, with the approval of a Variance to allow for increased height, comply with the site standards for the R-1-9 zone district (including setbacks, lot coverage, floor area ratio, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity. A Site Development Permit for an increase in size from 640 square feet to 768 square feet is justified due to the overall size and rural character of the lot. In rural areas non-habitable accessory structures of up to 1,000 square feet are allowed, subject only to the issuance of a building permit. The subject parcel is located immediately adjacent to a 79 acre rural parcel, and has an area of 0.87 acres, such that, even with the addition of a non-habitable accessory structure that exceeds 640 square feet, the parcel will have both a floor area ratio and lot coverage under 10% where 50% and 40% respectively, are allowed. A complete list of Variance findings is included with this report in support of the increased height of the structure from 13 feet to 17 feet.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed non-habitable structure is to be constructed on an existing residentially developed lot. No additional traffic is expected to be generated by the proposed project, which therefore will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed non-habitable structure will be consistent with the land use intensity and density of the neighborhood. The proposed structure utilizes cedar wooden siding and a green color roof to blend into the surrounding natural environment and to match the existing single-family dwelling on the parcel.

## Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Due to the topography and slope of the parcel the height of the structure, when measured to the lowest surrounding grade, exceeds 13 feet, a situation that would not apply on a level building site. In addition, the shape of the parcel is long and narrow and as such there is insufficient land area to attach this accessory structure at the existing single-family dwelling. If attached, the structure would not be limited to 13 feet in height and would be subject to the 28-foot height limit allowed for dwellings located in the R-1-9 zone district. Further, on rural parcels, accessory structures are allowed to have a height of 28 feet. Given the restricted building area, the topography of the site and the semi-rural nature of the parcel, the increase in the height of the structure from 13 feet to 17 feet is appropriate and will result in a garage/workshop that will be in character structures that could be constructed on similar neighboring parcels within the rural services line. Therefore, this finding can be made.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made, since the proposed non-habitable structure will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties in the vicinity and will comply with all current setbacks for the R-1-9 zone district. Though the project proposes an increase in the height of the structure from 13 feet to 17 feet, the structure will be lower than surrounding residential structures and will be screened from public views by existing mature vegetation. In addition, the garage/workshop been designed using materials and colors to blend with the surrounding environment as well as to match the existing single-family dwelling. Therefore, the proposed increased height is not expected to be materially detrimental to public health safety or welfare, or injurious to property or improvements in the vicinity.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

The proposed project will not constitute a grant of special privileges in that, although the structure will exceed the height limitation placed on detached garages, the proposed garage/workshop will comply with all site standards for the zone district, including the maximum 28-foot height limit as allowed for dwellings and for attached garages. It further complies with the height limit for garages that would apply on the immediately adjacent rural parcel. Overall, the proposed project is within the range of styles found in the vicinity and is consistent with the density and intensity of development in the surrounding area. Further, several Variances have been approved on properties in the surrounding neighborhood. These include Variance 01-0079 on APN 045-381-05, located at 415 Altivo Ave and Variance 06-0431 on APN 045-351-02 located at 115 Margarita Rd, both approving reduced setbacks. For this project a Variance is required to allow for a minor increase in height on a site that is

constrained by its narrow width, the location of the existing dwelling and its topography. Therefore, the request for additional height is in alignment with other Variance approvals in the neighborhood and this finding can therefore be made.



## Conditions of Approval

Exhibit D: Project plans, prepared by William Fisher Architecture, dated 5/22/23.

- I. This permit authorizes the construction of a 768 square foot non-habitable accessory structure (garage/workshop) as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
  - D. Obtain an Encroachment Permit from the Department of Public Works for any off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.

3. Grading, drainage, and erosion control plans, as required.
  4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 17 feet.
  5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
  - C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
  - D. Comply with all required conditions for development as set out in the June 13, 2022, Biotic Report prepared by Bryan Mori Biological Consulting Services
  - E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
  - F. Complete and record a Declaration of Restriction to construct a 768 square foot non-habitable accessory structure (garage and workshop). **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the

discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

#### IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

#### V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the

owner and the successor'(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

---

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

# NEW DETACHED GARAGE

160 MAR MONTE AVE.  
WATSONVILLE, CA 95076  
APN: 045-091-02



William Fisher Architecture, Inc.

303 Potrero Street, #42-304, Santa Cruz, California 95060  
(831) 457-0246 bill@modern-architecture.com  
modern-architecture.com

TITLE SHEET

NEW DETACHED GARAGE  
MARTIN TOELLER  
160 MAR MONTE AVE.  
WATSONVILLE, CA 95076  
APN: 04509102

Revision Schedule	
Rev. No.	Date

05/22/2023

A0.0

EXHIBIT D

## PROJECT NOTES

DONT SCALE THE DRAWINGS.

STUDY THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS BEFORE BIDDING OR DOING WORK ON THIS PROJECT. IMMEDIATELY REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR UNCLEAR DIRECTIONS. THE ARCHITECT WILL EVALUATE THE PROBLEM AND MAKE A WRITTEN INTERPRETATION.

NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATIONS OR VARIATIONS FROM THE DRAWINGS OR SPECIFICATIONS SHOWN HEREIN.

DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISH MATERIALS.

DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, OR FROM CENTER LINES AS INDICATED, U.N.O.

\*ALIGN\* MEANS TO LOCATE FINISHED FACES IN SAME PLANE.

\*APPROVED\* MEANS, UNLESS INDICATED OTHERWISE BY THE ARCHITECT, APPROVED IN WRITING BY THE ARCHITECT.

\*AS DIRECTED\* OR \*AS INDICATED\* MEANS AS DESCRIBED EITHER VERBALLY OR IN WRITING BY THE ARCHITECT. \*AS INDICATED\* NORMALLY REFERS TO AN ITEM EXPLAINED IN THE CONTRACT.

\*THE CONTRACTOR\* REFERS TO THE GENERAL CONTRACTOR, NOT HIS SUBCONTRACTORS.

\*PROVIDE\* MEANS THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.

"UNLESS NOTED OTHERWISE", "UNO", OR "UNLESS INDICATED OTHERWISE" MEANS THAT THE ITEM DESCRIBED IS TYPICAL AS SHOWN EXCEPT AS WHERE SPECIFICALLY CALLED OUT AS DIFFERENT.

"VERIFY" MEANS, UNLESS INDICATED OTHERWISE BY THE ARCHITECT, TO OBTAIN WRITTEN VERIFICATION OF THE ITEM OR METHOD INDICATED FROM THE ARCHITECT. THIS VERIFICATION MIGHT INCLUDE ELABORATION OR EXPLANATION BY THE ARCHITECT REQUIRING A MORE COMPLEX CONSTRUCTION SOLUTION THAN MIGHT BE ASSUMED BY READING THE DRAWING WITHOUT THE VERIFICATION, THEREFORE PLEASE MAKE VERIFICATIONS AS EARLY AS POSSIBLE BEFORE BIDDING THE WORK. APPROVED SHOP DRAWINGS DO NOT CONSTITUTE VERIFICATION.

ANY ERROR, OMISSION, OR OTHER CONFLICT BETWEEN THESE DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS RESOLUTION AS SOON AS IT IS DISCOVERED.

INFORM THE ARCHITECT IMMEDIATELY IF THE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DON'T SEEM TO COMPLY WITH CURRENT APPLICABLE LAWS, CODES, OR REGULATIONS.

THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY OF ANY DEVIATIONS OR VARIATIONS FROM THE DRAWINGS OR SPECIFICATIONS.

OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, RULES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, AND LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.

U.N.O., APPLY, INSTALL, CONNECT, ERECT, CLEAN, AND CONDITION PRODUCTS PER THEIR MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS.

VERIFY WITH MANUFACTURERS THEIR EQUIPMENT REQUIREMENTS (FOR INSTANCE, STRUCTURAL BLOCKING OR SUPPORT, ELECTRICAL OR MECHANICAL REQUIREMENTS, ETC.). OBTAIN EQUIPMENT SPECIFICATIONS FROM MANUFACTURER(S) TO HELP ENSURE PROPER FIT AND OPERATION.

SURVEY FIELD CONDITIONS AND VERIFY FEASIBILITY OF INDICATED WORK, FOR INSTANCE LOCATIONS OF OUTLETS IN RELATION TO STRUCTURAL ELEMENTS.

DISCONNECT, CUT BACK TO THEIR SOURCE, AND CAP UTILITIES TO BE REMOVED. SEAL PENETRATIONS AND OTHER DAMAGE CREATED BY UTILITY REMOVAL TO MATCH ADJACENT CONSTRUCTION AND FINISHES. NOTIFY ARCHITECT IMMEDIATELY OF UTILITIES DETERMINED DURING CONSTRUCTION AS NECESSARY TO BE REMOVED WHICH HAVE NOT BEEN SO DESIGNATED IN THE CONTRACT DOCUMENTS. REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH THE ARCHITECT.

INSTALL HORIZONTAL FRAMING CROWN UP TYPICALLY. PROVIDE S4S DOUGLAS FIR FRAMING LUMBER TYPICALLY: #1 OR BETTER GRADE FOR HORIZONTAL MEMBERS OR RAFTERS, #2 OR BETTER GRADE FOR VERTICAL MEMBERS. BLOCKING AND OTHER INCIDENTAL NON-STRUCTURAL ITEMS MAY BE STUD GRADE OR BETTER.

USE LOW/NO VOC PAINT. EXCEED MANDATORY REQUIREMENTS PER CBC TABLES 4.504

DUCTS TO BE COVERED DURING CONSTRUCTION

HERS TESTING REQUIRED, SEE ENERGY DOCUMENTS

ANY NEW ROOF SHALL BE NO LESS THAN CLASS "B" RATED ROOF.

BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ONSITE DURING INSPECTIONS.

RECYCLE MINIMUM 80% JOB SITE CONSTRUCTION & DEMOLITION WASTE

A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLED AND/OR SALVAGED.

REQUIRED COMPLIANCE WITH THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## PROJECT INFORMATION

PROJECT DESCRIPTION:  
768 SQ FT NEW DETACHED, SINGLE STOREY ACCESSORY GARAGE WITH WORKSHOP.

ZONING: R-1-9  
OCCUPANCY GROUP: U  
CONSTRUCTION TYPE: VB  
NOT SPRINKLERED

**PARCEL**  
38028 SQ FT

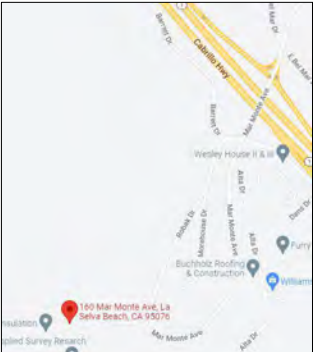
**AREA**  
(N) DETACHED GARAGE: 768 SQ FT  
(E) MAIN RESIDENCE: 1722 SQ FT  
(E) ATTACHED GARAGE: 506  
TOTAL: 2996 SQ FT

**LOT COVERAGE** (7.3% COVERED, 2789 SQ FT)  
EXISTING: 2021 SQ FT  
PROPOSED: 768 SQ FT

**FAR** (7.3% COVERED, 2996 SQ FT)  
EXISTING: 2,228 SQ FT  
PROPOSED: 768 SQ FT  
GARAGE CREDIT: -225 SQ FT

**URBAN SERVICE LINE**  
OUTSIDE OF USL  
MAX UNIT SIZE: 1000 SQ FT  
MAX UNIT HEIGHT: 28 FT

## PROJECT LOCATION

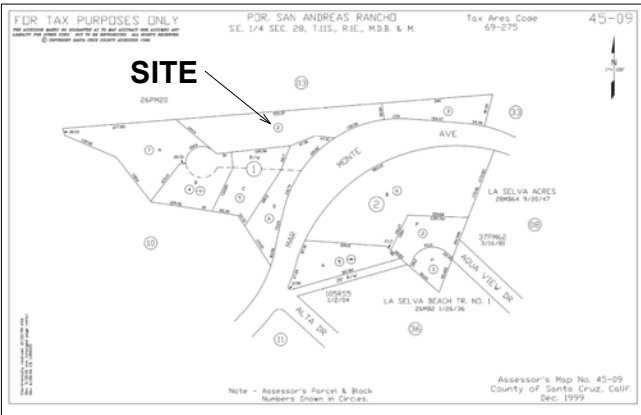


VICINITY MAP (NOT TO SCALE)

### DIRECTIONS:

FROM HWY CA-1, TAKE EXIT 431.  
TURN RIGHT ON LA SELVA DRIVE.  
TURN LEFT ON MAR MONTE AVENUE.  
160 WILL BE ON THE RIGHT HAND SIDE.

