



Staff Report to the Zoning Administrator

Application Number: **231111**

Applicant: Martin Bryan

Owner: Carol MacFarland

APN: 028-234-12

Site Address: 132 25th Avenue, Santa Cruz CA 95062

Agenda Date: 12/15/23

Agenda Item #: 2

Time: After 9:00 a.m.

Project Description: Proposal to construct an attached 365 square foot attached Accessory Dwelling Unit (ADU) at the lower floor of an existing, nonconforming 1,671 square foot two-story single-family dwelling with 437 square foot garage and to remodel the structure, including addition of a pitched roof.

Location: Project is located on the southeast side of 25th Avenue (132 25th Avenue), approximately 311 square feet from the intersection of 25th Avenue and East Cliff Drive in the Live Oak General Plan Area.

Permits Required: Requires a Coastal Development Permit.

Supervisory District: 1 District (District Supervisor: Manu Koenig)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231111, based on the attached findings and conditions.

Project Description & Setting

The property is located on the southeast side of 25th Avenue in the Live Oak General Plan Area and within the appeals jurisdiction of the Coastal Zone. The surrounding area is characterized by low density, one and two-story single-family dwellings. Homes in the vicinity of the project site are developed along the coastal bluffs overlooking Two-Six Beach. The neighborhood includes an increasing number of newer and updated homes sporting more contemporary architectural styles. The subject property and many others in the neighborhood have legal nonconforming structures that were built before building and zoning permit requirements.

Project Background

The parcel is currently developed with a two-story, flat-roofed, nonconforming, 1,671 square foot single-family dwelling that was built in 1965. The current nonconforming structure encroaches into the second story setbacks required for the Pleasure Point Combining District as well as the

uncovered deck above the attached garage encroaching into the side yard setbacks.

The project proposes to remodel the interior and exterior of the existing dwelling and the construction of an attached one-story Accessory Dwelling Unit (ADU) at the rear of the dwelling. The interior remodel results in a reversed floor plan with living space located at the second floor. Proposed exterior remodels include replacing the existing flat roof with a pitched hip roof; removing portions of the deck that currently protrude into the side yard setback over the attached garage to create greater conformity to the zone district standards; and changing some of the colors and materials. Because the proposed project results in an increase in the roof height by more than 10% a Coastal Development Permit is required.

Zoning & General Plan Consistency

The subject property is a 4,000 square foot lot, located in the R-1-4-PP (Single-Family Residential, minimum 4,000 square foot lot size, Pleasure Point Combining District) zone district, a designation which allows residential uses. The existing nonconforming single-family dwelling and proposed ADU are principal permitted uses within the zone district and the zoning is consistent with the site's R-UM (Urban Residential, Medium Density) General Plan designation.

A summary of the applicable site and development standards for parcels in the R-1-4-PP zone districts relevant to the project are summarized in the table below:

Development Standards	R-1-4-PP Zone District	Existing	Proposed
Front Yard Setback	15 feet	SFD: 20 feet	SFD: same ADU: located behind SFD
Side Yard Setbacks – 1st Floor	5 feet	SFD: Northern side 5 feet and Southern side 5 feet	SFD: same ADU: 5 feet*
Side Yard Setbacks – over 15 feet in height**	10 feet	SFD: Northern side 5 feet and Southern side 5 feet	SFD: same ADU: NA
Rear Yard Setback	15 feet	SFD: 27 feet	SFD: 27 feet ADU: 4 feet 2 inches*
Maximum Height	28 feet	SFD: 18 feet 7 inches	SFD: 26 feet 3 inches ADU: 11 feet*
Maximum Number of Stories	2 stories if inside USL	2	2
Garage Entrance Front Yard Setback	20 feet	SFD: 20 feet	SFD: same
Required Number of	SFD 3 bdrm:3; ADU:1	3	4

Parking Spaces			
Maximum Floor Area Ratio	50%	47.0%	47.0%
Maximum Lot Coverage	40%	34.5%	34.5%

*Per SCCC 13.10.681 ADU standards, the side and rear setbacks are 4 feet since the proposed attached ADU, which can be up to 28 feet in height, is less than 16 feet in height.

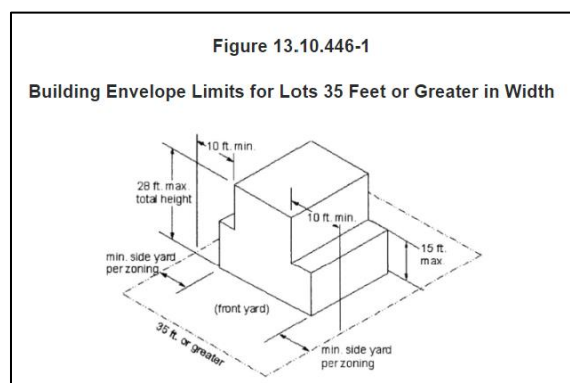
**Per SCCC 13.10.446(A)(1)(a), for lots with a width of 35 feet or greater, the second-floor side yard setback is 10 feet.

As illustrated by the above table, the existing dwelling is nonconforming to the site and development standards for the Pleasure Point zone district in that portions of the dwelling that are over 15 feet in height encroach into the required 10-foot second-floor side yard. However, the proposed project corrects the current encroachment into the side yards by the deck over the garage to result in greater conformance to zone district standards.

Pleasure Point Community Plan and Implementing Ordinances

In May 12, 2010 the Pleasure Point Community Plan was adopted by the County and approved by the Coastal Commission. The focus of this plan is to provide additional site and development standards to guide the future residential neighborhood character for this area. These standards include retaining the existing small beach town character, ensure complementary scale of new development, promote access to sun and light, as well as protect and enhance natural and ecological systems. The proposed project will remodel the existing nonconforming single-family dwelling to result in a design aesthetic that is compatible with the beach characteristics of the surrounding Pleasure Point neighborhood.

In the Pleasure Point Combining District, in accordance with SCCC 13.10.446(A)(1)(a) and 13.10.446(A)(1)(d), there are additional restrictions on building height within the side yard setback and increased side yard setbacks at the second floor. For this parcel the standards are based on lots greater than 35 feet in width as shown in the figure below. As proposed, the project retains the existing nonconforming setbacks with the Pleasure Point combining district standards and does not require a Pleasure Point Exception since there is no additional habitable square footage being constructed in the over 15 foot high 10-foot side yard setbacks.



Nonconforming Structures, SCCC 13.10.262

Per County Code section 13.10.262 – “Nonconforming Structures”, structural alterations may be made to an existing nonconforming structure without additional permit requirements, where such modifications do not constitute reconstruction, which is defined by County Code 13.10.260(B)(6), as modifications that alter 65% or more of the major structural components. Further, conforming additions that do not increase the nonconforming dimensions of the structure may be constructed. The proposed project results in a total modification of 45%, which results in a total within the last 5 years that is less than 65% and the top plate height is not increasing with the roofline alteration, therefore no Site Development Permit is required. Since there is no change to the top plate height or increase in habitable space, the change to the roof pitch of the existing nonconforming footprint the proposed change in the roof pitch does not require an additional approval per Administrative Practice Guideline NCS-01, Nonconforming Structures – Structural Alterations to Roofs.

Parking Standards

The proposed ADU is classified as a new construction ADU. Per SCCC 13.10.681, new construction ADUs require an additional parking space to be located on the parcel. The proposed site plan shows the additional parking space that will be added for the ADU.

Local Coastal Program Consistency

The property is located within the appeals jurisdiction of the Coastal Zone; therefore, a Coastal Development Permit is required for the remodeled single-family dwelling and new ADU. The proposed remodel of the existing nonconforming single-family dwelling and construction of an ADU at the rear of the structure will be in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single-family dwellings and ADUs. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The proposed increased height of the roof results in a pitched roof that is similar to that of neighboring pitched roofs and will not significantly change the visual impact from the public beach below due to the dwelling being located inland from the coastal bluff dwellings.

While the project site is located between the shoreline and the first public road, it is inland from properties that are developed at the coastal bluff and is not visible from the public beach below. There is no direct public beach access from 25th Avenue, however public beach access is available nearby on 26th Avenue, therefore the project will not impact public beach or other bodies of water access. The project parcel is also not identified as a priority acquisition site in the County's Local Coastal Program. A complete list of findings for the Coastal Development Permit is included in Exhibit B of this report.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231111**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Alexandra Corvello
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3209
E-mail: alexandra.corvello@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231111

Assessor Parcel Number: 028-234-12

Project Location: 132 25th Avenue, Santa Cruz CA 95062

Project Description: Proposal to remodel an existing 1,671 square foot two story single family dwelling and add an attached 365 square foot Accessory Dwelling Unit at the lower floor.

Person or Agency Proposing Project: Martin Bryan

Contact Phone Number: 831-332-7074

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 1 (15301) Existing Structures and Class 3 (15303) New Construction

F. Reasons why the project is exempt:

The proposed modifications to the existing single-family dwelling are minor and the addition is under 500 square feet.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-4-PP (Single-Family Residential, minimum 4,000 square foot lot size, and Pleasure Point Combining District), a designation which allows residential uses. The existing nonconforming single-family dwelling that is to be remodeled and the proposed ADU are principal permitted uses within the zone district, and the zoning is consistent with the site's R-UM (Urban Residential, Medium Density) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site. The project includes the removal of existing landscaping that encroaches into the public Right-of-Way. The conditions of approval for this permit require the applicant to apply for a Coastal Encroachment Permit from Santa Cruz County Parks Department before a building permit is issued.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style. The site is surrounded by lots developed to an urban density. The size and architectural styles of the surrounding homes are extremely varied, and the design submitted is consistent with the existing range of styles. The remodeled dwelling and ADU are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood and the proposed colors and materials will be natural in appearance, using a neutral sand color and natural colored siding that harmonizes with the beach character of the neighborhood and surrounding area. The development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program. Public beach access is not available along 25th Avenue and the proposed project does not impact public beach access which is located on 26th Avenue.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4-PP (Single-Family Residential, minimum 4,000 square foot lot size, and Pleasure Point Combining Zone District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single-family

dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood. The proposed increased height of the roof and remodeled dwelling will fit in with the neighborhood character since the majority of neighboring dwellings have pitched roofs and are two story structures. It will not significantly change the visual impact for the neighborhood characteristic as well as have no visual impact on the public beach below since the dwelling is located further inland from the existing coastal bluff dwellings.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

While the project is located between the shoreline and the first public road, the proposed project is not visible from the public beach and is located inland of homes that have been developed on the coastal bluff. Consequently, the remodel of the existing nonconforming single-family dwelling and addition of an ADU will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the legal nonconforming single-family dwelling and new ADU as well as the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-4-PP (Single-Family Residential, minimum 4,000 square foot lot size, and Pleasure Point Combining Zone District) zone district as the primary use of the property will be one legal nonconforming single-family dwelling and new ADU that meets all current site standards for the zone district.

The existing single-family dwelling was constructed on a substandard lot and is nonconforming to current zone district standards in that it does not comply with the increased second-floor setbacks required within the Pleasure Point Combining District. However, the proposed revision of the existing flat roof to be a pitched roof will not negatively impact adjacent properties in that there will not be an increase in the height of the existing top plate and because the pitch of the proposed roof will slope away from the nonconforming sides of the building. Further, there will not be an increase in the habitable floor area within the nonconforming setback. As such, in accordance with Administrative Practice Guideline NCS-01, Nonconforming Structures – Structural Alterations to Roofs, a Pleasure Point Exception is not required to recognize this change.

Per County Code section 13.10.262 – “Nonconforming Structures”, structural alterations may be made to an existing nonconforming structure without additional permit requirements, where such modifications do not constitute reconstruction. As shown by the submitted Modifications Worksheet, the proposed project does not constitute a reconstruction of 65% or more and since the top plate height of the structure is remaining the same, the proposed roof pitch change and increase in height is allowed.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Residential, Medium Density) land use designation

in the County General Plan. The proposed remodel of the existing nonconforming single-family dwelling and proposed ADU will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the proposed remodel of the existing nonconforming single-family dwelling to add a pitched roof will not result in increased shading of adjacent properties, and the proposed ADU will meet current setbacks for the zone district.

The proposed project will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed remodel of the nonconforming single-family dwelling will not significantly alter its impact on neighboring properties and the proposed ADU will comply with the site standards for the R-1-4-PP zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

Further, the proposed project will conform to the purposes of the Pleasure Point Community Plan in that the proposed project is for the remodel of an existing nonconforming single-family dwelling and will result in an upgraded design aesthetic that is compatible with the surrounding coastal neighborhood. The minor change in roof design will result in a slight increase in height but will result in a superior residential design that will not increase the existing shading to neighboring properties.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed remodel of the existing nonconforming single-family dwelling and proposed ADU will be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to change and therefore the proposed project will not adversely impact existing roads or intersections in the surrounding area. The proposed project includes the provision of one additional off-street parking space for the proposed ADU.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed remodel of the existing structure to add a pitched roof will not increase the nonconforming dimension of the existing dwelling. In addition the proposed ADU meets all site and development standards allowed for ADUs and no portion of the structure will exceed 15 feet in height within the side yard setbacks required in the Pleasure Point Combining District. The proposed remodeled dwelling and ADU are located in a mixed neighborhood containing a variety of architectural styles and that includes several similar nonconforming structures that were also built before 1956. The proposed project will therefore be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood. The design of the proposed project includes articulation of the proposed facades and exterior finishes with a color palate that is natural and is compatible with the beach town character of the Pleasure Point area.

Conditions of Approval

Exhibit D: Project plans, prepared by Bryan Martin Design Build, dated 7/31/23.

- I. This permit authorizes the remodel of a legal nonconforming single-family dwelling and construction of a new ADU as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - D. Obtain a Coastal Encroachment Permit from the Department of Parks and Recreation to recognize landscaping within the right-of-way as allowed.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.

