



Staff Report to the Zoning Administrator

Application Number: **221213**

Applicant: Daryl Woods

Owner: Clark

APN: 046-241-39

Site Address: 193 Crest Drive, La Selva Beach

Agenda Date: September 15, 2023

Agenda Item #: 2

Time: After 9:00 a.m.

Project Description: Proposal to construct a two story addition of approximately 1,220 square feet to an existing single family dwelling, including additional garage space and a new master suite on the second floor of the residence.

Location: Property located at 193 Crest Drive in La Selva Beach.

Permits Required: Coastal Development Permit, Agricultural Buffer Setback Reduction

Supervisory District: 2nd District (District Supervisor: Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 221213, based on the attached findings and conditions.

Project Description & Setting

The proposed project is to construct a two story addition of approximately 1,220 square feet to an existing single-family dwelling on a 23,609 square foot (0.54 acre) parcel. The proposed addition consists of garage area below and a master suite above. The project is located at 193 Crest Drive in La Selva Beach. The proposed building site is located within 200 feet of Commercial Agriculture zoned land to the east and south.

The subject property is characterized by gently sloping topography. The parcel is located outside of the Urban Services Line and the area can be characterized as a rural residential neighborhood with some agricultural uses.

A Coastal Development Permit is required because the project is located within the appeals jurisdiction of the coastal zone and involves new construction on a vacant parcel.

An Agricultural Buffer Setback Reduction is required due to the presence of CA (Commercial Agricultural) zoning and agricultural resource soils located on all sides of the subject property.

Zoning & General Plan Consistency

The subject property is approximately 23,609 square feet in size, located in the RA (Residential Agriculture) zone district, a designation which allows residential uses. The proposed addition would be to a single family dwelling which is an allowed use within the zone district and the zoning is consistent with the site's AG (Agriculture) General Plan designation.

Agricultural Buffer Setback Reduction

The parcel is located within the AG (Agriculture) General Plan designation and the implementing zone district is RA (Residential Agriculture). Commercial Agriculture zoned land is situated within 200 feet to the east and south of the subject parcel.

The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 15 feet from APN 046-241-03 to the east and to 150 feet from APN 046-241-41 to the south.

A reduced agricultural buffer is recommended due to the fact that the location of the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property. The requirement for a 200 foot agricultural buffer setback would essentially preclude development on the property as the property is 232 feet deep with a 25 foot wide right of way at the front of the property reducing the available lot depth to 207 feet.

Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east. The Commercial Agriculture zoned property to the south is located across another parcel which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south. The applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

This proposal was evaluated by the Agricultural Policy Advisory Commission (APAC) on July 20, 2023 at a noticed public hearing. APAC recommended that the project be approved (Exhibit G) with the reduced setbacks indicated on the project plans with fencing and landscape as a buffer barrier along the entire northern property line, as recommended by staff.

Design Review

The proposed addition complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as articulated wall and roof planes and exterior materials consistent with the existing dwelling to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Local Coastal Program Consistency

The proposed addition to the existing single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings in a rural residential pattern of development. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project is located between the shoreline and the first public through road, with public beach access available nearby at Manresa Uplands and Sunset State Beaches. The property is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Prior Vacation Rental Approval

A prior Vacation Rental approval (211181) for a three bedroom vacation rental has been surrendered by the applicant and does not need to be amended as a part of this application.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **221213**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. APAC Minutes - 7/20/23 hearing
- H. APAC Staff report - 7/20/23 hearing

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 221213

Assessor Parcel Number: 046-241-39

Project Location: 193 Crest Drive, La Selva Beach

Project Description: Proposal to construct a two story addition to a single family dwelling.

Person or Agency Proposing Project: Daryl Woods

Contact Phone Number: 831-234-9853

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of an addition to a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned RA (Residential Agriculture), a designation which allows residential uses. The proposed addition to an existing single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's AG (Agriculture) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Manresa Uplands State Beach.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with existing dwelling and the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the RA (Residential Agriculture) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain a mix of rural dwellings and small agricultural facilities. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road, with public beach access available nearby at Manresa Uplands State Beach. Consequently, the project will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the addition and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district as the primary use of the property will continue to be one single family dwelling.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the AG (Agriculture) land use designation in the County General Plan.

The proposed addition will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the addition will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed addition will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed addition will comply with the site standards for the RA zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed addition is to an existing single family dwelling. The expected level of traffic generated by the proposed project is anticipated to remain at only one

peak trip per day (1 peak trip per dwelling unit), such an increase will not adversely impact existing roads or intersections in the surrounding area. All utilities are available to serve the project.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed addition is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the exterior design of the proposed addition will be consistent with the existing single family dwelling and will not reduce or visually impact available open space in the surrounding area.

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

The addition is proposed to be set back 15 feet from the adjacent Commercial Agriculture zoned land to the east and 150 feet from the Commercial Agriculture zoned land to the south. The effective agricultural setbacks are proposed to be 15 feet and 150 feet where 200 feet are required. An effective barrier consisting of a six foot tall solid wood fence enhanced with evergreen shrubs would be adequate to prevent conflicts between the proposed non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 046-241-03 to the east. The Commercial Agriculture zoned property to the south (APN 046-241-41) is located across another parcel (APN 046-241-40) which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south (APN 046-241-41).

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

This finding can be made, in that the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property located to the east. The property is only 232 feet deep with a 25 foot wide right of way at the west side (front) of the property. Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east.

Conditions of Approval

Exhibit D: Project plans, prepared by Daryl Woods Architect.

- I. This permit authorizes the construction of a two story addition to an existing single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to

the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
6. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.
 - a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements of the San Andreas Mutual Water District. Proof of water service availability is required prior to application for a Building Permit.
- D. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- E. Meet all requirements of the Environmental Planning section of the Planning Department.
- F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District (formerly Aptos/La Selva Fire Protection District).
- G. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per square foot for single family dwellings.
- H. Pay the current fees Child Care mitigation. Currently, these fees are \$0.74 per square foot for single family dwellings.
- I. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling ranging in size from 3,001 to 4,000 square feet is \$10 per square foot.

- J. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All requirements of the Agricultural Policy Advisory Commission (APAC), as noted in the APAC staff report from the July 20, 2023 staff report shall be met, including the following conditions:
 - 1. A development setback of a minimum of 15 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-03.
 - 2. A development setback of a minimum of 150 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-41.
 - 3. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Santa Cruz County Planning staff.
 - a. An agricultural buffer barrier consisting of a 6 foot high solid fence and evergreen vegetation shall be installed and maintained between the proposed addition and the adjacent Commercial Agriculture zoned parcel to the east (APN 046-241-03).
 - 4. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - D. The project must comply with all recommendations of the approved soils reports.

- E. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
- F. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

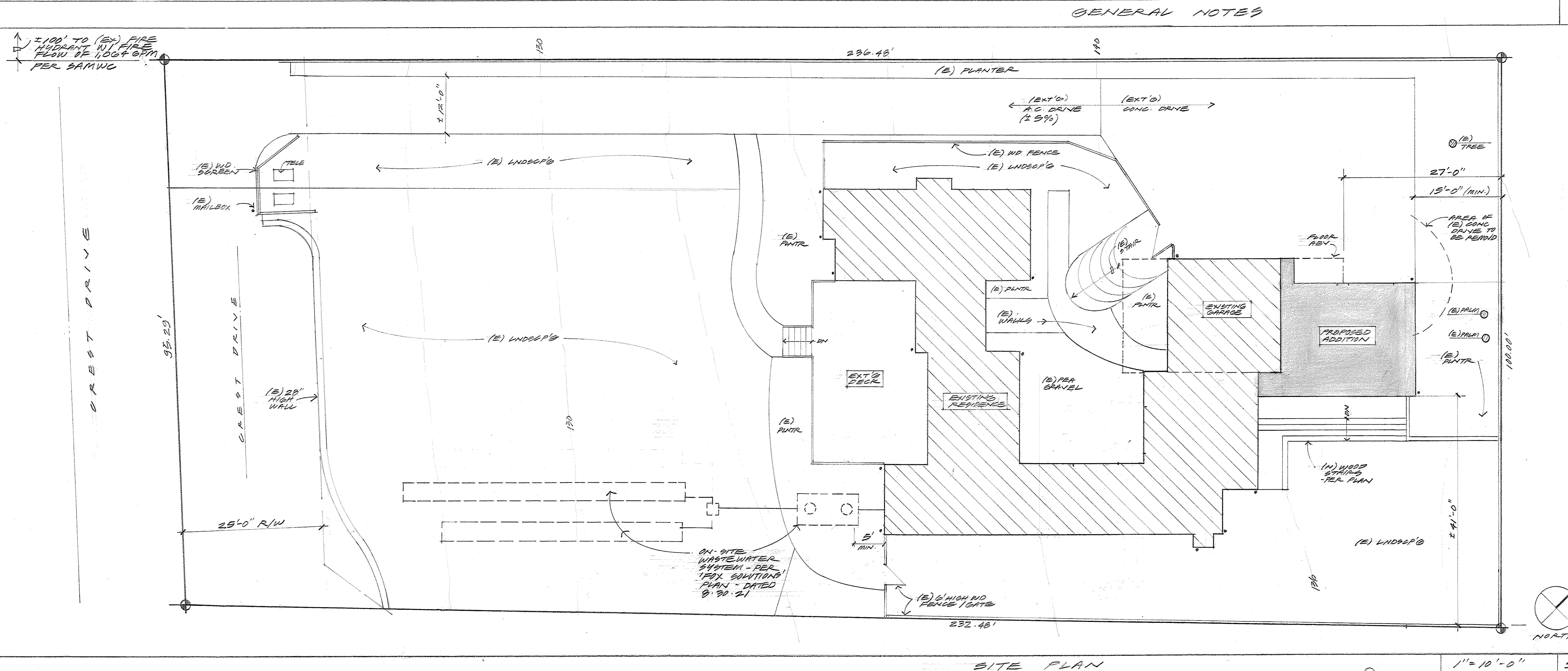
- These specifications are for the Clark Residence, 193 Crest Drive, LSB, Ca. 95076
- The term "Contractor" as used herein and on the drawings shall also be applicable to each subcontractor as requirements pertain to his/her trade. "Owner" refers to the owner of record or his agent.
- All applicable provisions of the County of Santa Cruz and the California Building Code 2019 edition shall be adhered to in the construction of this project. It is the Contractor's ultimate responsibility to construct the project as per these codes.
- Contractor shall comply with all applicable codes and ordinances. Contractor shall pay all fees, miscellaneous cost, and obtain and pay for all permits necessary to complete all work, with the exception of the Building Permit, which the Owner shall pay for prior to the start of work. Before final acceptance of any part of the work, the contractor shall furnish the Architect with appropriate "Certificates of Inspection" stating that work has been inspected and approved by the Building Department.
- The contractor shall carry in force all needed insurance, licenses, fees, permits, taxes as required by law for the duration of the project.
- The Contractor shall maintain liability insurance to protect himself and hold the owner harmless from any and all claims for damages, for personal bodily injury or death, or property damage, during the course of the contract. (The Owner shall maintain Fire insurance.)
- Contractor shall provide sufficient means for protecting existing exposed interior finishes new construction and materials from damage by other trades, weather, or vandals for the course of the project. Contractor shall provide all barricades, fences, and other items required by local ordinances and codes.
- All plumbing fixtures, finishes, hardware and miscellaneous items shall be selected and/or approved by the Owner unless notes on plans or following specifications. "Or approved equal" means equal approved by the Owner.
- Field samples and mock-ups shall be prepared at the site by the Contractor as specified in the various sections of this specification. Affected finish work shall not be started until the Owner has accepted as satisfactory the field samples and/or mock-up in writing. Construction and prepare field samples as mock-ups at locations as directed by the Owner. Field samples and mock-ups shall be removed from the site after completion and acceptance of the affected work or otherwise, as directed by the Owner.
- If the Contractor desires to use any other brand or manufacturer of equal quality, appearance and utility to the product specified, he shall request substitution to the Owner with specification and/or samples. The Owner will accept as satisfactory or reject the request for substitution, and his decision shall be final. Unless substitutions are requested as provided herein, deviations from the drawings and specifications will not be permitted.
- The Owner and immediate neighbors, or neighbors to be affected, should be made aware 24 hours in advance of construction activities that are potentially disruptive. Use of neighbors' property is expressly forbidden without their permission. Contractor will be responsible for any and all damage to such property in the event that damage is done.
- The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The contract sum shall be adjusted accordingly. Changes or alteration, etc. shall be approved by the Architect prior to the start of this work.

- The intent of these documents (i.e., specifications, drawings, and schedules) is to describe the work including all labor, materials, services, equipment, and transportation necessary for complete and proper execution of the work indicated on the drawings or reasonably inferred there from. Where drawings are in conflict, the Contractor is to provide the Owner with the most expensive of conflicting versions.
- The Architect/ Engineer will in no way be responsible for how the work is performed, safety in, on or about the job site, methods of performance or timeliness in the performance of the work.
- Shop and fieldwork shall be performed by mechanics, craftsmen and workers skilled and experienced in the fabrication and installation of the work involved. All work on this project shall be performed in accordance with the best-accepted practices of the various trades involved and in accordance with the drawings, reviewed shop drawings, and these specifications.
- The Owner reserves the right to reject any materials and work qualities which are not considered to be up to the highest standards of the various trades involved. Such inferior material or work quality shall be repaired or replaced, as directed, at no additional cost to the Owner.
- These construction documents are based on observation and documentation of existing conditions from documents provided by the Owner. The Owner makes no claims to the accuracy of such observation. Should the Contractor encounter field conditions which vary from these construction documents which effect the intent of these drawings or the contract/subcontract sum, the Architect shall be immediately notified. The Contractor shall verify at the project site, conditions and measurements related to their work.
- Contractor shall not scale the drawings. Dimensions of floor plans are shown to face of stud and outside of foundation wall for exterior walls and to centerlines of stud for interior walls unless noted otherwise. Written notes take precedence over line drawings.
- Contractor shall notify Owner immediately for directions in the event that any unusual conditions not covered by these notes and documents are encountered during construction.
- The Contractor shall be responsible for the accuracy of the building lines and levels. The Contractor shall compare carefully the lines and levels shown on the drawings with existing levels for the location and construction of the work and shall call the Owner's attention to any discrepancies before proceeding with the work.
- Incidental items, not indicated on the drawings or mentioned in the specifications that can be legitimately and reasonably inferred, belonging to the work described, or are necessary in good practice to provide a complete installation or system shall be provided and be installed at though called out herein in every detail.
- Contractor shall insure that cutting, filing, patching, etc. by all trades causes all parts to come together properly. The connection of adjoining materials shall be executed according to instruction by the Architect only.
- Trades shall furnish all labor, equipment, materials and services required to perform all work necessary, indicated, reasonably inferred, or required by any code with jurisdiction to complete their scope of work for a complete and properly finished job using only new material U.N.O. in accordance with the best accepted standards of workmanship. All F.B.O. (furnished by owner) items to be installed by the Contractor.

- The Contractor shall have a superintendent at the construction site whenever any work under this Contract is being performed in order to provide constant supervision.
- Contractor shall maintain the job site in a neat and safe condition in accordance with Title 8 or the Construction Safety Orders as enforced by the Division of Industrial Safety at all times throughout the construction period. The Contractor shall weekly cleanup, remove and dispose in a legal manner all debris and waste attributed to the job.
- Contractor shall coordinate with other contractors directly and separately employed by Owner for timely storage and installation of their products. Only new materials shall be used unless otherwise noted on drawings. Materials and products shall be delivered to the building site in original packages. Materials and products shall be stored off ground on wood blocking in an upright position protected from the elements in a manner to prevent damage or marring of finish.
- Contractor shall check and verify size and location of openings for vents, ducts, plumbing runs, electrical fixtures, etc. with mechanical, electrical, and architectural drawings, and mechanical and electrical contractors and shall make all changes therewith as approved by the Owner before framing wall and ceilings. Seal between ducts and partitions where required.
- Contractor shall provide and locate access panels as required after installation of mechanical ducts, plumbing, and electrical work. The Architect shall approve location.
- All bracing necessary for construction purposes shall be the sole responsibility of the Contractor.
- Contractor shall provide all necessary blocking, stiffening, bracing, frames, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
- At the time of bid submittal, the Contractor shall advise the Owner (in writing) of any specified materials or equipment which are either unavailable or will cause a delay in the construction completion schedule.
- The Contractor shall identify critical due dates for: A) Owner selections to be purchased and installed by the Contractor. B) Contractor receipt of Owner purchased items to be installed by the Contractor.
- Contractor shall submit (2) copies of required shop drawings, calculations of fabricated products, all finishes materials and (2) copies of manufacturers' catalog sheets, brochures, color samples, installation instructions, etc. on manufactured products and/or installed in the project for the Owner's acceptance before purchase or delivery to the site. All shop drawings shall be approved by the Engineer. The Engineer's approval of such drawings shall not relieve the Contractor of responsibility for errors of any sort pertaining to shop drawings.
- Approval of the work in part or as a whole by the Architect/Engineer shall not relieve the Contractor of responsibility for faulty material or workmanship. Such approvals may be withdrawn at any time that subsequent examination reveals apparently satisfactory work that is, in fact, defective or otherwise fails to conform to all requirements of the contract documents. Such work form which approval has been withdrawn shall be replaced or executed in accordance with the contract at no expense to the Owner.

- The Contractor shall be responsible for replacement or repair of any damage caused by him or his subcontractors. The Contractor shall be responsible for any damage to underground utilities encountered in areas where excavations are indicated and shall repair any such damage at his own expense. Where utility lines must be maintained under building, they shall be properly sleeved through foundation walls.
- Contractor shall guarantee all workmanship and materials for one year except where indicated in various specification sections for a longer period. The guarantee period is based on the date of completion of the work, as called out herein. After acceptance of the building, if during the guarantee period any defects or faulty materials are found, the Contractor shall replace and repair them, together with any damage to finish, fixtures, equipment, or furnishings due to defective work, upon notification by the Architect, and at no additional expense to the Owner. Exception: The roofing subcontractor shall submit a maintenance agreement, cosigned by the Contractor, to maintain the roofing in a watertight condition for a period of one year.
- Contractor shall provide Owner a list of heating, cooling, water heating and lighting systems and features, components and mechanical devices, and instructions on how to use them efficiently. Sec. 1403 (b) 1.
- Contractor shall provide Owner with the original Owner's Manuals and Instructions for all appliances, special equipment, lighting fixtures, plumbing fixtures, mechanical equipment, etc. installed in the building compiled in a binder for the Owner's future reference.
- Contractor shall provide Owner with a recommended maintenance schedule for finishes and components of the building that should be attended to regularly, such as painting or wood and metal, cleaning of gutters, replacing filters in the air conditioner and furnaces, etc.
- Smoke detectors required at the existing residence. Detectors to be located in each sleeping room, in the hallway leading to and a min. of (1) at each level. Smoke detectors to be interconnected and hard-wired, per CRC R314.3 & R315.2, where required, exception for solely battery operation, CRC R314.4, no. 3.
- Carbon monoxide alarms to be located outside, or in vicinity of sleeping room, and a min. of (1) at each level. Single and multiple stations shall be listed to comply with UL 2034 & UL 2075. Installation shall be in accordance with NFPA 720 and the manufacturer's recommendations. Alarms and to be interconnected and hard-wired. (CRC Sec. R315.3). Note: Carbon monoxide alarms may be in combination with smoke detectors.
- Owner to be provided building operations and maintenance manual as print, web link, or CD, per Section 4.410.1 "Operation and Maintenance Manual", sheet GB-1.
- HERS Certification required per sheet EN.1.