ADDRESS:  
160 MAR MONTE AVENUE  
WATSONVILLE, CA 95076



PARCEL MAP (NOT TO SCALE)



SCENIC RESOURCE AREA OVERLAY (NOT TO SCALE)

## PROJECT DIRECTORY

**OWNER**  
MARTIN TOELLER  
1609 CRATER LAKE AVE.  
MILPITAS, CA 95035  
(408) 761-2577  
MTOELLER@YAHOO.COM

**ARCHITECT**  
WILLIAM FISHER ARCHITECTURE, INC.  
COURTNEY HUGHES  
603 FRONT STREET  
SANTA CRUZ, CA 95060  
(858) 945-2298  
COURTNEY@MODERN-ARCHITECTURE.COM

**LAND SURVEYOR**  
HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
(408) 842-2173

**LAND USE CONSULTANT**  
DAVID LAUGHLIN  
DLAUGHLIN@GOLD.COM  
1614 KING STREET  
SANTA CRUZ  
(831) 345-2214  
(831) 426-2130

**BIOLOGIST**  
BRYAN MORI BIOLOGICAL CONSULTING SERVICES  
BRYAN MORI  
1016 BREWINGTON AVE.  
WATSONVILLE, CA 95076  
(831) 728-1043  
MORIS4WILDLIFE@EARTHLINK.NET

**CIVIL ENGINEER, STORMWATER**  
RAMSEY CIVIL ENGINEERING, INC.  
2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
GREG STEIN, PROJECT ENGINEER  
CELL: (857) 191-8725  
GREG@RAMSEYCE.COM

### SHEET LIST

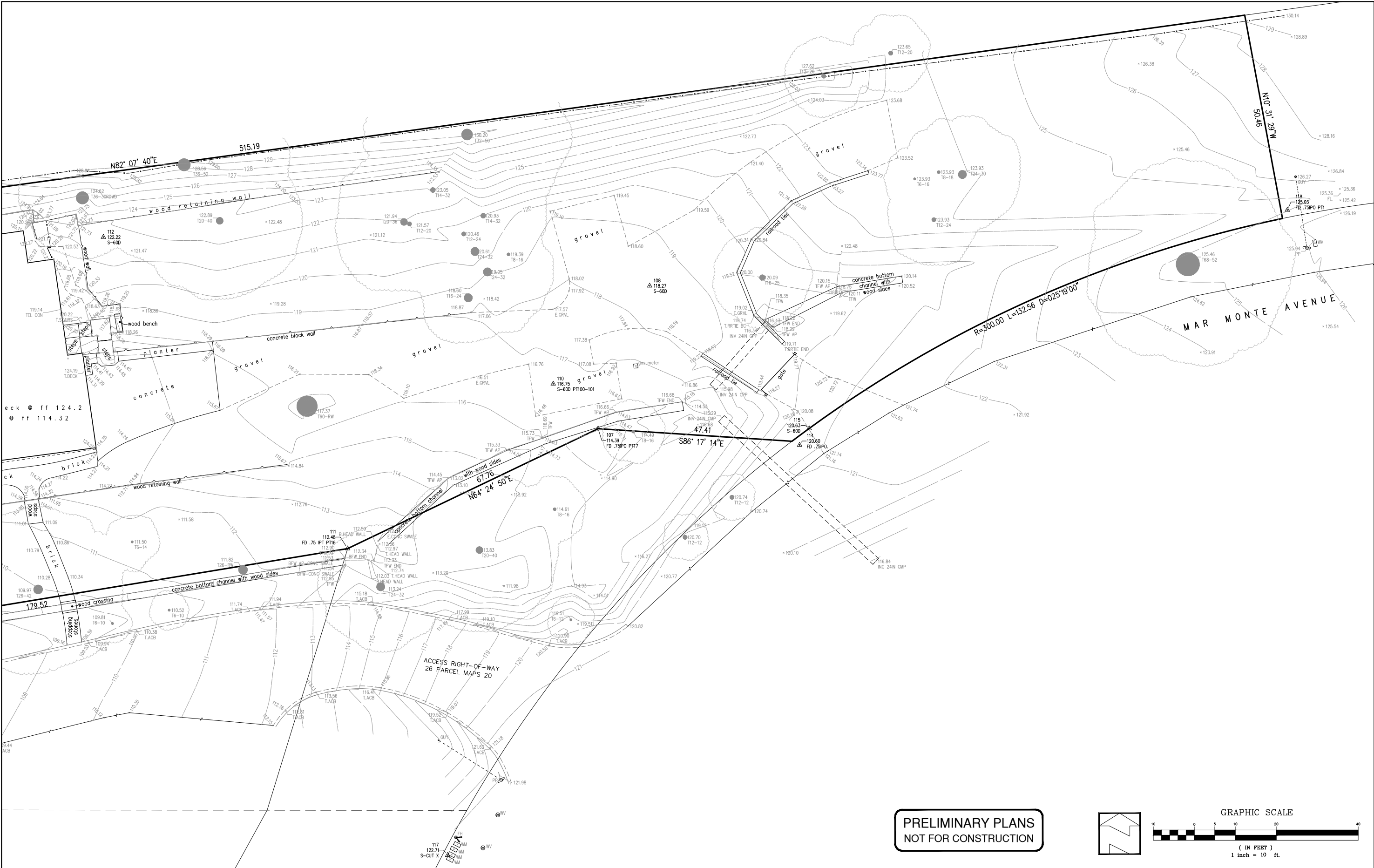
A0.0	TITLE SHEET
LU 1	SURVEY
LU 2	SURVEY
A1.0	CONDITIONS OF APPROVAL & EXISTING SITE PLAN
A1.1	SITE PLAN CALLOUT
A1.2	ELEVATIONS, SECTION, FLOOR & ROOF PLANS
C1.0	COVER SHEET
C2.0	SITE PLAN
C3.0	GRADING & DRAINAGE PLAN
C3.1	SECTIONS
C4.0	DETAILS
C5.0	EROSION CONTROL PLAN & DETAILS

The site plan illustrates a residential development on a sloping lot. Key features include:

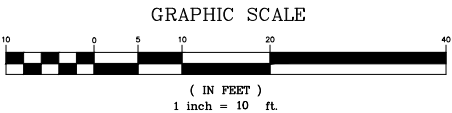
- House:** Located in the upper left, with a footprint of 121'-0" x 100'-6". It includes a water heater and a tree house.
- Tree House:** Situated near the main house, with a footprint of 115'-0" x 113'-8".
- Wood Deck & Garage:** A large structure in the center-right, with a wood deck at 124.2' and a garage at 114.32'. It includes a brick wall, wood retaining wall, and concrete steps.
- Retaining Walls:** Multiple wood retaining walls are shown along the upper and right boundaries, as well as a concrete block wall and a concrete bottom channel with wood sides.
- Channels:** A concrete bottom channel with wood sides runs along the right boundary, and a concrete lined inlet swale is located near the bottom left.
- Elevations:** Numerous spot elevations are provided throughout the plan, ranging from 102.32 to 124.64. Contour lines are drawn at 1-foot intervals.
- Structural Details:** The plan includes details for a shower, a landing, a wood bench, a planter, and a wood crossing.
- Access:** An access right-of-way is shown along the bottom left boundary, with a 26-foot width.
- Scale & Orientation:** A graphic scale bar indicates 1 inch = 10 feet. A north arrow is located in the bottom left corner.
- Disclaimer:** A box at the bottom center states "PRELIMINARY PLANS NOT FOR CONSTRUCTION".

# EXHIBIT D

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PRELIMINARY PLANS  
NOT FOR CONSTRUCTION



REVISIONS:		
DATE	DESCRIPTION	BY:

**HANNA-BRUNETTI**  
CIVIL ENGINEERS • LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 EUGLEBERRY STREET • GILROY • 95020 • CALIFORNIA  
OFFICE (408) 842-2173 • FAX (408) 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: MARCH 2021  
HORIZ. SCALE: 1"=10'  
VERT. SCALE: NONE  
DESIGNED BY: AM  
CHECKED BY:  
DRAWN BY: T.M.

15

REFERENCES

UNINCORPORATED  
MARCH 2021

Topography Map  
160 Mar Monte Avenue - apn 045-091-02

SANTA CRUZ COUNTY  
CALIFORNIA

SHEET
2
OF 2
JOB NO. 21006

EXHIBIT D



CONDITIONS OF APPROVAL

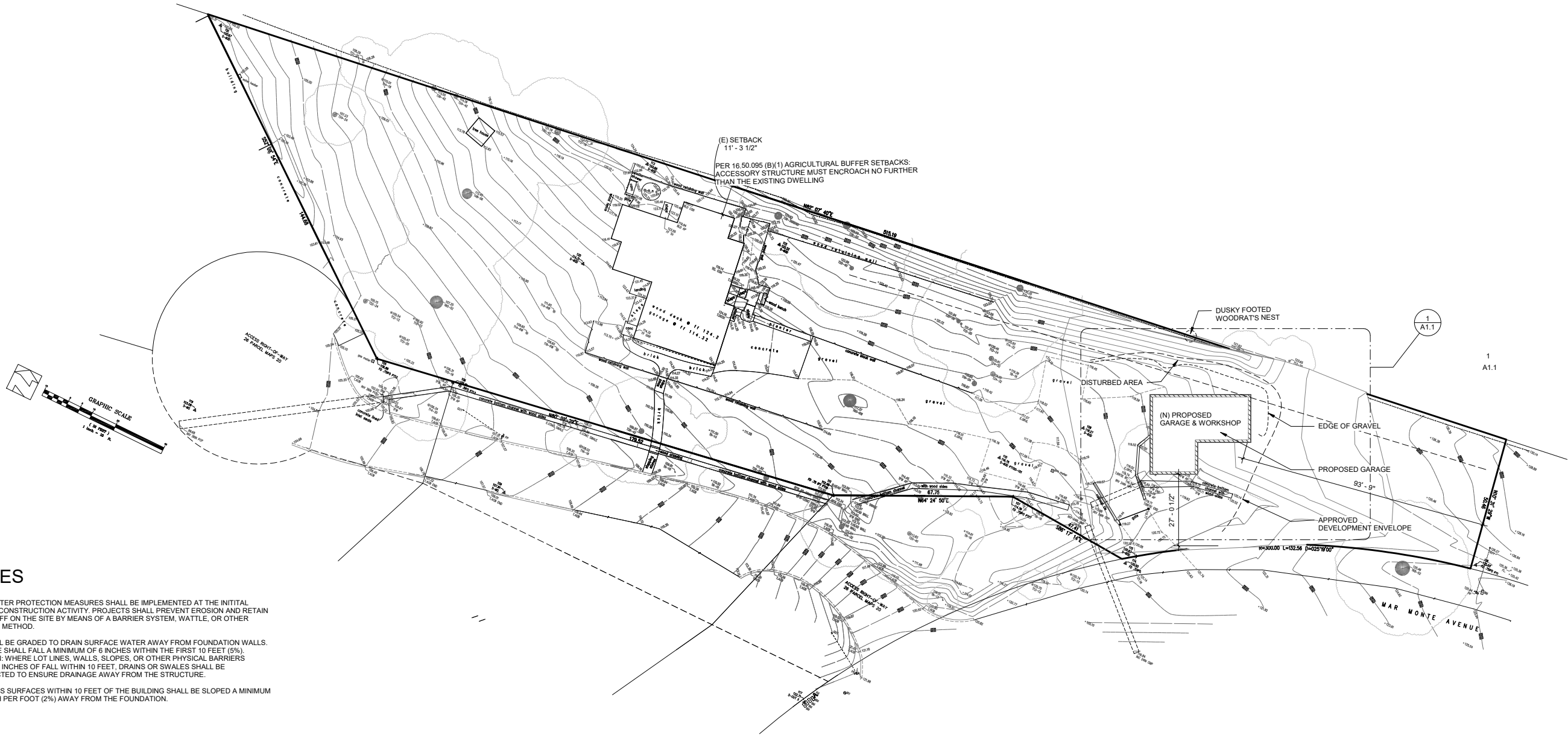
IN ORDER TO CONDUCT DEVELOPMENT ACTIVITIES ON PARCEL 045-091-02, AND AVOID IMPACTS TO SENSITIVE HABITATS AND SPECIAL-STATUS SPECIES, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:

