



Staff Report to the Zoning Administrator

Application Number: **231414**

Applicant: Stephanie Barnes-Castro

Agenda Date: XX

Owner: Stephanie & Mark Casper

Agenda Item #:

APN: 061-471-17

Time: After 9:00 a.m.

Site Address: 676 Henry Cowell Drive, Santa Cruz CA 95060

Project Description: Proposal to construct a 187 square foot addition under an existing covered porch at an existing 6,488 square foot single-family dwelling and to convert 424 square feet of existing living space to a bedroom.

Location: Property is located on the north side of Henry Cowell Drive approximately 200 feet north of the intersection of Woods Cove Lane and Henry Cowell Drive at 676 Henry Cowell Drive in Santa Cruz.

Permits Required: Requires a Large Dwelling Permit.

Supervisory District: 5th District (District Supervisor: Bruce McPherson)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231414, based on the attached findings and conditions.

Project Description & Setting

The subject property is located on the north side of Henry Cowell Drive in the Carbonera Planning area of Santa Cruz. The residence is located in an urban residential neighborhood with predominantly medium and large two-story dwellings that range from 3,400 to 6,000 square feet in size.

Santa Cruz County Code 13.10.325(A) states, "No residential structure shall be constructed which will result in 5,000 square feet of floor area or larger, exclusive of accessory structures associated with the residential use, unless a Level V approval is obtained..." The proposed addition will result in 6,675 square feet of floor area; therefore, a Large Dwelling Review is required.

Project Background

The residence was constructed in 2006 as a two-story, 6,488 square foot single-family dwelling under permit 0053055H-00139675 . In 2006, County Code required a Large Dwelling Review for residential structures over 7,000 square feet. In 2017, County Code changed the Large Dwelling Review threshold from 7,000 square feet to 5,000 square feet.

Zoning & General Plan Consistency

The subject property is a 22,216 square foot lot, located in the R-1-15 (Single-Family Residential) zone district, a designation which allows residential uses. The proposed addition is a principal permitted use within the zone district and the zoning is consistent with the site's R-UVL (Urban Very Low Density Residential) General Plan designation.

Large Dwelling Review

The proposed addition (of approximately 187 square feet) would result in a structure that is over 5,000 square feet of floor area (total of approximately 6,675 square feet). Single family dwellings (or additions to existing single-family dwellings) over 5,000 square feet are subject to a Residential Development Permit Large Dwelling Review.

Design Review

The proposed addition complies with the requirements of the County Design Review Ordinance, in that the proposed addition will be consistent with the architectural style, colors, and materials of the existing residence and the structure will be adequately screened from view to prevent visual impacts of the proposed development on surrounding land uses and the natural landscape. The proposed addition will be painted to match the exterior of the existing residence. Additionally the proposed 187 square foot addition will be located beneath an existing covered porch and the proposed remodel does not entail any changes to the exterior of the dwelling.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231414**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: JohnHunter
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3170
E-mail: John.Hunter@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Parcel Information
- E. Project Plans
- F. Assessor's, Location, Zoning and General Plan Maps

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231414

Assessor Parcel Number: 061-471-17

Project Location: 676 Henry Cowell Drive, Santa Cruz CA 95060

Project Description: Construct a 187 square foot addition under an existing covered porch at an existing 6,488 square foot single-family dwelling and convert 424 square feet of existing living space to a bedroom.

Person or Agency Proposing Project: Stephanie Barnes-Castro

Contact Phone Number: (831) 818-3517

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: New Construction or Conversion of Small Structures (Section 15303).

F. Reasons why the project is exempt:

Construct a residential addition in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

John Hunter, Project Planner

Date:_____

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the addition and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-15 (Single-Family Residential) zone district as the primary use of the property will be one dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed addition is consistent with the use and density requirements specified for the R-UVL (Urban Very Low Density) land use designation in the County General Plan.

The proposed addition will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the addition will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed addition will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed addition will comply with the site standards for the R-1-15 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed addition will not change the level of traffic generated by the dwelling, so it will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed addition is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed addition will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit E: Project plans, prepared by Stephanie Barnes-Castro, dated 09/25/2023.