PROJECT OWNER:	Peter and Paula Clark
PROJECT ADDRESS:	193 Crest Drive La Selva Beach, Ca. 95076
PROJECT DESCRIPTION:	Add an attached 496 sf (2) car garage, a second floor 700 sf master suite and 64 sf at the living room, to an existing 2,309 sf two-story family residence with an attached 400SF (2) car garage. Total sf = 3,969 sf.
APN:	046-241-39
LOT SIZE:	+/- 23,609 sf (+/- .54 acres)
ZONING:	RA
OCCUPANCY:	R-3 / U-1
CONSTRUCTION:	Type VB (non-sprinklered)
CODE:	California Residential Code, 2019 Edition, (non-structural) California Building Code, 2019 Edition, California Mechanical Code, 2019 Edition, California Plumbing Code, 2019 Edition, California Electrical Code, 2019 Edition, California Energy Code, 2019 Edition, California Fire Code, 2019 Edition, California Green Building Standards Code 2019 Edition, and all other applicable codes and ordinances, latest editions.
ARCHITECT:	Daryl Woods Architect License No. C25147 273 Lindero Dr. La Selva Beach, Ca. 95076 Tele: 831.234.9853
STRUCTURAL ENGINEER:	George Reynolds and Assoc. 111 Younglove Ave. Santa Cruz, Ca. 95062 Tele: 831.426.3637 Attn: George Reynolds
ENERGY CONSULTANT:	A+ 41 D Hanger Way Watsonville, Ca. 95076 Tele: 831.728.7717 Attn: Jim Blomquist
GEOTECHNICAL:	Dees & Associates, Inc. 501 Mission Street, Suite 8A Santa Cruz, Ca. 95060 Tele: 831.427.1770 Attn: Becky Dees
CIVIL ENGINEER:	Joe L. Akers 830-E Bay Ave. Capitola, Ca. 95010 Tele: 831.475.6557
WATER DISTRICT:	San Andreas Mutual Water District



TOTAL AREA OF DISTURBANCE = 768 S.F.

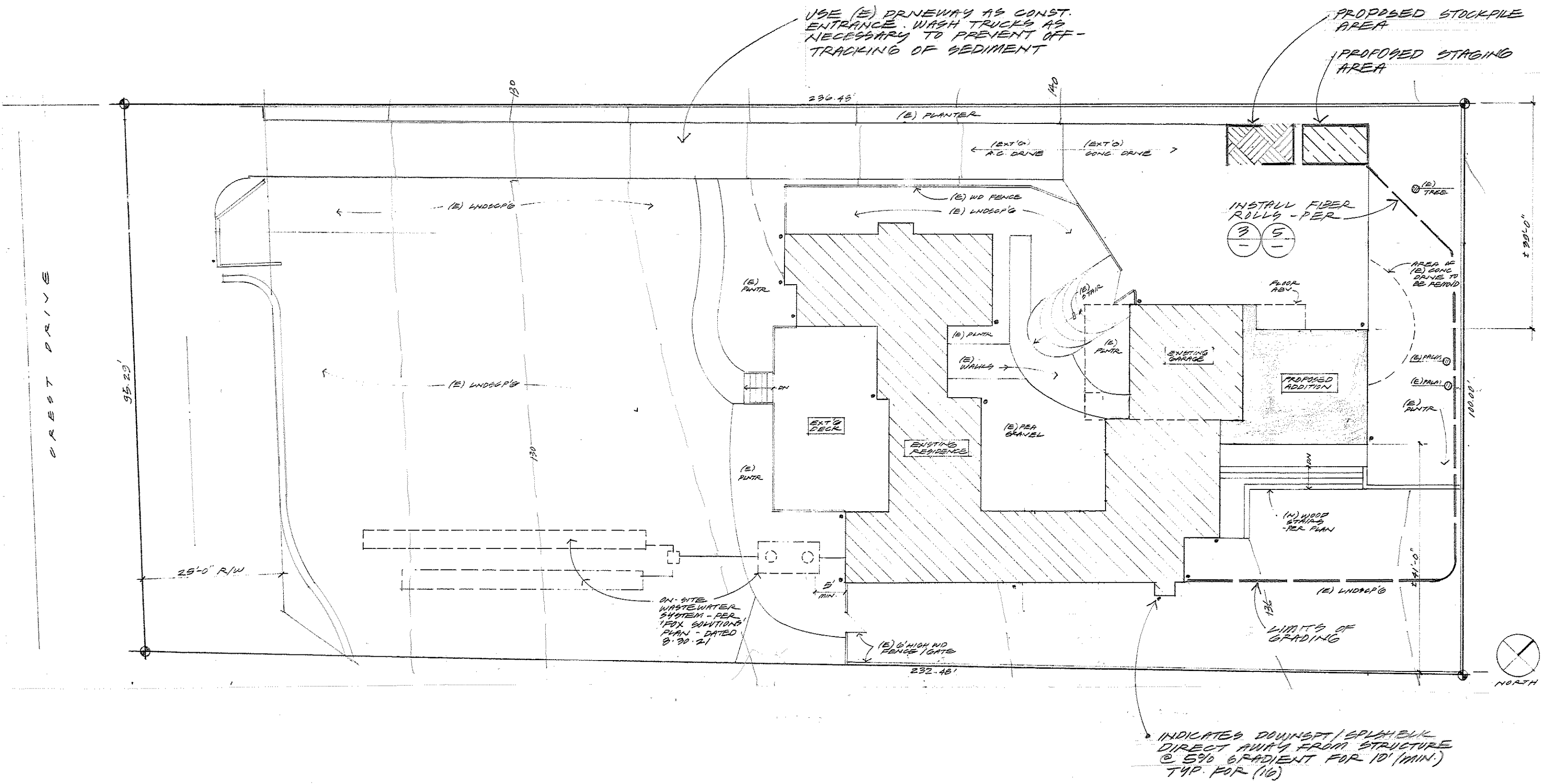
SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

- LANDSCAPE MATERIALS
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

- VEHICLE STORAGE AND MAINTENANCE
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

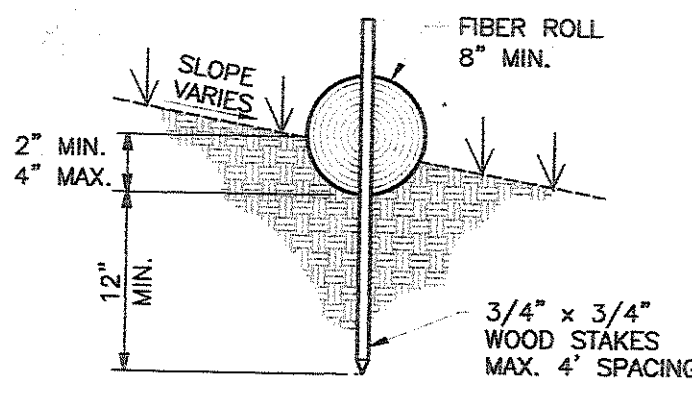
- WASTE MANAGEMENT
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
 9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



EROSION CONTROL PLAN

1"=16'-0"

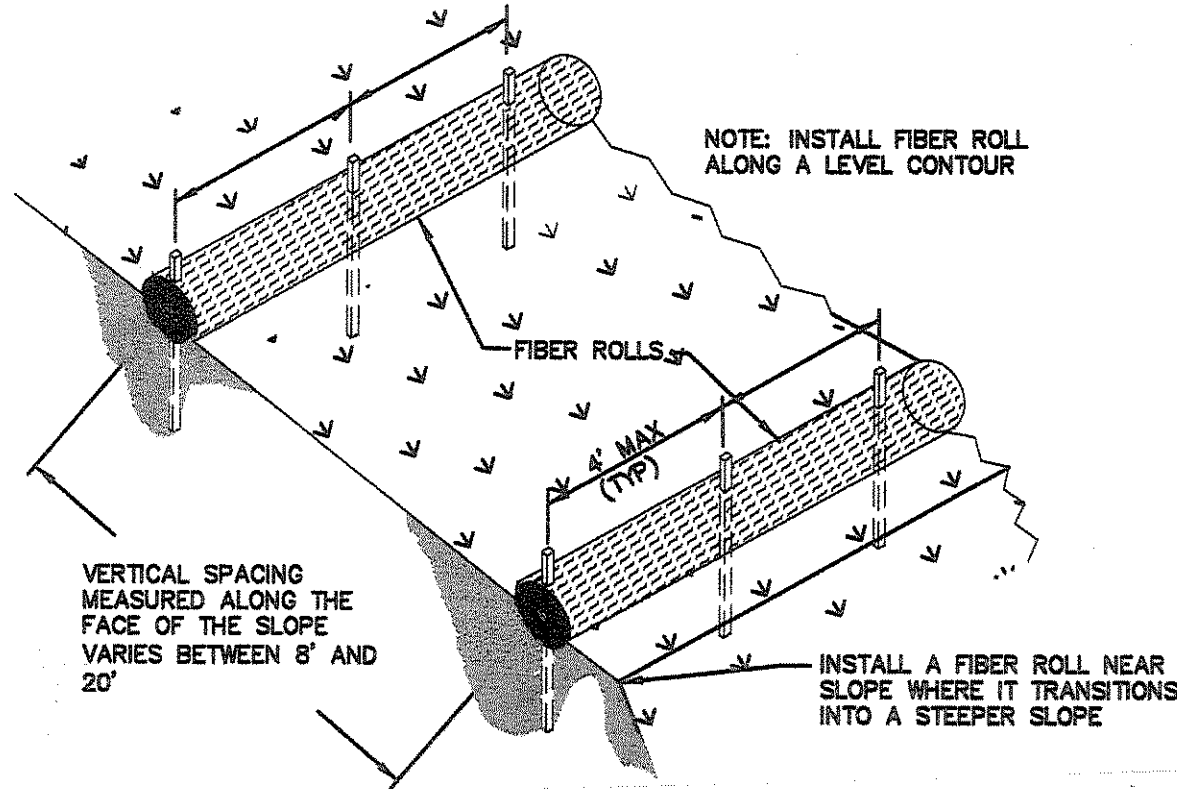
2



ENTRENCHMENT DETAIL

NTS

5



TYPICAL FIBER ROLL INSTALLATION

NTS

3

HOUSEKEEPING NOTES

7

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 8-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES $\leq 20\%$ WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>20\%$

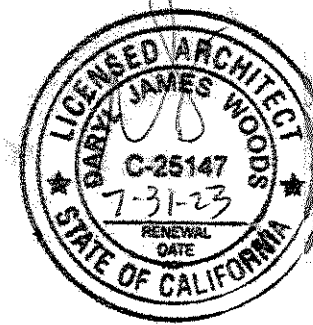
EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA

EROSION CONTROL NOTES

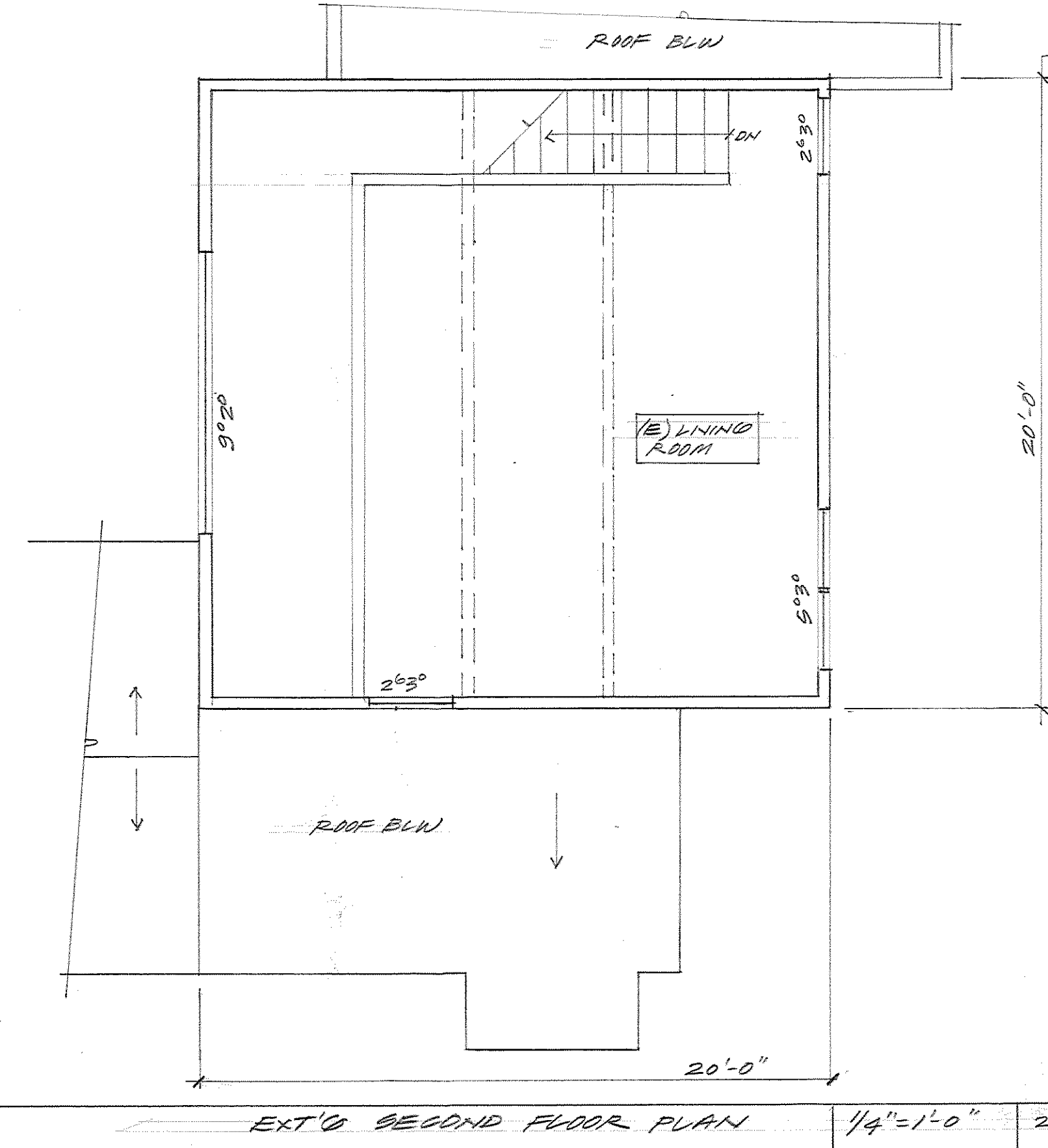
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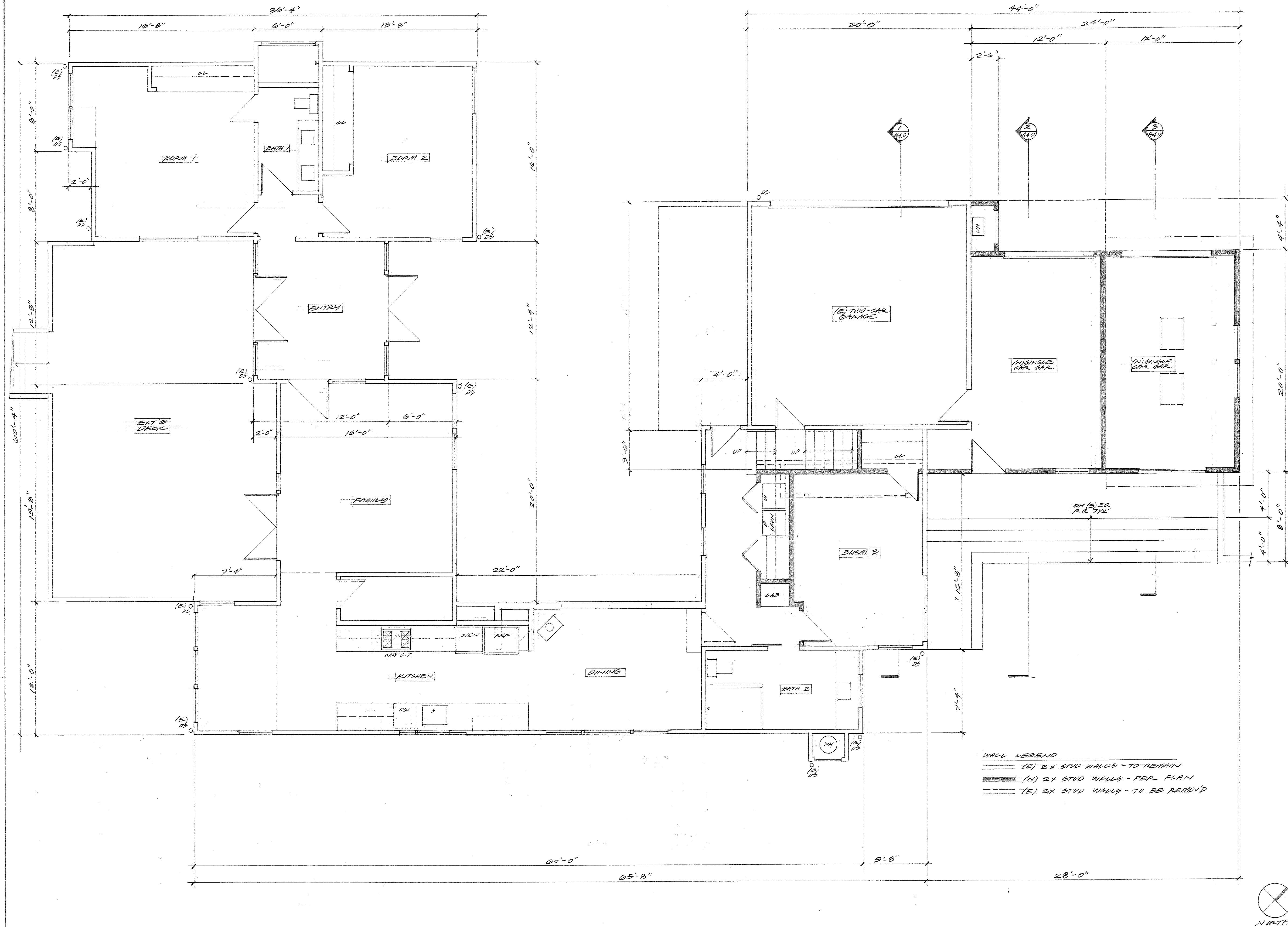
ISSUE	DATE
PLANNING SUBMITTAL	10-22-2021