3. Drainage, and erosion control plans, if required.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 26 feet 3 inches.
 5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Department of Parks and Recreation for landscape improvements within the right-of-way.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- F. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the

defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

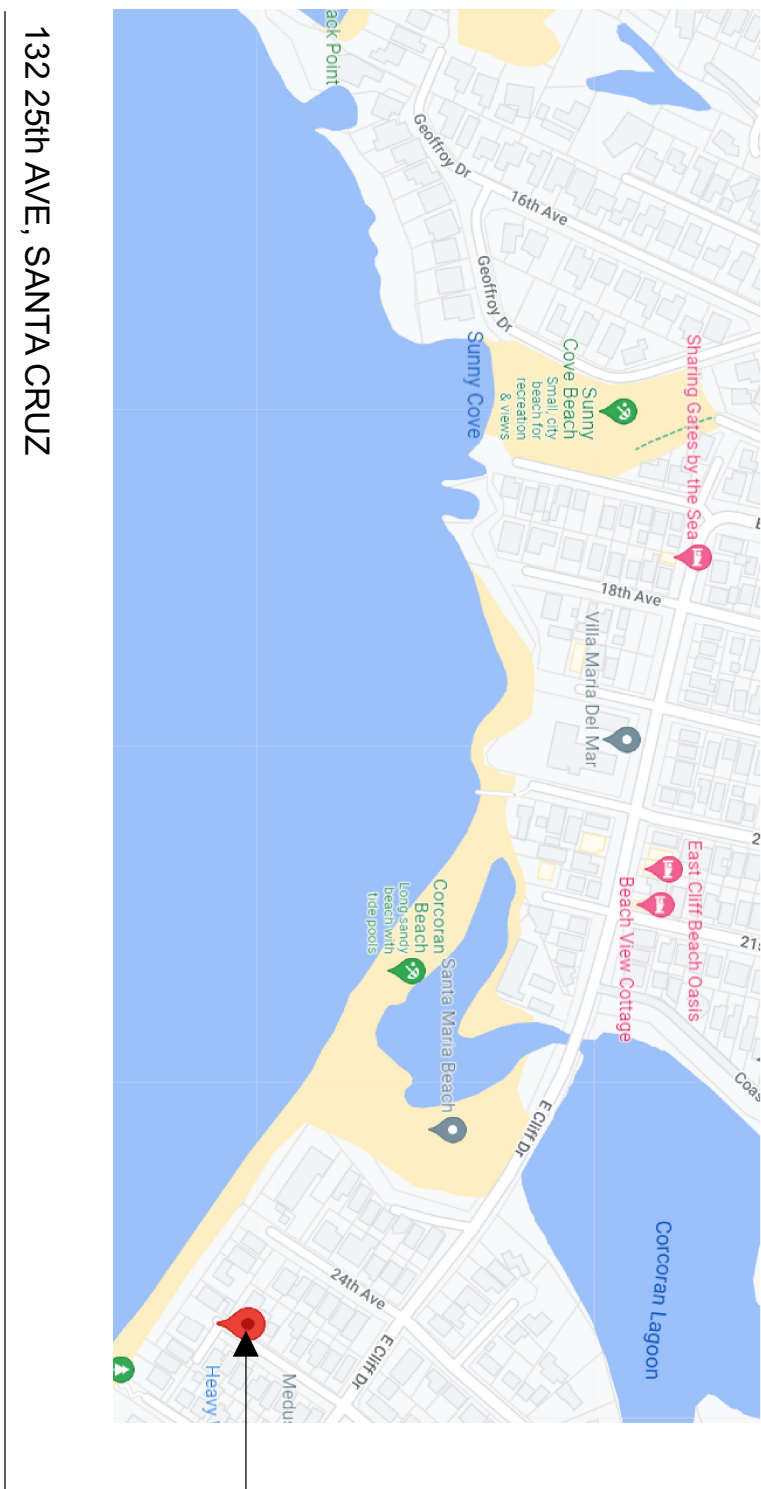
Effective Date: _____

Expiration Date: _____

Zoning Administrator: _____ Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

VICINITY MAP



FIRE NOTES

A 30' clearance will be maintained w/ non- combustible vegetation around all structures

Roof coverings to be no less than class "B" rated roof.

All requirements of the single-family guide are to be met.

These plans and all work to be in compliance with 2022 California building and fire codes and Central Fire District Amendments.

Street address to be posted and maintained with a minimum of 4" numbers in height with a minimum stroke width of 1/2". Numbers shall not be spelled out. These numbers shall contrast with there background. When numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and the street. [R319.1]

Fire warning system:

All sleeping rooms, areas adjacent sleeping rooms, and stairways shall be equipped with smoke detectors. Each floor regardless of use shall be equipped with a smoke detector. In new construction, all smoke detectors must be 110V with battery back-up, on separate circuits and interconnected to sound alarm at once. Provide one smoke detector per floor minimum.

Carbon monoxide system alarm locations.

Outside of each separate dwelling unit sleeping area in the immediate vicinity of bedrooms.

On every level of a dwelling unit including basements.

Existing main house to verify compliance of existing or new smoke and carbon monoxide detectors shall be verified or installed in areas leading to bedrooms and on every floor per CRC 315.3

(E) Residence is not fire sprinklered.
(N) ADU no fire sprinklers.

FIRE HYDRANT 1252

Static, 101 psi

Residual 84 psi

Flow 1,162 gpm

Flow @20 2,700 gpm

Test date 10/31/2010

Hydrant is located at the intersection of 25th Ave and East Cliff Dr.

Hydrant is within 600' of any portion of the proposed structure. See page A-5

ABBREVIATIONS

Alum.	Aluminum	Hdw.	Hardware
Alt.	Alternative	HVAC	Heating, ventilation, cooling
@	At	HC	Hollow core
Bd.	Board	Ins.	Insulation
Betw.	Between	Int.	Interior
Bkg.	Blocking	Lev.	Level
Bm.	Beam	Mex	Maximum
Bot.	Bottom of	Mfr.	Manufacture
Bkt.	Bracket	Mn.	Minimum
Cab	Cabinet	Mtl.	Metal
Cing.	Ceiling	(N)	New
Ctr.	Center	N/S	Not to scale
Cl.	Center line	OC	On center
Clr.	Clear	Obscure	Obscure
Col.	Column	Pdft.	Pressure treated Douglas
Conc.	Concrete	Plr	Plate
CJ	Control joint	Ply.	Plywood
Dbl.	Double	(R)	Remove
Dia.	Diameter	(R)	Receptacle
Dim.	Dimension	Recp.	Receptacle
Down	Down	Reqd.	Required
Dr.	Door	Req.	Required
Dw	Dish washer	RO	Rough opening
Dwg	Drawing	Sl.	Steel
(E)	Existing	Sec.	Section
Eq.	Equal	SSD	See structural detail
Ext.	Exterior	TBD	To be determined
FF	Finish floor	Temp.	Tempered
FF	Finish floor	TO	Top of
FOF	Face of finish	Typ.	Typical
FOS	Face of stud	UNO	Unless noted otherwise
FLOW	Face of wall	Vert.	Vertical
Gen.	General	VIF	Verify in field
Gr.	Glass	Ver.	Verify
Gy	Grade	WH	Water heater
GYPB	Gypsum board	Wd.	Wood
		W/	With

EXISTING STREET VIEW



GENERAL NOTES

This project shall comply with the latest edition of the California building code, other national, state or local codes or agencies with jurisdiction.

These drawings are an instrument of service and are the property of the designer. They may not be reproduced or altered without his permission.

The general contractor shall purchase and maintain adequate insurance as will protect him or her from claims under workers compensation and general liability including personnel injury and property damage.

Subcontractors shall supply verification of workers compensation insurance covering there workers, and comprehensive general liability.

The contractor shall maintain adequate protection of his or her work and shall protect the owner's property from injury or loss. He or she shall repair any such damage promptly and at no additional cost to the owner.

The contractor shall provide and maintain sanitary facilities for the duration of the work.

Besides general broom cleaning, the contractor shall do the following cleaning at the completion of the work. Clean all new glass, remove all dust, dirt, paint, fingerprints, etc. From walls, ceilings, fixtures, and appliances.

During progress of the work, the owner or owner's representative may inspect progress and quality of the work to determine in general if the work is proceeding in accordance with the contact documents. The contractor shall cooperate fully in such inspections and shall require the same degree of cooperation from all subcontractors.

The contractor, upon completion of his work, shall furnish owner with maintenance, operating manuals and instructions for all appliances and fixtures installed.

The contractor shall guarantee all his or her work for a period of one year from when the notice of completion is filed. All work and materials shall be left in perfect working order upon the completion of work.

Should the contractor find discrepancies in or omissions from the drawings or specifications, or have questions as to their meaning, he or she shall at once notify designer.

The contractor shall verify all dimensions, elevations and conditions prior to beginning construction. The designer and owner shall be notified immediately of any discrepancies.

Submission of a bid shall be conclusive evidence that the contractor has examined the documents, found them adequate for the proper completion of the work, has visited the site, and is thoroughly familiar with all field conditions.

GENERAL WORK SITE CONDITIONS

Recycle job site construction and demolition waste to maintain a minimum of 80%.
Donate all unused materials.
Minimize disruption to plants and trees.

See page M1.0 for VOC and formaldehyde limits

ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS

OPERATION AND MAINTENANCE MANUAL

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency, which covers 10 specific subject areas shall be placed in the building, in accord with Cal Green, mandatory measures 4.4.10.1

BACKYARD VIEW



SCOPE OF WORK

NEW SINGLE STORY ONE BATH 365-SF ADU

REMODEL OF EXISTING SINGLE FAMILY RESIDENCE WITH NEW PITCHED ROOF. REMOVE ALL PORTIONS OF THE SECOND FLOOR DECK THAT OVERHANG THE EXISTING STRUCTURE SO AS TO REDUCE MASS.

PROJECT DATA / AREA CALCULATIONS

PROJECT ADDRESS:

132 25th Ave.
Santa Cruz, Ca. 95062

APN: 028-234-12

ZONING: R-1.4-PP

TYPE OF CONSTRUCTION: (VB)

OCCUPANCY GROUP: (R-3)

(E) residence and garage no fire sprinklers
(N) ADU no fire sprinklers

LOT SIZE:

4,008-sf

EXISTING:

FIRST FLOOR HEATED 945-SF
SECOND FLOOR HEATED 726-SF
TOTAL HEATED 1,671-SF

(N) ADU

365-SF

TOTAL HEATED AREA

2,036-SF

(E) GARAGE

437-SF

(E) UNCOVERED DECK

640-SF

(E) COVERED DECK

196-SF

(E) LOT COVERAGE:

1,382-SF (34%)

(N) LOT COVERAGE -ADU 356sf:

1,382-SF (34%)

(E) F.A.R.

1,993-SF (49%)

(N) F.A.R.

1,993-SF (49%)

(E) HOUSE AND UPPER FLOOR DECK

1670-SF

(E) DRIVEWAY, WALKWAY & PATIO

600-SF

(E) IMPERVIOUS SURFACE TOTAL

2,225-SF (55%)

(N) POST PROJECT IMPERVIOUS AREA 1,943-SF (47%)

Off street parking provided:

2 covered, 2 uncovered

Water:

City of Santa Cruz

Sewer:

Public

Electric:

PG&E (E) 220v 100amp service

Gas:

PG&E (E) natural gas

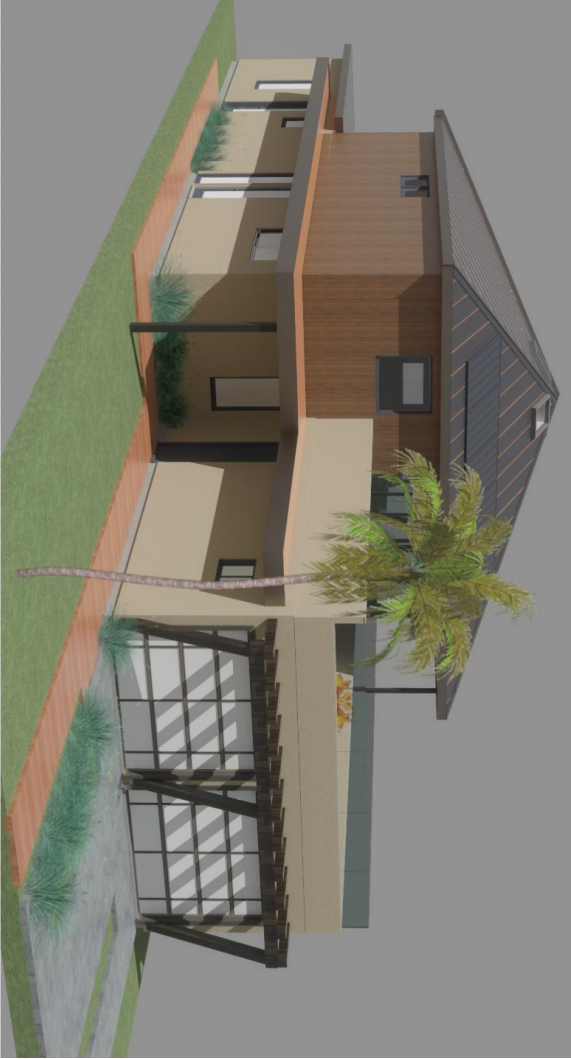
A SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT

1. All earthworks to comply with the site-specific soil report prepared by Rock Solid Engineering dated March 7th, 2023
See the report for specific geotechnical issues and recommendations.
Project No. 23003
2. Before commencing earthwork operations, including and site clearing and grading, Provide at least five (5) working days notice. Coordinate geotechnical observations and testing with the geotechnical engineer.
3. All foundations excavations to be observed by the geotechnical engineer prior to placing forms, rebar or concrete.