- I. This permit authorizes the construction of an addition as indicated on the approved Exhibit "E" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "E" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "E" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on

the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- E. Meet all requirements and pay any applicable plan check fee of the Scotts Valley-Branciforte Fire Protection District.
- F. Pay the current fees for Parks mitigation. Currently, these fees are \$0.55 per square foot for single family dwellings.
- G. Pay the current fees Child Care mitigation. Currently, these fees are \$0.85 per square foot for single family dwellings.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be

installed.

- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Application #: 231414
APN: 061-471-17
Owner: Stephanie & Mark Casper

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

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Parcel Information

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Santa Cruz
Sewage Disposal: CSA 10 Rolling Woods
Fire District: Scotts Valley FPD
Drainage District: NA

Parcel Information

Parcel Size: 22,215 Square Feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Henry Cowell Drive
Planning Area: Carbonera
Land Use Designation: R-UVL (Urban Very Low Density Residential)
Zone District: R-1-15 (Single-Family Residential)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal Comm.: ☐ Yes ☒ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: 0% - 50%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site

CASPER RESIDENCE

LARGE HOUSE ORDINANCE CALCULATIONS

SEE SHEETS A14 & A15 FOR FLOOR AREA DIAGRAM

Architectural Feature	Habitable Floor Area calculation		Floor Area Calculation	
Basement	Count if habitable, do not count if non-habitable.	o	Count whether habitable or not.	o
Garage	Do not count.	o	Count, if attached. Do not count if detached or connected only by breezeway.	796 SQ. FT.
Carport	Do not count.	o	Count if attached and has three solid sides / walls. Don't count if 1-2 walls or detached structure.	o
Accessory dwelling unit	Count, if attached to proposed d.u., not if att. to extg. Do not count if a separate, detached structure.	o	Count, if attached to prop. dwg. Not count if att. to extg. dwg., detached or connected by breezeway.	o
Accessory structure	Count if attached and habitable. Do not count if nonhabitable, detached, or attached to a detached accessory structure.	o	Count if attached. Do not count if detached or inconsequential.	o
Mezzanine	If meets def. of mezzanine, it does not count. If exceeds 1/3 of room area below, considered a story. Count area exceeding 1/3 of room mezz opens to.	o	Count.	o
Interior stairs	Count once. Do not count stair area of second floor.	INCLUDED IN LOWER LEVEL SQ. FOOTAGE	Count once.	INCLUDED IN LOWER LEVEL SQ. FOOTAGE
High ceilings	Not applicable	o	Not applicable	o
Underfloor	Do not count if meets underfloor criteria (see above)	o	Do not count if meets underfloor criteria	o
Attic	Count if habitable, do not count if non-habitable	o	Do not count.	o
Decks, enclosed	Do not count	o	Count.	289 SQ. FT.
Decks, unenclosed; trellises	Do not count	o	Do not count.	o
Eaves, chimneys, bay window	Do not count	o	Do not count.	o
LOWER LEVEL (INCLUDING INTERIOR STAIRS)		2,921 SQ. FT.		2,921 SQ. FT.
UPPER LEVEL		3,012 SQ. FT.		3,012 SQ. FT.
TOTAL		5,933 TOTAL HABITABLE FLOOR AREA		7,017 TOTAL FLOOR AREA

FIRE PROTECTION NOTES

- THESE PLANS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (CURRENT EDITION) AND DISTRICT AMENDMENTS.
- OCCUPANCY CLASSIFICATION: R-3/U
BUILDING CONSTRUCTION TYPE: TYPE VB
FIRE RATING: SPRINKLERED
- A 30 FOOT CLEARANCE SHALL BE MAINTAINED TO FLAMMABLE VEGETATION AROUND ALL STRUCTURES. SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY, OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURES, ARE EXEMPT.
- THE ROOF COVERING SHALL NOT BE LESS THAN CLASS 'B' RATED ROOF.
- 4 INCH HIGH ADDRESS NUMBERS OF CONTRASTING COLOR WITH BACKGROUND SHALL BE PROVIDED.
- THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.
- THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13D IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
- THE DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL.
- WHERE ROOF VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL NOT BE LESS THAN NO. 26 GAUGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER MINIMUM 72 LB. MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH OF THE VALLEY PER CRC R307.5.3
- THIS PROJECT IS LOCATED IN GRA-MODERATE FIRE PROTECTION ZONE AND SHALL COMPLY WITH ALL WILDLAND URBAN INTERFACE CONSTRUCTION REQUIREMENTS.