- A. THE FINAL DEVELOPMENT ENVELOPE, INCLUDING THE GARAGE, WORKSHOP, AND ASSOCIATED SITE IMPROVEMENTS (I.E., GRADING, BUILDINGS, UTILITIES, AND LANDSCAPING), SHALL BE RESTRICTED TO THE EXISTING GRAVEL DRIVEWAY, GRAVEL PARKING AREAS, AND BARE OR RUDERAL AREAS IMMEDIATELY ADJACENT TO THE GRAVEL PARKING AREAS PICTURED IN FIGURE 3 OF THE ATTACHED BIOLOGICAL ASSESSMENT.
- B. ALL AREAS OUTSIDE OF THE APPROVED DEVELOPMENT ENVELOPE, INCLUDING OAK WOODLAND HABITAT AND THE EPHEMERAL DRAINAGE, SHALL BE LABELED ON THE DEVELOPMENT PLANS AS SENSITIVE HABITAT, AND AVOIDED DURING CONSTRUCTION.
- C. THE PROJECT DESIGN SHALL AVOID INSTALLATION OF CURBS AS MUCH AS POSSIBLE. ANY FEATURES REQUIRED FOR PROJECT APPROVAL RELATED TO STORMWATER RUNOFF SUCH AS CURBS, GUTTERS, DRAINAGE BASINS ETC. SHALL BE DESIGNED, WITH THE HELP OF A QUALIFIED BIOLOGIST, SO THAT SANTA CRUZ LONG-TOED SALAMANDERS CANNOT BECOME TRAPPED OR IMPEDED DURING DISPERSAL.
- D. ALL PROJECT CONSTRUCTION RELATED ACTIVITIES INCLUDING TRENCHING AND EXCAVATION, FOUNDATION WORK, FRAMING, SIDING, AND ROOFING SHALL OCCUR DURING THE DRY SEASON. THE DRY SEASON SHALL BE DEFINED AS THE TIME PERIOD BETWEEN APRIL 15 AND THE FIRST OVERNIGHT RAIN OF THE FALL SEASON (2 MM OR GREATER) OR OCTOBER 15 WHICHEVER OCCURS FIRST.
1. NO PROJECT RELATED ACTIVITIES SHALL BE ALLOWED BETWEEN OCTOBER 16TH AND APRIL 14TH.
2. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE AT NIGHT OR DURING RAIN EVENTS. CONSULT WEATHER FORECASTS FROM THE NATIONAL WEATHER SERVICE AT LEAST 72 HOURS PRIOR TO PERFORMING WORK.
3. ALL CONSTRUCTION-RELATED DEBRIS SHOULD BE REMOVED BEFORE THE ONSET OF WINTER RAINS.
4. IF, DURING THE APPROVED CONSTRUCTION SEASON, A RAIN EVENT IS PREDICTED TO OCCUR, FOLLOWING SHALL BE IMPLEMENTED IMMEDIATELY.
- A. 48 HOURS PRIOR TO THE PREDICTION OF RAINFALL, ENCIRCLE THE ENTIRE PERIMETER OF THE WORK AREA WITH EXCLUSION FENCING TO PREVENT WILDLIFE FROM TRESPASS INTO THE WORK AREA. STANDARD SILT FENCE MATERIAL CAN BE USED FOR THE EXCLUSION FENCE. THE SILT FENCE SHOULD BE BURIED A MINIMUM 6 INCHES BELOW GRADE. IF AN ENTRANCE IS NEEDED FOR WORKERS OR MACHINERY TO PASS, PLACE A REMOVABLE MINIMUM 6 INCHES TALL WOOD PLANK ACROSS THE GAP AND SECURE WITH STAKES OR REBAR. THE REMOVABLE BARRIER MUST BE IN PLACE AT THE END OF EACH WORK DAY. THE INSTALLATION OF THE FENCE SHOULD BE CHECKED BY A QUALIFIED WILDLIFE BIOLOGIST TO ENSURE APPROPRIATE INSTALLATION OR TO IMPLEMENT RECOMMENDATIONS FOR IMPROVEMENT.
5. IF AN UNEXPECTED RAIN EVENT OCCURS AT ANY TIME DURING CONSTRUCTION, THE PROJECT DISTURBANCE AREA SHALL BE INSPECTED BY A QUALIFIED BIOLOGIST PRIOR TO RE-COMMENCEMENT OF CONSTRUCTION.
- E. A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED PRIOR TO ANY SITE DISTURBANCE. THE PURPOSE OF THE MEETING WILL BE TO ENSURE THAT THE CONDITIONS SET FORTH IN THE PROPOSED PROJECT DESCRIPTION AND PERMIT REQUIREMENTS ARE COMMUNICATED TO THE VARIOUS PARTIES RESPONSIBLE FOR CONSTRUCTING THE PROJECT. THE MEETING SHALL INVOLVE ALL RELEVANT PARTIES INCLUDING THE PROJECT PROPONENT, CONSTRUCTION SUPERVISOR, ENVIRONMENTAL PLANNING STAFF, AND PROJECT BIOLOGIST.
- F. PRIOR TO COMMENCEMENT OF CONSTRUCTION EVERY INDIVIDUAL WORKING ON THE PROJECT MUST ATTEND BIOLOGICAL AWARENESS TRAINING BY A QUALIFIED BIOLOGIST PRIOR TO WORKING ON THE JOB SITE. THE TRAINING SHALL INCLUDE AT MINIMUM INFORMATION REGARDING THE FOLLOWING:

1. LOCATION AND IDENTIFICATION OF SENSITIVE HABITATS AND ALL SPECIAL-STATUS SPECIES WITH POTENTIAL TO OCCUR IN THE PROJECT AREA INCLUDING INFORMATION SPECIFIC TO IDENTIFYING SCLTS.
2. THE IMPORTANCE OF AVOIDING IMPACTS TO SPECIAL-STATUS SPECIES AND THEIR HABITAT, AND THE STEPS NECESSARY IF ANY SPECIAL-STATUS SPECIES IS ENCOUNTERED AT ANY TIME.
3. BEST MANAGEMENT PRACTICES TO BE IMPLEMENTED, IDENTIFICATION OF THE LIMITS OF WORK, AND PROJECT-SPECIFIC AVOIDANCE MEASURES AND PERMIT CONDITIONS THAT MUST BE FOLLOWED.
- G. PRIOR TO CONSTRUCTION, A QUALIFIED BIOLOGIST SHALL IDENTIFY THE LIMITS OF CONSTRUCTION (APPROVED DEVELOPMENT ENVELOPE) IN THE FIELD AND ASSIST IN INSTALLING HIGH VISIBILITY CONSTRUCTION FENCING OR FLAGGING AROUND THE LIMITS OF WORK TO PREVENT INADVERTENT GRADING OR OTHER DISTURBANCE WITHIN SENSITIVE HABITATS. NO WORK-RELATED ACTIVITY INCLUDING EQUIPMENT STAGING, VEHICULAR ACCESS, GRADING SHALL BE ALLOWED OUTSIDE OF THE LIMITS OF WORK. ALL SENSITIVE HABITAT AREAS SHALL BE AVOIDED DURING CONSTRUCTION.
1. REMOVAL OF VEGETATION FOR DEFENSIBLE SPACE REQUIREMENTS AND HABITAT RESTORATION ACTIVITIES MAY OCCUR BY HAND IN THE OAK WOODLAND HABITAT SURROUNDING THE DEVELOPMENT ENVELOPE AS OUTLINED IN CONDITIONS P AND Q BELOW.
- H. WITHIN 72 HOURS PRIOR TO THE START OF CONSTRUCTION, A QUALIFIED BIOLOGIST SHALL PERFORM A PRE-CONSTRUCTION SURVEY FOR SCBS. THE PRE-CONSTRUCTION SURVEY SHALL FOCUS ON SEARCHING BENEATH COVER OBJECTS, SUCH AS ROCKS, PIECES OF DOWNED WOOD, BOARDS, ETC., WITHIN THE LIMITS OF THE PROJECT DISTURBANCE AREA. IF THIS SPECIES IS FOUND IN THE WORK AREA, INDIVIDUALS SHALL BE RELOCATED TO A SAFE LOCATION IN SUITABLE HABITAT OUTSIDE OF THE WORK AREA BY A QUALIFIED BIOLOGIST WHO POSSESS THE PROPER AUTHORIZATIONS FROM CDFW TO HANDLE THIS SPECIES.
- I. DURING PROJECT CONSTRUCTION, NO EXPOSED TRENCHES OR OPEN PITS SHALL BE LEFT OVERNIGHT.
- J. A QUALIFIED BIOLOGIST SHALL BE PRESENT AT THE PROJECT SITE DURING INITIAL GRADING ACTIVITIES AND VEGETATION/TREE REMOVAL. SUBSEQUENT CONSTRUCTION MONITORING CAN BE PERFORMED BY THE DESIGNATED MONITOR. A SINGLE PERSON ON THE JOBSITE SHALL BE DESIGNATED FOR DAILY MONITORING ACTIVITIES WHICH SHALL INCLUDE:
1. CHECKING UNDER ALL EQUIPMENT FOR WILDLIFE BEFORE USE
2. ENSURING THAT AT THE END OF EACH WORK DAY, ALL EXCAVATIONS SHALL BE SECURED WITH A COVER, OR A RAMP INSTALLED TO PREVENT WILDLIFE ENTRAPMENT.
3. ALL TRENCHES, PIPES, CULVERTS OR SIMILAR STRUCTURES SHALL BE INSPECTED FOR ANIMALS PRIOR TO BURYING, CAPPING, MOVING, OR FILLING.
4. INSPECTING AND MAINTAINING LOCATION OF PROTECTIVE FENCING/FLAGGING
- K. IF A SPECIAL-STATUS SPECIES IS IDENTIFIED AT ANY TIME PRIOR TO OR DURING CONSTRUCTION, WORK SHALL CEASE IMMEDIATELY IN THE VICINITY OF THE INDIVIDUAL AND THE PROJECT BIOLOGIST CONTACTED TO DETERMINE NEXT STEPS. THE ANIMAL SHALL EITHER BE ALLOWED TO MOVE OUT OF HARM'S WAY ON ITS OWN OR A QUALIFIED BIOLOGIST SHALL MOVE THE ANIMAL OUT OF HARM'S WAY TO A SAFE RELOCATION SITE.
- L. IF A SCLTS IS IDENTIFIED AT ANY TIME PRIOR TO OR DURING CONSTRUCTION, WORK SHALL CEASE IMMEDIATELY IN THE VICINITY OF THE INDIVIDUAL, AND USFWS, CDFW, AND COUNTY ENVIRONMENTAL PLANNING SHALL BE NOTIFIED IMMEDIATELY. THE ANIMAL SHALL BE ALLOWED TO MOVE OUT OF HARM'S WAY ON ITS OWN. CAPTURING AND HANDLING SCLTS IS NOT PERMITTED UNLESS A PROJECT-SPECIFIC TAKE PERMIT HAS BEEN OBTAINED FROM USFWS. ONLY BIOLOGISTS SPECIALLY APPROVED BY USFWS ARE ALLOWED TO PARTICIPATE IN ACTIVITIES ASSOCIATED WITH SURVEYING, CAPTURING, HANDLING, AND MONITORING OF SCLTS.

- M. TO PROTECT SAN FRANCISCO DUSKY-FOOTED WOODRAT, A QUALIFIED BIOLOGIST SHALL IMPLEMENT THE FOLLOWING PROTECTION MEASURES:
1. WITHIN TWO WEEKS PRIOR TO COMMENCEMENT OF DEVELOPMENT ACTIVITIES, A QUALIFIED BIOLOGIST SHALL SURVEY THE PROJECT DISTURBANCE AREA TO IDENTIFY ANY WOODRAT NEST LOCATIONS THAT MAY BE AFFECTED BY THE PROPOSED DEVELOPMENT. ALL WOODRAT HOUSES WITHIN THE CONSTRUCTION IMPACT AREA AND IMMEDIATE SURROUNDINGS SHALL BE CLEARLY FLAGGED.
2. IF NO WOODRAT NESTS ARE FOUND DURING THE SURVEY, NO FURTHER AVOIDANCE AND MINIMIZATION MEASURES FOR THIS SPECIES ARE NECESSARY.
3. IF WOODRAT HOUSES ARE FOUND, THE CONSTRUCTION CONTRACTOR SHALL AVOID THE HOUSES BY INSTALLING A MINIMUM 25-FOOT BUFFER WITH PROTECTIVE FENCING OR OTHER MATERIAL THAT SHALL PROHIBIT ENCROACHMENT. A REDUCTION IN THE SIZE OF THIS BUFFER, OR ENCROACHMENT INTO THIS BUFFER, MAY BE ALLOWED IF THE BIOLOGIST DETERMINES THAT MICROHABITAT CONDITIONS SUCH AS SHADE, COVER AND ADJACENT FOOD SOURCES CAN BE RETAINED.
4. IF AVOIDANCE OF WOODRAT HOUSES IS NOT POSSIBLE, A QUALIFIED BIOLOGIST SHALL DEVELOP AND IMPLEMENT A WOODRAT RELOCATION PLAN TO BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE PLAN SHALL BE DEVELOPED IN CONSULTATION WITH CDFW AND SHALL INCLUDE THE FOLLOWING:
- I. TRAPPING AND RELOCATION ACTIVITIES SHALL BE CONDUCTED DURING THE MONTHS OF AUGUST – SEPTEMBER WHEN THE SPECIES IS ACTIVE AND YOUNGS ARE ABLE TO DISPERSE ON THEIR OWN. TRAPPING EFFORTS SHALL NOT TAKE PLACE DURING LOW NIGHT TEMPERATURES (BELOW 40 DEGREES FAHRENHEIT), INCLEMENT OR EXTREME WEATHER CONDITIONS.
- II. IF NO SAN FRANCISCO DUSKY-FOOTED WOODRATS ARE CAPTURED AT A GIVEN HOUSE, IT SHALL BE DISMANTLED BY HAND TO GROUND LEVEL, AND THE WOODY DEBRIS SPREAD TO REDUCE REBUILDING.
- III. FOR OCCUPIED HOUSES, THE EXISTING WOODRAT HOUSE SHALL BE DISMANTLED AND THE WOODY DEBRIS, INCLUDING CACHED FOOD AND NESTING MATERIAL, CARRIED TO THE NEAREST SUITABLE RELOCATION SITE OUTSIDE THE PROJECT FOOTPRINT AND USED TO BUILD AN ARTIFICIAL SHELTER.
- IV. SITES FOR ARTIFICIAL SHELTERS SHALL BE LOCATED AS NEAR AS POSSIBLE TO THE ORIGINAL HOUSE LOCATION AND NO CLOSER THAN 20 FEET FROM EXISTING WOODRAT HOUSES AND OTHER ARTIFICIAL SHELTERS. CHOOSE THE BEST AVAILABLE MICROHABITAT, IDEALLY IN A LOCATION WITH SUN AND SHADE AND IF POSSIBLE UNDER THE SAME SPECIES OF TREE OR SHRUB AS WAS PRESENT AT THE ORIGINAL HOUSE LOCATION. RELOCATION SITES SHALL CONTAIN BIOLOGICALLY-SUITABLE HABITAT FEATURES (E.G. STANDS OF POISON OAK, COAST LIVE OAKS, AND DENSE NATIVE BRUSH).
- V. WHEN RELEASING WOODRATS, THE OCCUPIED LIVE-TRAP SHALL BE PLACED AGAINST THE ENTRANCE TO THE ARTIFICIAL SHELTER, OPENED, AND THE WOODRAT ALLOWED TO ENTER, IDEALLY ON ITS OWN ACCORD. AFTER THE INDIVIDUAL ENTERS, THE ENTRANCE SHALL BE LOOSELY BUT COMPLETELY PLUGGED WITH DIRT AND LEAF DUFF TO ENCOURAGE IT TO STAY, AT LEAST FOR THE SHORT-TERM.
- VI. IF OCCUPIED HOUSES WERE RELOCATED, MONITORING SHALL BE CONDUCTED FOR 30 DAYS AFTER RELOCATION IS COMPLETED AND INCLUDE INFRARED AND MOTION ACTIVATED CAMERAS (OR OTHER APPROVED MONITORING METHODS) AND AN OCCUPANCY ASSESSMENT. A REPORT ON SAN FRANCISCO DUSKY-FOOTED WOODRAT NEST MONITORING SHALL BE PROVIDED TO CDFW AND COUNTY ENVIRONMENTAL PLANNING WITHIN 30 DAYS FOLLOWING THE END OF THE MONITORING PERIOD AND SHALL INCLUDE THE METHODS AND RESULTS OF TRAPPING AND RELOCATION, OCCUPANCY DETERMINATIONS, AND DISCUSSION OF ANY REMEDIES THAT MAY BE NEEDED.