SOUTH VIEW



PROPOSED

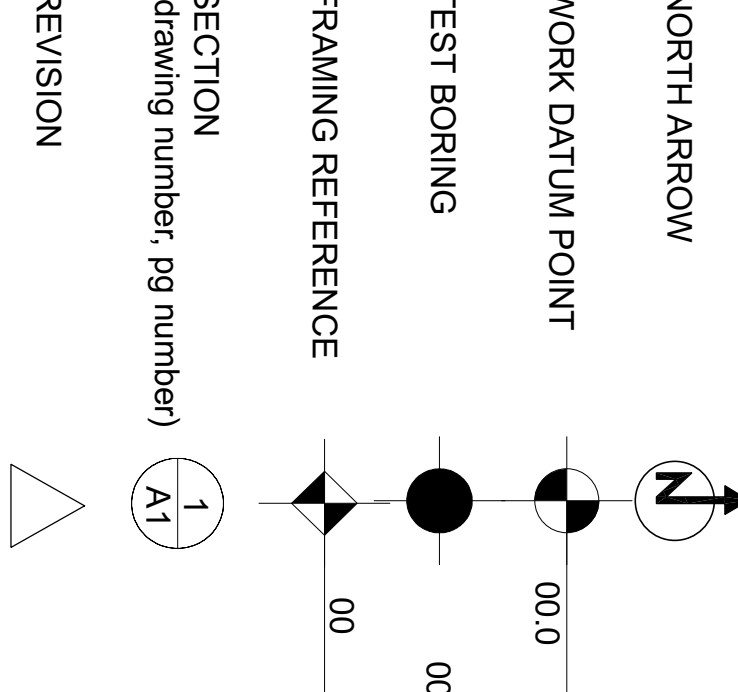


ARCHAEOLOGICAL NOTES

Any person exercising a development permit or building permit who, at any time in the preparation for or process of excavating or otherwise disturbing earth, discovers any human remains of any age or any artifact or any other object which reasonably appears to be evidence of an archaeological/cultural resource or paleontological resource, shall:

- a. Immediately cease all further excavation, disturbance, and work on the project site;
- b. Cause staking to be placed completely around the area of discovery by visible stakes not more than ten feet apart forming a circle having a radius of not less than one hundred feet from the point of discovery; provided, that such staking need not take place on adjoining property unless the owner of the adjoining property authorizes such staking;
- c. Notify the Santa Cruz County sheriff-coroner and the City of Santa Cruz planning director of the discovery unless no human remains have been discovered, in which case the property owner shall notify only the planning director;
- d. Grant permission to all duly authorized representatives of the sheriff-coroner and the planning director to enter onto the property and to take all actions consistent with this section.

SYMBOLS



BRYAN MARTIN
DESIGNBUILD

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGGONER STRUCTURAL DESIGN

220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. PROPOSED SITE PLAN
- A-5 DRAINAGE PLAN
- A-6 FLOOR PLAN NEW
- A-7 NORTH ELEVATION
- A-8. SOUTH ELEVATION
- A-9 EAST WEST ELEVATION
- A-10 SECTIONS
- A-11 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- MEP-2 ELECTRICAL
- SUR Boundary map

NORTH u.n.o.

Date: 03.03.2023
05.24.2023
DEVELOPMENT COASTAL
APPLICATION
REVISED

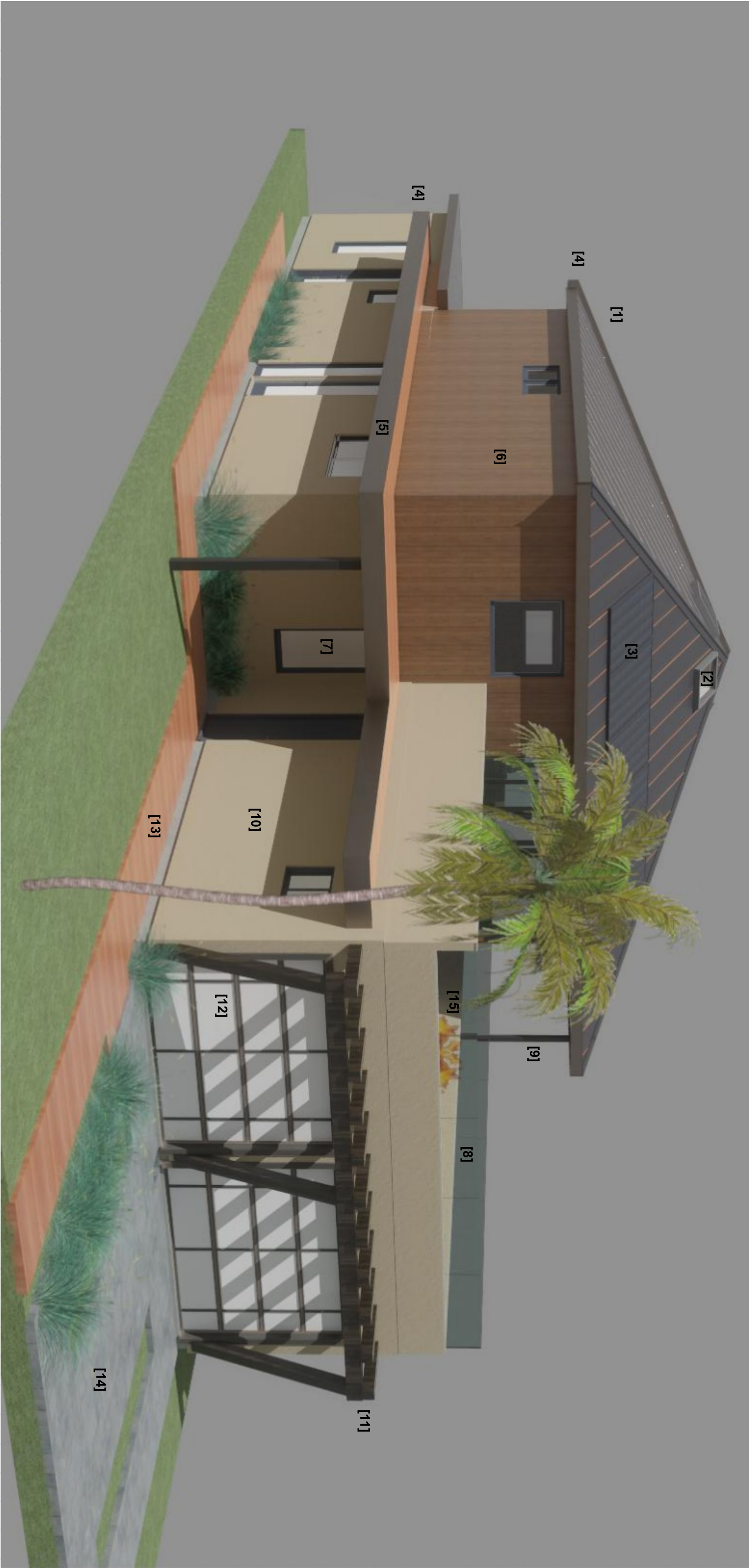
COVER PAGE

A-1

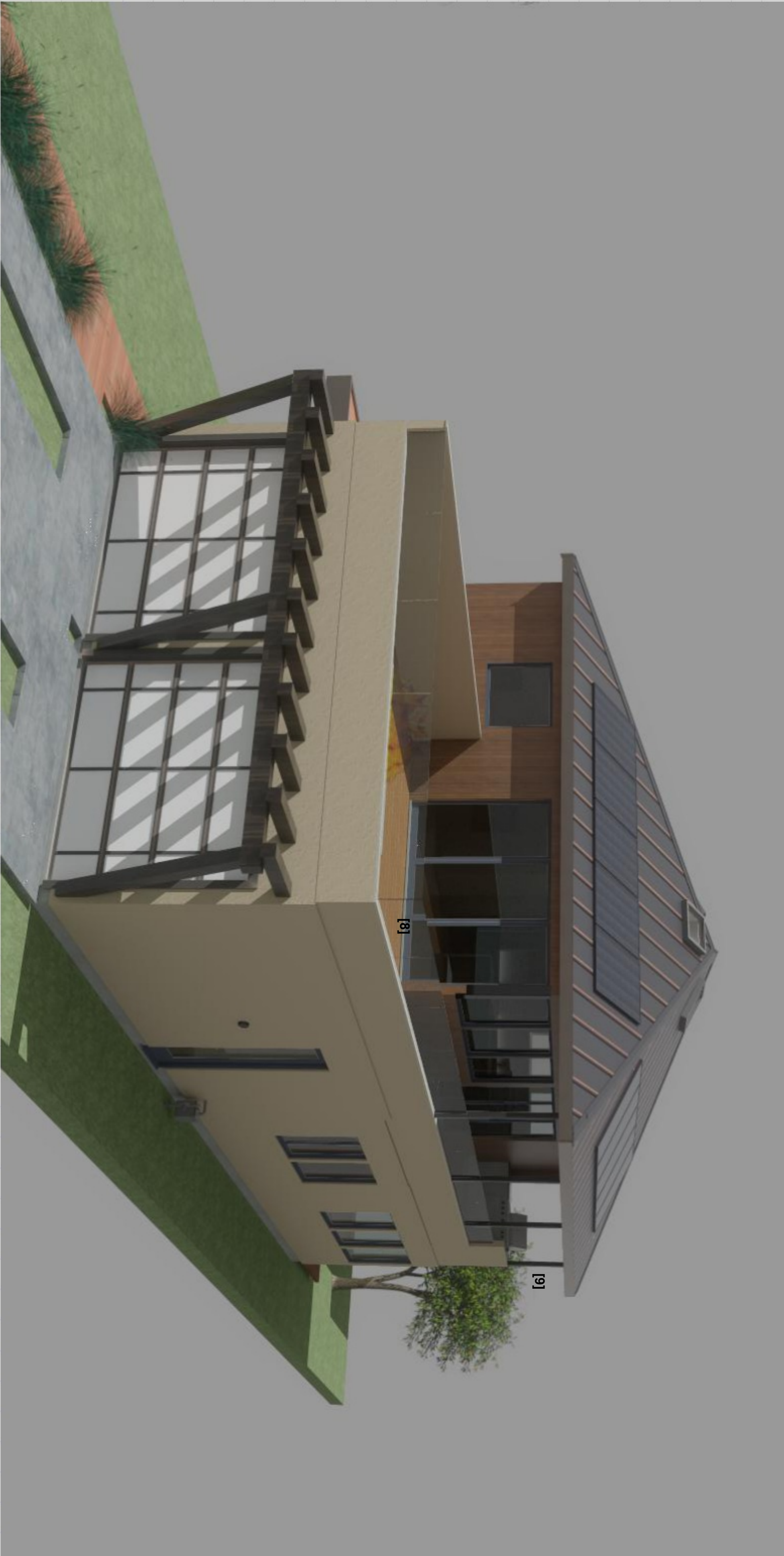
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.

EXTERIOR FINISHES

- [1] ROOF: 14"x1" STANDING SEAM METAL, COLOR MIDNIGHT BRONZE. ROOF COVERINGS TO BE NO LESS THAN CLASS "B" RATED ROOF.
- [2] SKYLIGHTS, VELUX DARK BRONZE FINISH
- [3] LOW PROFILE SOLAR VOLTAIC PANELS
- [4] FACIA, WRAPPED WITH OIL RUBBED STAINLESS STEEL, DARK BRONZE FINISH, COPPER GUTTERS AND DOWNSPOUTS.
- [5] EXISTING COVERED WALKWAY SOFFIT, COASTAL CEDAR.
- [6] CLADDING, 1X6 VERTICAL EPI OR SIMILAR OVER A RAIN-SCREEN
- [7] WINDOWS, MILGARD ULTRA FIBERGLASS SERIES WITH BLACK FRAME AND SASHES
- [8] RAILING, CLEAR 60" WIDE GLASS PANELS, 42" ABOVE FINISHED DECK
- [9] POST OIL RUBBED STAINLESS STEEL TUBING, DARK BRONZE FINISH
- [10] STUCCO, FOUR COAT WITH INTEGRATED PREMIUM COLOR, CHARLESTON, La Habra Stucco Solutions 714-778-2266 color 81585 (25) Base 100.
- [11] ARBOR, ROUGH SAWN REDWOOD WITH SHOU SUGI BAN FINISH, BURNT FINISH
- [12] GARAGE DOORS, BLACK ALUMINUM FRAME WITH ETCHED TEMPERED GLASS
- [13] 2x4 WOOD DECKING, GARAPA
- [14] DRIVEWAY, PERMEABLE PAVERS
- [15] GAS FIREPLACE



NORTH / WEST



SOUTH / WEST

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

Rock Solid Engineering
1100 Main Street
Watsonville, Ca. 95076
831-724-5868

Energy documents
Energo24
Orris Al Kaye
4826 Allen Court
Eureka, Ca. 95503
818-665-6023

NORTH u.n.o.

Date:	03.03.2023	DEVELOPMENT COASTAL APPLICATION
	05.24.2023	REVISED
	07.12.2023	BUILDING
	07.31.2023	REV.2

RENDERING OF PROPOSED

A-2

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com



SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5 PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9. SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- SUR MEP-2 ELECTRICAL
- Boundary map



Date: 01.08.2023

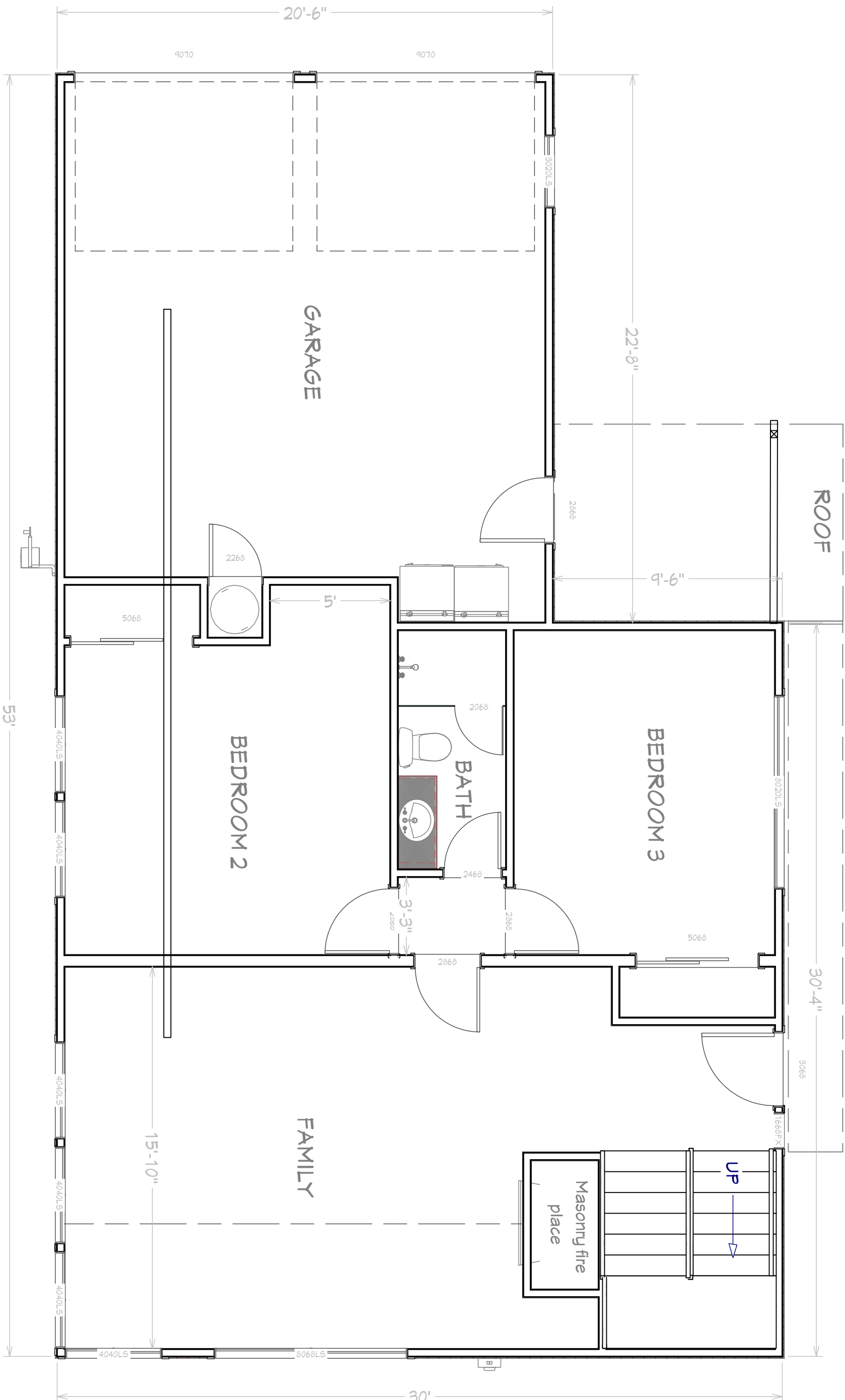
DEVELOPMENT COASTAL
APPLICATION

EXISTING
1/4"=1'