CONSTRUCTION WASTE MANAGEMENT

A MINIMUM OF 65% OF THE CONSTRUCTION AND DEMOLITION WASTE WILL BE RECYCLED, RE-USED ON THE PROJECT, OR SALVAGED FOR LATER USE OR SALE.

PROJECT DESCRIPTION

PROPOSED MODIFICATIONS DO NOT ALTER (E) BUILDING FOOTPRINT OR ROOF LINE. REMODEL & ADDITION TO AN (E) 2 STORY 6 BEDROOM, 4 BATH HOME TO INCLUDE (N) 424 SQ. FT. UPPER LEVEL BEDROOM/PLAYROOM CONSTRUCTED WITHIN (E) 2 STORY LIVING ROOM SPACE, & NEW 187 SQ. FT. LOWER LEVEL LAUNDRY/MUDROOM CONSTRUCTED WITHIN (E) COVERED PORCH SPACE. CONVERT AN (E) LOWER LEVEL LAUNDRY TO A BATHROOM, & ADD TWO UPPER LEVEL BATHROOMS. RESULTS IN A 6 BEDROOM, 7 BATH HOME. REQUIRES A LARGE DWELLING PERMIT.

SQ. FOOTAGES:

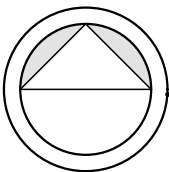
MAXIMUM ALLOWABLE LOT COVERAGE: LOT AREA X 40% = 23,215 SF X 40% = 9,286 SF
EXISTING LOT COVERAGE: (NO CHANGE TO EXISTING LOT COVERAGE): 4,019 SF= 17.3%
MAXIMUM ALLOWABLE F.A.R.: LOT AREA X 50% = 23,215 SF X 50% 11,607.5 SF
EXISTING FAR: 6,488 SQ. FT.= 27.9%
PROPOSED CHANGE TO F.A.R.: 187 SQ. FT.
TOTAL PROPOSED F.A.R.: 6,675 SQ. FT.= 28.75%

SHEET INDEX

SHEET A1:	COVER SHEET, SHEET INDEX, PROJECT DATA, NOTES
SHEET A2:	SITE PLAN
SHEET A3:	EXISTING LOWER LEVEL FLOOR PLAN
SHEET A4:	EXISTING UPPER LEVEL FLOOR PLAN
SHEET A5:	PROPOSED LOWER LEVEL FLOOR PLAN
SHEET A6:	PROPOSED UPPER LEVEL FLOOR PLAN
SHEET A6:	EXISTING & PROPOSED ROOF PLAN
SHEET A7:	EXISTING EXTERIOR ELEVATIONS
SHEET A8:	EXISTING EXTERIOR ELEVATIONS
SHEET A9:	EXISTING EXTERIOR ELEVATIONS
SHEET A10:	PROPOSED EXTERIOR ELEVATIONS
SHEET A11:	PROPOSED EXTERIOR ELEVATIONS
SHEET A12:	PROPOSED EXTERIOR ELEVATIONS
SHEET A13:	SECTIONS
SHEET A14:	LOWER LEVEL SQ. FOOTAGE DIAGRAM
SHEET A15:	UPPER LEVEL SQ. FOOTAGE DIAGRAM

CODE COMPLIANCE NOTES

2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRIC CODE, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA ENERGY STANDARDS