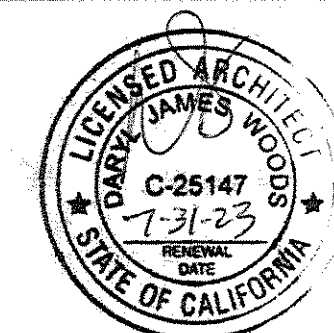
273 Lindero
La Selva beach
California
95076
Daryl Woods Architect
831.234.9853-f

CLARK RESIDENCE C1
APN: 046-241-39

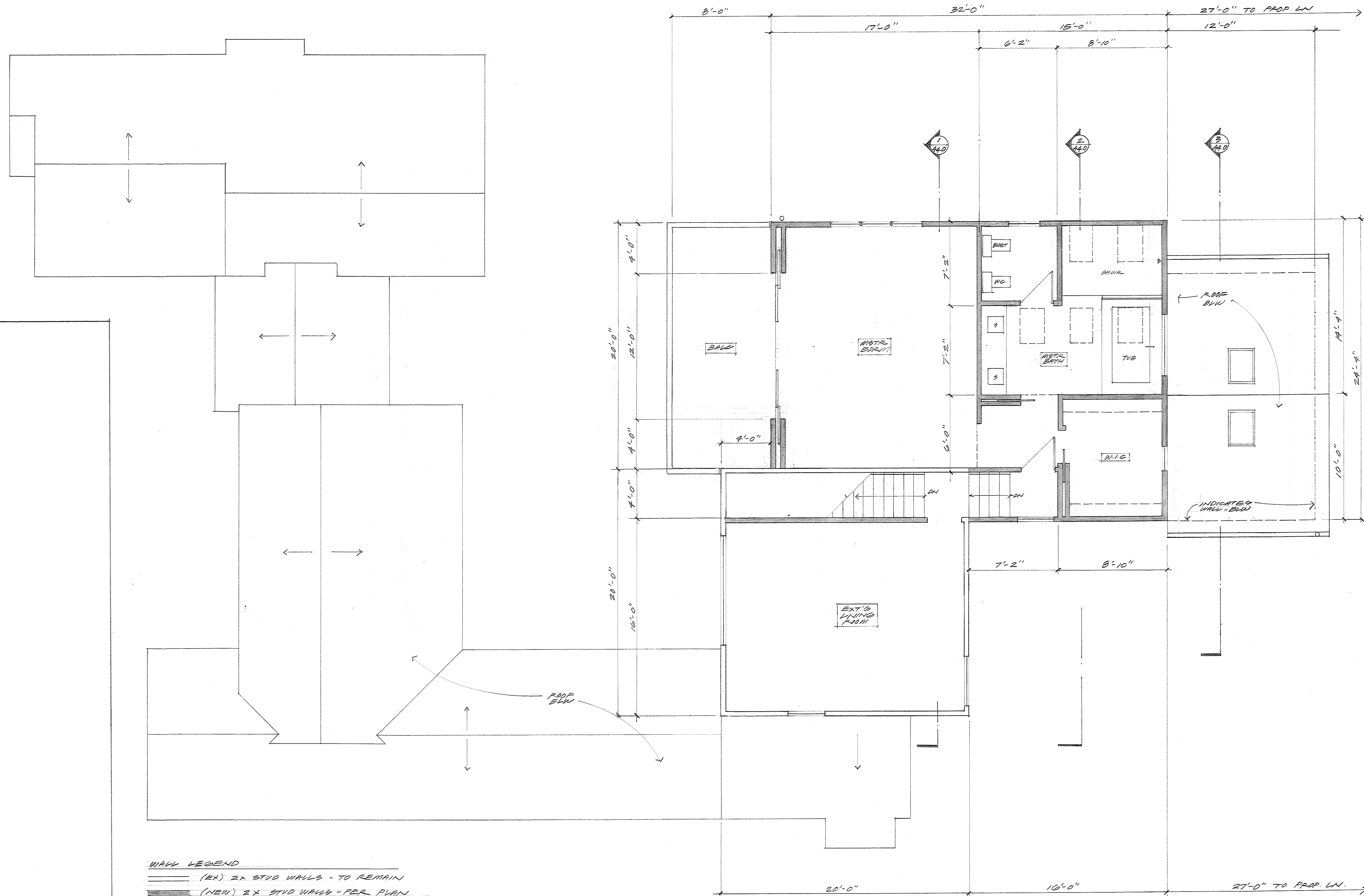




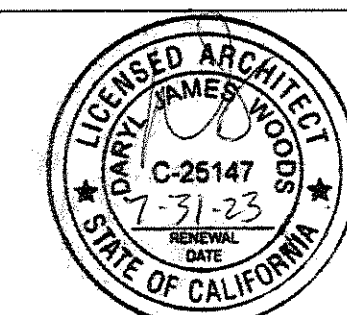
ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



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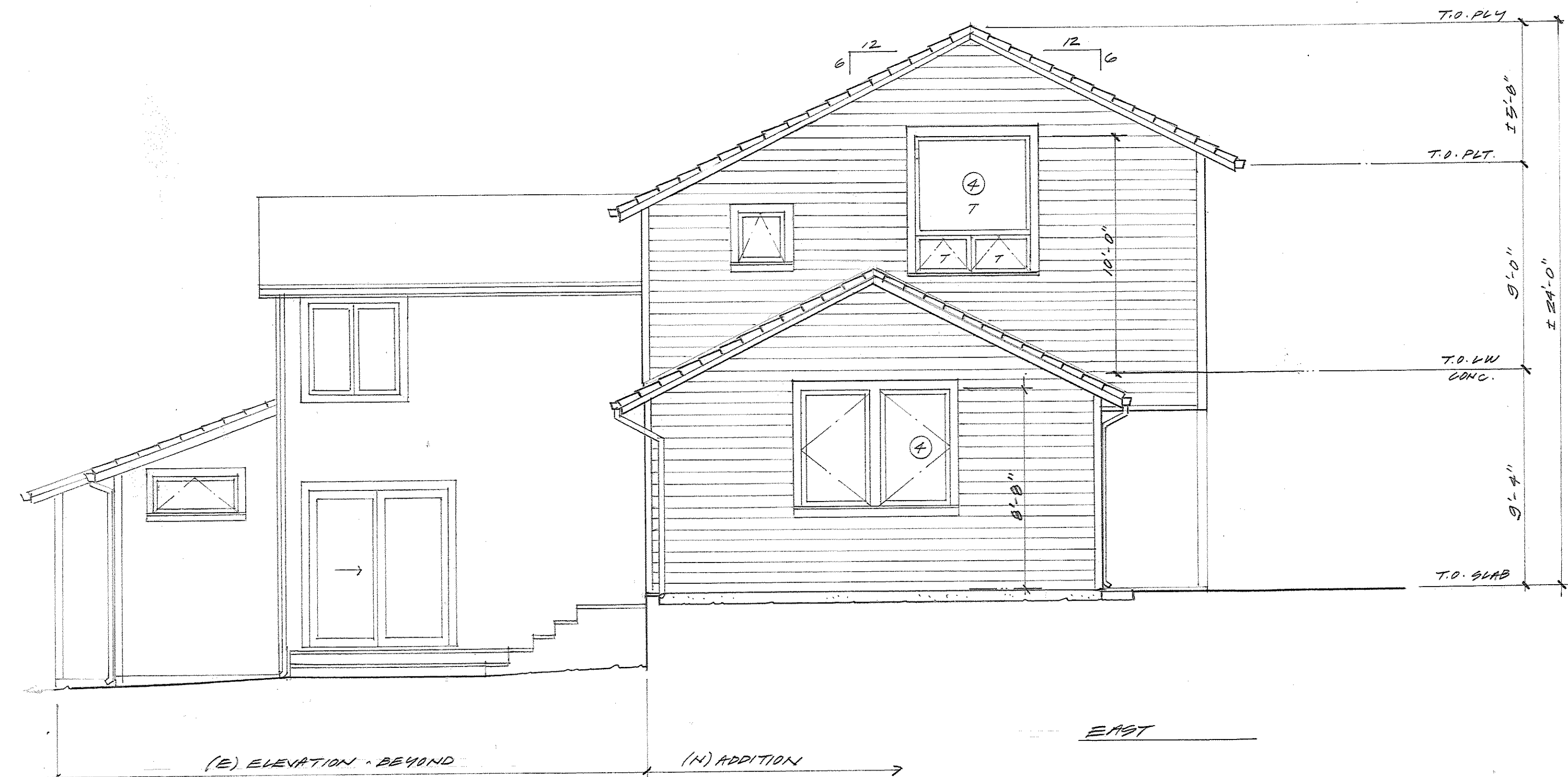
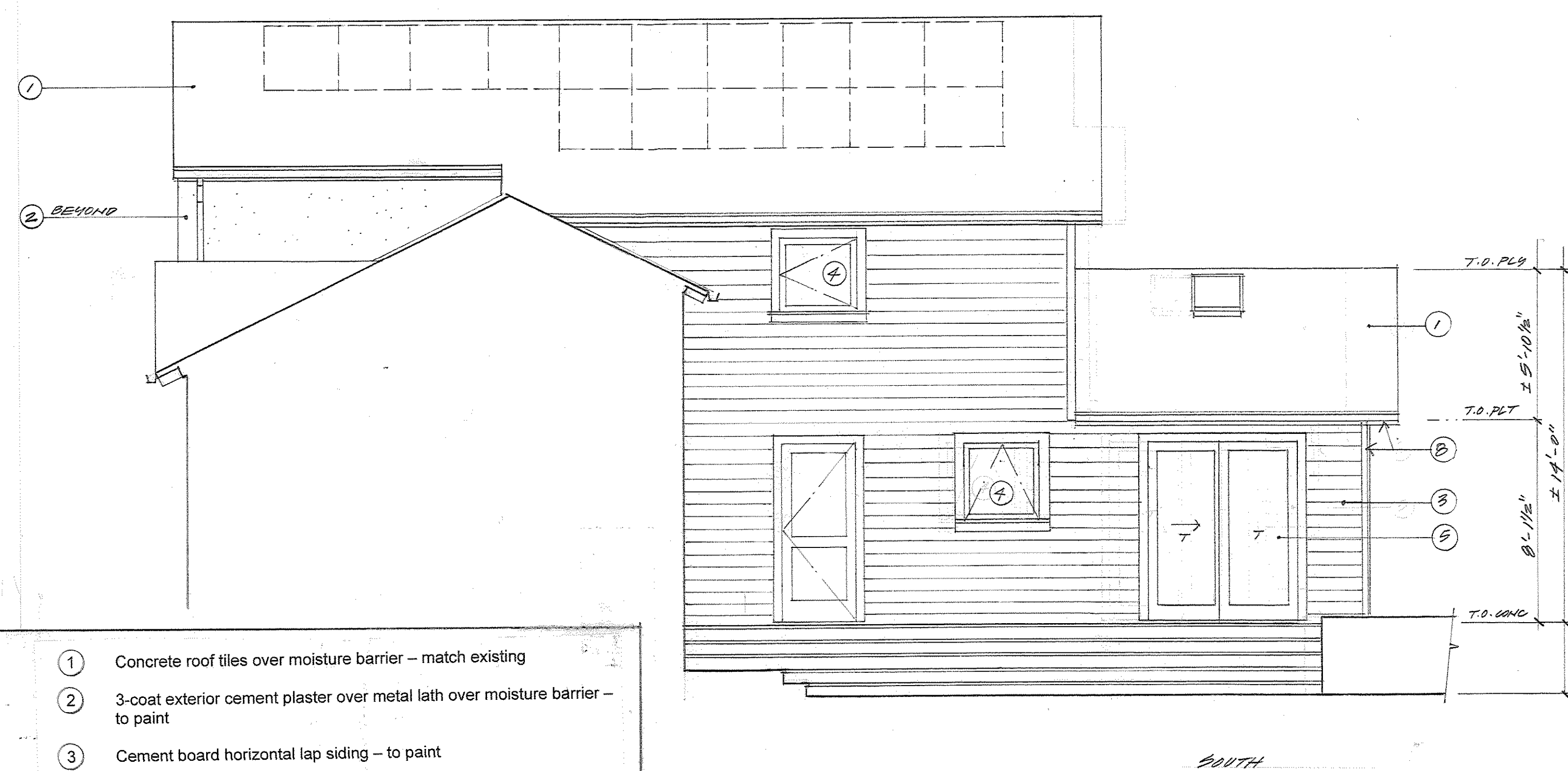
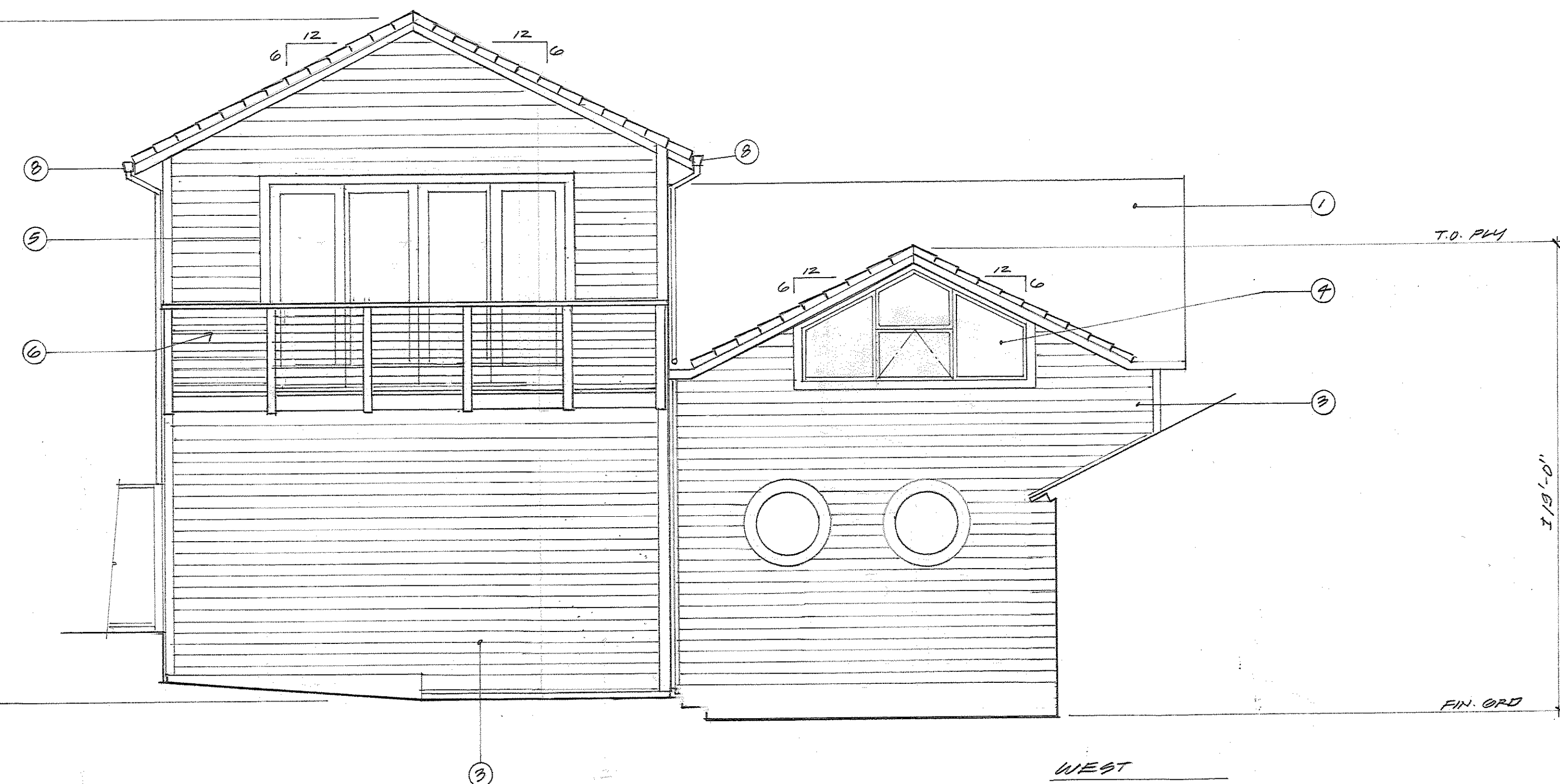
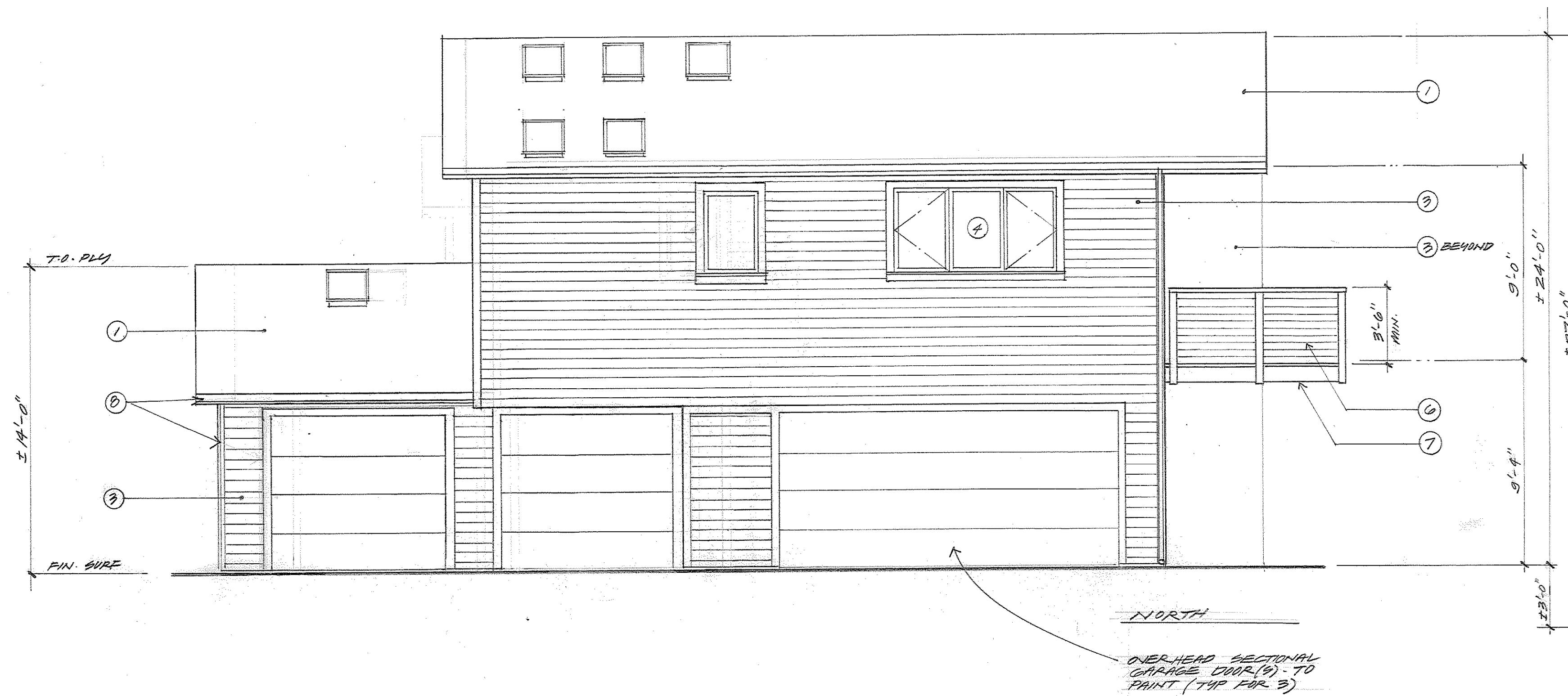