- N. TO AVOID IMPACTS TO NESTING BIRDS:
1. IF REMOVAL OF VEGETATION, GRADING ACTIVITY, OR OTHER USE OF HEAVY EQUIPMENT BEGINS OUTSIDE OF THE FEBRUARY 1 TO AUGUST 31 BREEDING SEASON, THERE WILL BE NO NEED TO CONDUCT A PRECONSTRUCTION SURVEY FOR ACTIVE NESTS.
2. TREES INTENDED FOR REMOVAL SHALL BE REMOVED DURING THE PERIOD OF SEPTEMBER 1ST THROUGH JANUARY 31ST, TO AVOID THE NESTING SEASON.
3. IF REMOVAL OF VEGETATION, GRADING ACTIVITY, OR OTHER USE OF HEAVY EQUIPMENT IS TO COMMENCE BETWEEN FEBRUARY 1ST AND AUGUST 31ST, A SURVEY FOR ACTIVE BIRD NESTS SHALL BE CONDUCTED BY A QUALIFIED BIOLOGIST WITHIN TWO WEEKS PRIOR TO THE START OF SUCH ACTIVITY. THE SURVEY AREA SHALL INCLUDE THE PROJECT AREA, AND A SURVEY RADIUS AROUND THE PROJECT AREA OF 50 FEET FOR MBTA BIRDS AND 250 FEET FOR BIRDS OF PREY.
4. IF NO ACTIVE NEST OF A BIRD OF PREY OR MBTA BIRD IS FOUND, THEN NO FURTHER AVOIDANCE AND MINIMIZATION MEASURES ARE NECESSARY.
5. IF ACTIVE NEST(S) OF MBTA BIRDS OR BIRDS OF PREY ARE FOUND IN THE SURVEY AREA, AN AVOIDANCE BUFFER OF 50 FEET FOR MBTA BIRDS AND 250 FEET FOR BIRDS OF PREY SHALL BE ESTABLISHED AROUND THE ACTIVE NEST(S). THE BIOLOGIST SHALL MONITOR THE NEST AND ADVISE THE APPLICANT WHEN ALL YOUNG HAVE FLEDGED THE NEST. REMOVAL OF VEGETATION, GRADING ACTIVITY, OR OTHER USE OF HEAVY EQUIPMENT MAY BEGIN AFTER FLEDGING IS COMPLETE.
6. IF THE BIOLOGIST DETERMINES THAT A SMALLER AVOIDANCE BUFFER WILL PROVIDE ADEQUATE PROTECTION FOR NESTING BIRDS, A PROPOSAL FOR ALTERNATIVE AVOIDANCE/PROTECTIVE MEASURES, POTENTIALLY INCLUDING A SMALLER AVOIDANCE BUFFER AND CONSTRUCTION MONITORING, MAY BE SUBMITTED TO CDFW FOR REVIEW AND APPROVAL PRIOR TO REMOVAL OF VEGETATION, GRADING ACTIVITY, OR OTHER USE OF HEAVY EQUIPMENT.
7. IF REMOVAL OF VEGETATION, GRADING ACTIVITY, OR OTHER USE OF HEAVY EQUIPMENT STOPS FOR MORE THAN TWO WEEKS DURING THE NESTING SEASON (FEBRUARY 1ST - AUGUST 31ST) A NEW SURVEY SHALL BE CONDUCTED PRIOR TO RE-COMMENCEMENT OF CONSTRUCTION.
8. IF THE MONTEREY CYPRESS TREE CANNOT BE AVOIDED DURING CONSTRUCTION, REMOVAL OF THIS TREE SHALL BE COMPENSATED FOR BY PLANTING 3 NATIVE REPLACEMENT TREES ON SITE.
- P. VEGETATION TRIMMING AROUND THE PERIMETER OF THE COMPLETED STRUCTURE SHALL BE ALLOWED FOR HUMAN SAFETY, AS REQUIRED BY OFFICIAL FIRE AGENCY RECOMMENDATIONS, BUT MUST BE PERFORMED WITH HAND TOOLS ABOVE GRADE (I.E., NO GROUND DISTURBANCES) USING METHODS OUTLINED IN CONDITION Q BELOW. ANY SIGNIFICANT VEGETATION REMOVAL OR SOIL DISTURBANCE REQUIRED OUTSIDE OF THE APPROVED DEVELOPMENT ENVELOPE SHALL REQUIRE ADDITIONAL BIOTIC REVIEW WITH THE COUNTY OF SANTA CRUZ AND CONSULTATION WITH CDFW AND USFWS.
- Q. TO COMPLY WITH SANTA CRUZ COUNTY GENERAL PLAN POLICY 5.1.12, NON-NATIVE SPECIES (BROOM VINCA, AND EUCALYPTUS) IN THE OAK WOODLAND HABITAT SURROUNDING THE PROPOSED DEVELOPMENT AREA SHALL BE REMOVED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST.
1. TARGET AREAS FOR NON-NATIVE SPECIES REMOVAL SHALL BE IDENTIFIED BY A QUALIFIED BIOLOGIST AND APPROVED BY ENVIRONMENTAL PLANNING STAFF PRIOR TO IMPLEMENTATION. THIS WORK SHALL BE INSPECTED AND APPROVED BY ENVIRONMENTAL PLANNING STAFF PRIOR TO FINAL BUILDING INSPECTION.
2. ALL VEGETATION REMOVAL INCLUDING REMOVAL OF TRIMMINGS RESULTING FROM THE PROJECT SHALL BE CONDUCTED BY HAND IN A MANNER THAT RESULTS IN NEGLIGIBLE TO NO SURFACE SOIL DISTURBANCE AND NO HABITAT LOSS.
3. SOIL DISTURBANCE ASSOCIATED WITH FOOT TRAFFIC AND REMOVAL OF CUT BRANCHES AND DEBRIS SHALL BE AVOIDED OR MINIMIZED AS MUCH AS POSSIBLE WITHIN SENSITIVE HABITAT AREAS.
4. EUCALYPTUS STUMPS LEFT IN PLACE SHALL BE TREATED TO PREVENT RE-SPROUTING.

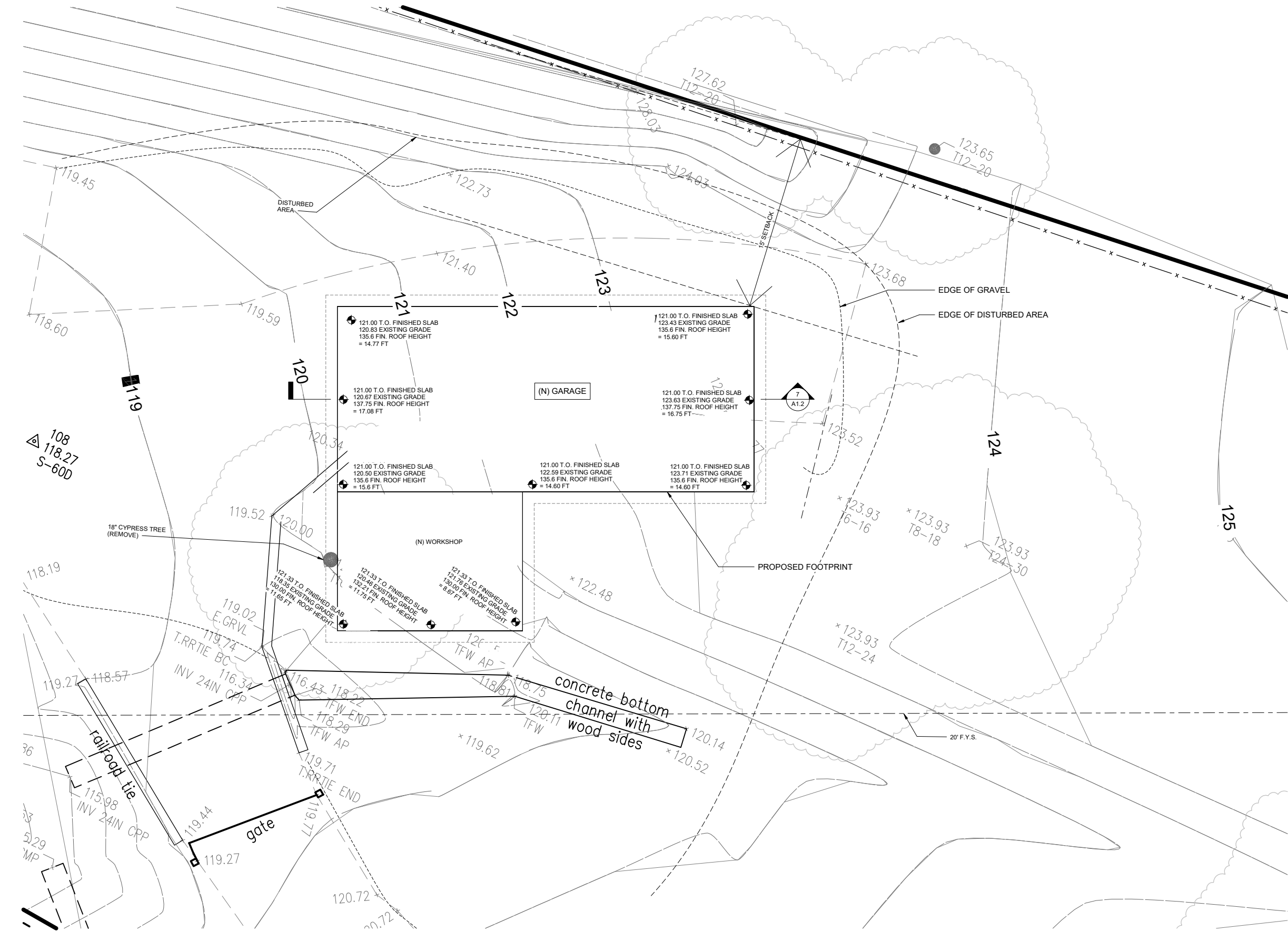


NOTES

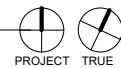
- STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL STAGE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE BY MEANS OF A BARRIER SYSTEM, WATTLE, OR OTHER APPROVED METHOD.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%). EXCEPTION: WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4 INCH PER FOOT (2%) AWAY FROM THE FOUNDATION.