VICINITY MAP

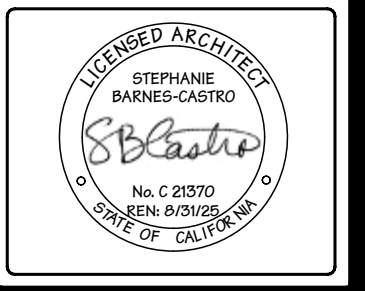
PROJECT CONTACTS

OWNER:	STEPHANIE & MARK CASPER 676 HENRY COWELL DRIVE SANTA CRUZ, CA 95060 stephanie.casper7@gmail.com mark.casper1967@gmail.com
ARCHITECT:	STEPHANIE BARNES- CASTRO 424 LAURENT STREET SANTA CRUZ, CA 95060 sbc@sbccarch.com (831) 239-0603

PROJECT DATA

APN:	061-471-17
SITE ADDRESS:	676 HENRY COWELL DRIVE SANTA CRUZ, CA 95060
ZONE:	R-1-15
OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	VB, SPRINKLERED
WATER DISTRICT:	SANTA CRUZ
FIRE DISTRICT:	SCOTTS VALLEY FIRE
TOTAL PARCEL AREA:	23,215 SQ. FT.
PARKING REQUIRED:	5 SPACES
PARKING PROVIDED:	5+ SPACES

EXHIBIT E



424 Laurent St.
Santa Cruz CA 95060
Ph: (831) 239-0603
Email: sbc@sbccarch.com



STEPHANIE
BARNES - C A S T R O
A R C H I T E C T

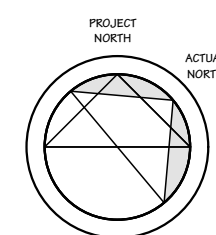
PROJECT DATA
SHEET INDEX

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

SUBMITTAL DATE	
9/25/23	
DATE	REVISION

SHEET
COVER
SHEET
OF SHEETS

1. ALL DOWNSPOUTS TO REMAIN AT EXISTING LOCATIONS.
2. NO CHANGES TO (E) DRAINAGE.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS. SLOPE GRADES AWAY FROM NEW FOUNDATION AREAS A MINIMUM OF 5 PERCENT FOR THE FIRST 10 FEET. IMPERVIOUS SURFACES SHALL SLOPE AWAY FROM FOUNDATIONS AT LEAST 2 PERCENT FOR THE FIRST 10 FEET.
4. PHYSICAL BARRIERS SHALL PROHIBIT 6" OF FALL WITHIN 1 FEET. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
5. IRRIGATION SHALL BE DONE IN A CONTROLLED AND REASONABLE MANNER.


$$1^{\text{III}} = 10^{\text{I}} - 0^{\text{II}}$$

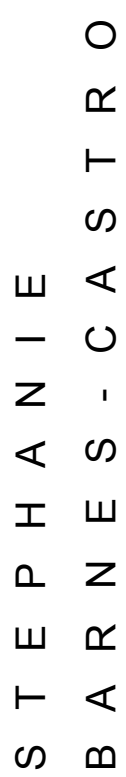
Stephanie Barnes-Castro Architect
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SIIE PLAN