ISSUE	DATE
PLANNING	10.22.2021
SUBMITTAL	



273 Lindero
La Selva beach
California
95076
Daryl Woods Architect
831.234.9853

CLARK RESIDENCE A2.0
APN: 046-241-39

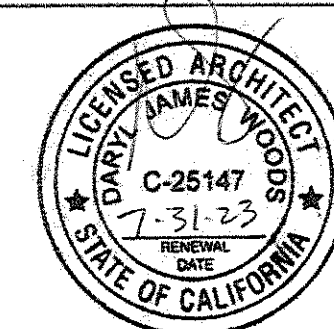


- 1 Concrete roof tiles over moisture barrier - match existing
- 2 3-coat exterior cement plaster over metal lath over moisture barrier - to paint
- 3 Cement board horizontal lap siding - to paint
- 4 Vinyl windows - per schedule
- 5 Exterior doors - per schedule
- 6 Stainless steel cable rail guardrail with painted wood posts
- 7 Exposed wood framing, per plans - to paint
- 8 26 Ga. metal gutter (match existing profile) with hinged gutter screen and 26 Ga. Downspouts - to match existing
- 9 Redwood decking/stairs - to stain

EXTERIOR MATERIALS

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021
	20

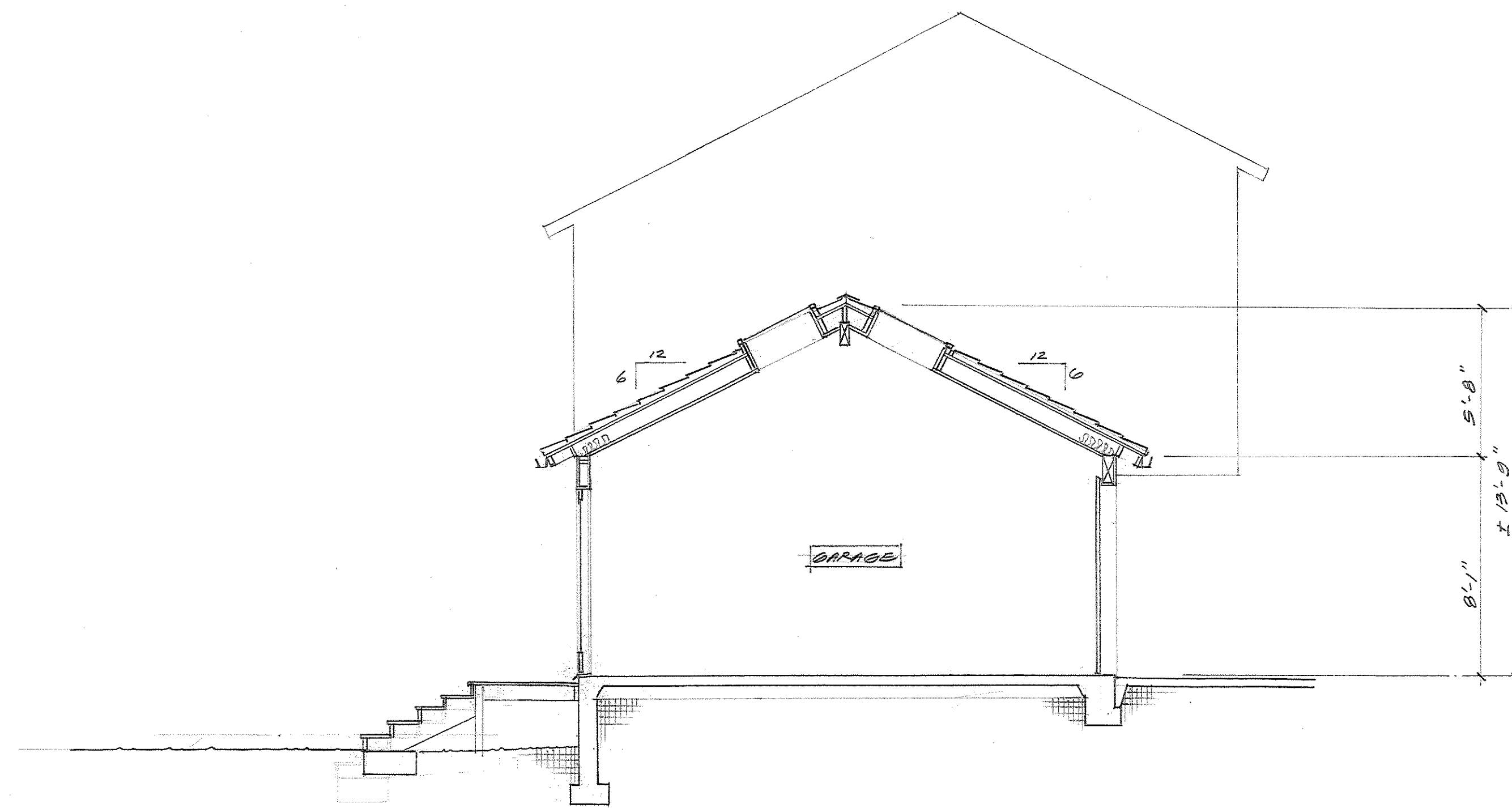


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Daryl Woods Architect
831.234.9853

CLARK RESIDENCE A3.0
APN: 046-241-39

1/4" = 1'-0"

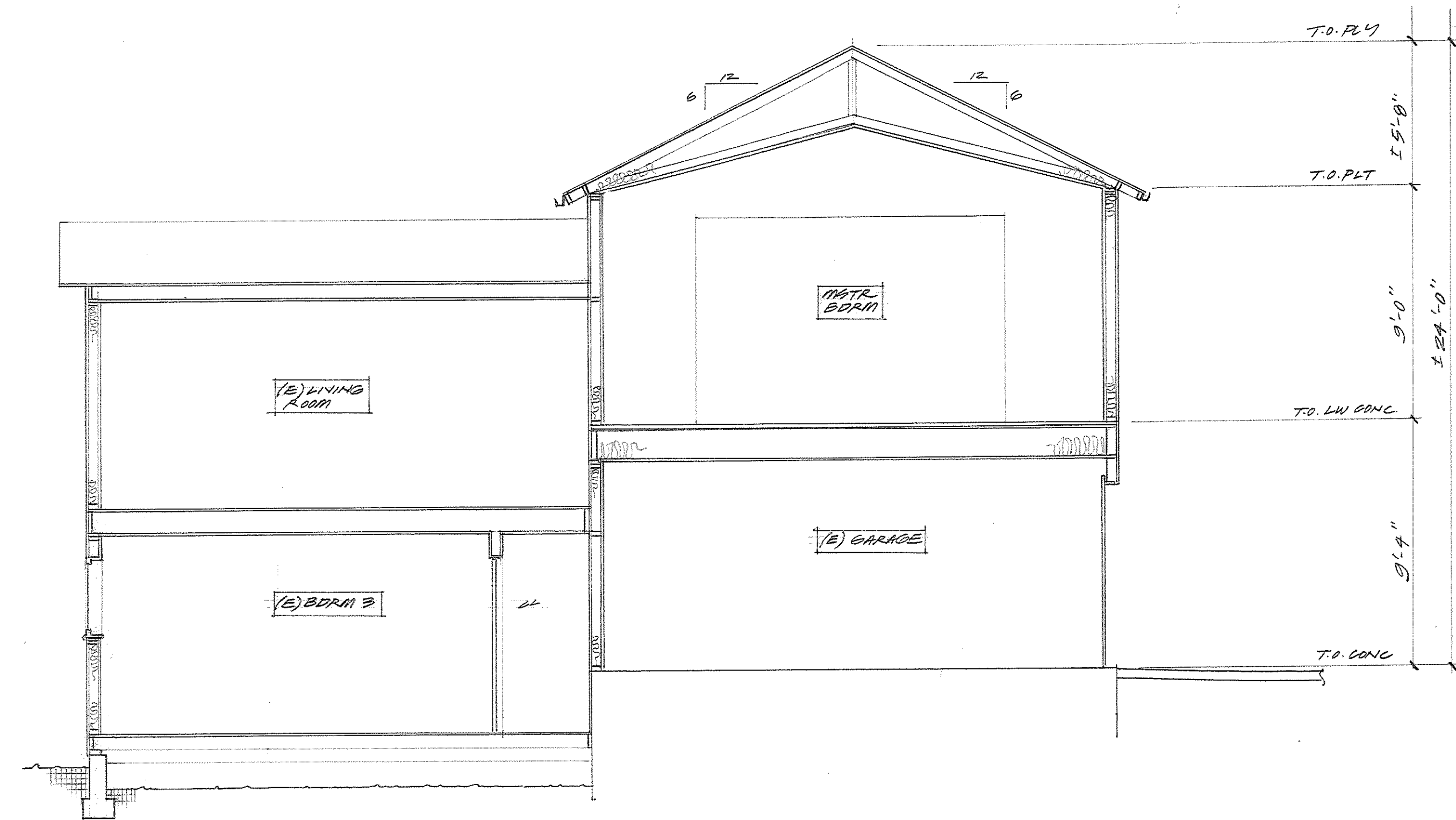
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CROSS SECTION

1/4" = 1'-0"

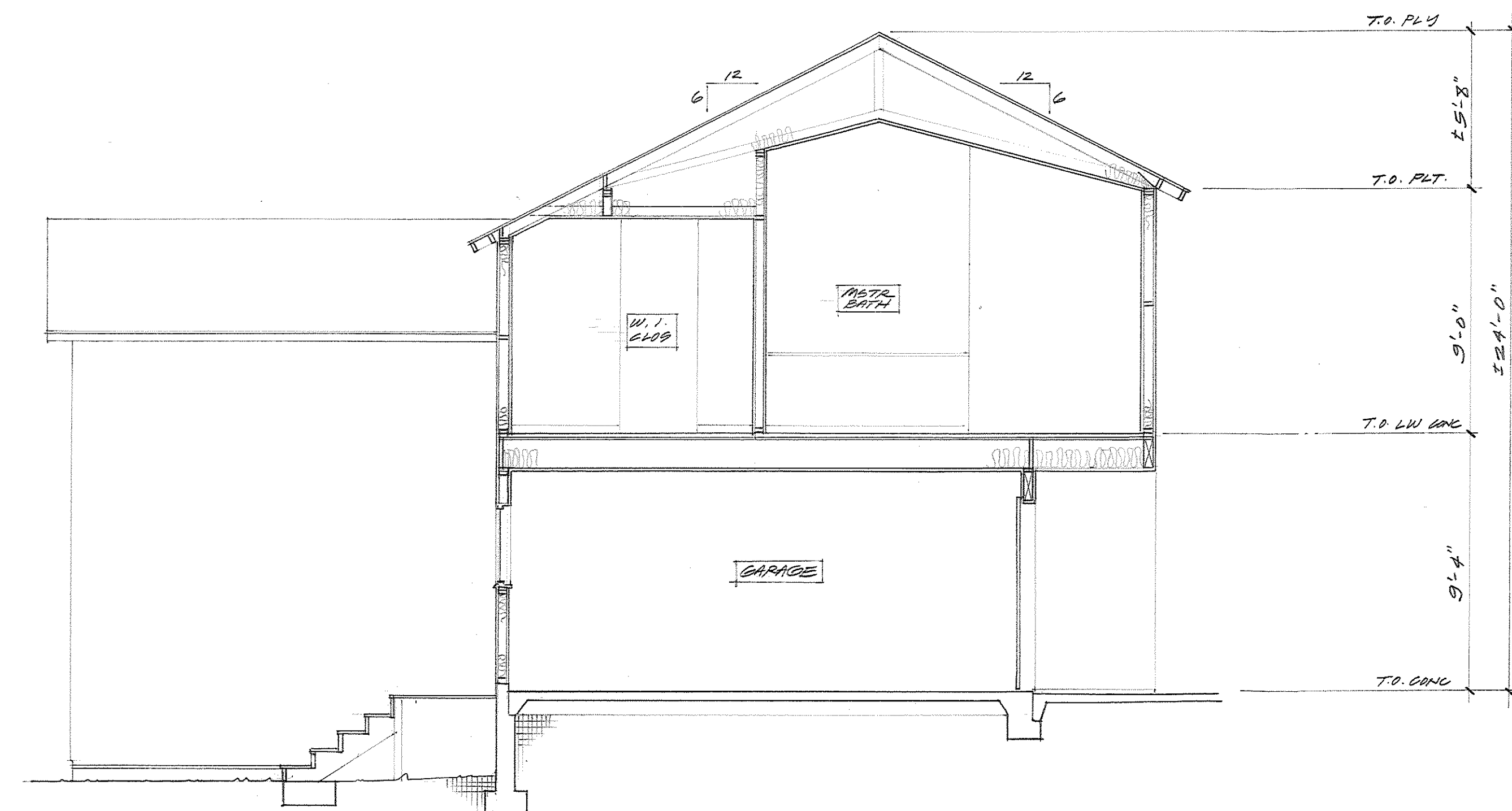
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CROSS SECTION

1/4" = 1'-0"

1

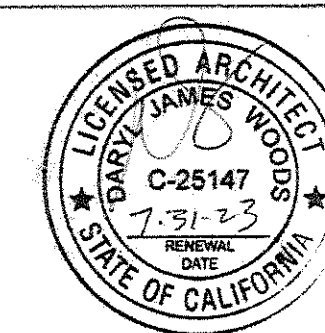


CROSS SECTION

1/4" = 1'-0"

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



273 Lindero
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California
95076
Darryl Woods Architect
831.234.9853-1

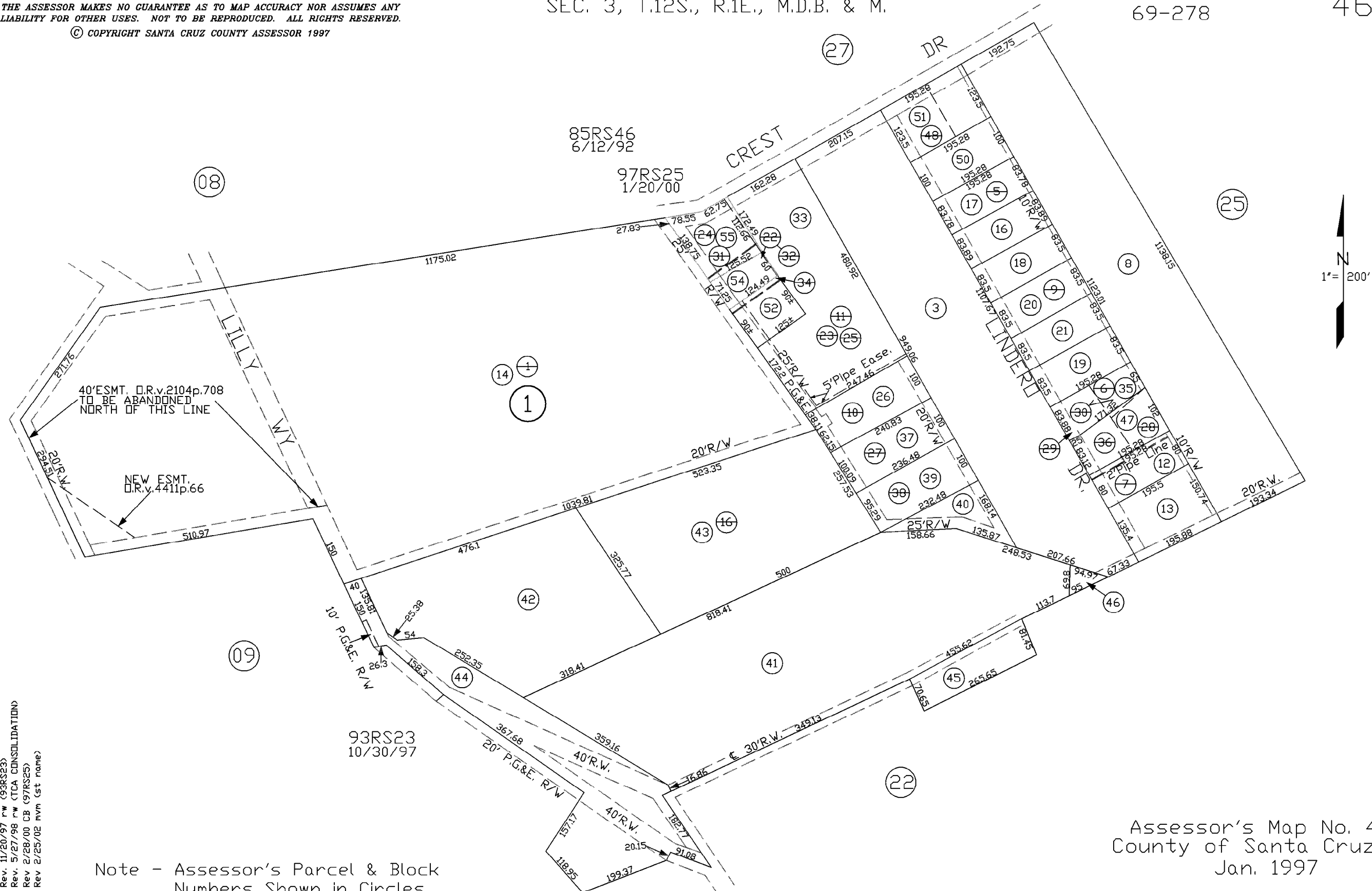
CLARK RESIDENCE A4.0
APN: 046-241-39

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Tax Area Code
69-278

46-24



1" = 200'