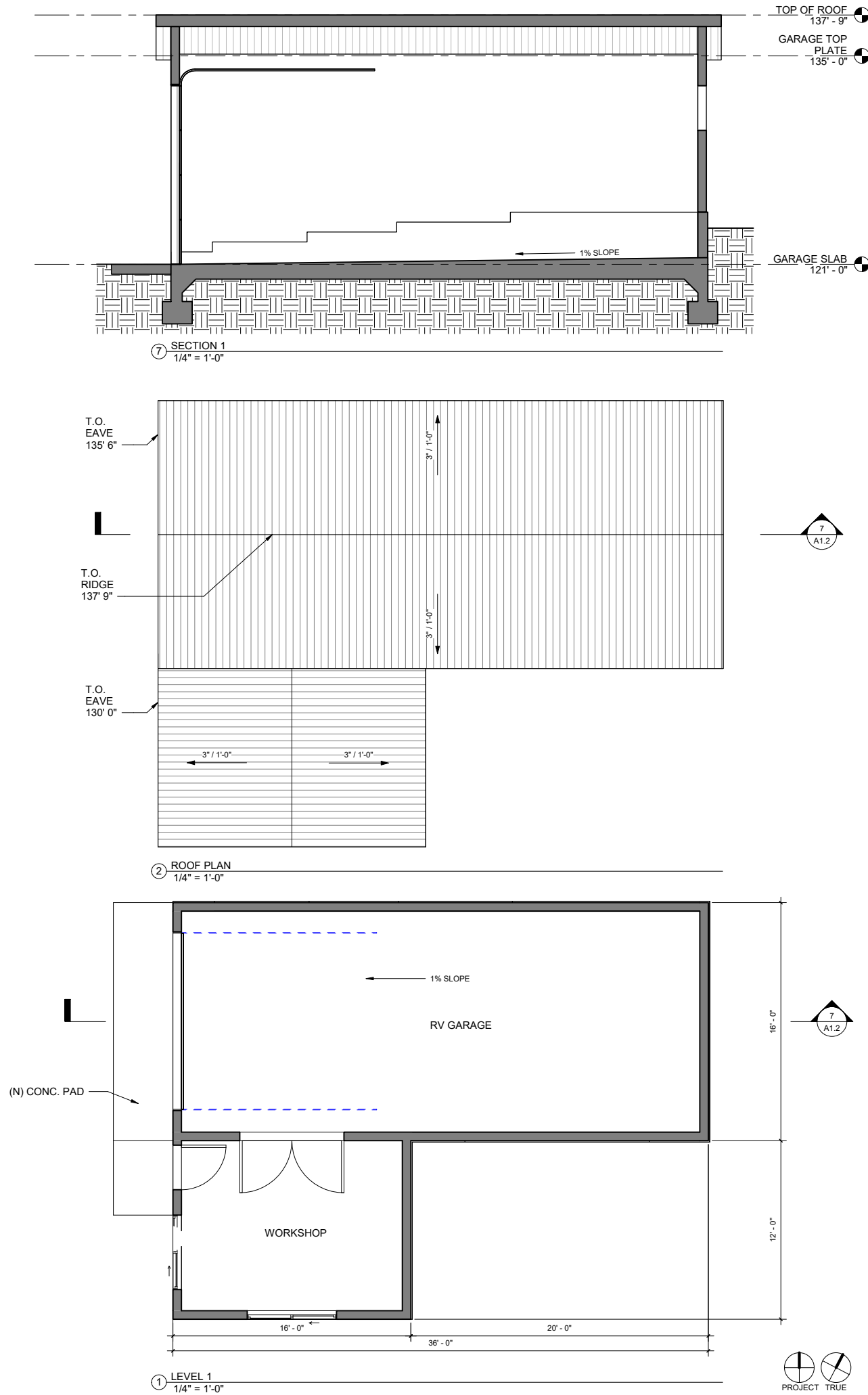
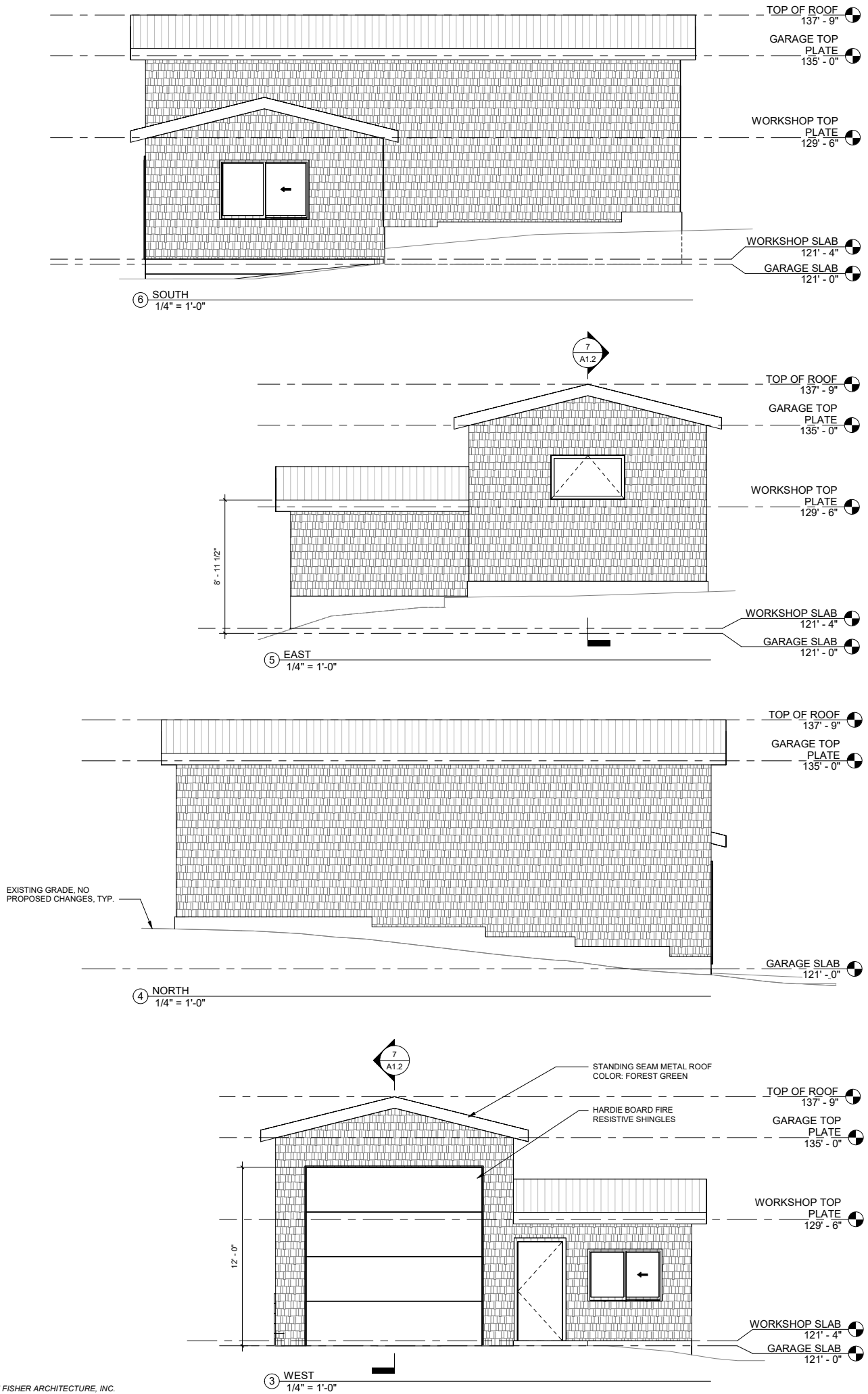
1 EXISTING SITE PLAN  
1" = 20'-0"





1 SITE PLAN - CALLOUT  
1/4" = 1'-0"





IMPROVEMENT PLANS  
FOR  
TOELLER RESIDENCE - GARAGE  
160 MAR MONTE AVENUE  
WATSONVILLE, CALIFORNIA



VICINITY MAP  
N.T.S.

SANTA CRUZ COUNTY GENERAL NOTES

- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
- UNLESS OTHERWISE AGREED UPON WITH THE COUNTY OF SANTA CRUZ, WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
- A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
- ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.
- UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
- PRIOR TO CONSIDERATION FOR FORMAL COUNTY ACCEPTANCE OF THE IMPROVEMENTS, AS-BUILT PLANS WILL BE PREPARED BY COUNTY STAFF. ANY CHANGES FROM THE IMPROVEMENT PLANS NOT PREVIOUSLY APPROVED BY THE DEPARTMENT OF PUBLIC WORKS WILL REQUIRE NEGOTIATION AND ADJUSTMENT TO THE SATISFACTION OF THE COUNTY.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
- PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
- THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- CIVIL ENGINEER OF RECORD, SHALL INSPECT THE DRAINAGE IMPROVEMENTS ON THE PARCEL AND PROVIDE PUBLIC WORKS WITH A LETTER CONFIRMING THAT THE WORK WAS COMPLETED PER THE PLANS. AS-BUILT PLANS, STAMPED BY THE CIVIL ENGINEER, MAY BE PROVIDED IN LIEU OF SAID LETTER.

SURVEY

SURVEY FOR THIS PROJECT PROVIDED BY HANNAH-BRUNETTI, JOB NO. 21006, DATED MARCH, 2021.

BENCHMARK

ELEVATIONS ARE BASED ON NGS BM 227 (GU4236) AND CONVERTED TO NAVD 88.

BENCHMARK ELEVATION = 172.11'

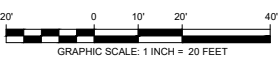
BASIS OF BEARINGS

BASIS OF BEARINGS IS CALCULATED BETWEEN POINTS 124 AND 126 (FOUND IRON PIPES) AND PER VOLUME 26 PARCEL MAPS PAGE 20, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS: N82°04'13"E

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.3	SECTIONS
C5.0	DETAILS
C6.0	EROSION CONTROL PLAN & DETAILS



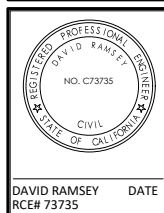
DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	05/19/2023
SCALE:	AS NOTED
PROJECT NO:	23-026
SHEET:	C1.0

COVER SHEET

TOELLER RESIDENCE - GARAGE  
160 MAR MONTE AVENUE, WATSONVILLE, CA, 95076

PLAN TYPE  
RESIDENTIAL

APN# 045-091-02



DAVID RAMSEY DATE  
RCE# 73735

RAMSEY  
CIVIL ENGINEERING INC.

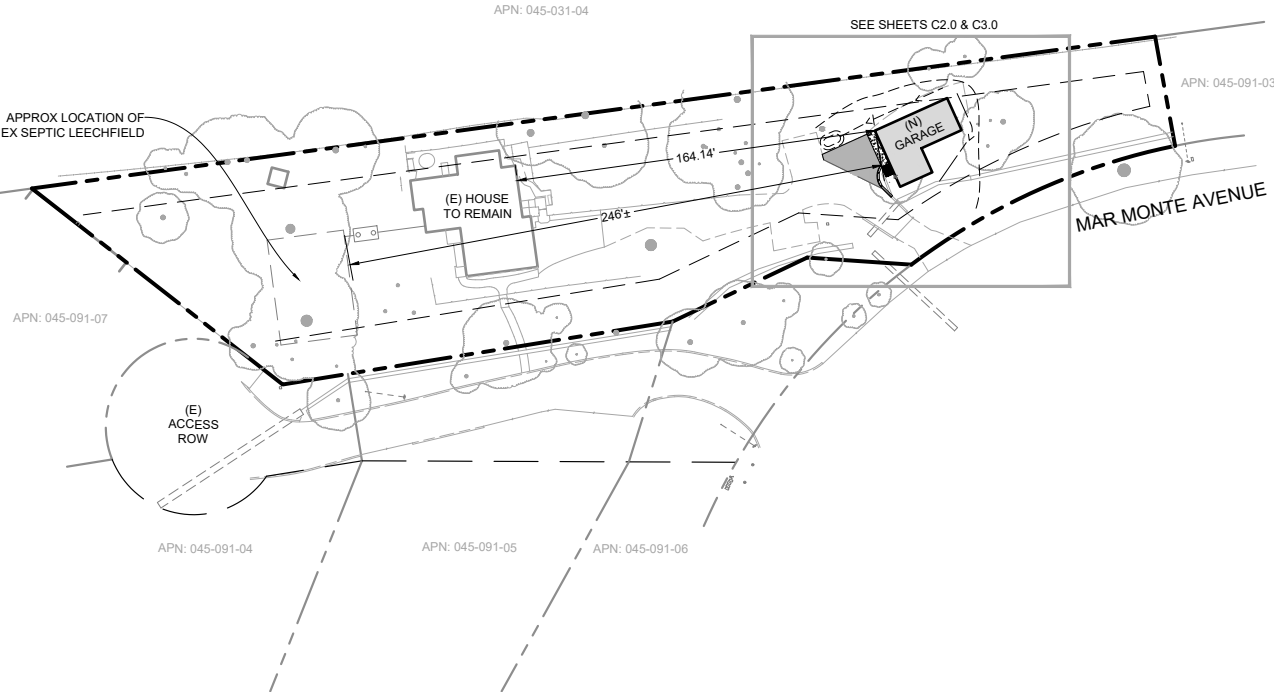
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