A-3

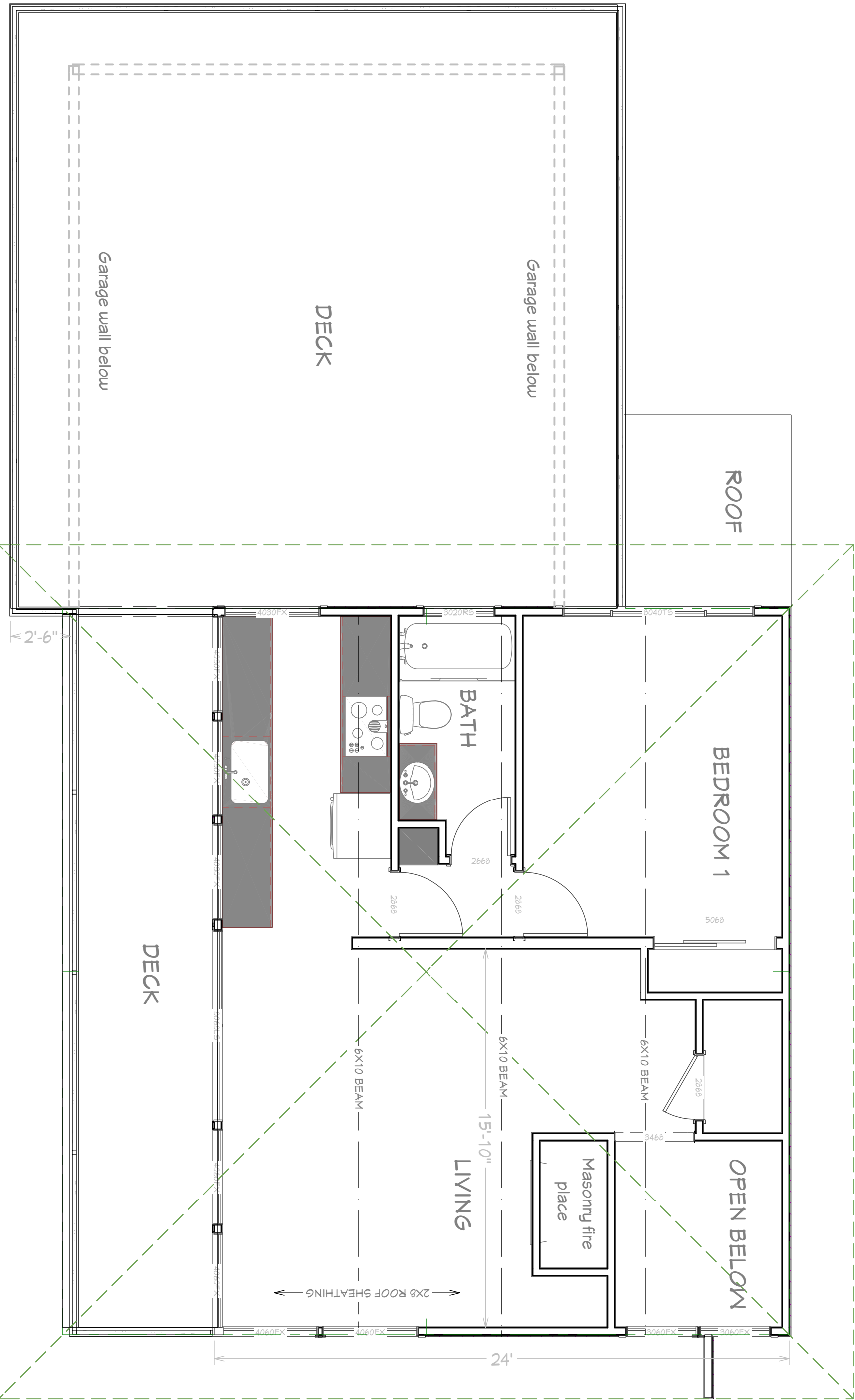
EXISTING FIRST FLOOR

1/4"=1'



EXISTING SECOND FLOOR

1/4"=1'



OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin
Bryan Martin, License 499434

WAGGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com



SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. PROPOSED SITE PLAN
- A-5 DRAINAGE PLAN
- A-6 FLOOR PLAN NEW
- A-7 NORTH ELEVATION
- A-8. SOUTH ELEVATION
- A-9 EAST WEST ELEVATION
- A-10 SECTIONS
- A-11 DOOR & WINDOW SCHEDULE
- A-12 INTERIOR ELEVATIONS
- A-13 DETAILS
- A-14 ELECTRICAL
- MEP-1 ELECTRICAL
- SUR Boundary map



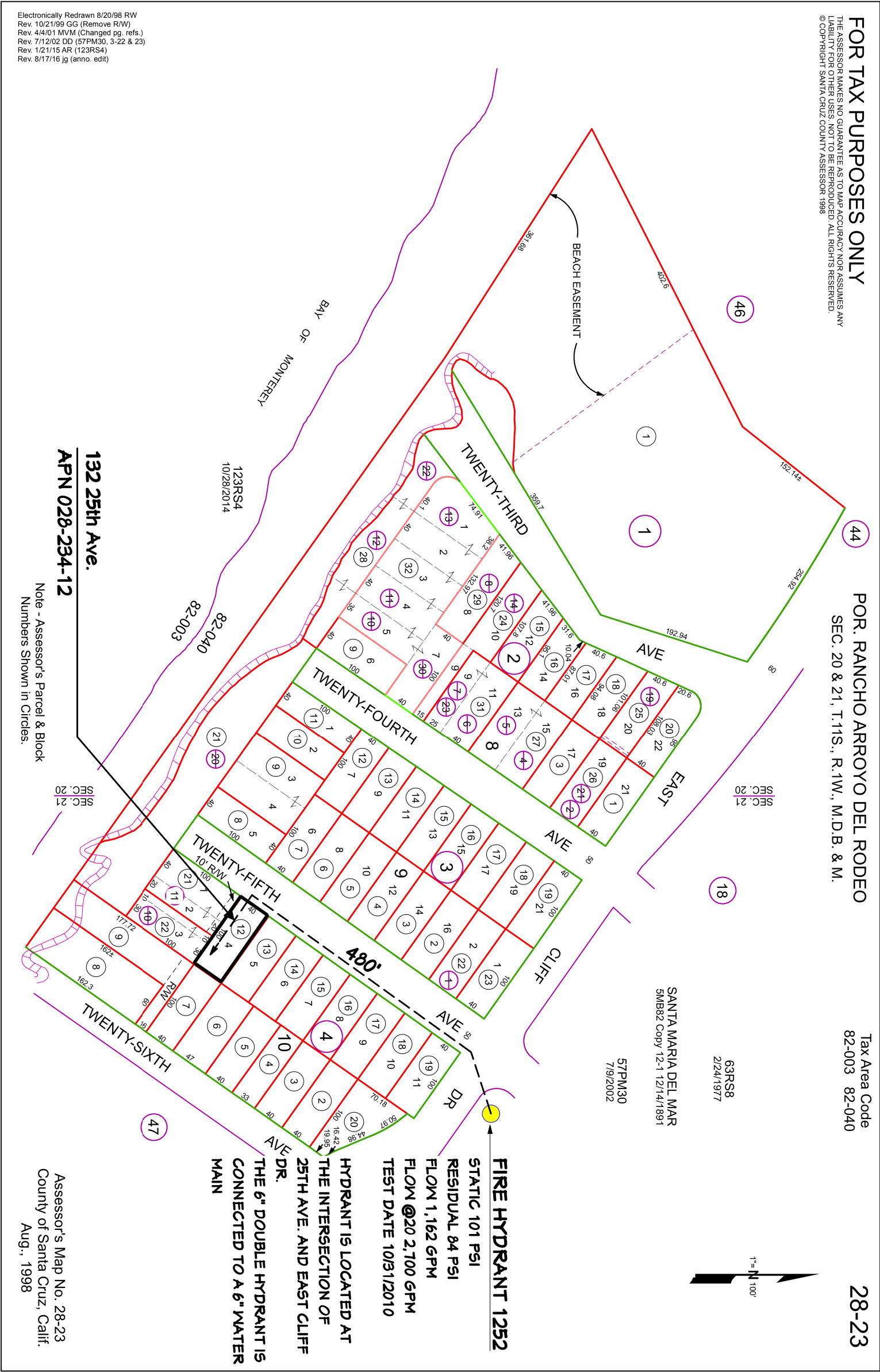
Date: 03.03.2023 DEVELOPMENT COASTAL
05.24.2023 APPLICATION
05.24.2023 REVISED

EXISTING SITE PLAN

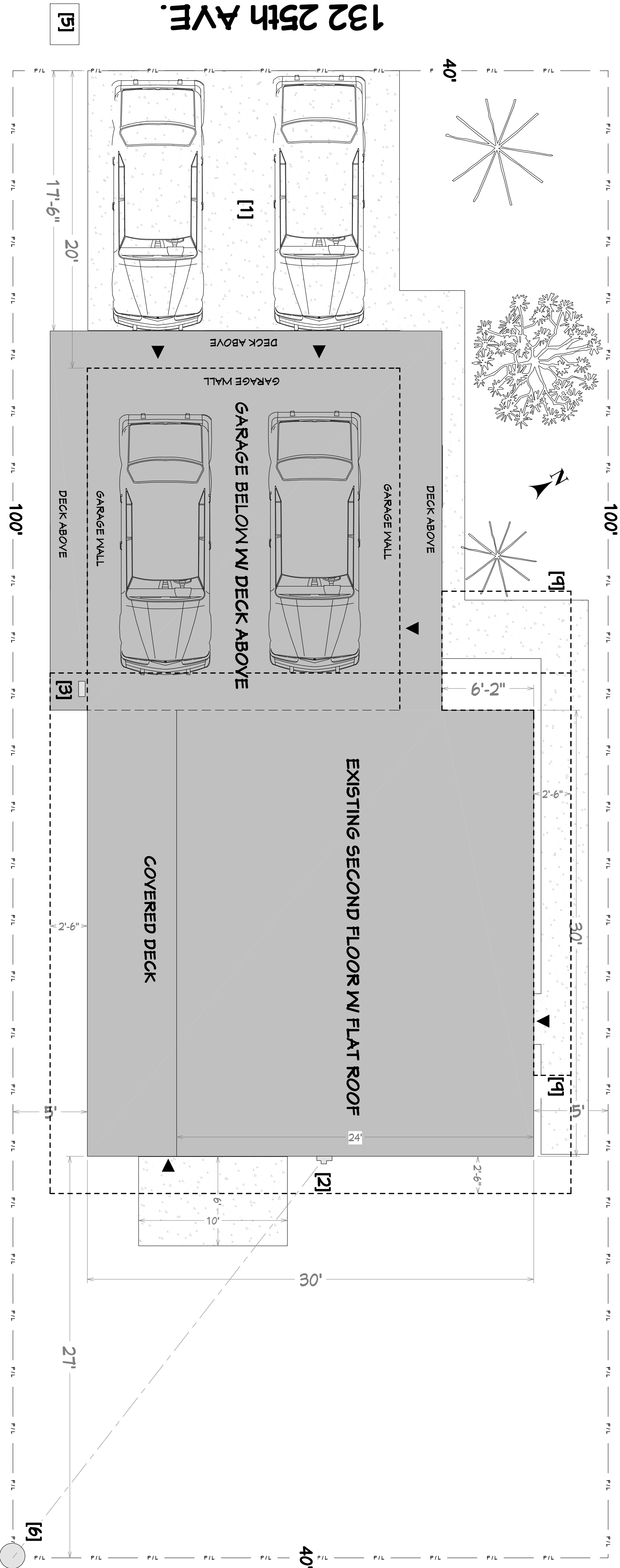
3/16"=1'

A-4

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.