Assessor's Map No. 46-24
County of Santa Cruz, Calif.
Jan. 1997



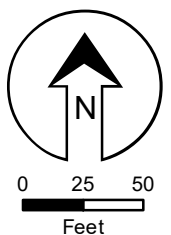
Parcel Location Map



Parcel: 04624139

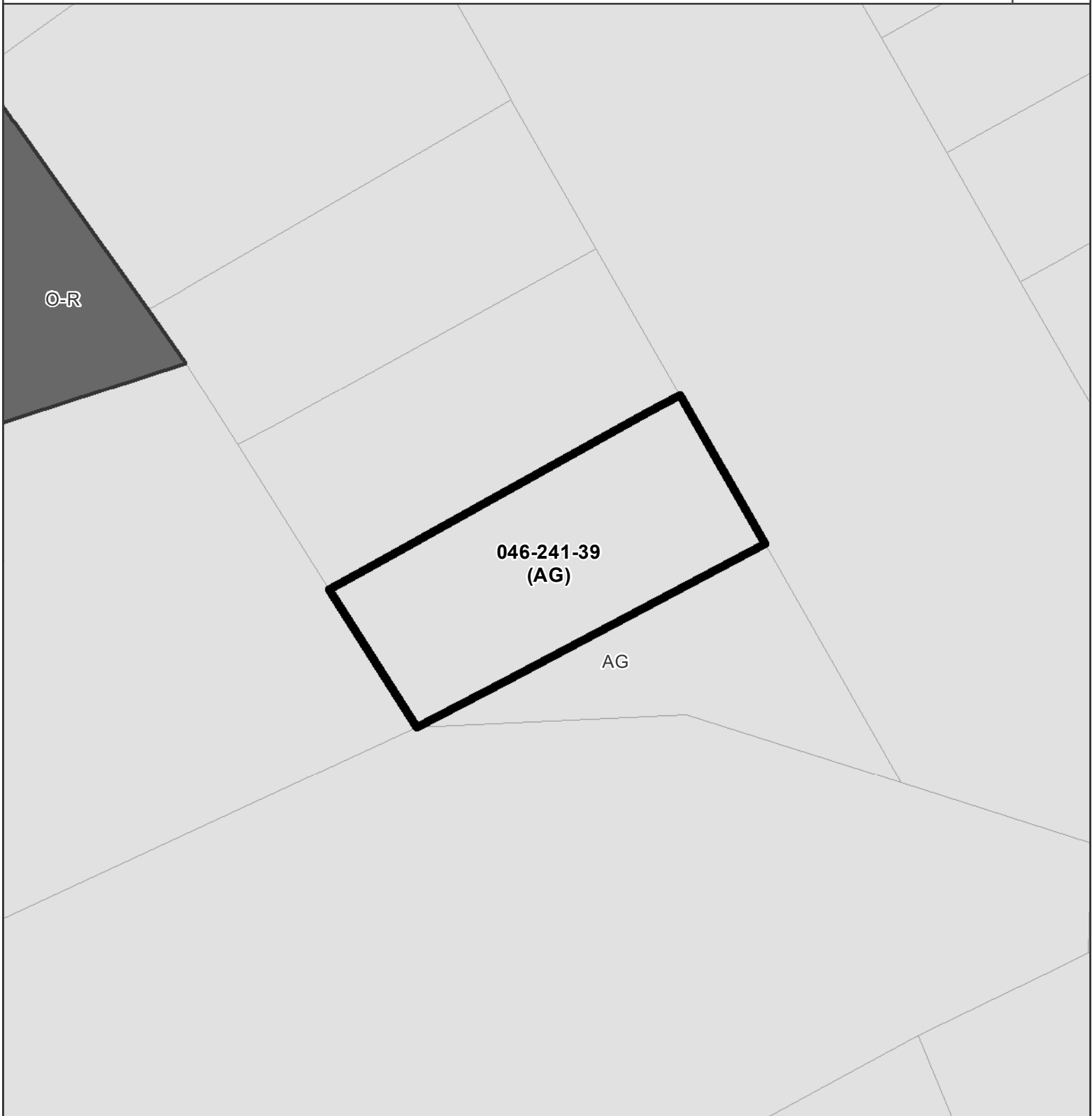
-  Study Parcel
-  Assessor Parcel Boundary
-  Existing Park

Map printed: 17 May. 2023

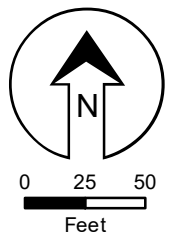




Parcel General Plan Map

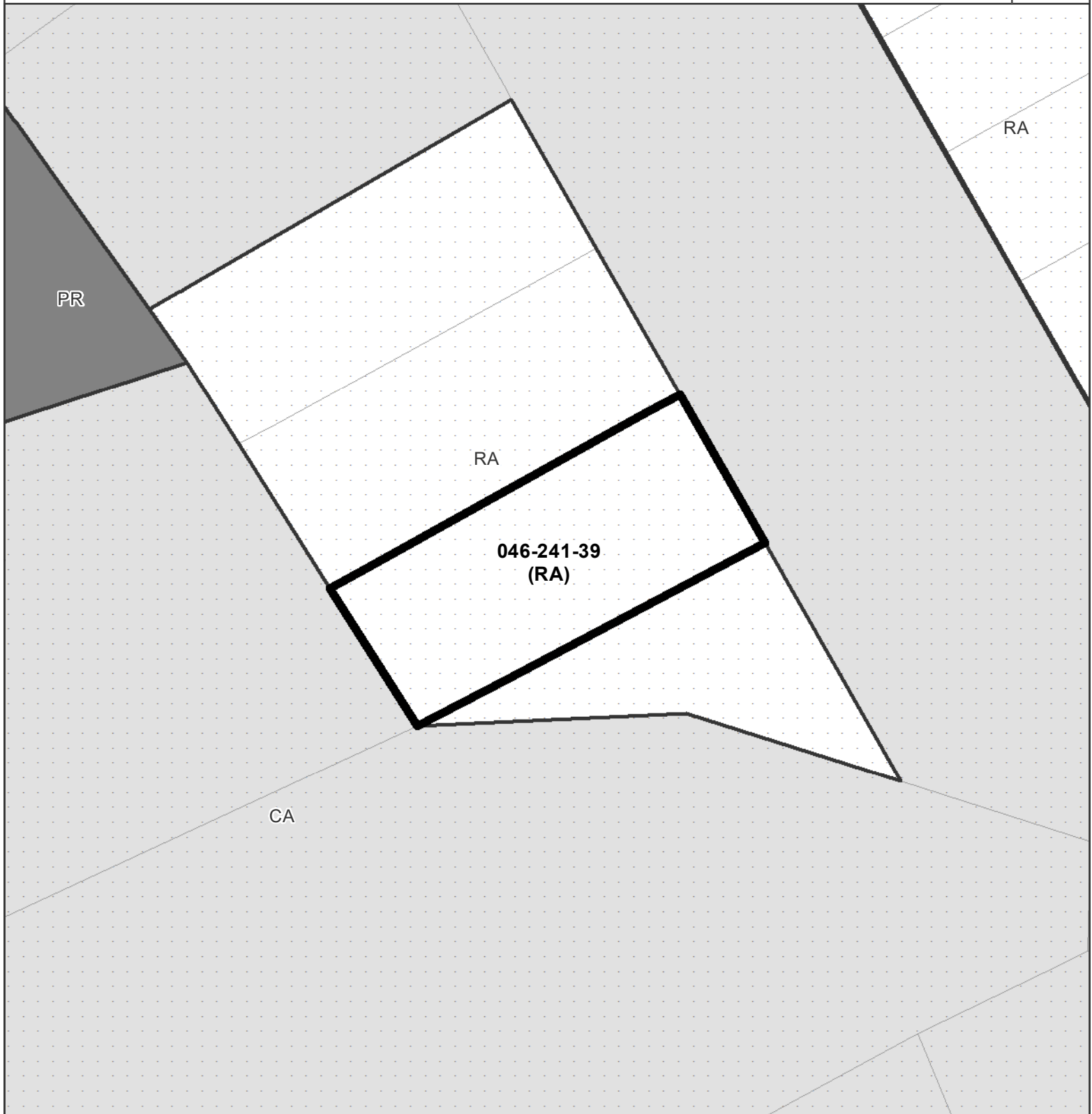


- AG *Agricultural*
- O-R *Parks, Recreation & Open Space*

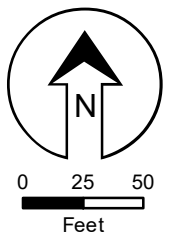




Parcel Zoning Map



- CA Commercial Agriculture
- RA Residential Agricultural
- PR Parks, Recreation, & Open Space



Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: San Andreas Mutual Water
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central (Aptos/La Selva Fire) Protection District
Drainage District: None

Parcel Information

Parcel Size: 23,609 square feet (0.54 acres)
Existing Land Use - Parcel: Single family dwelling
Existing Land Use - Surrounding: Rural residential and agriculture
Project Access: Crest Drive
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: RA (Residential Agriculture)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 5-15%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site

County of Santa Cruz

AGRICULTURAL POLICY ADVISORY COMMISSION



BRUCE BALDWIN, Chairperson
KEN KIMES, Vice Chairperson
DAVID SANFORD, Executive Secretary

MINUTES OF REGULAR MEETING

July 20, 2023

1:30 PM

Agricultural Extension Auditorium
1432 Freedom Boulevard
Watsonville, California

Present: Ellen Rinde, Mike Manfre, Ken Kimes, Jerold O'Brien

Excused Absence: None

Unexcused Absence: None

Others: Sheila McDaniel, Randall Adams, Evan Ditmars, Paul Lego, David Sanford, Rachel Schuster

1. The meeting was called to order at 1:35 p.m.
2. Additions/Corrections to Agenda, Approval of Minutes, APAC Correspondence
 - (a) Additions/Corrections to Agenda: Order of items 9 and 10 were switched on revised agenda.
 - (b) Approval of Minutes: Approval of minutes from April 20, 2023 meeting is postponed.
 - (c) Review of APAC Correspondence: None
3. Declaration of Ex Parte Communications: None
4. Oral Communications: None
5. APAC Commissioner Presentations: None
6. Update from Agricultural Commissioner: Ag Commissioner's Office is finalizing the 2022 Crop Report.
7. Updates from Staff Planner: A new venue is being sought for future APAC meetings (by November).
8. Project: **221213. APN: 046-241-39**

Approve staff recommendations for project 221213

MOTION/SECONDED: Kimes/Manfre

AYES: Rinde, Manfe, Kimes, O'Brien

NOES: None

ABSTAIN: None

ABSENT: None

9. Project: **231125.** APN: **046-261-14**

Approve staff recommendations for project 231125

MOTION/SECONDED: Rinde/Kimes

AYES: Rinde, Manfe, Kimes, O'Brien

NOES: None

ABSTAIN: None

ABSENT: None

10. Project: **231054.** APN: **046-261-26**

Approve staff recommendations for project 231054

MOTION/SECONDED: Kimes/O'Brien

AYES: Rinde, Manfe, Kimes, O'Brien

NOES: None

ABSTAIN: None

ABSENT: None

The meeting was adjourned at 2:45 p.m.



Staff Report to the Agricultural Policy Advisory Commission

Application Number: **221213**

Applicant: Daryl Woods

Owner: Clark

APN: 046-241-39

Address: 193 Crest Drive, La Selva Beach

Date:

Agenda Item #:

Time: 1:30 p.m.

Project Description: Proposal to construct additions of approximately 1,220 square feet to an existing single family dwelling, including an additional two car attached garage and a new master suite on the second floor of the residence.

Location: Property located at 193 Crest Drive in La Selva Beach.

Permits Required: Agricultural Buffer Setback Reduction (Coastal Development Permit to be considered by the Zoning Administrator)

Staff Recommendation:

- Staff recommends that your Commission **RECOMMEND APPROVAL** of the Agricultural Buffer Setback Reduction proposed under Application 221213, to the Zoning Administrator, based on the attached findings and recommended conditions.

Analysis and Discussion

The proposed project is to construct a two story addition of approximately 1,220 square feet to an existing single-family dwelling on a 23,609 square foot (0.54 acre) parcel. The project is located at 193 Crest Drive in La Selva Beach. The building site is within 200 feet of Commercial Agriculture land to the east and south. The applicant is requesting a reduction in the 200 foot agricultural buffer setback to 15 feet from APN 046-241-03 to the east and to 150 feet from APN 046-241-41 to the south.

The subject property is characterized by gently sloping topography. The parcel is located outside of the Urban Services Line and the area can be characterized as a rural residential neighborhood with some agricultural uses. The parcel is located within the AG (Agriculture) General Plan designation and the implementing zone district is RA (Residential Agriculture). Commercial Agriculture zoned land is situated within 200 feet to the east and south of the subject parcel.

A reduced agricultural buffer is recommended due to the fact that the location of the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property. The requirement for a 200 foot agricultural buffer setback would essentially preclude development on the property as the property is 232 feet deep with a 25 foot wide right of way at the front of the property reducing the available lot depth to 207 feet.

Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east. The Commercial Agriculture zoned property to the south is located across another parcel which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south. The applicant will also be required to record a Statement of Acknowledgement regarding the issuance of a building permit in an area determined by the County of Santa Cruz to be subject to Agricultural-Residential use conflicts.

Recommendation

- Staff recommends that your Commission **RECOMMEND APPROVAL** of the Agricultural Buffer Setback Reduction proposed under Application 221213, to the Zoning Administrator, based on the attached findings and recommended conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Randall Adams
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3218
E-mail: randall.adams@santacruzcounty.us

Report Reviewed By: Jocelyn Drake
Principal Planner
Development Review

Exhibits

- A. Findings
- B. Conditions
- C. Project plans
- D. Assessor's, Location, Zoning and General Plan Maps
- E. Parcel information

**Required Findings for Agricultural Buffer Setback Reduction
County Code Section 16.50.095(D)**

1. Significant topographical differences exist between the agricultural and non-agricultural uses which eliminates or minimizes the need for a 200 foot agricultural buffer setback; or
2. Permanent substantial vegetation (such as a Riparian Corridor or Woodland protected by the County's Riparian Corridor or Sensitive Habitat Ordinances) or other physical barriers exist between the agricultural and non-agricultural uses which eliminate or minimize the need for a two hundred (200) foot agricultural buffer setback; or

The addition is proposed to be set back 15 feet from the adjacent Commercial Agriculture zoned land to the east and 150 feet from the Commercial Agriculture zoned land to the south. The effective agricultural setbacks are proposed to be 15 feet and 150 feet where 200 feet are required. An effective barrier consisting of a six foot tall solid wood fence enhanced with evergreen shrubs would be adequate to prevent conflicts between the proposed non-agricultural development and the adjacent Commercial Agriculture zoned land of APN 046-241-03 to the east. The Commercial Agriculture zoned property to the south (APN 046-241-41) is located across another parcel (APN 046-241-40) which is developed with a residence and landscaped with vegetation which would provide an adequate barrier to prevent conflicts between the proposed non-agricultural development and the Commercial Agriculture zoned land to the south (APN 046-241-41).

3. A lesser setback is found to be adequate to prevent conflicts between the non-agricultural development and the adjacent agricultural development and the adjacent agricultural land, based on the establishment of a physical barrier (unless it is determined that the installation of a barrier will hinder the affected agricultural use more than it would help it, or would create a serious traffic hazard on a public or private right of way) or the existence of some other factor which effectively supplants the need for a two hundred (200) foot agricultural buffer setback; or
4. The imposition of a two hundred (200) foot agricultural buffer setback would preclude building on a parcel of record as of the effective date of this chapter, in which case a lesser buffer setback distance may be permitted, provided that the maximum possible setback distance is required, coupled with a requirement for a physical barrier (e.g. solid fencing and/or vegetative screening) to provide the maximum buffering possible, consistent with the objective of permitting building on a parcel of record.

This finding can be made, in that the existing residence would not be able to be modified or expanded if the required 200 foot setback was maintained from the adjacent Commercial Agriculture zoned property located to the east. The property is only 232 feet deep with a 25 foot wide right of way at the west side (front) of the property. Staff recommends a solid six-foot fence at the east side of the parcel with an evergreen hedge of plantings to reduce the impact of agricultural activities on the proposed residential use, and to therefore protect the agricultural interests on the Commercial Agriculture zoned parcel to the east.

Conditions of Approval

- I. This permit authorizes an Agricultural Buffer Setback as indicated on the approved Exhibit "C" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit, including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit and Grading Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "C" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "C" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. A development setback of a minimum of 15 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-03.
 3. A development setback of a minimum of 150 feet from the single-family dwelling to the adjacent Commercial Agriculture zoned parcel APN 046-241-41.
 4. Final plans shall show the location of the vegetative buffering barrier (and any fences/walls used for the purpose of buffering adjacent agricultural land) which shall be composed of drought tolerant shrubbery. The shrubs utilized shall attain a minimum height of six feet upon maturity. Species type, plant sizes and spacing shall be indicated on the final plans for review and approval by Santa Cruz County Planning staff.
 - a. An agricultural buffer barrier consisting of a 6 foot high solid fence

and evergreen vegetation shall be installed and maintained between the proposed addition and the adjacent Commercial Agriculture zoned parcel to the east (APN 046-241-03).

5. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.

- a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.

- B. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.

III. All construction shall be performed according to the approved plans for the building permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. The agricultural buffer setbacks shall be met as verified by the County Building Inspector.
 - B. The required vegetative and/or physical barrier shall be installed. The applicant/owner shall contact Santa Cruz County Planning's Agricultural Planner, a minimum of three working days in advance to schedule an inspection to verify that the required barrier (vegetative and/or other) has been completed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official and/or the County Senior Civil Engineer.