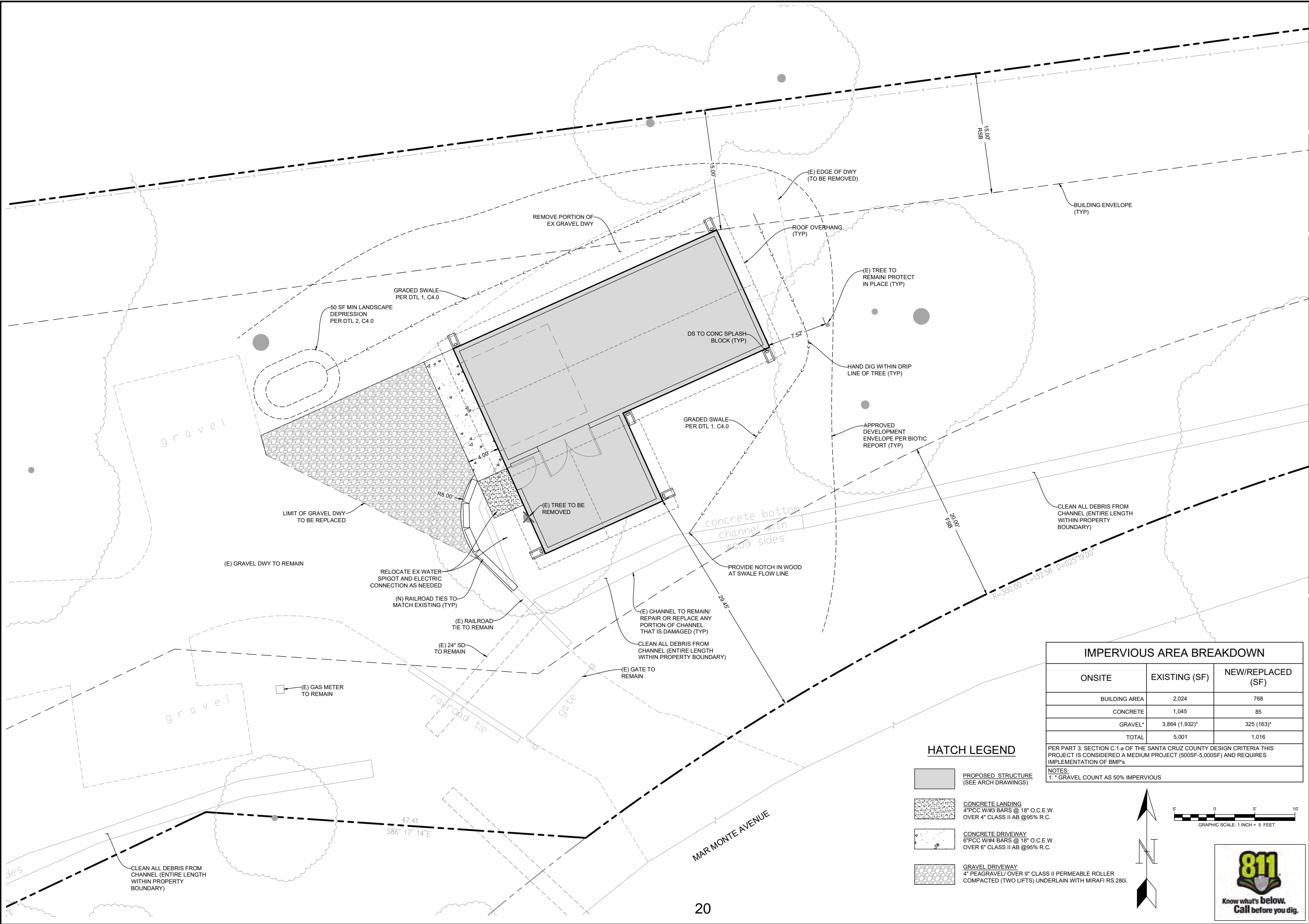
ABBREVIATIONS			
AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	AIR CONDITIONER UNIT	L	LANDING
ADU	ACCESSORY DWELLING UNIT	LF	LINEAR FOOT
APN	ASSESSORS PARCEL NUMBER	LIP	LIP OF GUTTER
ARV	AIR-RELEASE VALVE	LOG	LIMIT OF GRADING
BF	BASEMENT FLOOR	LP	LOW POINT
BFP	BACKFLOW PREVENTER	MH	MANHOLE
BO	BLOW-OFF VALVE	MIN	MINIMUM
BRW	FG AT BOTTOM OF RETAINING WALL	N	NORTH
BSW	BACK OF SIDEWALK	NE	NORTHEAST
BVC	BEGIN VERTICAL CURVE	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	NW	NORTHWEST
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OCEW	ON CENTER, EACH WAY
CBC	CALIFORNIA BUILDING CODE	OH	OVERHEAD
CI	CURB INLET	PCC	PORTLAND CEMENT CONCRETE
CIP	CAST IRON PIPE	POC	POINT OF CONNECTION
CL	CENTERLINE	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PRC	POINT OF REVERSE CURVE
CO	CLEANOUT	PS	PLANTING STRIP
CONC	CONCRETE	PSE	PUBLIC SERVICE EASEMENT
COTG	CLEANOUT TO GRADE	PIV	POST-INDICATOR VALVE
DIP	DUCTILE IRON PIPE	PV	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE PIPE
DTL	DETAIL	R	RADIUS
DWG	DRAWING	RC	RELATIVE COMPACTION
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
E	EAST, ELECTRICAL	ROW	RIGHT-OF-WAY
EG	EXISTING GROUND	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
EP	EDGE OF PAVEMENT	RSB	REAR SETBACK
(E)	EXISTING	RW	RECYCLED WATER
EQ	EQUAL	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SE	SOUTHEAST
FDC	FIRE DEPARTMENT CONNECTION	SOMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SDE	STORM DRAIN EASEMENT
FF	FINISH FLOOR	SHT	SHEET
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOWLINE	SSB	SIDE SETBACK
FNC	FENCE	SSE	SANITARY SEWER EASEMENT
FO	FIBER OPTIC	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	STA	STATION
FSB	FRONT SETBACK	STD	STANDARD
FT	FOOT/FEET	SW	SIDEWALK, SOUTHWEST
FW	FIRE WATER	SWE	SIDEWALK EASEMENT
G	GAS	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
GF	GARAGE FLOOR	TH	THRESHOLD
HT	HEIGHT	TRAN	TRANSFORMER
HDPE	HIGH-DENSITY POLYETHYLENE	TRW	FG AT TOP OF RETAINING WALL
HP	HIGH POINT	TW	TOP OF WALL
INT	INTERSECTION	USA	UNDERGROUND SERVICE ALERT
INV	INVERT	W	WEST, WATER
IRR	IRRIGATION	WM	WATER METER
JB	JUNCTION BOX	WV	WATER VALVE

LEGEND

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	TREE PROTECTION FENCING		
	FIBER ROLLS		
	PROPOSED RETAINING WALL		







HATCH LEGEND

- PROPOSED STRUCTURE (SEE ARCH DRAWINGS)
- CONCRETE LANDING  
4" PCC W/#3 BARS @ 18" O.C.E.W.  
OVER 4" CLASS II AB @95% R.C.
- CONCRETE DRIVEWAY  
6" PCC W/#4 BARS @ 18" O.C.E.W.  
OVER 6" CLASS II AB @95% R.C.
- GRAVEL DRIVEWAY  
4" PEAGRAVEL/ OVER 9" CLASS II PERMEABLE ROLLER  
COMPACTED (TWO LIFTS) UNDERLAIN WITH MIRAFI RS 2801.

IMPERVIOUS AREA BREAKDOWN

ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	2,024	768
CONCRETE	1,045	85
GRAVEL*	3,864 (1,932)*	325 (163)*
TOTAL	5,001	1,016

PER PART 3, SECTION C.1.a OF THE SANTA CRUZ COUNTY DESIGN CRITERIA THIS PROJECT IS CONSIDERED A MEDIUM PROJECT (500SF-5,000SF) AND REQUIRES IMPLEMENTATION OF BMP'S

NOTES:  
1. \* GRAVEL COUNT AS 50% IMPERVIOUS

**RAMSEY**  
CIVIL ENGINEERING INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

DAVID RAMSEY  
RCE# 73735

APN# 045-091-02

PLAN TYPE  
RESIDENTIAL

**SITE PLAN**

**TOELLER RESIDENCE - GARAGE**

160 MAR MONTE AVENUE, WATSONVILLE, CA, 95076

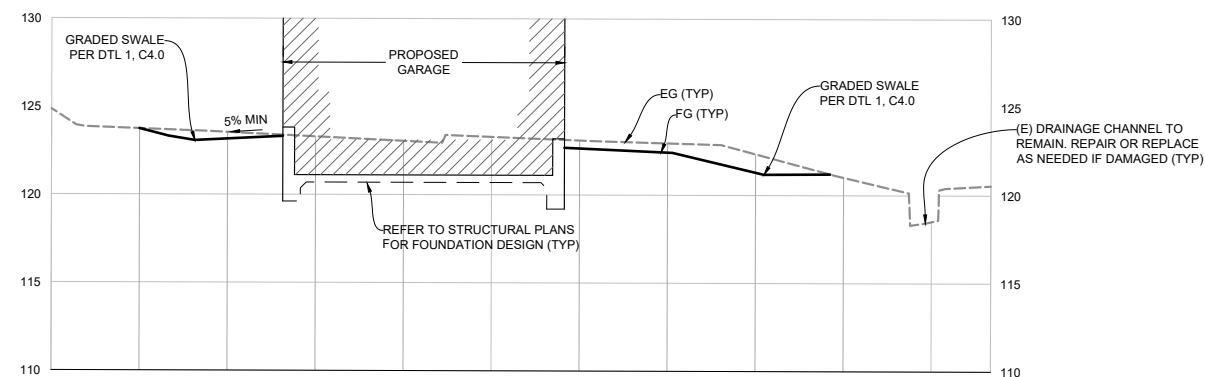
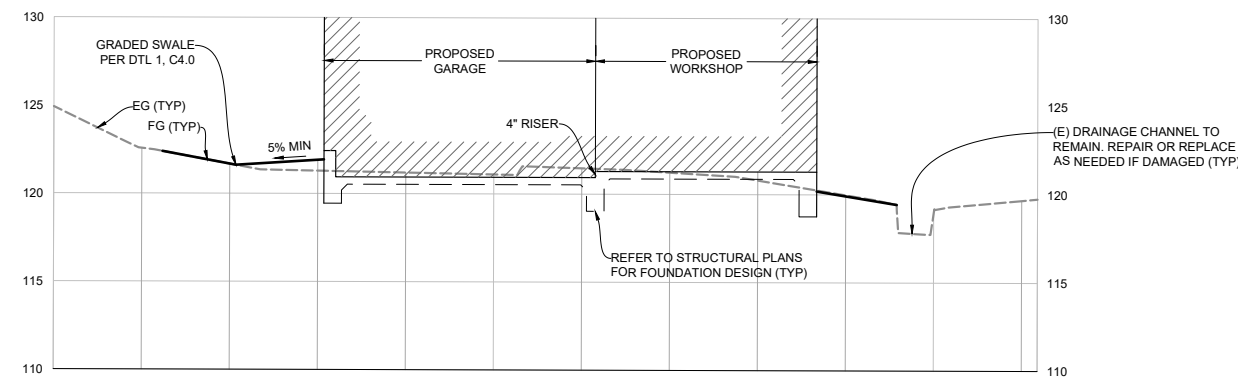
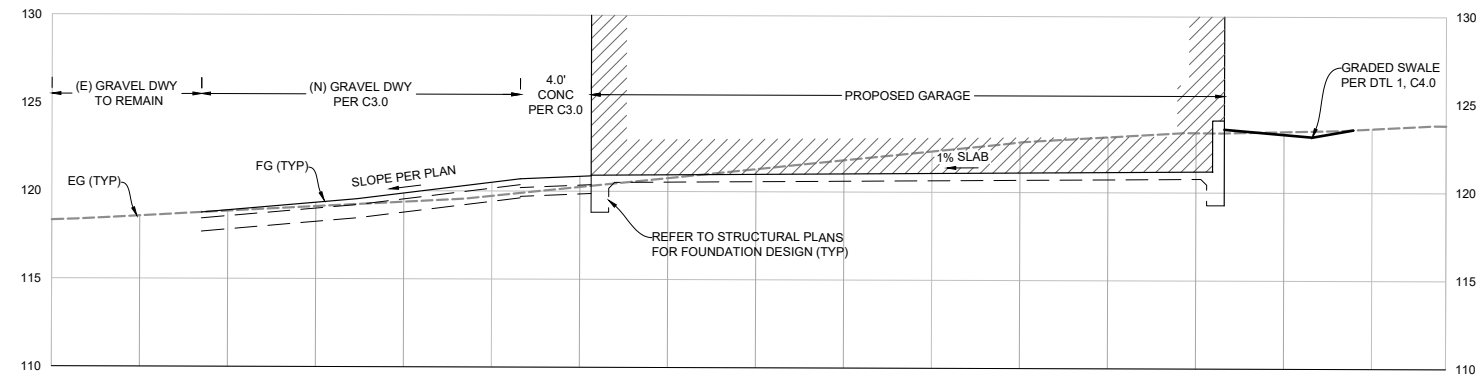
DATE	DESCRIPTION	BY	NUMBER
	REVISION BLOCK		

DRAWN BY: GS  
DESIGNED BY: DMR  
DATE: 05/19/2023  
SCALE: AS NOTED  
PROJECT NO: 23-026  
SHEET:

**811**  
Know what's below.  
Call before you dig.

**C2.0**





**RAMSEY**  
CIVIL ENGINEERING INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
[www.ramseycivilengineering.com](http://www.ramseycivilengineering.com)



DAVID RAMSEY      DATE  
RCE# 73735

APN# 045-091-02

PLAN TYPE  
RESIDENTIAL

SECTIONS

**TOELLER RESIDENCE - GARAGE**

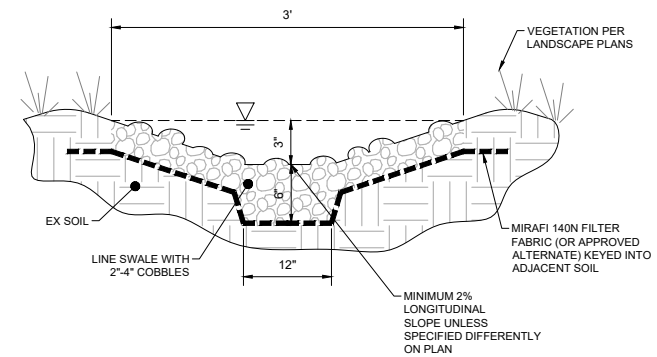
160 MAR MONTE AVENUE, WATSONVILLE, CA, 95076

[illegible]

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	05/19/2023
SCALE:	AS NOTED
PROJECT NO:	23-026
SHEET:	

### C3.1

# EXHIBIT D



SWALE - GRADED  
NTS

1

BIORETENTION NOTES

1. SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.

GENERAL

2. IF MULCH IS USED, USE NON-FLOATING MULCH SUCH AS INORGANIC MULCH (PEA GRAVEL, RIVER PEBBLES OR SIMILAR PRODUCTS) OR AGED NON-FLOATING MULCH IN THESE AREAS. THE MULCH LAYER SHALL BE NO MORE THAN 3 INCHES DEEP. DO NOT USE WOOD MULCH IN THE PONDING AREA.
3. FERTILIZERS: DO NOT ADD FERTILIZERS IN BIO-RETENTION, BIO-SWALE OR RAIN GARDEN AREAS.