ASSESSORS MAP AND FIRE HYDRANT DATA



- [1] (E) CONCRETE DRIVEWAY AND WALK
- [2] (E) OVERHEAD ELECTRICAL ENTRY, METER
MAIN PANEL, 100 AMP 220V
- [3] (E) GAS METER
- [4] (E) TREES
- [5] EXISTING WATER METER
- [6] (E) PG&E POWER POLE
- [9] (E) COVERED WALKWAY

SITE PLAN KEY

SITE PLAN KEY

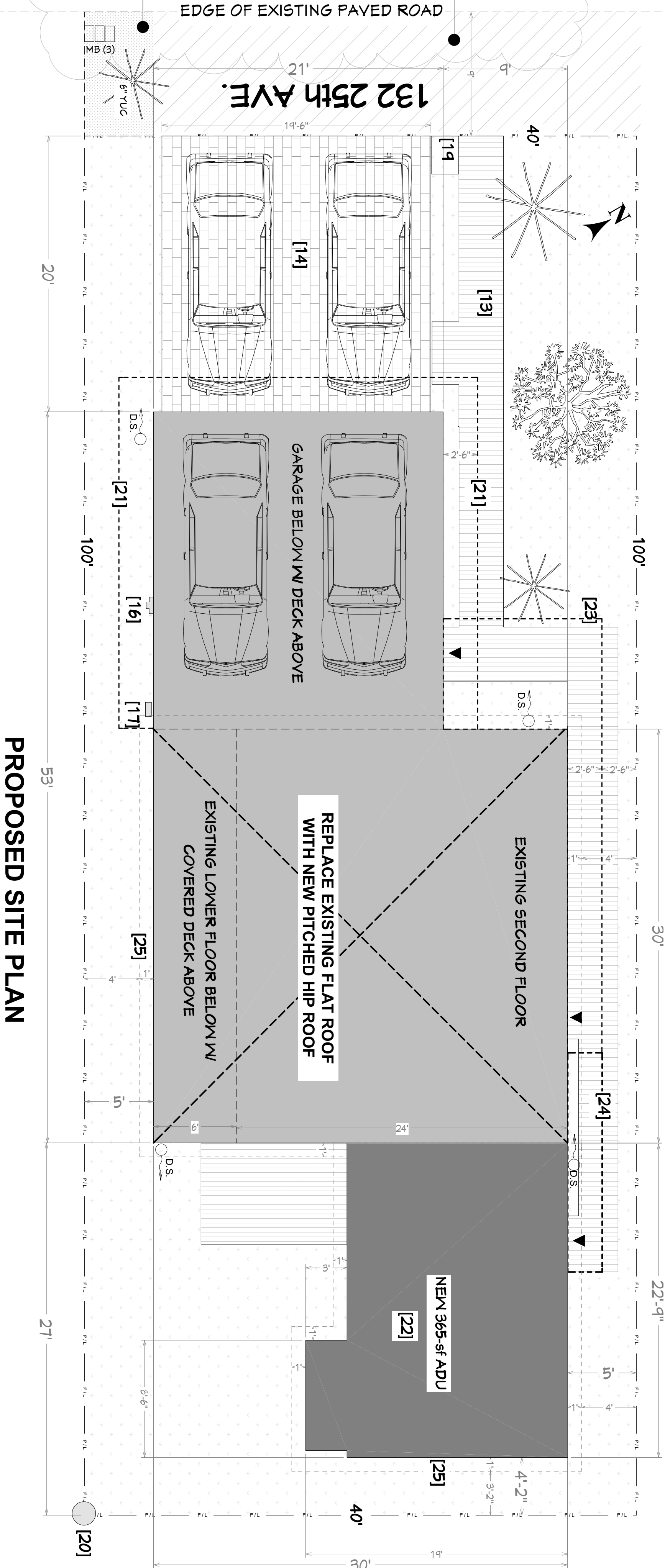
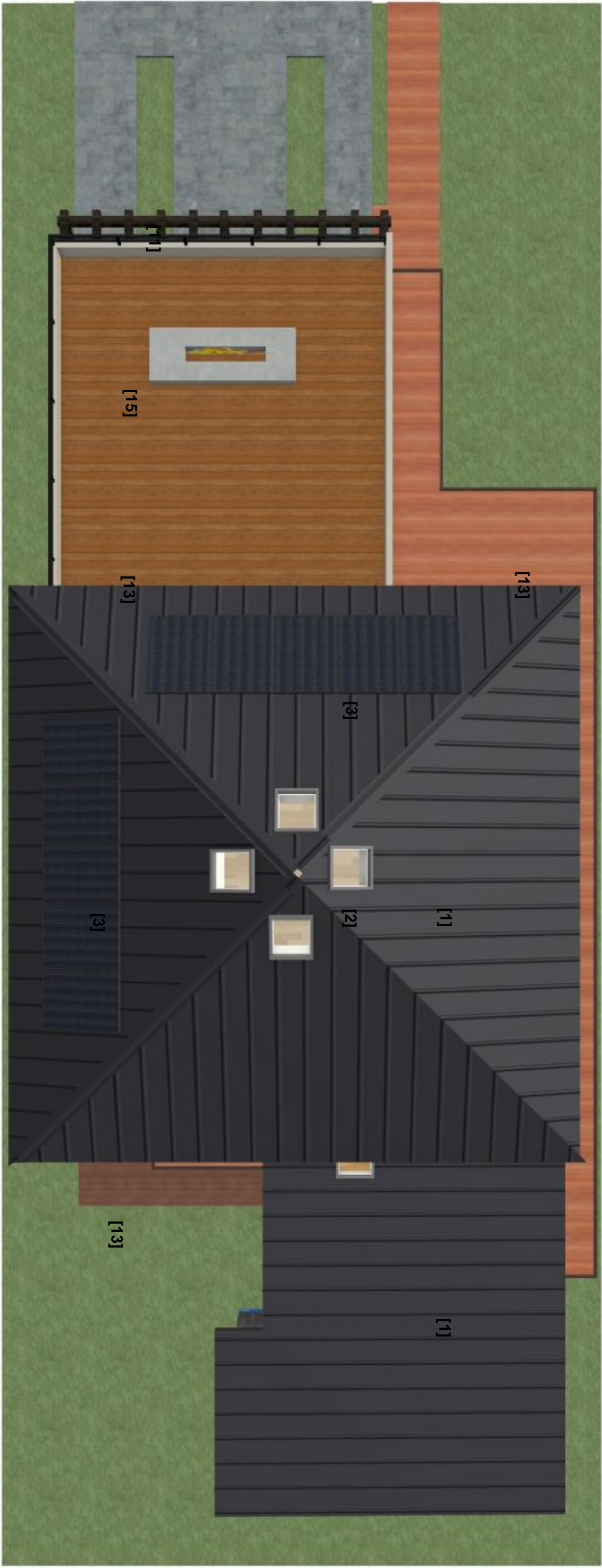
- [1] ROOF, 14"x1" STANDING SEAM METAL. COLOR MIDNIGHT BRONZE
- [2] SKYLIGHTS, VELUX DARK BRONZE FINISH
- [3] LOW PROFILE SOLAR VOLTAIC PANELS
- [4] FACIA, WRAPPED WITH OIL RUBBED STAINLESS STEEL. DARK BRONZE FINISH. COPPER GUTTERS AND DOWNSPOUTS.
- [5] SOFFIT, COASTAL CEDAR
- [6] CLADDING, 1X6 VERTICAL EPI OVER A RAIN-SCREEN
- [7] WINDOWS, MILGARD ULTRA FIBERGLASS SERIES WITH BLACK FRAME AND SASHES
- [8] RAILING, OIL RUBBED STAINLESS STEEL TUBING, DARK BRONZE FINISH AND STAINLESS CABLING
- [9] POST, OIL RUBBED STAINLESS STEEL TUBING, DARK BRONZE FINISH
- [10] STUCCO, FOUR COAT WITH INTEGRATED PREMIUM COLOR, CHARLESTON, La Habra Stucco Solutions 714-778-2266 color 81585 (25) Base 100.
- [11] ARBOR, ROUGH SAWN REDWOOD WITH SHOU SUGI BAN FINISH
- [12] GARAGE DOORS, BLACK ALUMINUM FRAME WITH ETCHED TEMPERED GLASS
- [13] 2x4 WOOD DECKING, GARAPA
- [14] (E) DRIVEWAY TO BE REPLACED WITH NEW PERMEABLE PAVERS
- [15] GAS FIREPLACE
- [16] REL OCATED (N) UNDERGROUND ELECTRICAL ENTRY WITH NEW DUAL METER MAIN PANEL 200 AMP 220V. FINAL METER LOCATION TO BE DETERMINED BY PG&E.
- [17] (E) GAS METER TO BE UPGRADED TO DUAL METERS
- [18] (E) TREES TO REMAIN. NO TREES TO BE REMOVED
- [19] UPGRADE EXISTING WATER METER TO 3/4" WITH CUSTOMER SHUT OFF VALVE IN NEW B16 TRAFIC RATED CHRISTIE BOX (SEE PAGE M)
- [20] (E) PG&E POWER POLE

- [21] REMOVE EXISTING DECK OVERHANG AT BOTH SIDES AND FRONT
- [22] (N) 365-SF SINGLE STORY 1 BEDROOM 1 BATH ADU. LAUNDRY TO BE SHARED WITH PRIMARY RESIDENCE LOCATED IN GARAGE.
- [23] (E) COVERED WALKWAY TO REMAIN
- [24] (N) COVERED WALKWAY
- [25] ROOF OVERHANG

NOTE:
EXISTING PROPERTY FRONTAGE, DRIVEWAY AND LANDSCAPING ENCROACHES ON PUBLIC RIGHT OF WAY. ALL VEGETATION/ LANDSCAPING DRIVEWAY WITHIN THE ROW WILL BE REMOVED AS PART OF THE PROPOSED PROJECT.

OBTAIN A TEMPORARY ENCROACHMENT PERMIT FROM THE APPLICABLE APPROVING BODY FOR ALL WORK INVOLVING THE REMOVAL OF DRIVEWAY/LANDSCAPING AND FOR ANY OTHER OFF-SITE WORK PERFORMED IN THE COUNTY ROAD RIGHT-OF-WAY.

ALL EXISTING DRIVEWAY/ LANDSCAPING IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED, AND ALL DEVELOPMENT AUTHORIZED BY THE CDP SHALL BE LIMITED TO THE OWNER'S PROPERTY. IN ADDITION, FUTURE ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY SHALL BE PROHIBITED. ANY ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY MAY BE SUBJECT TO ENFORCEMENT ACTION INCLUDING PENALTIES.



PROPOSED SITE PLAN

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com


PROJECT CONTACTS:

Bryan Martin, License 499434
WAGGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

Rock Solid Engineering
1100 Main Street
Watsonville, Ca. 95076
831-724-5868

Energy documents
Energi024
Chris A Kaye
4826 Allen Court
Eureka, Ca. 95503
818-665-6023

	
NORTH u.n.o.	
Date:	03.03.2023
	05.24.2023
	08.15.2023
	DEVELOPMENT COASTAL APPLICATION REVISED REVISED

PROPOSED SITE PLAN

3/16"=1'

A-5

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF BRYAN MARTIN DESIGN BUILD.

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5. PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9. SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- MEP-2 ELECTRICAL
- SUR Boundary map

NORTH u.n.o.

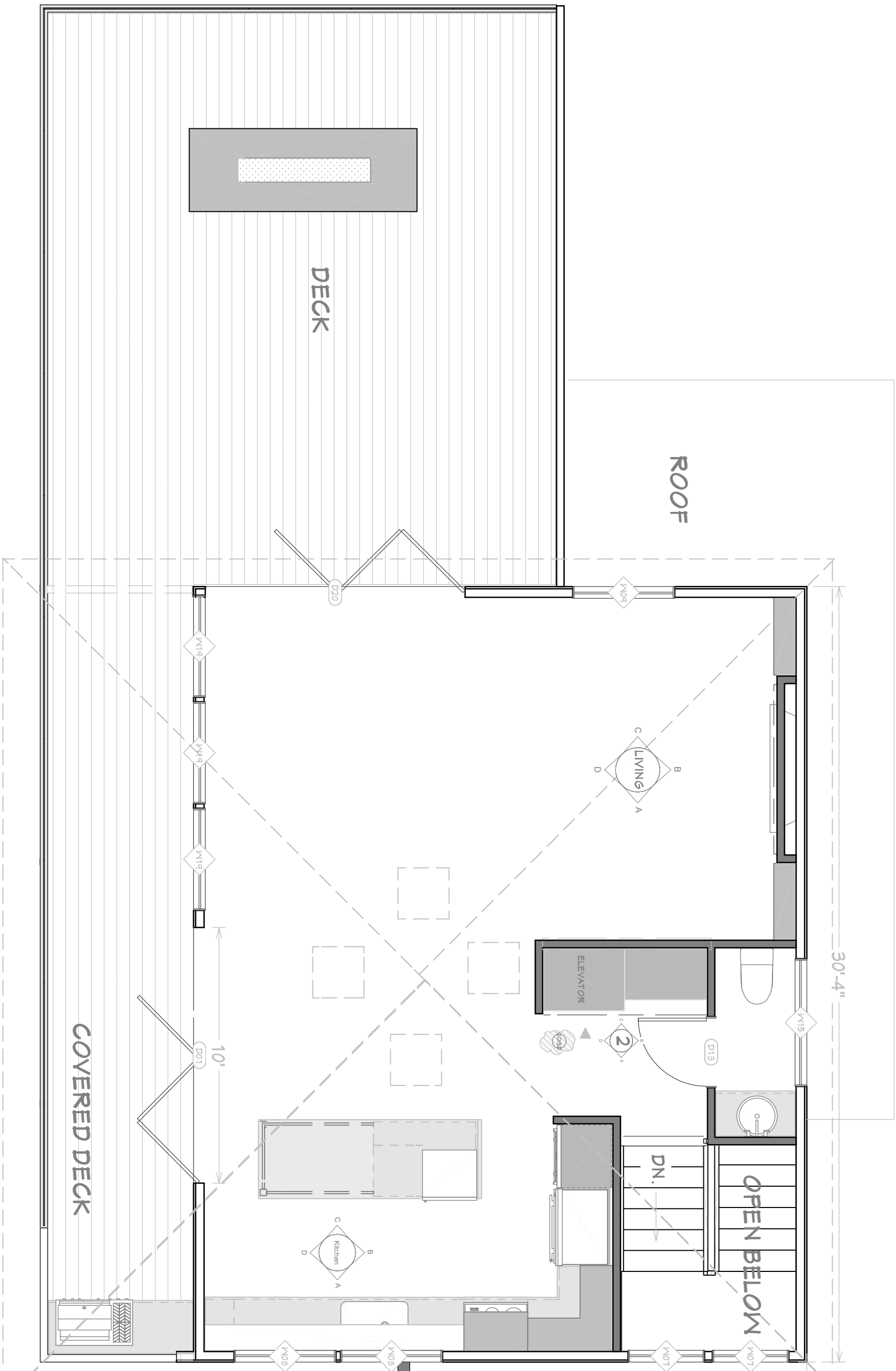
Date: 03.03.2023 DEVELOPMENT COASTAL APPLICATION
05.24.2023 REVISED