IV. Operational Conditions

- A. The vegetative and physical barrier shall be permanently maintained.
 - B. All required Agricultural Buffer Setbacks shall be maintained.
 - C. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - D. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County

Code, the owner shall pay to the County the full cost of such County inspections, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor Variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below or if additional discretionary permits are required for the above permitted project, this permit

shall expire on the same date as any subsequent approved discretionary permit(s) unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

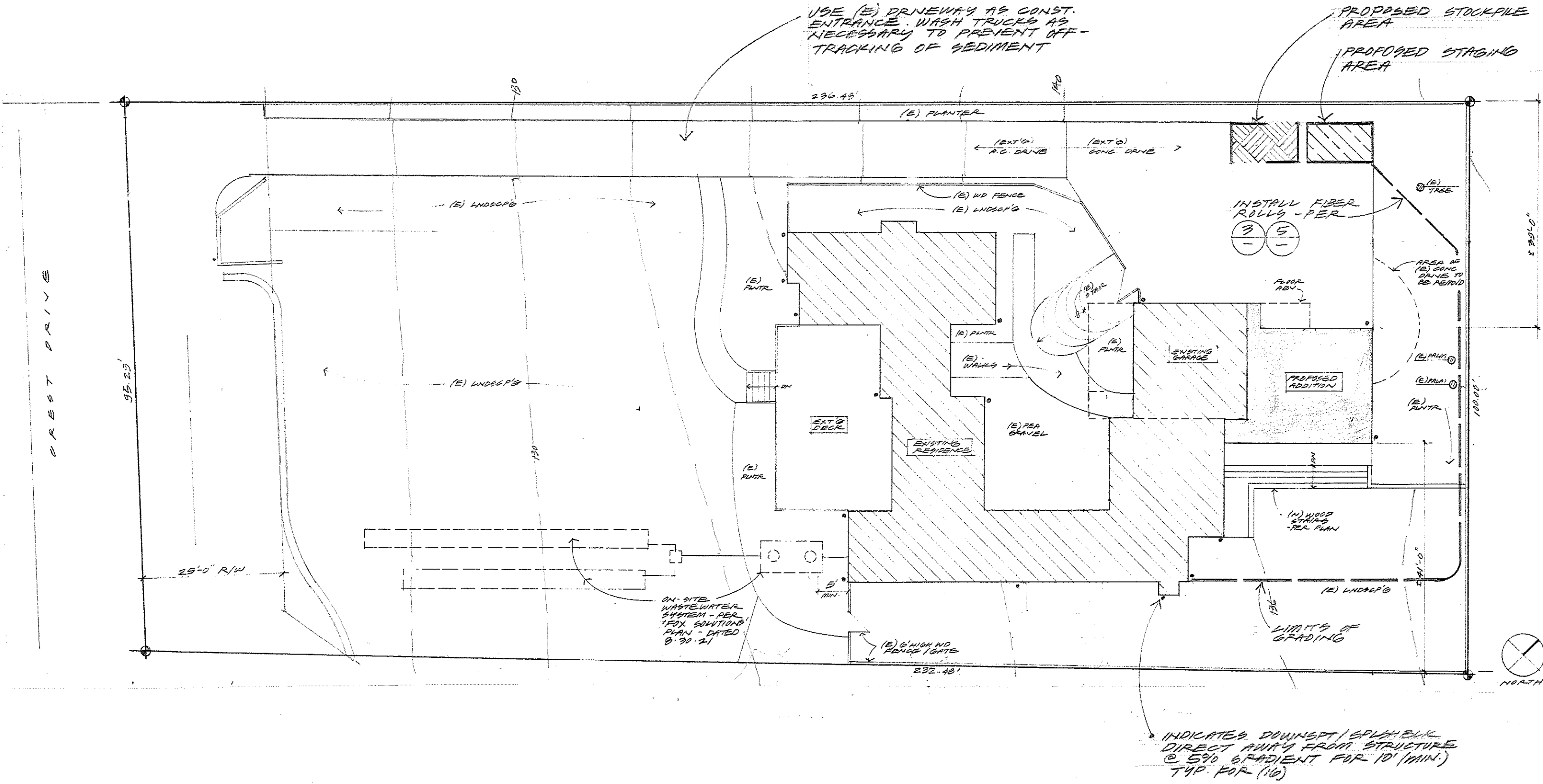
Approval Date:	<u>7/20/23</u>
Effective Date:	<u>8/3/23</u>
Expiration Date:	<u>See Coastal Development Conditions</u>

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Agricultural Policy Advisory Commission under the provisions of County Code Chapter 16.50, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

TOTAL AREA OF DISTURBANCE = 768 S.F.

SITE HOUSEKEEPING REQUIREMENTS

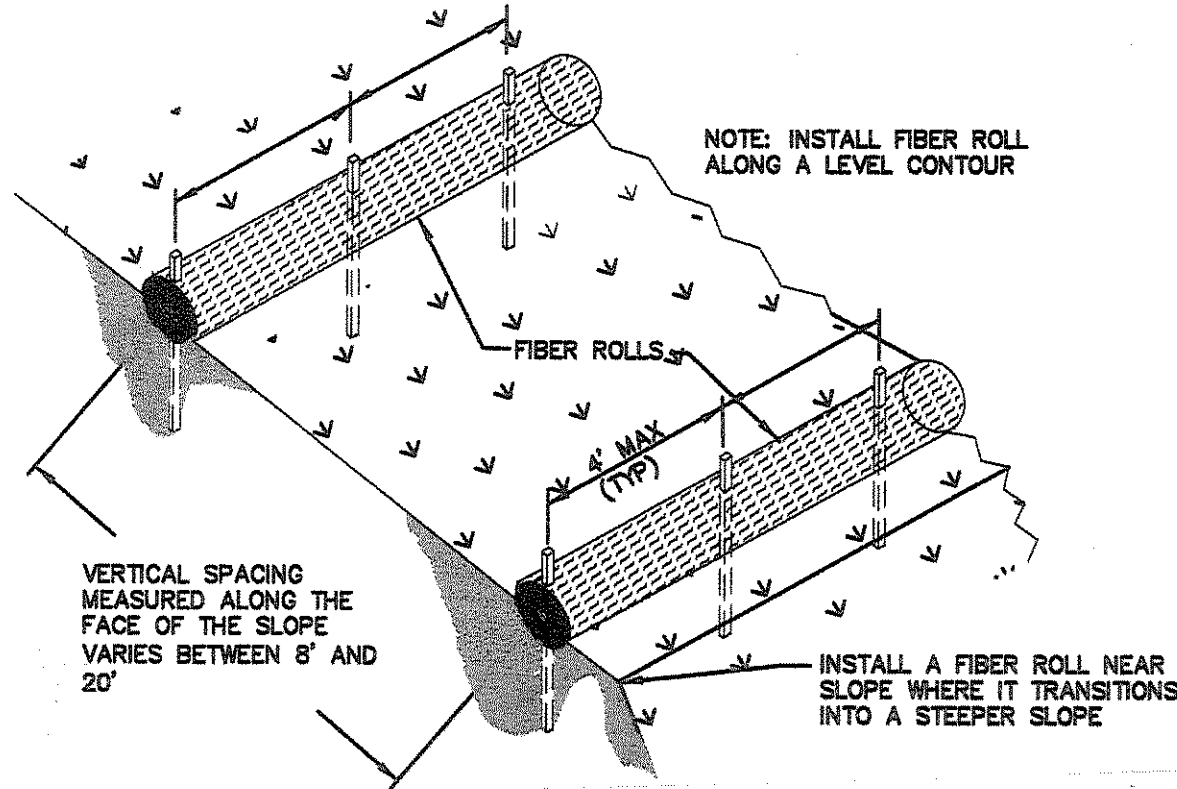
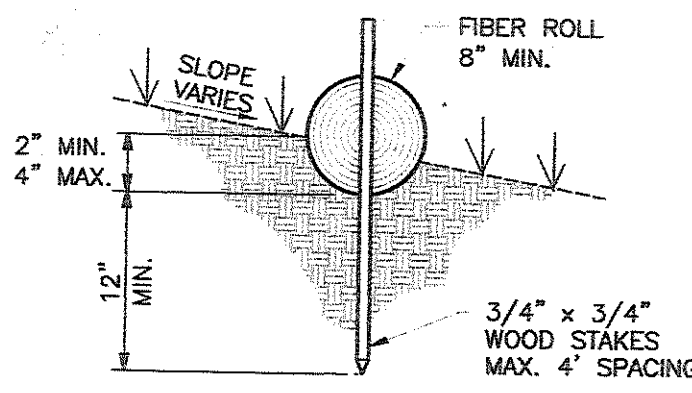
- CONSTRUCTION MATERIALS**
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- LANDSCAPE MATERIALS**
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.
- VEHICLE STORAGE AND MAINTENANCE**
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- WASTE MANAGEMENT**
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
 9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



EROSION CONTROL PLAN

1"=16'-0"

2



EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
 2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
 3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
 4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
 5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
 6. AMMONIUM PHOSPHATE FERTILIZER, 8-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
 7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
- ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES $\leq 20\%$ WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>20\%$

EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA

HOUSEKEEPING NOTES

7

ENTRENCHMENT DETAIL

NTS

5

TYPICAL FIBER ROLL INSTALLATION

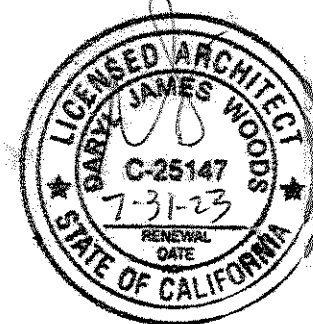
NTS

3

EROSION CONTROL NOTES

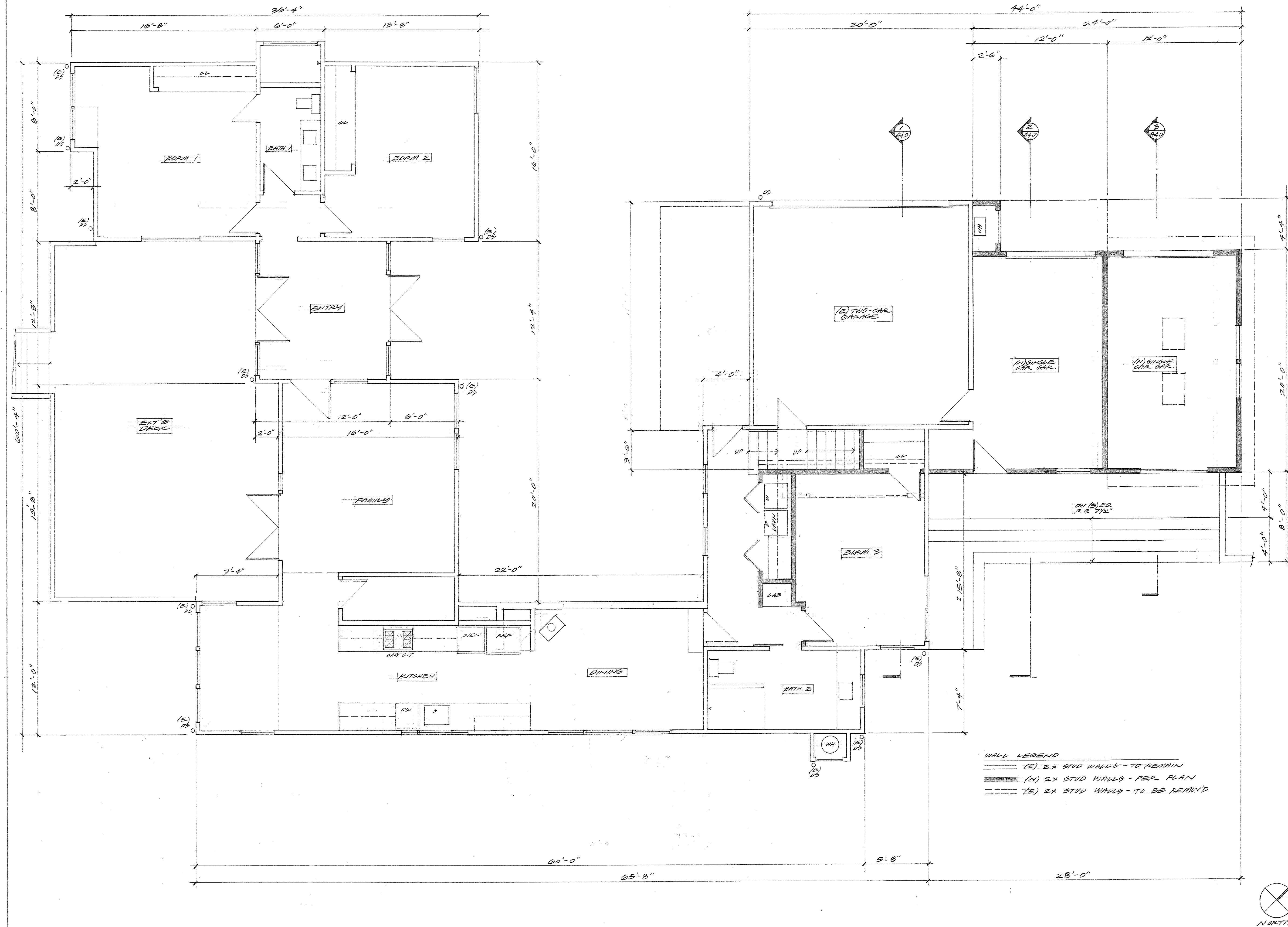
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ISSUE	DATE
PLANNING SUBMITTAL	10-22-2021

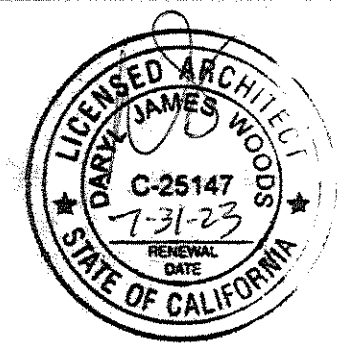


273 Lindero
La Selva beach
California
95076
Daryl Woods Architect
831.234.9853-f

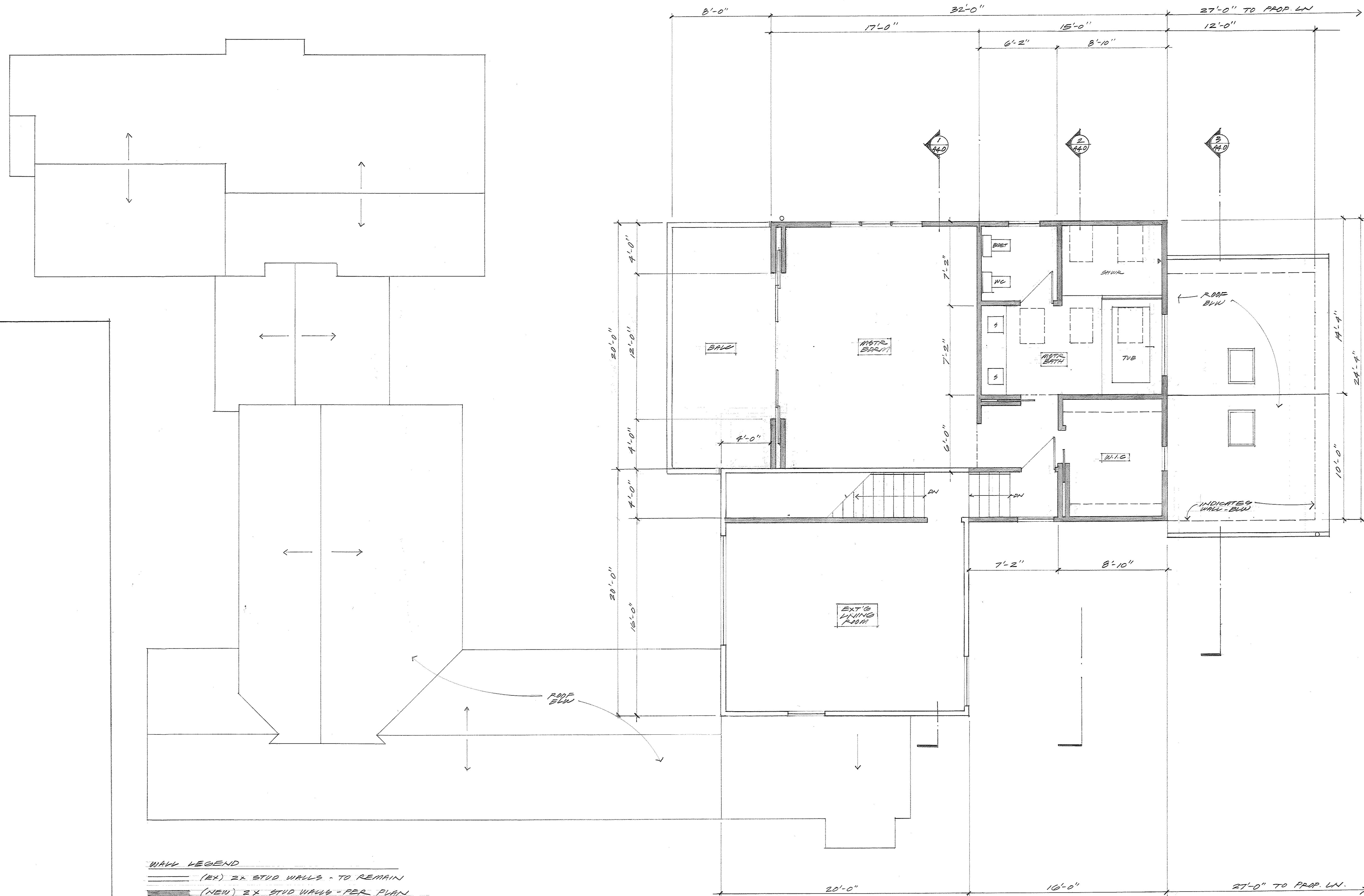
CLARK RESIDENCE C1
APN: 046-241-39



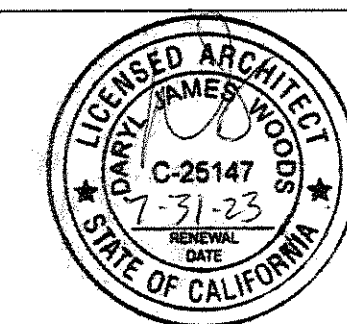
ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