3. FERTILIZERS: DO NOT ADD FERTILIZERS IN BIO-RETENTION, BIO-SWALE OR RAIN GARDEN AREAS.

SOIL REQUIREMENTS (SOIL MIX):

1. THE SOIL IN BIO-RETENTION, BIO-SWALE AND RAIN GARDEN AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST. NOTE: ALL SANDS COMPLYING WITH ASTM C33 FOR FINE AGGREGATE COMPLY WITH SIEVE SIZE/GRADATION REQUIREMENTS. THE SOIL MIX/MEDIA TO BE USED IN BIO-RETENTION/RAIN GARDEN AREAS SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR. (PREVIOUSLY: ASTM C33 STANDARDS)

## VEGETATION

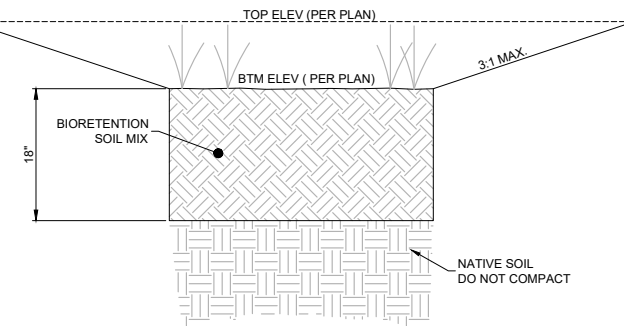
1. PLANT SPECIES SELECTED SHALL BE SUITABLE FOR BIORETENTION AREA LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION. FOR A LIST OF RECOMMENDED BIO-RETENTION PLANTS, PLEASE SEE THE WEBSITE OF THE CENTRAL COAST LOW-IMPACT DEVELOPMENT INITIATIVE AT [HTTP://CENTRALCOASTLIDI.ORG/LANDSCAPE.PHP](http://CENTRALCOASTLIDI.ORG/LANDSCAPE.PHP).
2. VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT FACILITIES.
3. PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.

## CONSTRUCTION REQUIREMENTS

1. BIORETENTION AREAS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF; DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED BIORETENTION AREAS.

MAINTENANCE  
1. CONDUCT

1. CONDUCT BIENNIAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE AND REPLACE DEAD OR DYING PLANTS.
2. MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.
3. AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.
4. BEFORE THE WET SEASON, INSURE THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.
5. PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.



LANDSCAPE DEPRESSION

2

23

[illegible]

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	05/19/2023
SCALE:	AS NOTED
PROJECT NO:	23-026
SHEET:	

## 4.0

DETAILS

TOELLER RESIDENCE - GARAGE

160 MAR MONTE AVENUE, WATSONVILLE, CA, 95076



CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
[www.ramseycivilengineering.com](http://www.ramseycivilengineering.com)



DAVID RAMSEY	DATE
RCE# 73735	

APN# 045-091-02

PLAN TYPE  
RESIDENTIAL

# EXHIBIT D



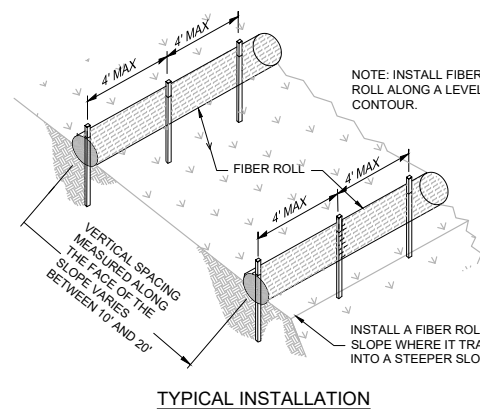
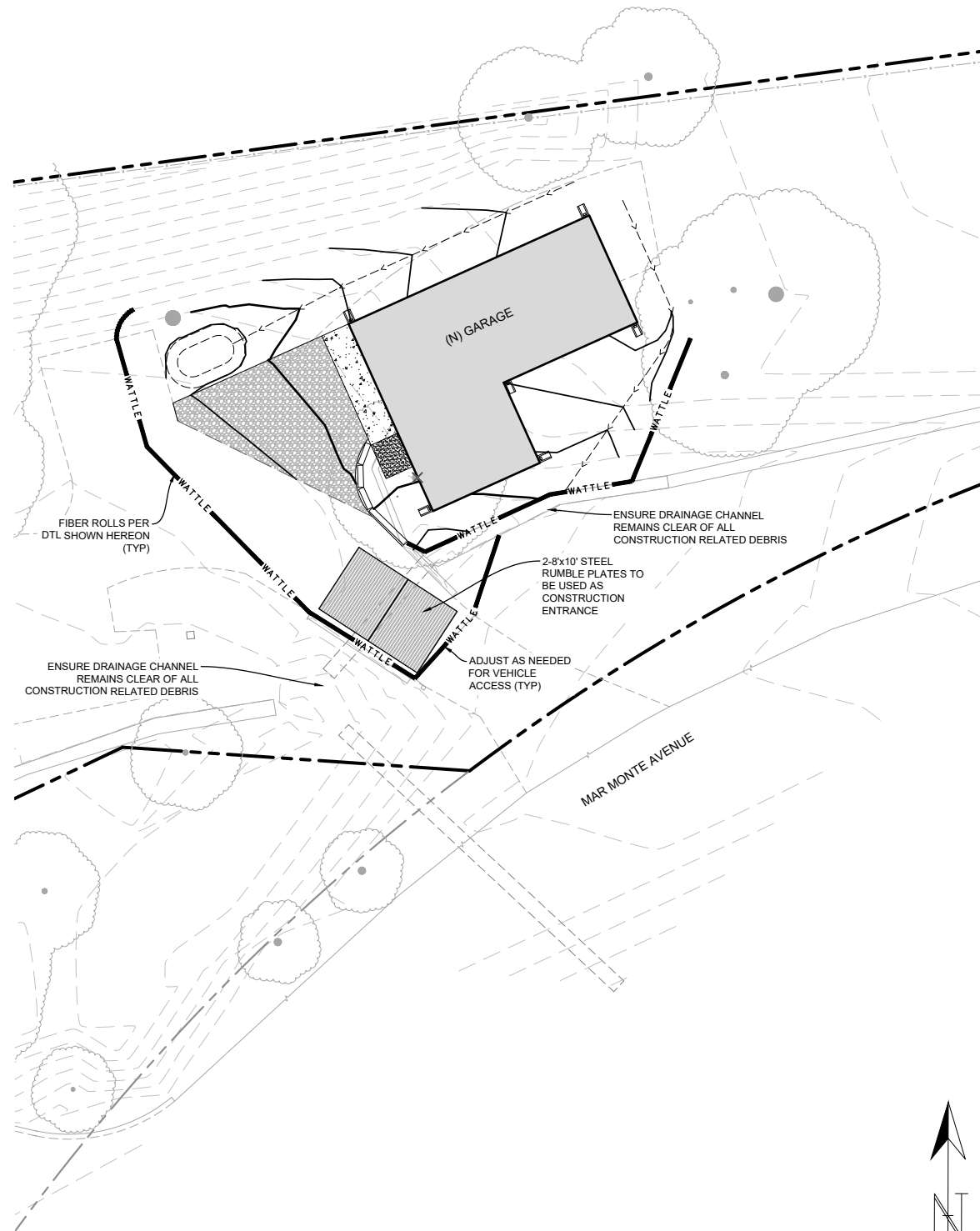


Diagram illustrating the construction of a wood frame for a pond or water feature. The frame is made of two stacked 2x12 rough wood planks, secured with stakes (typical) around the perimeter. The interior is lined with 10 mil plastic lining. The dimensions are specified as 10' MIN. for the width and 10' MIN. for the height. The depth is labeled as 10' MIN. The plastic lining is labeled as 10 MIL PLASTIC LINING. A detail view shows the wood frame securely fastened around the entire perimeter with two stakes, with the 10 mil plastic lining shown in cross-section.

**NOTE:**  
ACTUAL LAYOUT & LOCATION DETERMINED IN THE FIELD.  
ALTERNATIVE WASHOUTS AVAILABLE, CONFIRM WITH  
ENGINEER PRIOR TO INSTALLATION

1. THE CONTRACTORS WASTE POLLUTION CONTROL (WPCM) MANAGER SHALL MONITOR ON SITE CONCRETE WATER STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
2. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED AS DIRECTED BY THE ENGINEER.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ON THE DATE THE WASTE IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED FOR DAMAGE (I.E. TEARS IN POLYETHYLENE LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

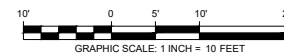


1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

1. REFER TO THE RECORDED STORMWATER MAINTENANCE AGREEMENT (SCC FIG. SWM-25A) FOR ADDITIONAL SITE/PROJECT INFORMATION AND REQUIREMENTS, AS WELL AS RESPONSIBLE PARTY AGREEMENT.
2. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP
3. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS, REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
4. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
5. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
  - 5.1. ROOF DOWNSPOUTS:
    - 5.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED OF.
  - 5.2. GRADED SWALES & DRIVEWAY/PEDESTRIAN SLAB AREAS:
    - 5.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
  - 5.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
    - 5.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
    - 5.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
    - 5.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW, REMOVE AS NECESSARY.
    - 5.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:

- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
- LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES. OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
- UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.



**RAMSEY**  
CIVIL ENGINEERING INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905

[www.ramseycivilengineering.com](http://www.ramseycivilengineering.com)



DAVID RAMSEY	DATE
RCE# 73735	

APN# 045-091-02

PLAN TYPE
RESIDENTIAL

## EROSION CONTROL PLAN AND DETAILS

TOELLER RESIDENCE - GARAGE

160 MAR MONTE AVENUE, WATSONVILLE, CA, 95076

[illegible]

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	05/19/2023
SCALE:	AS NOTED
PROJECT NO:	23-026
SHEET:	

## C5.0

# EXHIBIT D



# FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1999

POR. SAN ANDREAS RANCHO  
S.E. 1/4 SEC. 28, T.11S., R.1E., M.D.B. & M.

Tax Area Code  
69-275

45-09

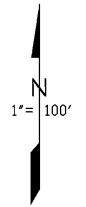
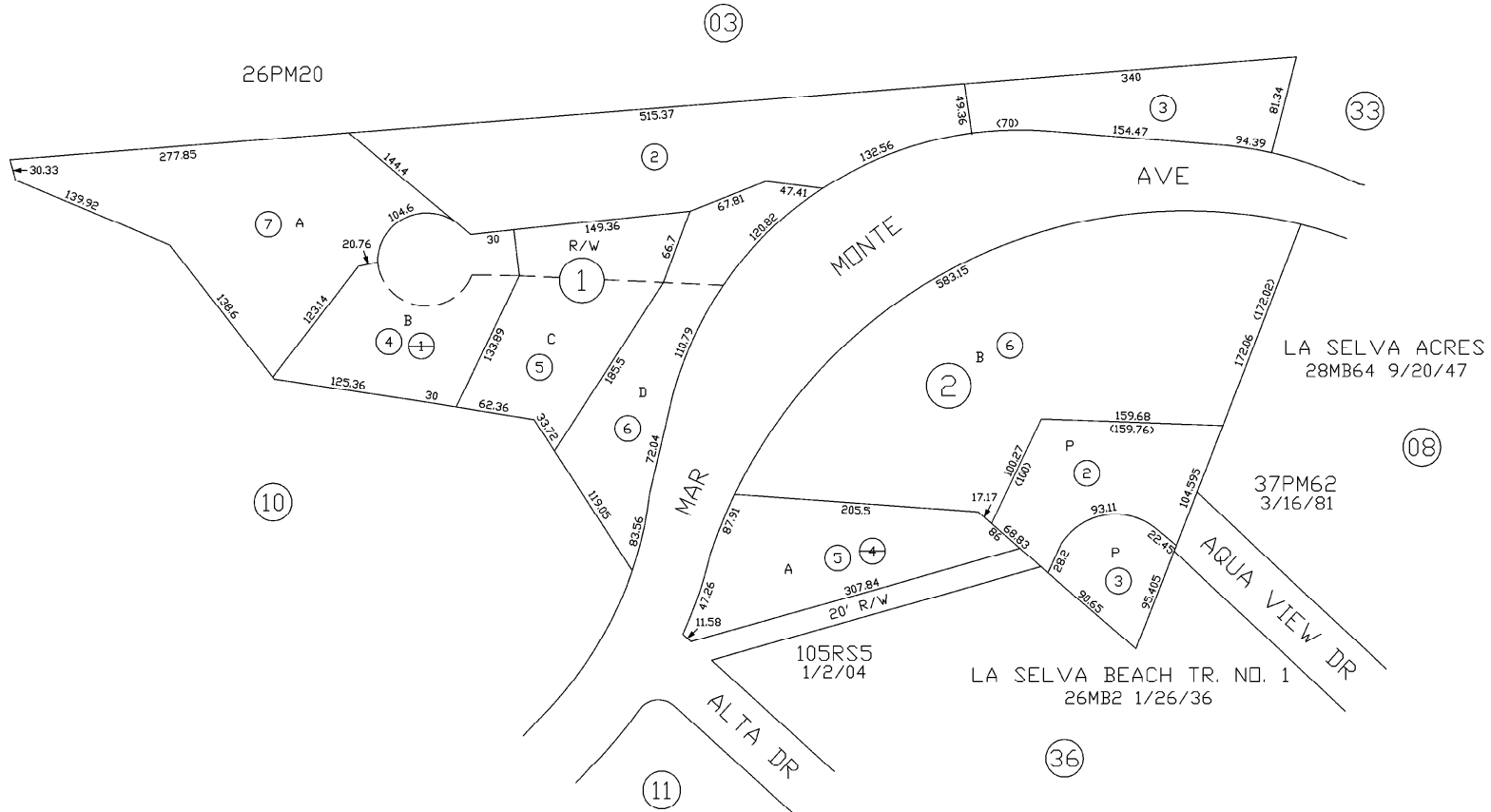