SUBMITTAL DATE	
9/25/23	
DATE	REVISION

A1



EXISTING
LOWER LEVEL
FLOOR PLAN

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

SHEET
A2
OF SHEETS

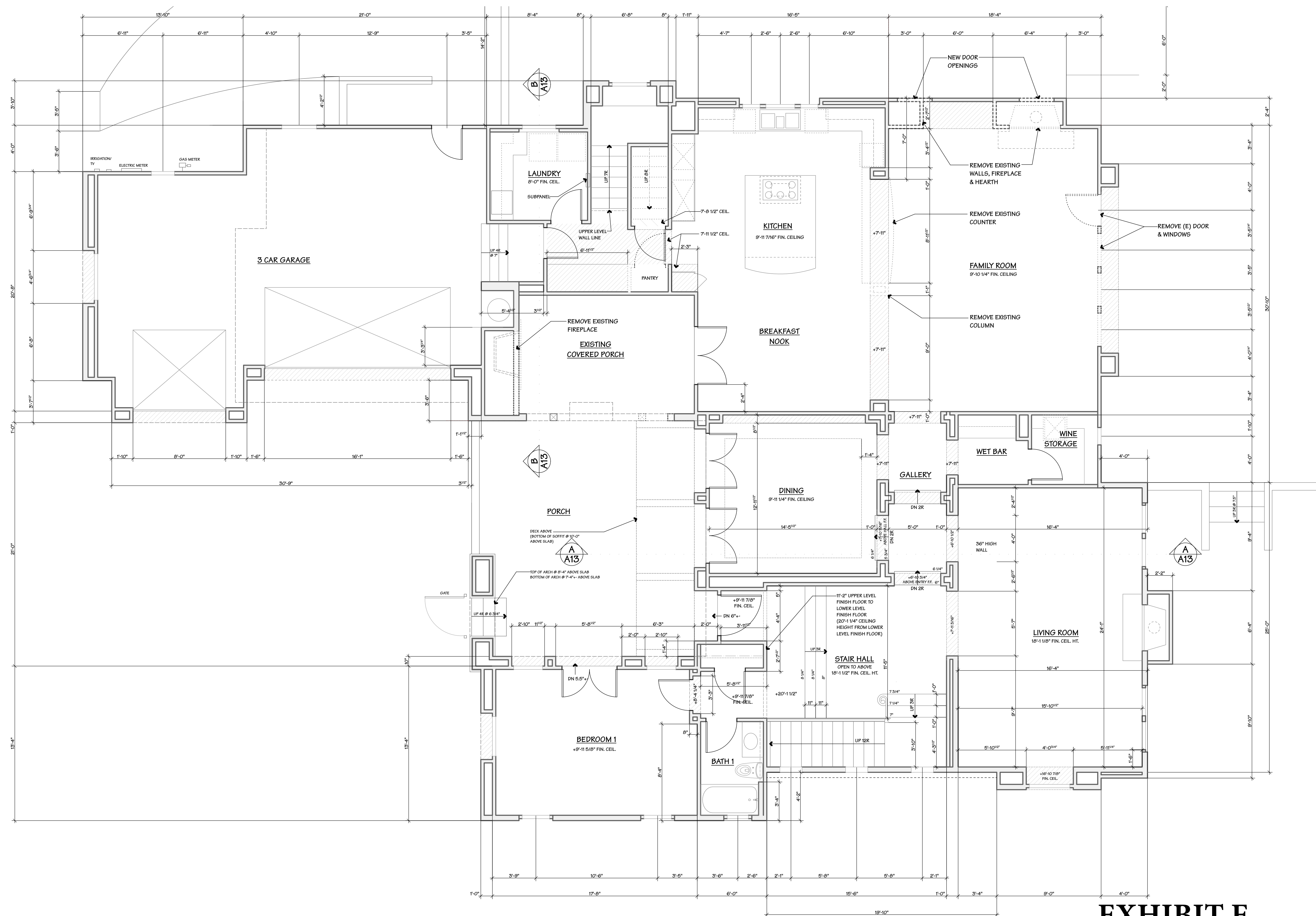
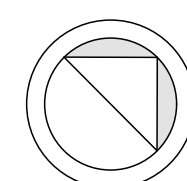


EXHIBIT E



EXISTING LOWER LEVEL FLOOR PLAN

1/4"= 1'-0"

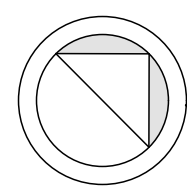


EXISTING
UPPER LEVEL
FLOOR PLAN

SHEET
A3
OF SHEET



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LOWER LEVEL FLOOR PLAN

1/4"= 1'-0"