PROPOSED FLOOR PLAN

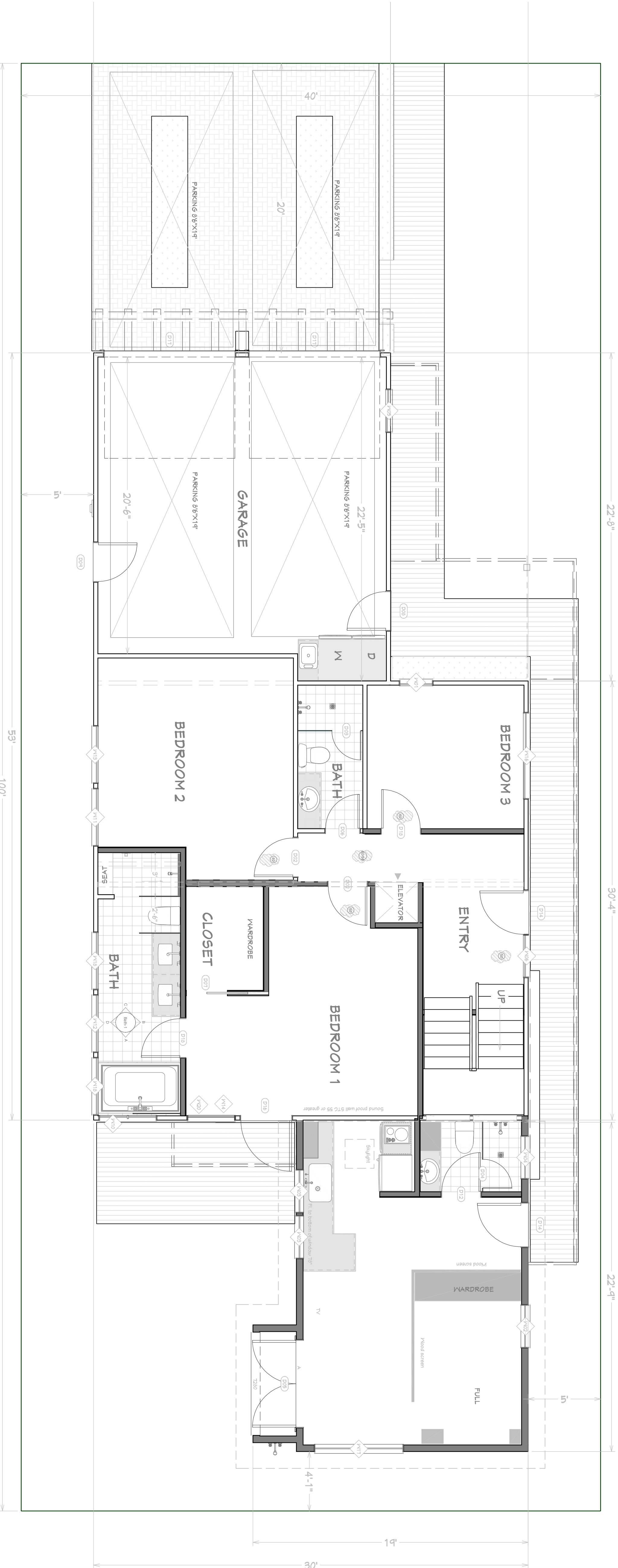
1/4"=1'

A-7

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HERIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.



2nd FLOOR



1st FLOOR

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 29th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

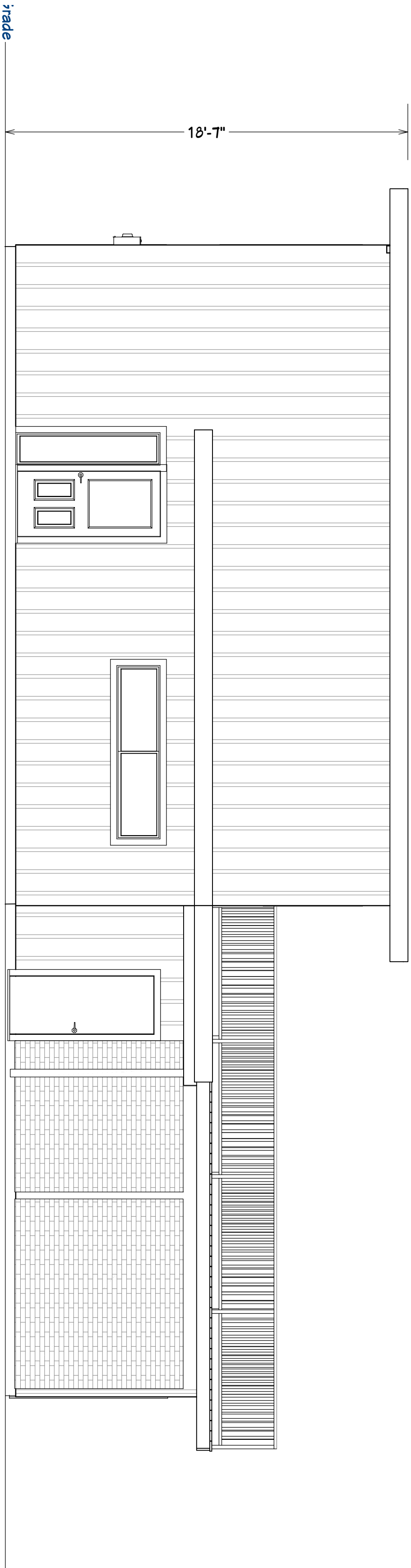
WAGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

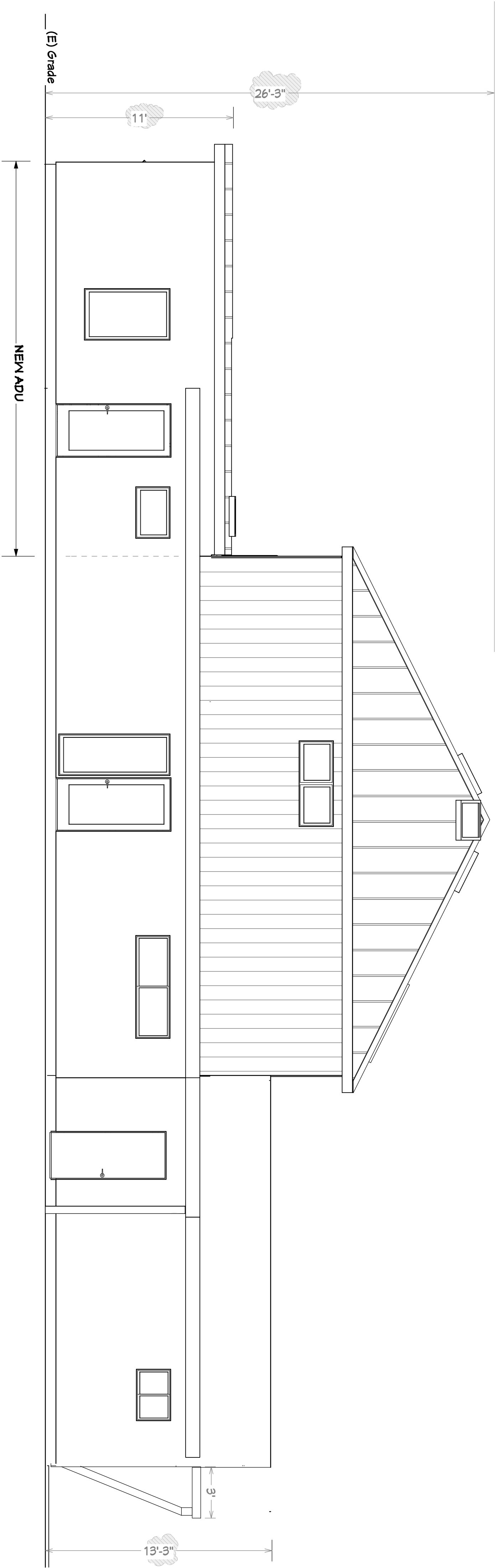


SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5 PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9 SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- SUR Boundary map



EXISTING



PROPOSED



RENDERING

NORTH u.n.o.

Date: 03.03.2023 DEVELOPMENT COASTAL
APPLICATION
05.24.2023 REVISED

NORTH ELEVATION
1/4"=1'

A-8

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGONER STRUCTURAL DESIGN

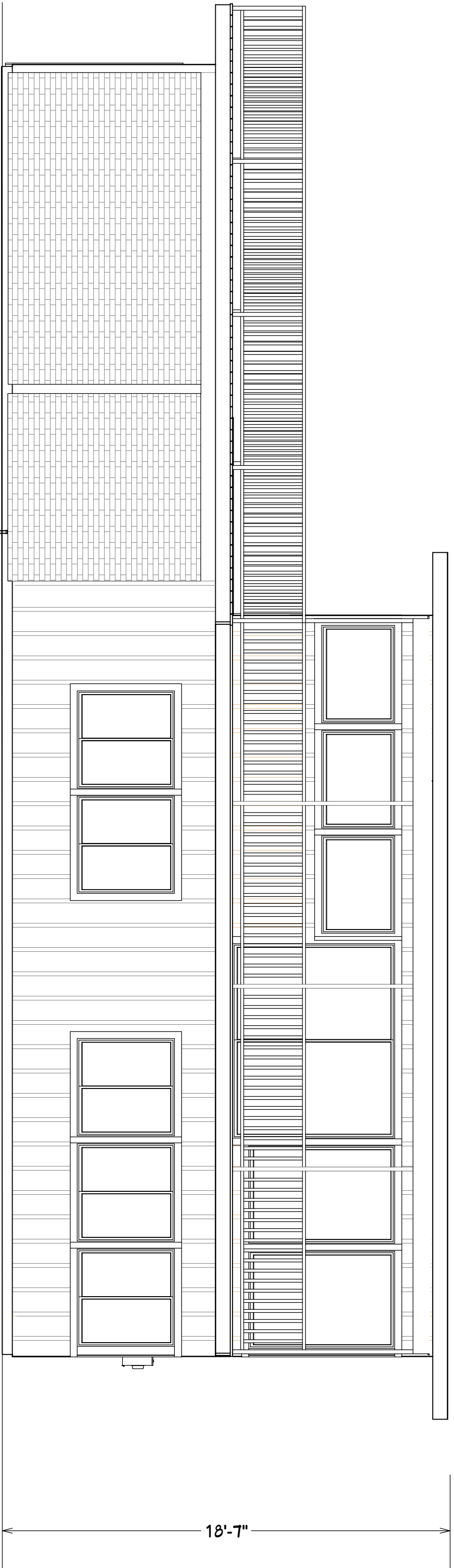
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com

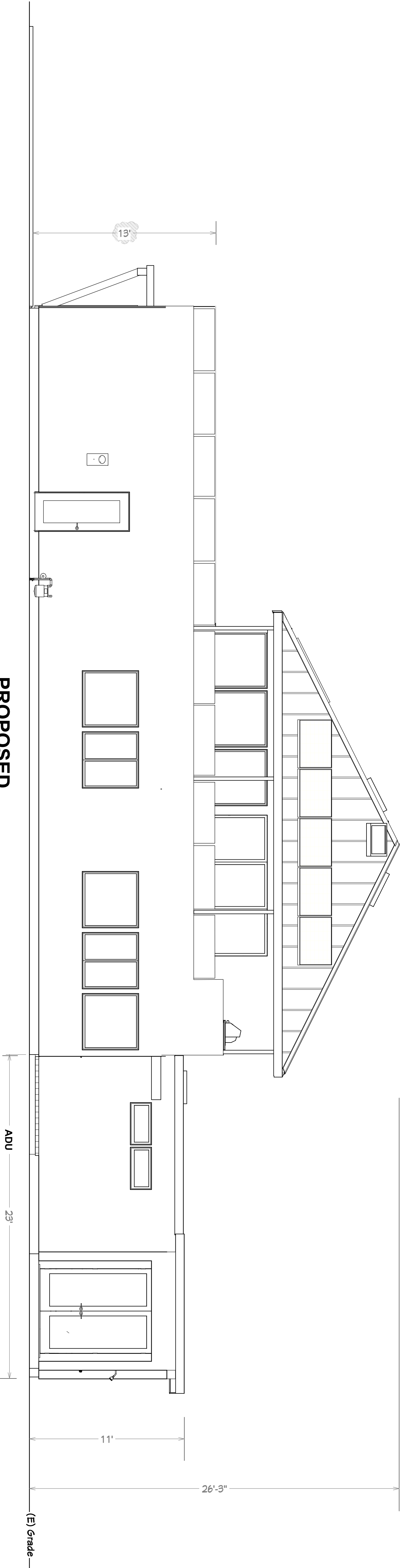


SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5 PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9. SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- SUR Boundary map



EXISTING



PROPOSED



RENDERING

NORTH u.n.o.

Date: 03.03.2023 DEVELOPMENT COASTAL
APPLICATION
05.24.2023 REVISED

SOUTH ELEVATION
1/4"=1'

A-9

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HERIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.

CAROL McFARLAND
132 23th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com



SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5 PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9 SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 DETAILS
- MEP-1 ELECTRICAL
- SUR Boundary map

NORTH u.n.o.