EXHIBIT E



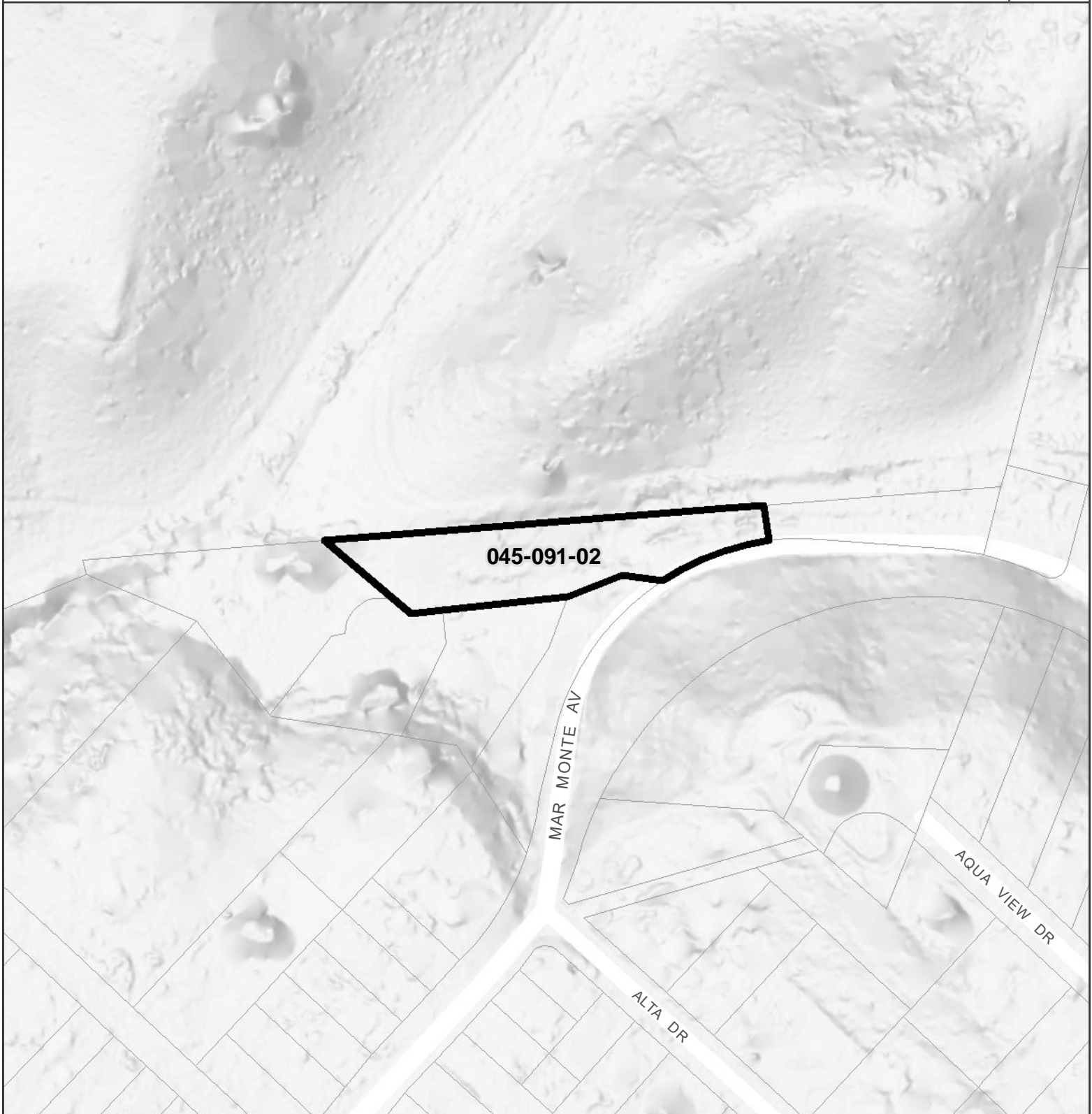
Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 45-09  
County of Santa Cruz, Calif.  
Dec. 1999



Electronically redrawn 12/22/99 KSA  
Rev. 3/30/01 mm (Changed page refs.)  
Rev. 6/20/04 CS (105RS5)

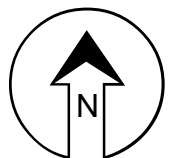


# Parcel Location Map



**Parcel: 04509102**

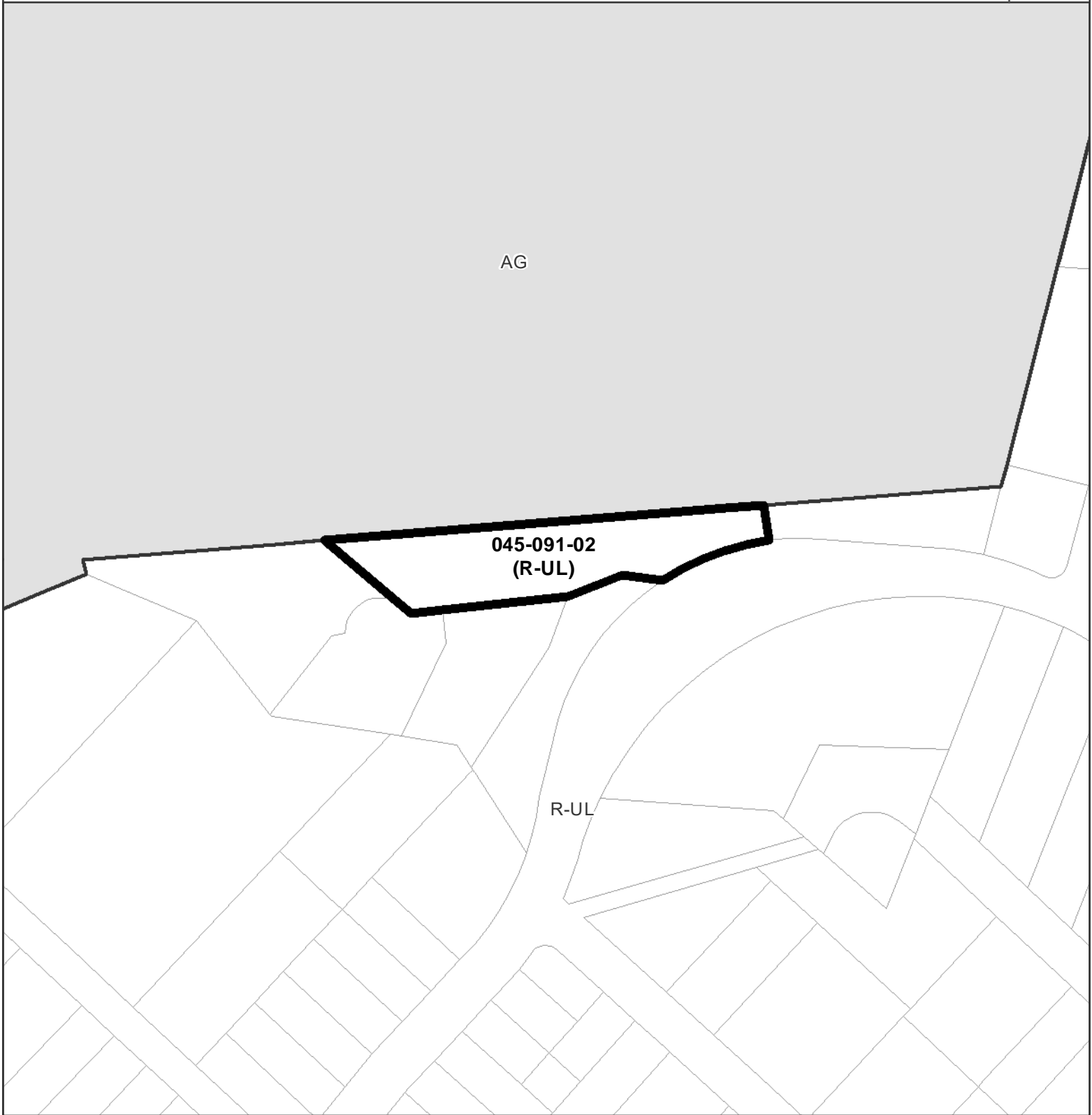
-  Study Parcel
-  Assessor Parcel Boundary





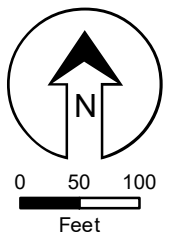


# SANTA CRUZ COUNTY PLANNING DEPARTMENT

## Parcel General Plan Map

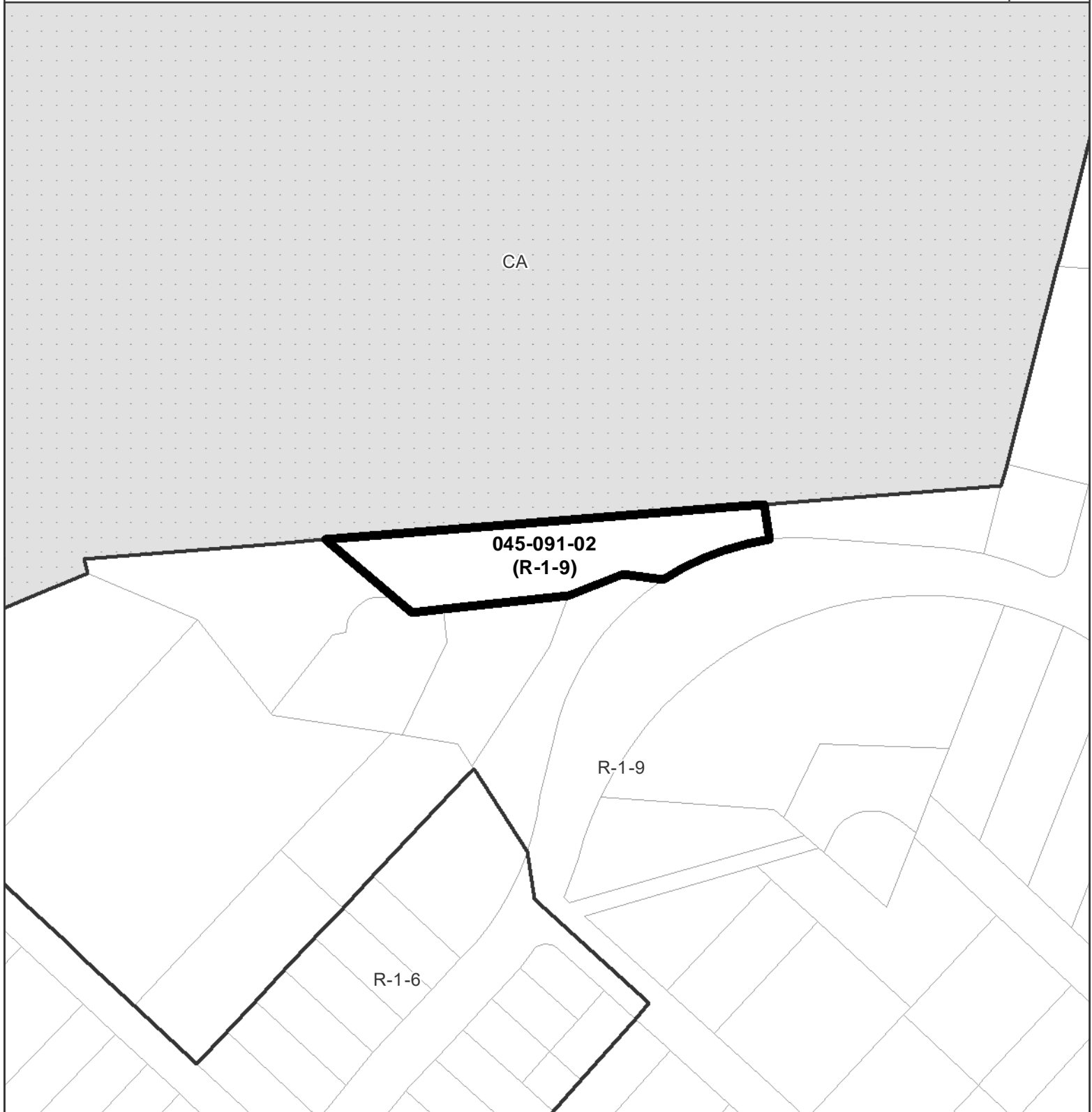




-  AG *Agricultural*
-  R-UL *Res. Urban Low Density*

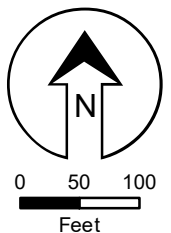




# Parcel Zoning Map



-  CA Commercial Agriculture
-  R-1 Single-Family Residential



## Parcel Information

### Services Information

Urban/Rural Services Line:   X   Inside      Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: Septic  
Fire District: Central  
Drainage District: Outside

### Parcel Information

Parcel Size: 38,027 square feet (0.87 acre)  
Existing Land Use - Parcel: R-1-9  
Existing Land Use - Surrounding: R-1-9; CA  
Project Access: Mar Monte Avenue  
Planning Area: La Selva  
Land Use Designation: R-UL (Urban Residential, Low Density)  
Zone District: R-1-9 (Single-Family Residential, minimum 9,000 square foot lot size)  
Coastal Zone:   X   Inside      Outside  
Appealable to Calif. Coastal Comm.      Yes   X   No

**Technical Reviews:** REV 221079 biotic report review

### Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Fire Hazard: Not a mapped constraint  
Slopes: 0-30%  
Env. Sen. Habitat: Santa Cruz Long-toed Salamander Habitat Area/ proposed project has mitigated for potential impacts and is not being built on an environmentally sensitive area  
Grading: No grading proposed  
Tree Removal: 1 tree proposed to be removed  
Scenic: Mapped partially scenic, but the proposed project is not within the area  
Archeology: Not mapped/no physical evidence on site