273 Lindero
La Selva beach
California
95076
Darryl Woods Architect
831.234.9853

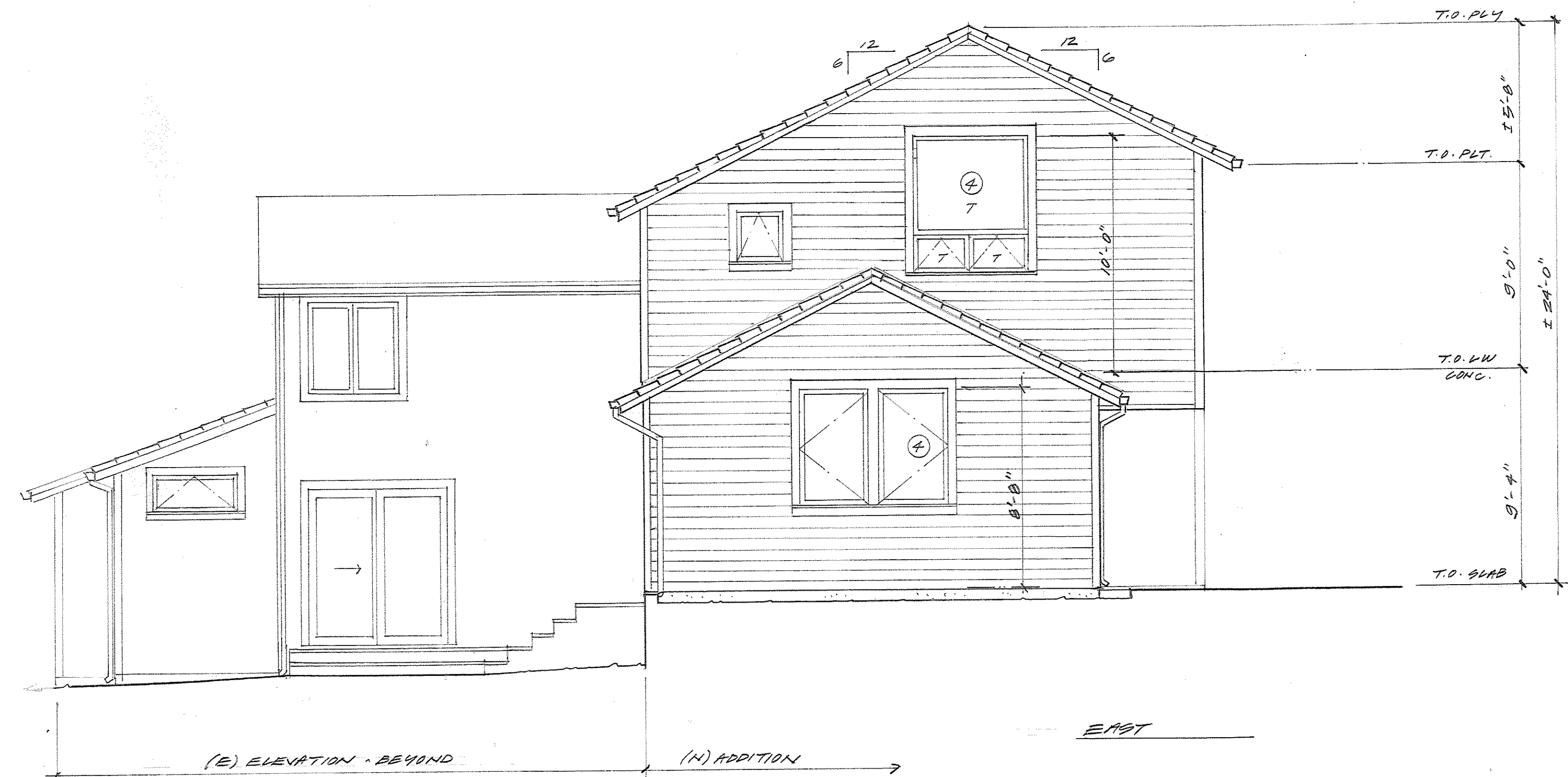
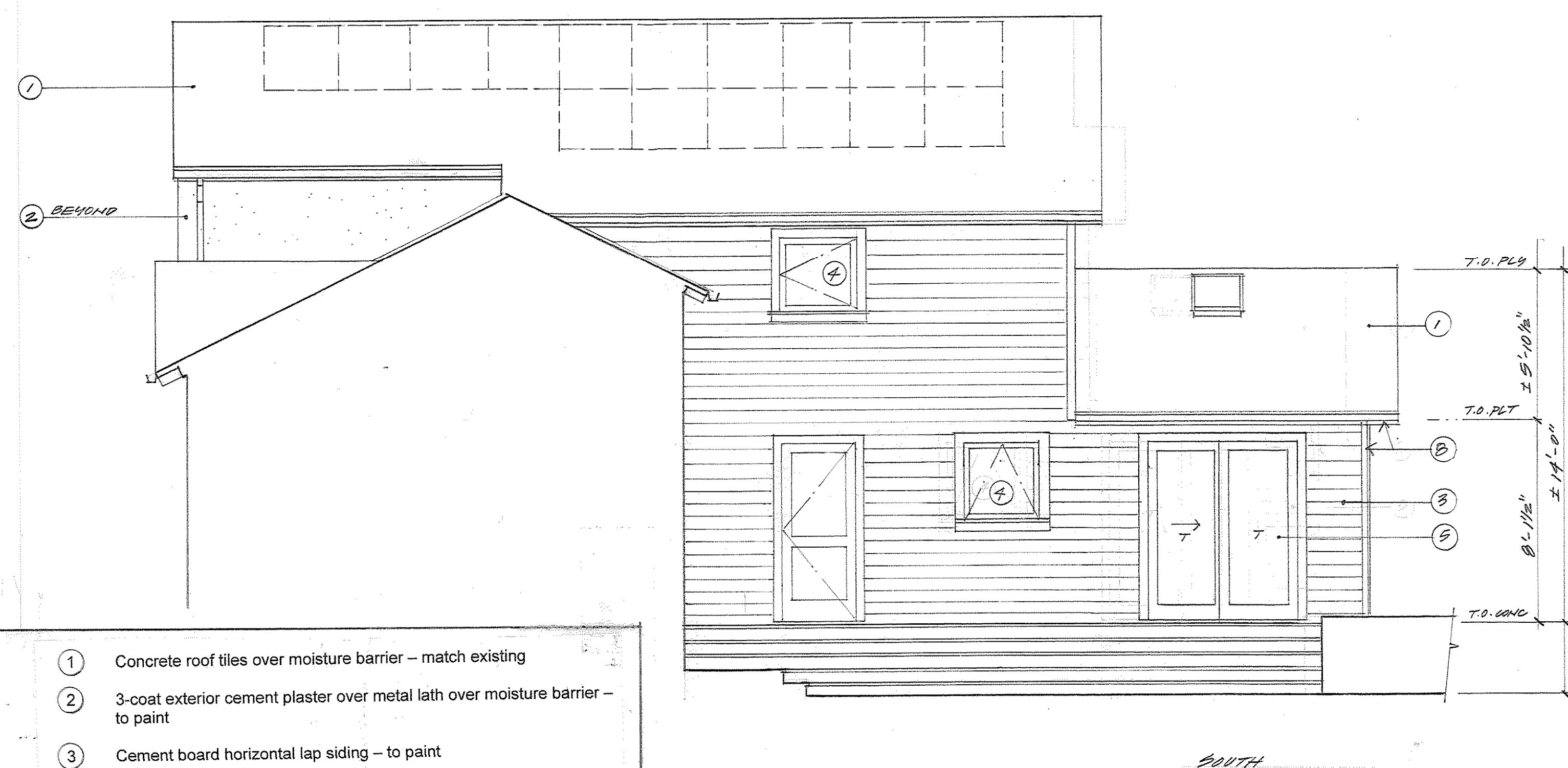
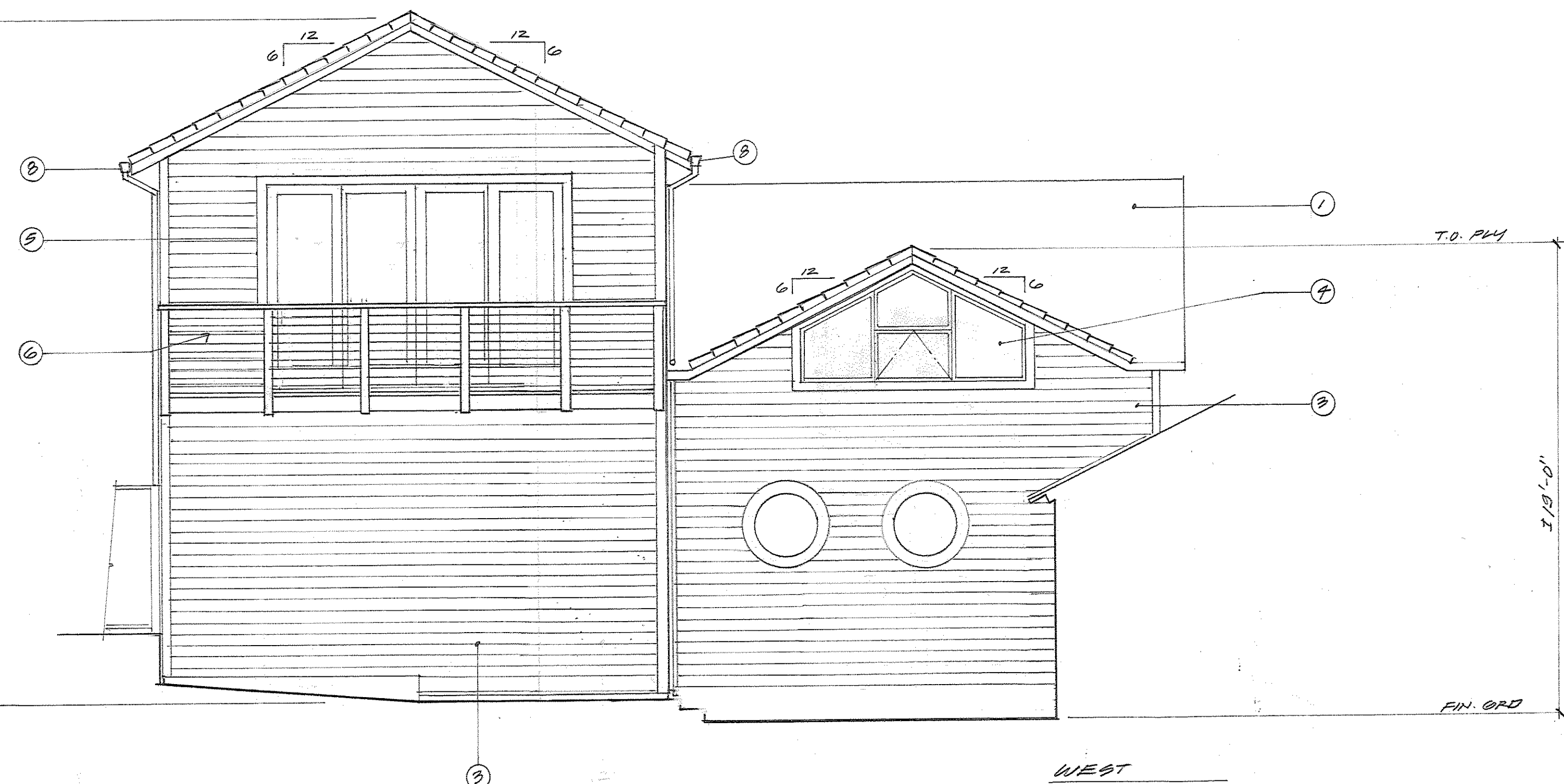
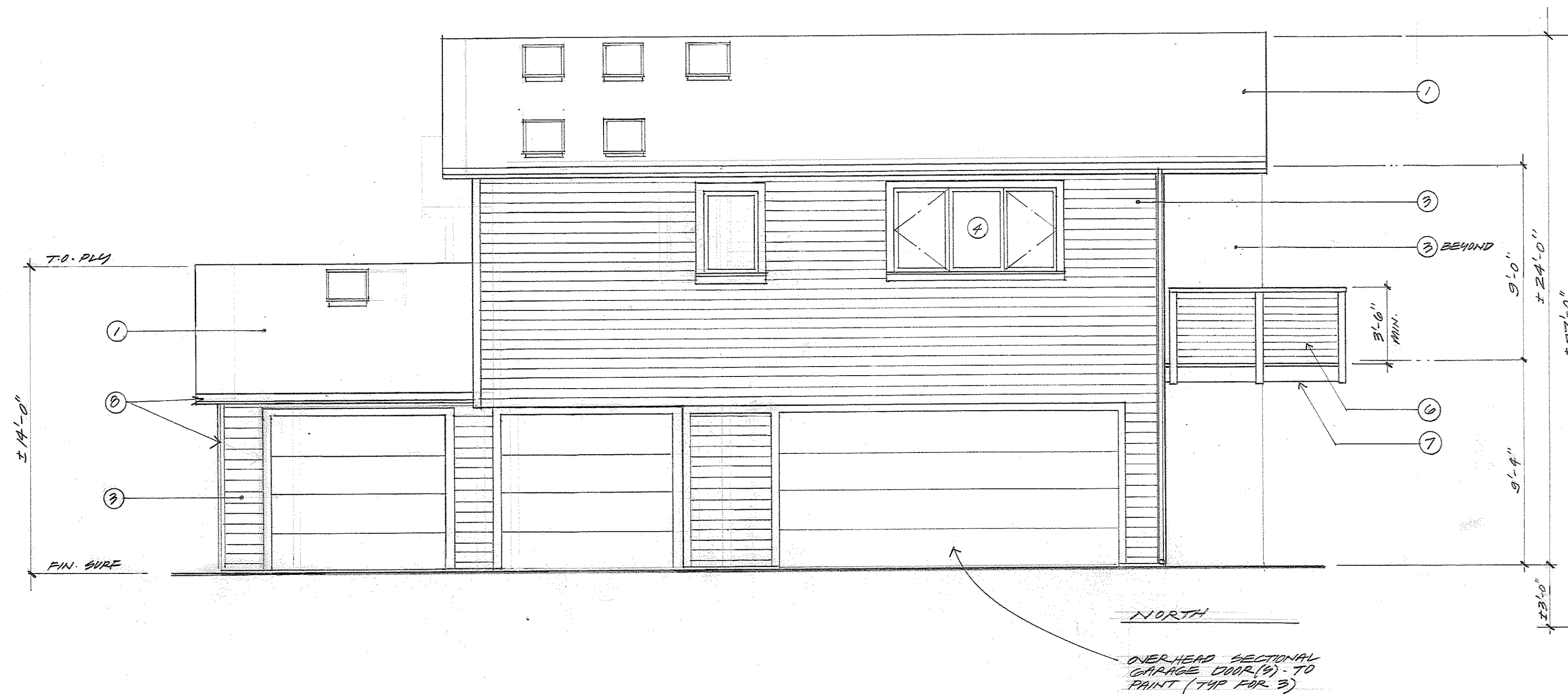


ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



273 Lindero
La Selva beach
California
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CLARK RESIDENCE A2.0
APN: 046-241-39

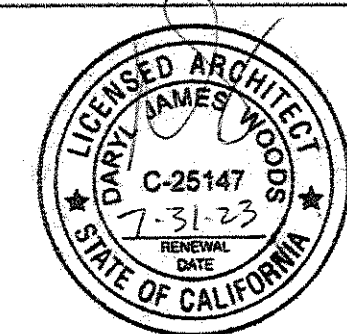


- 1 Concrete roof tiles over moisture barrier - match existing
- 2 3-coat exterior cement plaster over metal lath over moisture barrier - to paint
- 3 Cement board horizontal lap siding - to paint
- 4 Vinyl windows - per schedule
- 5 Exterior doors - per schedule
- 6 Stainless steel cable rail guardrail with painted wood posts
- 7 Exposed wood framing, per plans - to paint
- 8 26 Ga. metal gutter (match existing profile) with hinged gutter screen and 26 Ga. Downspouts - to match existing
- 9 Redwood decking/stairs - to stain

EXTERIOR MATERIALS

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021
	41

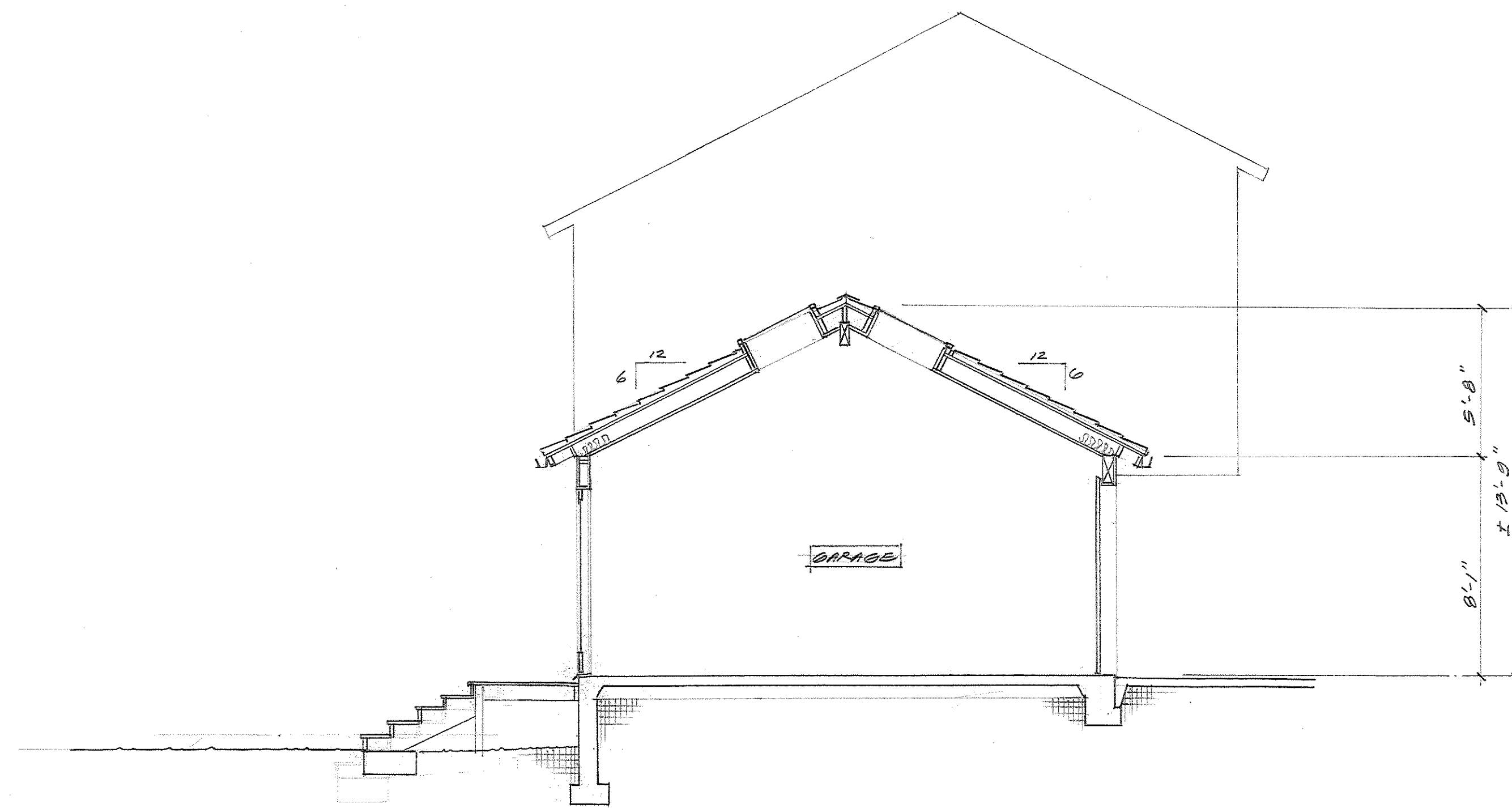


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La Selva beach
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831.234.9853