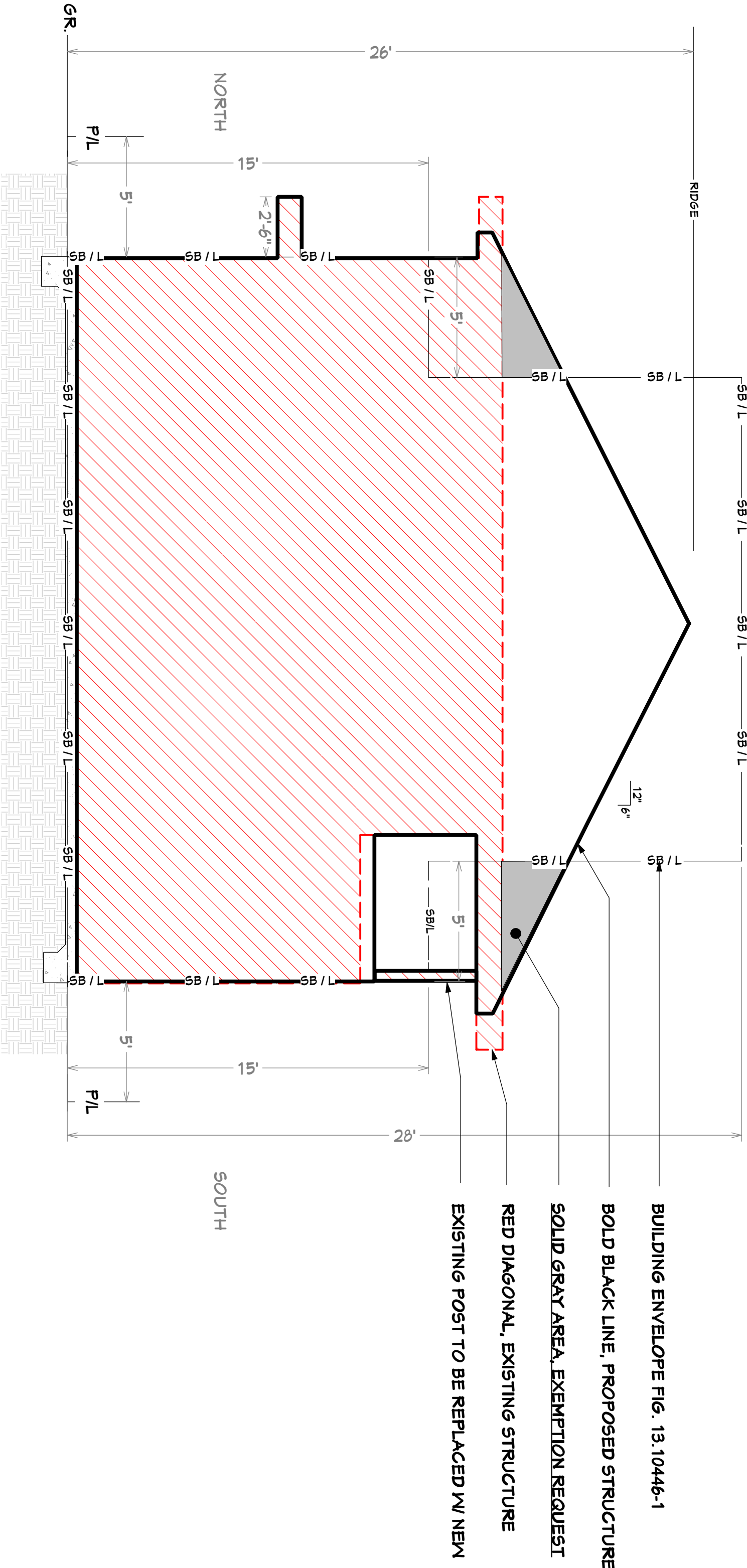
Date: 03.03.2023
05.24.2023

DEVELOPMENT COASTAL
APPLICATION
REVISED

SECTIONS
1/4"=1'

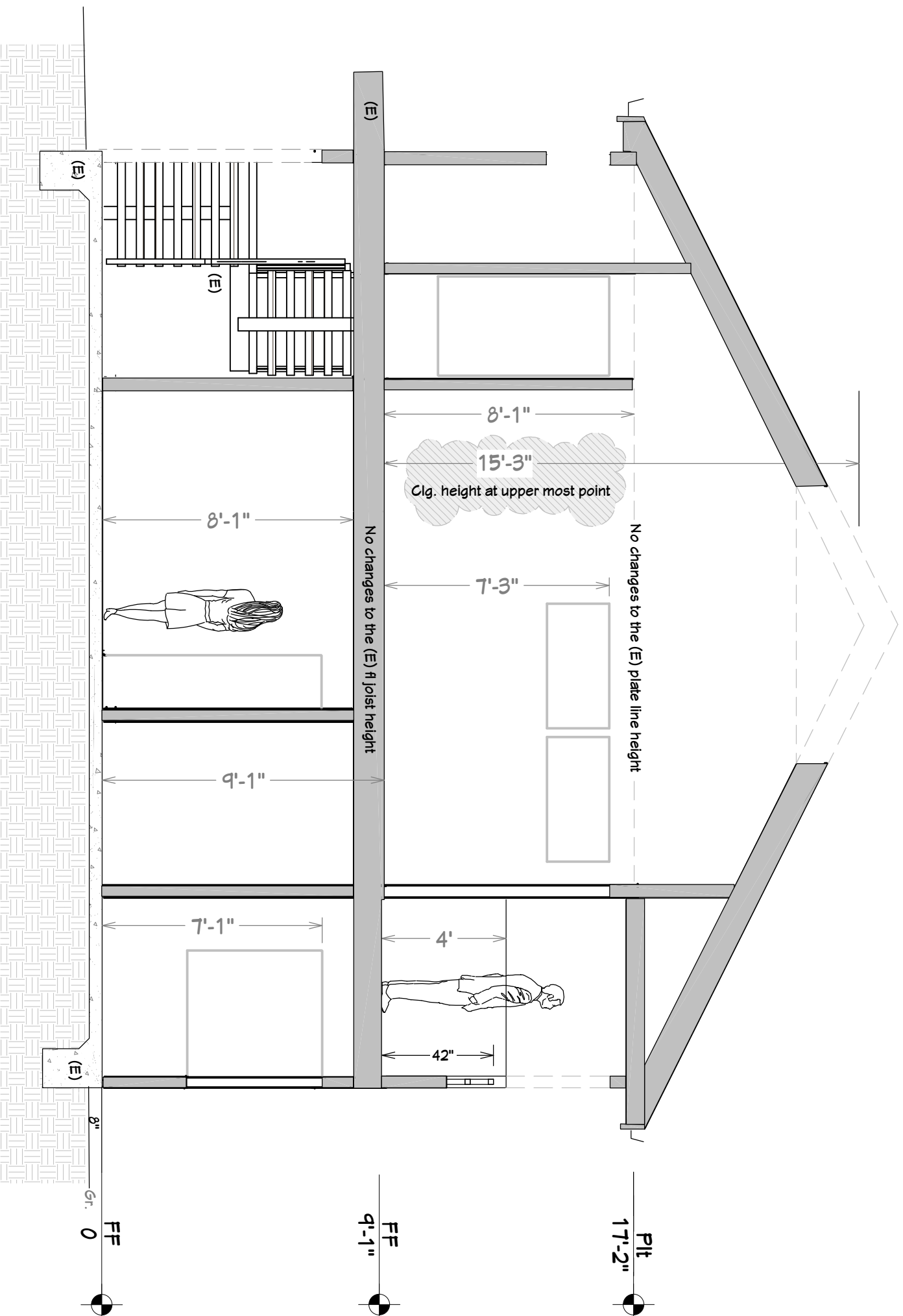
A-11

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HERIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.



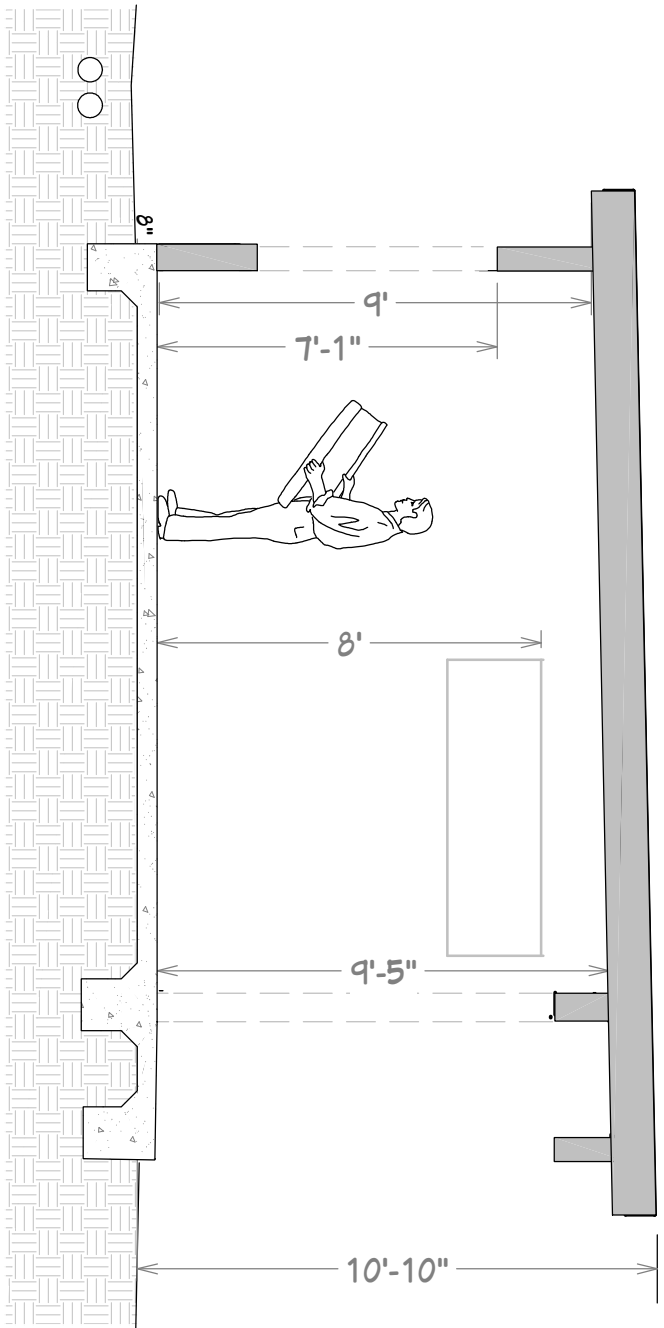
S-1 VERTICAL BUILDING ENVELOPE ILLUSTRATION OF EXISTING AND PROPOSED

1/4"=1'



S-2 SECTION

1/4"=1'



S-3 ADU SECTION

1/4"=1'

DO NOT REMOVE NRC LABELS FROM WINDOWS AND DOORS UNTIL FIELD VERIFICATION IS COMPLETE

ALL WINDOWS TO BE MILGARD ULTRA SERIES U.N.O. W/ HIGH PERFORMANCE GLAZING.

ALL EXTERIOR BI-FOLD DOORS TO BE LA CANTINA

REFER TO T-24 FOR U-FACTOR AND OTHER ENERGY REQUIREMENTS.

ALL EXTERIOR DOORS TO BE INSTALLED WITH DOOR PAN. SEE DETAIL

ALL DOORS AND WINDOWS BLACK EXTERIOR.

CONFIRM WITH OWNER PRIOR TO ORDERING.

OWNER & PROJECT ADDRESS

CAROL McFARLAND
132 25th Ave.
Santa Cruz, Ca. 95062
cmcfarland@cruzio.com
831-332-1309
APN: 028-234-12

PROJECT CONTACTS:

BRYAN MARTIN DESIGN BUILD
215 Caledonia Street,
Santa Cruz, Ca. 95062
831.332.7074
bryan@bmdesignbuild.com

Bryan Martin

Bryan Martin, License 499434

WAGONER STRUCTURAL DESIGN
220 Celeste Way
Santa Cruz, Ca. 95065
831.423.2225

Beautz Land Surveying
565 Rizzo Court
Santa Cruz, Ca 95062
831.476.3748
janeibeautz@gmail.com



SHEET INDEX

- A-1 COVER PAGE
- A-2 RENDERING PROPOSED
- A-3 AS BUILT FLOOR PLAN
- A-4. AS BUILT SITE PLAN
- A-5. PROPOSED SITE PLAN
- A-6 DRAINAGE PLAN
- A-7 FLOOR PLAN NEW
- A-8. NORTH ELEVATION
- A-9. SOUTH ELEVATION
- A-10 EAST WEST ELEVATION
- A-11 SECTIONS
- A-12 DOOR & WINDOW SCHEDULE
- A-13 INTERIOR ELEVATIONS
- A-14 ELECTRICAL DETAILS
- MEP-1 ELECTRICAL
- SUR Boundary map

NORTH u.n.o.