CLARK RESIDENCE A3.0
APN: 046-241-39

EXTERIOR ELEVATIONS

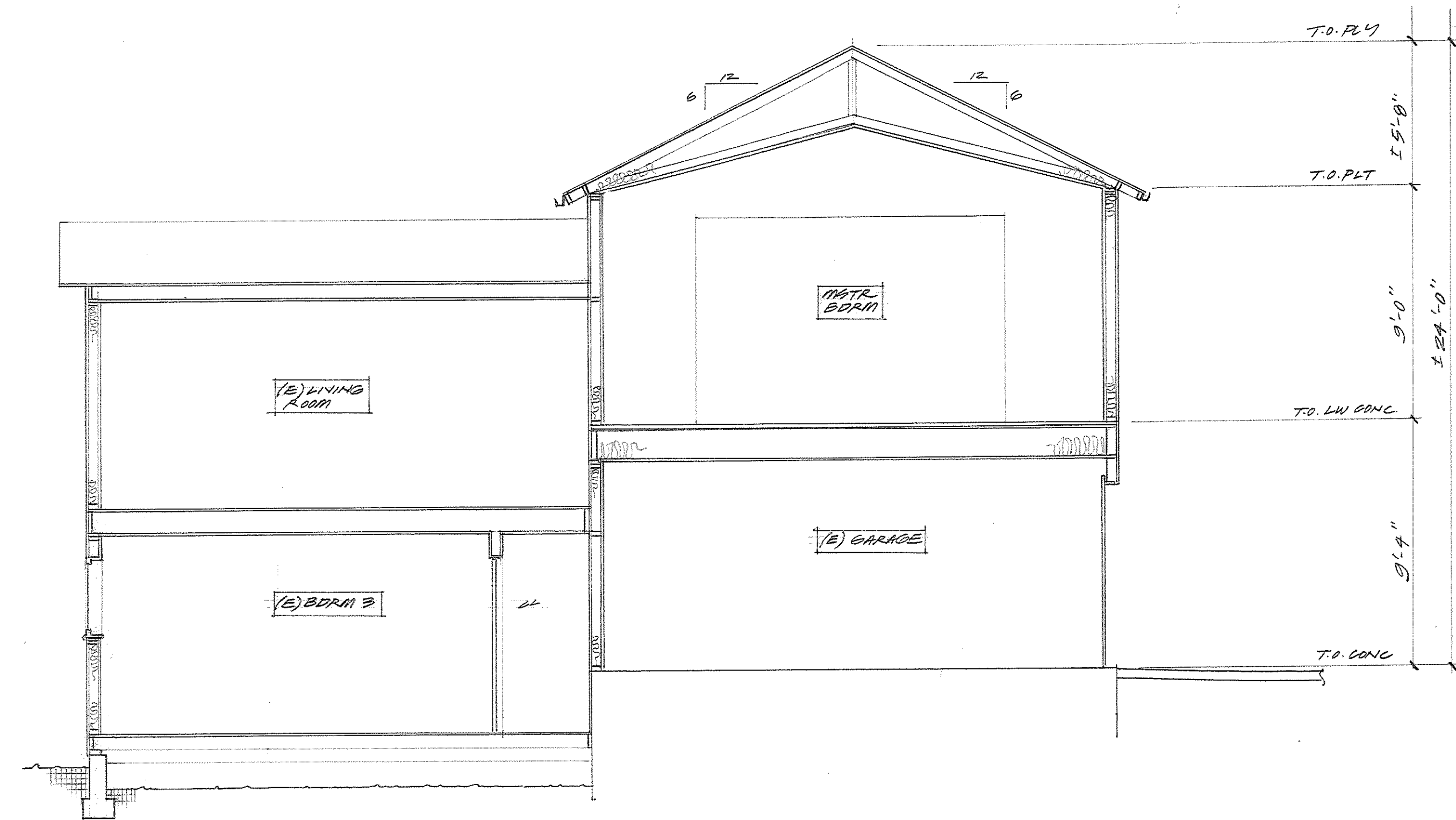
1/4"=1'-0"



CROSS SECTION

1/4" = 1'-0"

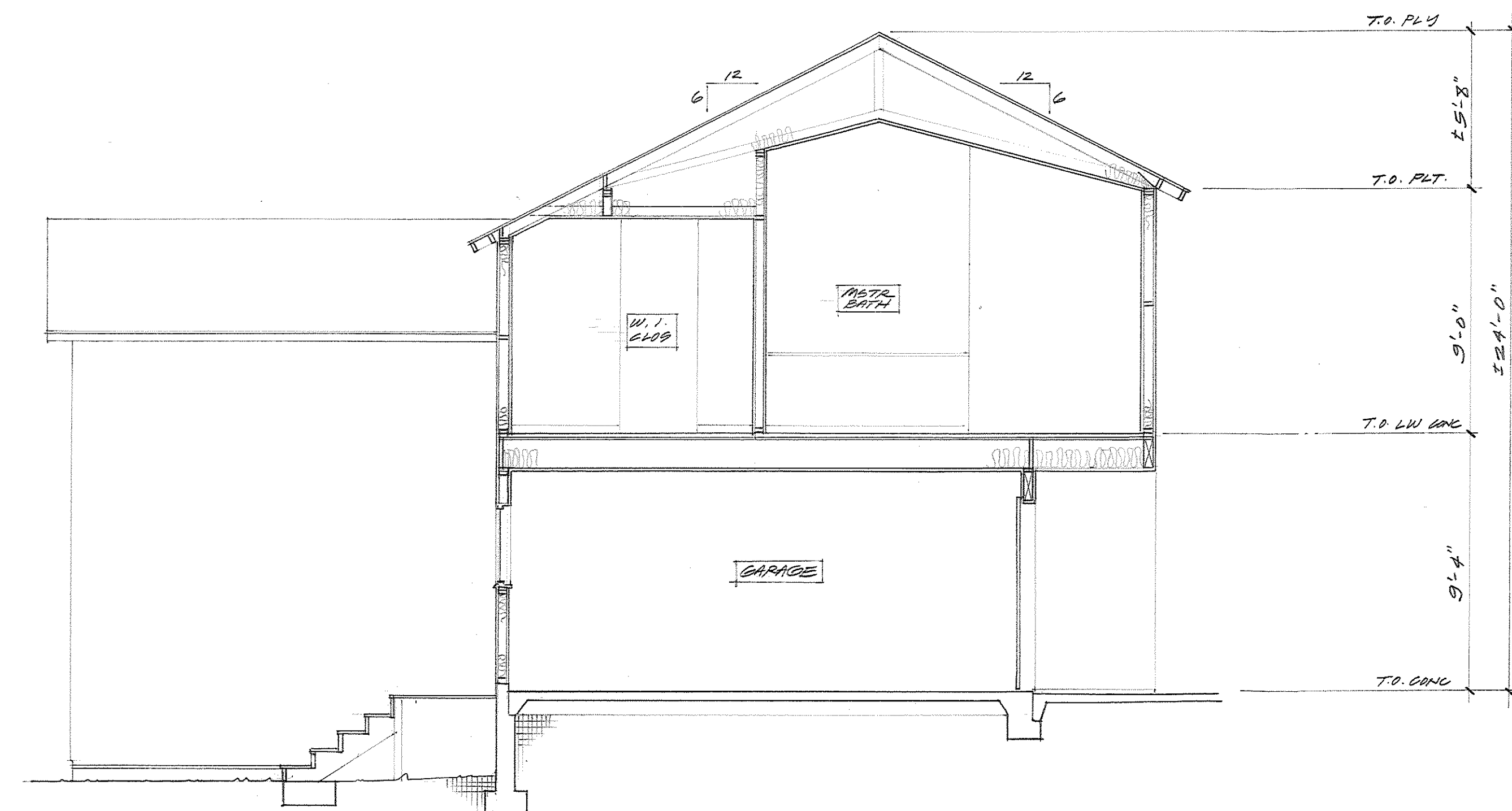
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CROSS SECTION

1/4" = 1'-0"

1

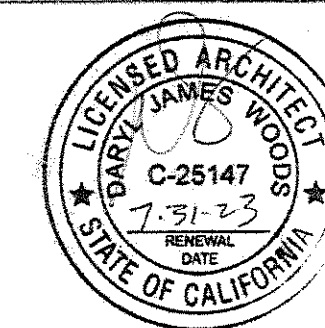


CROSS SECTION

1/4" = 1'-0"

2

ISSUE	DATE
PLANNING SUBMITTAL	10.22.2021



273 Lindero
La Selva beach
California
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Darryl Woods Architect
831.234.9853-1

CLARK RESIDENCE A4.0
APN: 046-241-39

FOR TAX PURPOSES ONLY

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POR. SAN ANDREAS RANCHO
SEC. 3, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-278

46-24



EXHIBIT D

Assessor's Map No. 46-24
County of Santa Cruz, Calif.
Jan. 1997

Note - Assessor's Parcel & Block
Numbers Shown in Circles.




Electronically Redrawn 1/22/97 r/w
Rev 5/12/97 CB (0012335 & 6, LBA 1-54 & 55)
Rev 11/20/97 r/w (93RS23)
Rev 5/27/98 r/w (TCA CONSOLIDATION)
Rev 2/28/00 CB (97RS25)
Rev 2/25/02 mvm (st name)



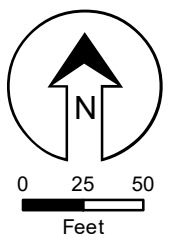
Parcel Location Map



Parcel: 04624139

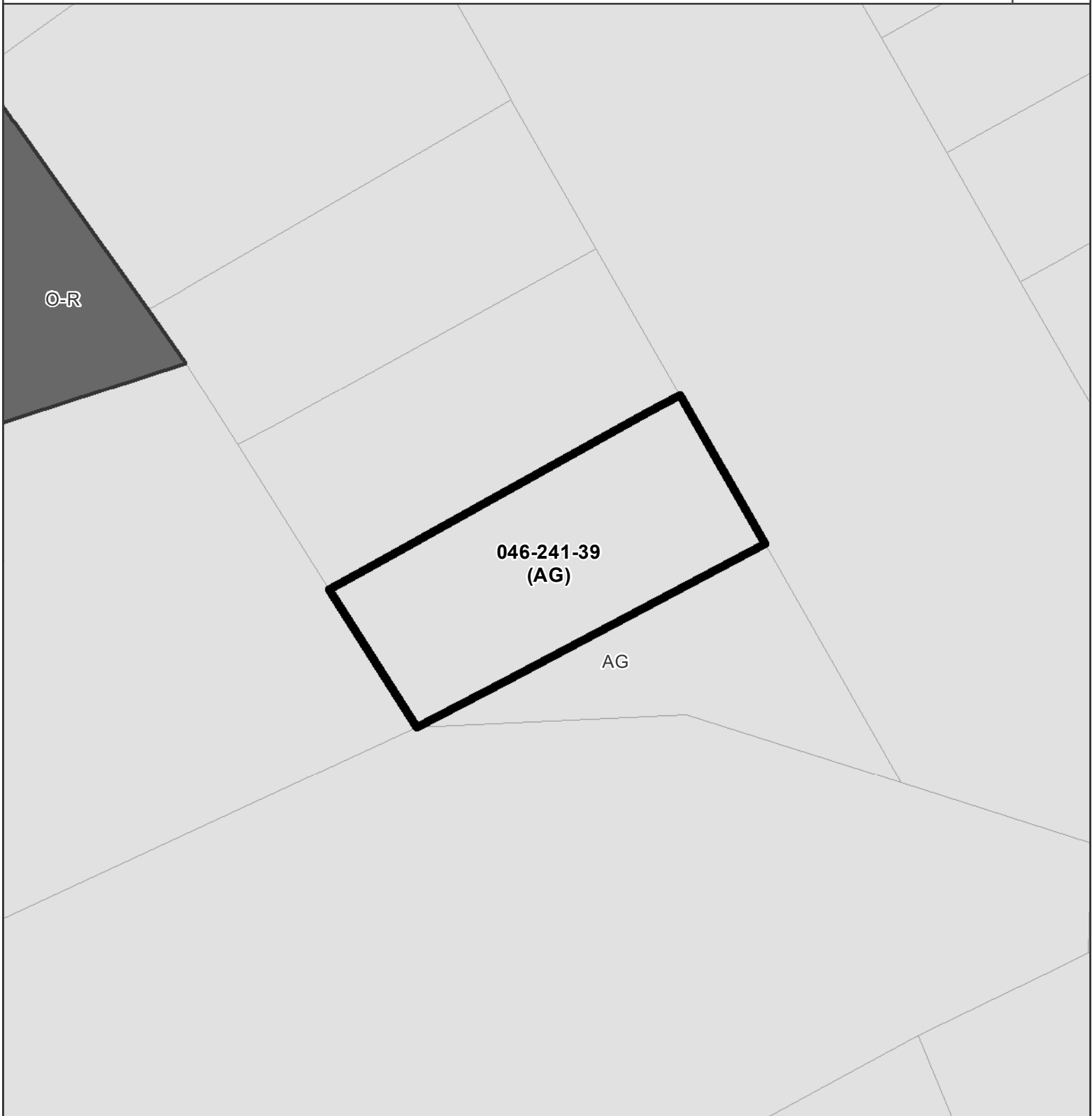
-  Study Parcel
-  Assessor Parcel Boundary
-  Existing Park

Map printed: 17 May. 2023

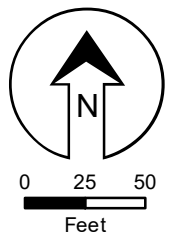




Parcel General Plan Map

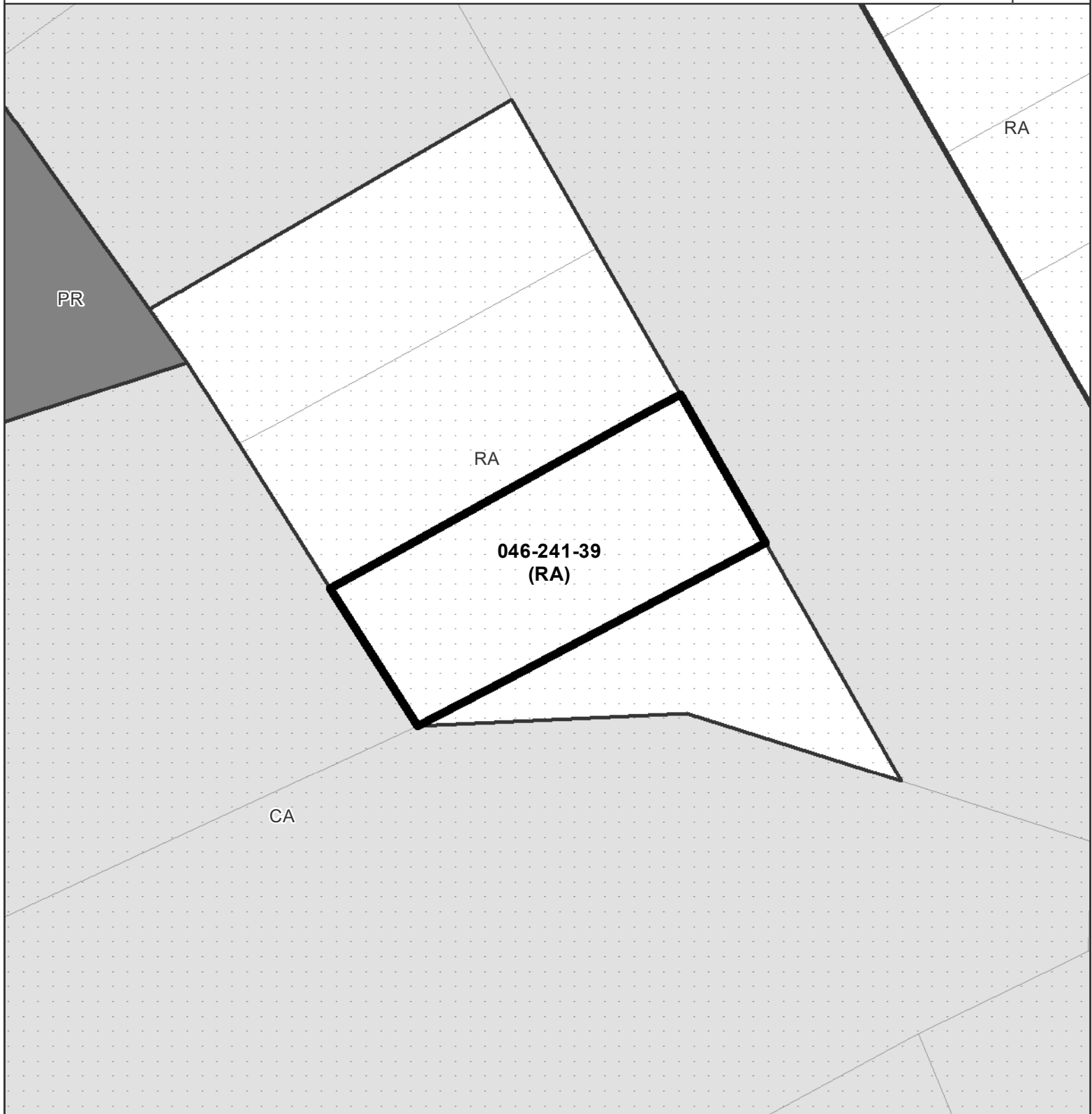


- AG *Agricultural*
- O-R *Parks, Recreation & Open Space*

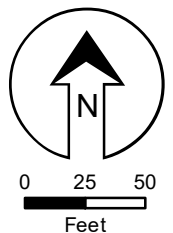




Parcel Zoning Map



- CA Commercial Agriculture
- RA Residential Agricultural
- PR Parks, Recreation, & Open Space



Agricultural Resources



May 17, 2023

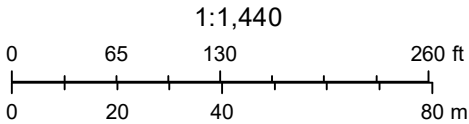
Parcels

Parcels

Ag Resource Area

- AG-1A
- AG-1B
- AG-2A

- AG-2B
- AG-2C
- AG-2D
- AG-3
- AG-PRES



County of Santa Cruz

Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: San Andreas Mutual Water
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central (Aptos/La Selva Fire) Protection District
Drainage District: None

Parcel Information

Parcel Size: 23,609 square feet (0.54 acres)
Existing Land Use - Parcel: Single family dwelling
Existing Land Use - Surrounding: Rural residential and agriculture
Project Access: Crest Drive
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: RA (Residential Agriculture)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal ☒ Yes ☐ No
Comm.

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 5-15%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site