Date: 01.08.2023

DEVELOPMENT COASTAL APPLICATION

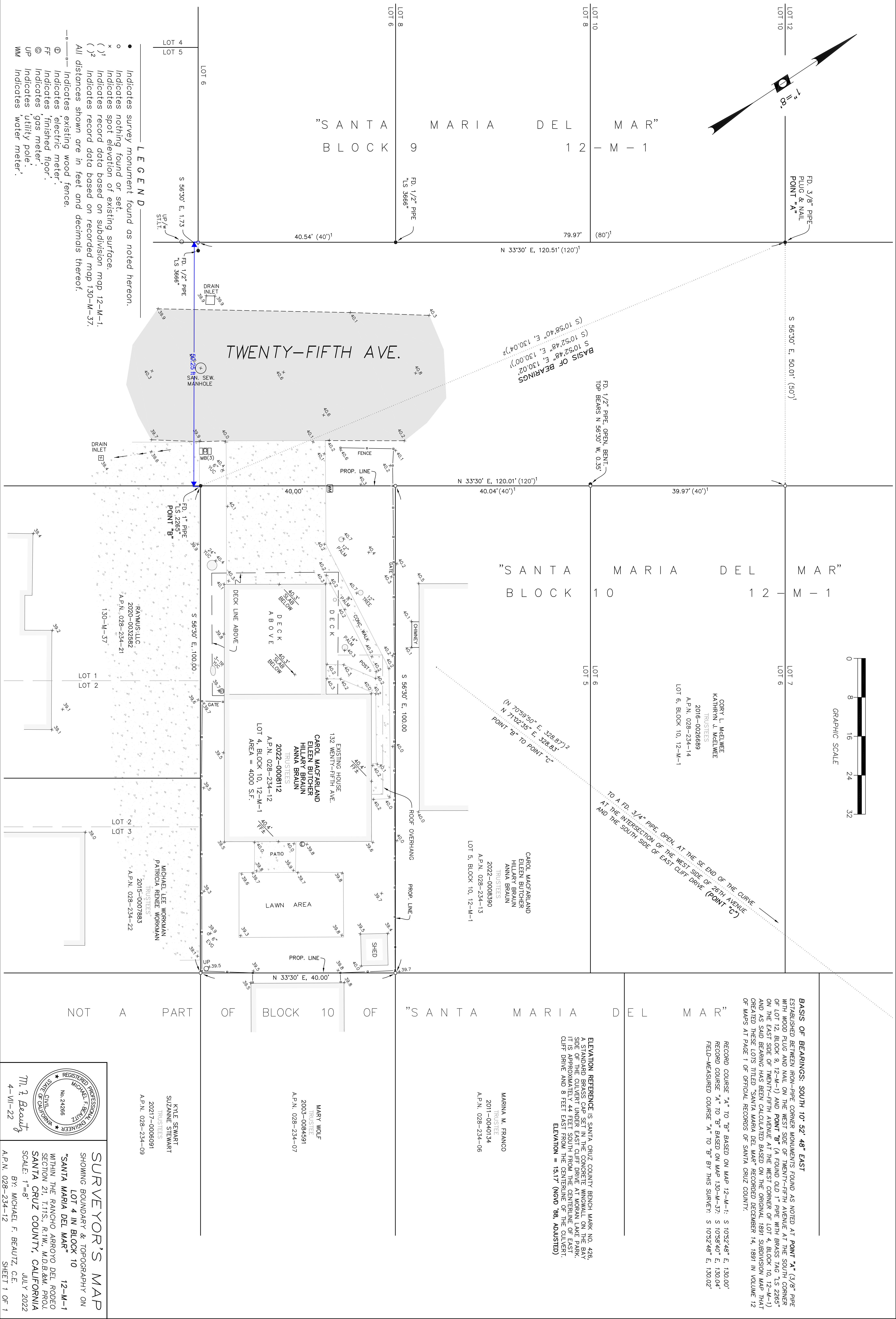
DOOR, WINDOW SCHEDULE

DOOR WINDOW NUMBER	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	DOOR COMMENTS	U-FAC
W01	1 1	2448C	YES	YES	SINGLE CASEMENT-H&H	2448C
					ACID ETCH GLASS	
W02	1 1	3048C	YES		SINGLE CASEMENT-H&H	3048C
					ACID ETCH GLASS	
W03	2 1	3019W			FIXED GLASS	3019W
W04	1 1	3020W	YES		SINGLE PANNING	3020W
					ACID ETCH GLASS	
W05	1 1	3020S			LEFT SLIDING	3020S
					ALUMINUM SINGLE GLAZE 3020S	
W06	1 1	3068C	YES		SINGLE CASEMENT-H&H	3068C
					ACID ETCH GLASS	
W07	2 2	3069FX			FIXED GLASS	3069FX
W08	2 2	4020W			SINGLE PANNING	4020W
W09	1 1	4040FX			FIXED GLASS	4040FX
W10	1 1	4040C	YES		DOUBLE CASEMENT-L&M&H&H	4040C
					FRONT CASEMENT	
W11	1 1	4040C			DOUBLE CASEMENT-L&M&H&H	4040C
W12	1 1	4040C	YES		DOUBLE CASEMENT-L&M&H&H	4040C
W13	1 1	4040FX			FIXED GLASS	4040FX
W14	1 1	3458FX			FIXED GLASS	3458FX
W15	1 2	9020			MULLED UNIT-H	9020U
W16	1 1	6020S			LEFT SLIDING	6020S
					ACID ETCH GLASS	
W17	1 1	6220			MULLED UNIT-H	6220U
W18	2 1	4040FX	YES		FIXED GLASS	4040FX
W19	3 2	4040FX			FIXED GLASS	4040FX
W20	1 1	3420W			SINGLE PANNING	3420W

DOOR WINDOW NUMBER	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	DOOR COMMENTS	DOOR U-FAC
D01	1 2	1072L EX	OUTWARD BI-FOLDING		LA CANTINA	139"
D02	2 1	2061 LN	HINGED SLAB			139"
D03	1 1	2061 L	SHOWER GLASS SLAB			12"
D04	1 1	2061 R	SHOWER GLASS SLAB			12"
D05	1 1	4060 L&H EX	EXT DOUBLE HINGED GLASS PANEL			134"
D06	1 1	2061 R LN	HINGED SLAB			139"
D07	1 1	2106 L	POCKET SLAB			139"
D08	1 1	2061 L EX	EXT HINGED GLASS PANEL			134"
D09	1 1	2061 L EX	EXT HINGED GLASS			134"
D10	1 1	2106 R	POCKET SLAB			139"
D11	1 1	2106 R	POCKET SLAB			139"
D12	1 1	2061 R LN	HINGED SLAB			139"
D13	1 2	2076 R LN	HINGED SLAB			139"
D14	2 1	3071 R EX	EXT HINGED GLASS PANEL		ACID ETCH GLASS	134"
D16	1 1	3071 L EX	EXT HINGED GLASS PANEL			134"
D17	2 1	4070	SHOWER GLASS DOOR P&S		ALUMINUM CASER	134"
D18	2 1	2061 LN	HINGED GLASS PANEL			139"
D20	1 2	1072 R EX	OUTWARD BI-FOLDING		LA CANTINA	139"

A-12

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL AND
UNPUBLISHED WORK OF THE DESIGNER AND MAY
NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT WRITTEN CONSENT OF BRYAN MARTIN
DESIGN BUILD.



FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

POR. RANCHO ARROYO DEL RODEO
SEC. 20 & 21, T.11S., R.1W., M.D.B. & M.

Tax Area Code
82-003 82-040

28-23

63RS8
2/24/1977

SANTA MARIA DEL MAR
SMB82 Copy 12-1 12/14/1891

57PM30
7/9/2002



Electronically Redrawn 8/20/98 RW
Rev. 10/21/99 GG (Remove R/VV)
Rev. 4/4/01 MVM (Changed pg. refs.)
Rev. 7/12/02 DD (57PM30, 3-22 & 23)
Rev. 1/21/15 AR (123RS4)
Rev. 8/17/16 jg (anno. edit)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

SEC. 21
SEC. 20



Assessor's Map No. 28-23
County of Santa Cruz, Calif.
Aug., 1998

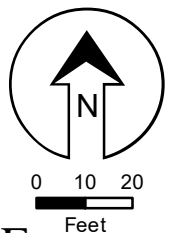


Parcel Location Map



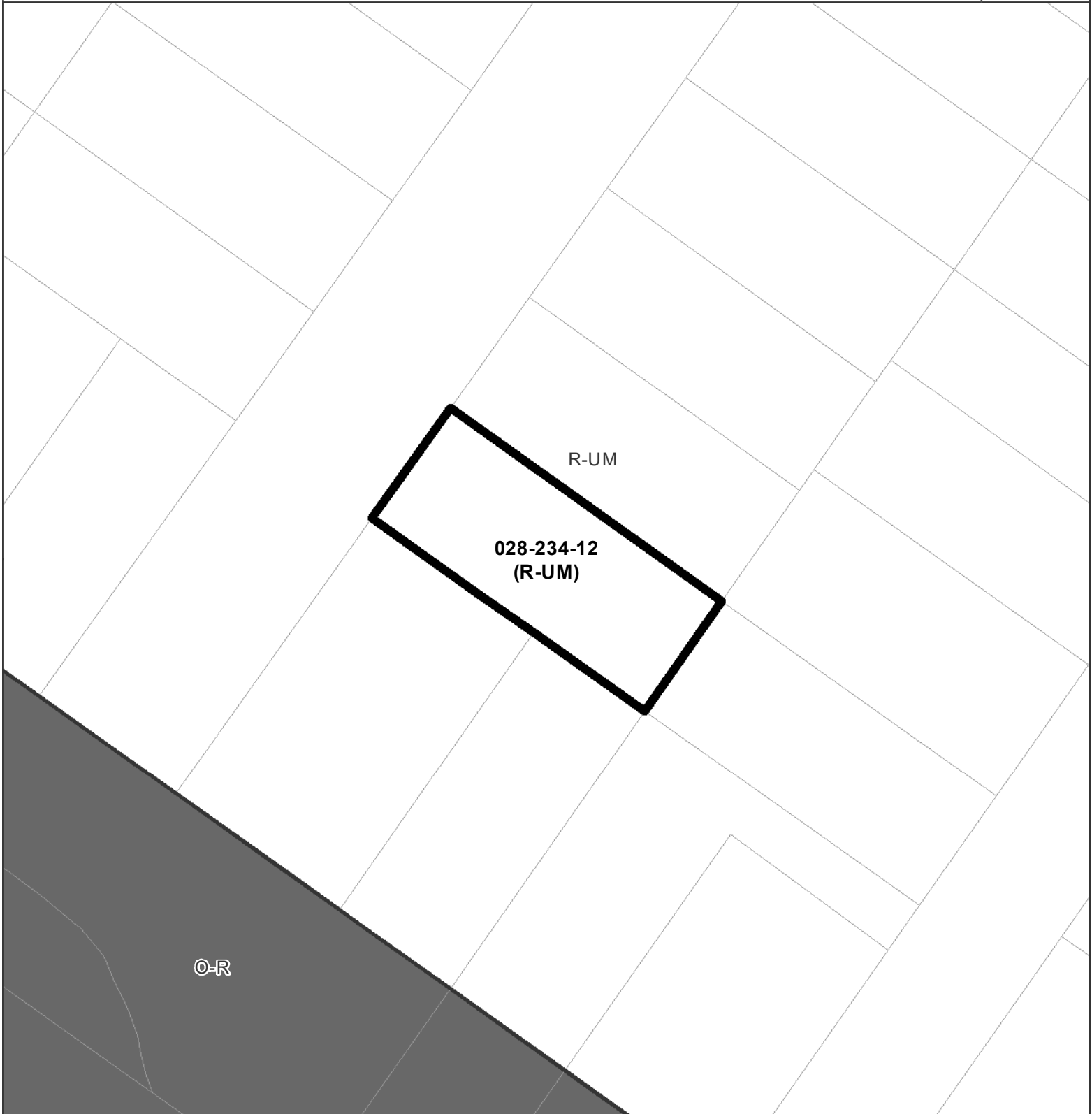
Parcel: 02823412



-  Study Parcel
-  Assessor Parcel Boundary

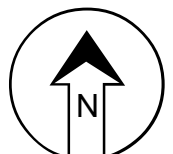




Parcel General Plan Map



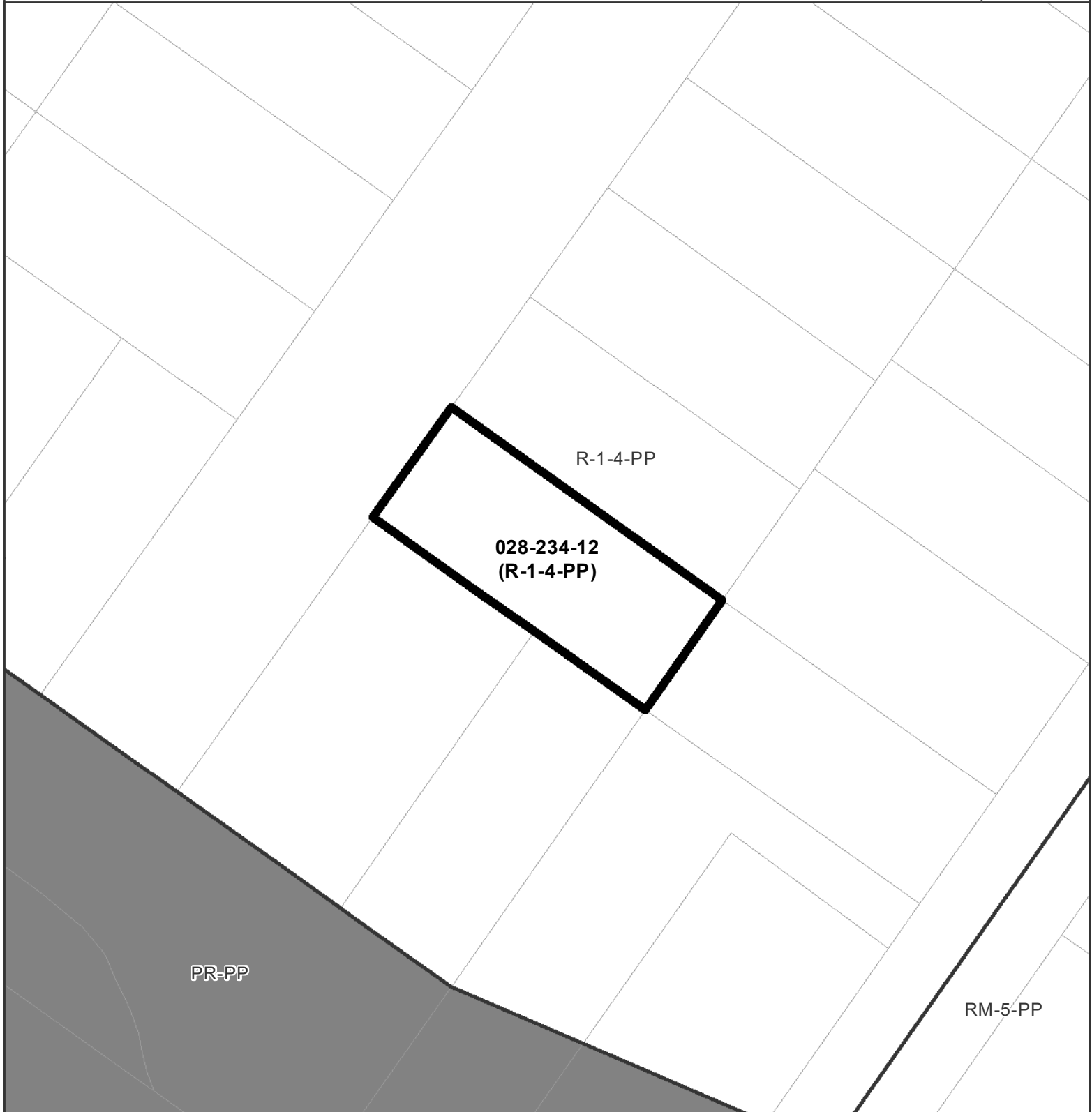
-  O-R *Parks, Recreation & Open Space*
-  R-UM *Res. Urban Medium Density*



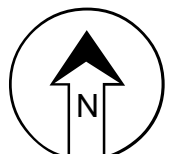
0 10 20
Feet



Parcel Zoning Map



- PR *Parks, Recreation, & Open Space*
- R-1 *Single-Family Residential*
- RM *Residential Multi-Family*



0 10 20
Feet

Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: Santa Cruz Water Area
Sewage Disposal: Santa Cruz Sanitation
Fire District: Central Fire Protection District
Drainage District: Flood Zone 5

Parcel Information

Parcel Size: 4,000
Existing Land Use - Parcel: Single-Family Residential
Existing Land Use - Surrounding: Single-Family Residential
Project Access: 25th Avenue
Planning Area: Live Oak
Land Use Designation: R-UM (Urban Residential, Medium Density)
Zone District: R-1-4-PP (Single-Family Residential, minimum 4,000 square foot lot size, and Pleasure Point Combining Zone District)

Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm.: X Yes No

Technical Reviews: NA

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site