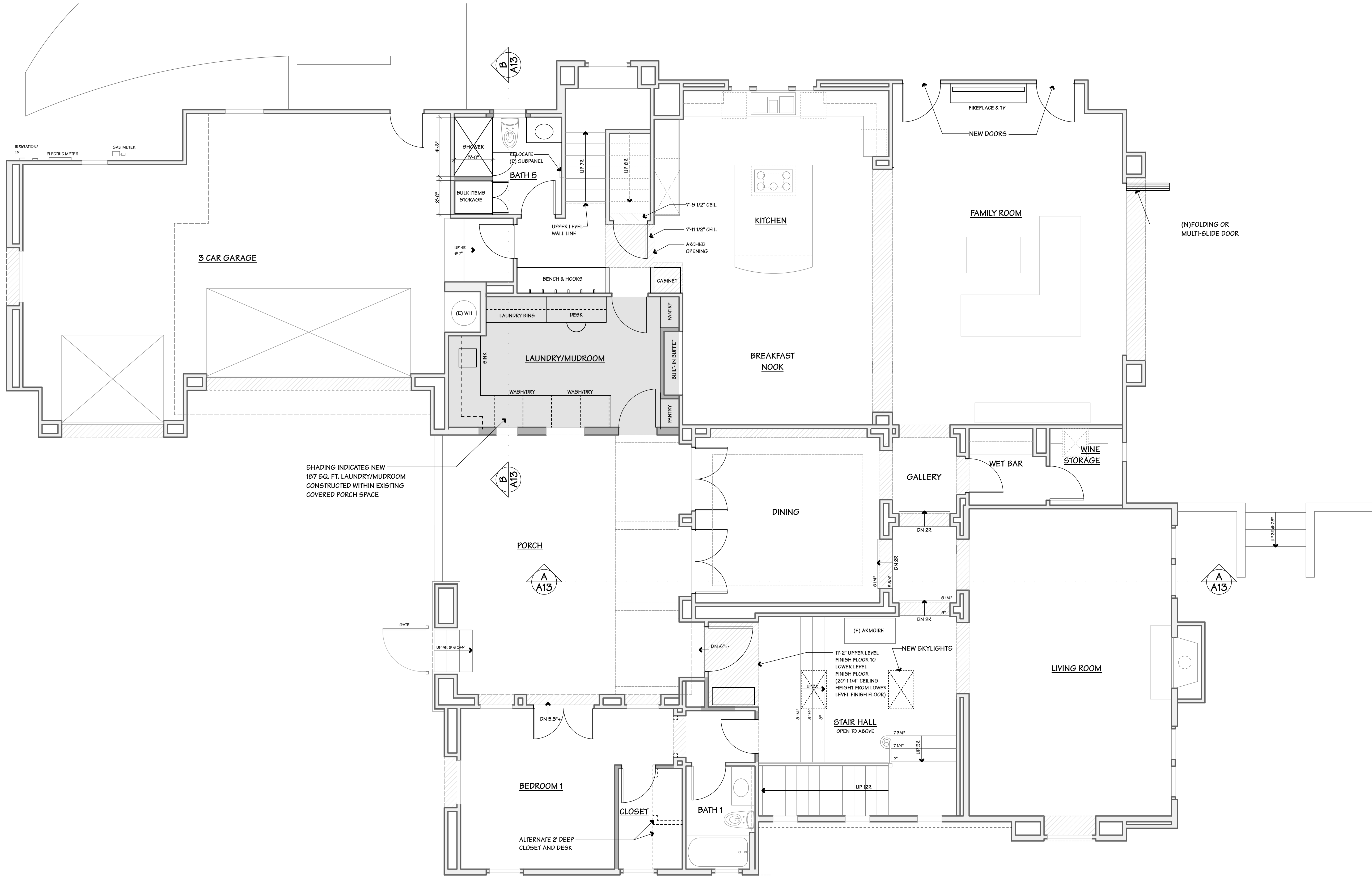
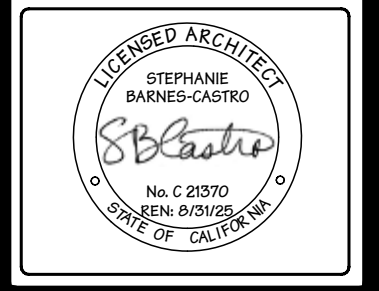


EXHIBIT E



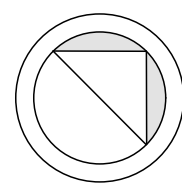
424 Laurel St.
Santa Cruz CA 95060
Ph: (831) 239-0603
Email: sbc@sbarch.com

STEPHANIE BARNES-CASTRO
ARCHITECT

PROPOSED
LOWER LEVEL
FLOOR PLAN

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

SUBMITTAL DATE	
9/25/23	
Δ	REVISION
SHEET	
A4	
OF	SHEETS



UPPER LEVEL FLOOR PLAN

1/4"=1'-0"

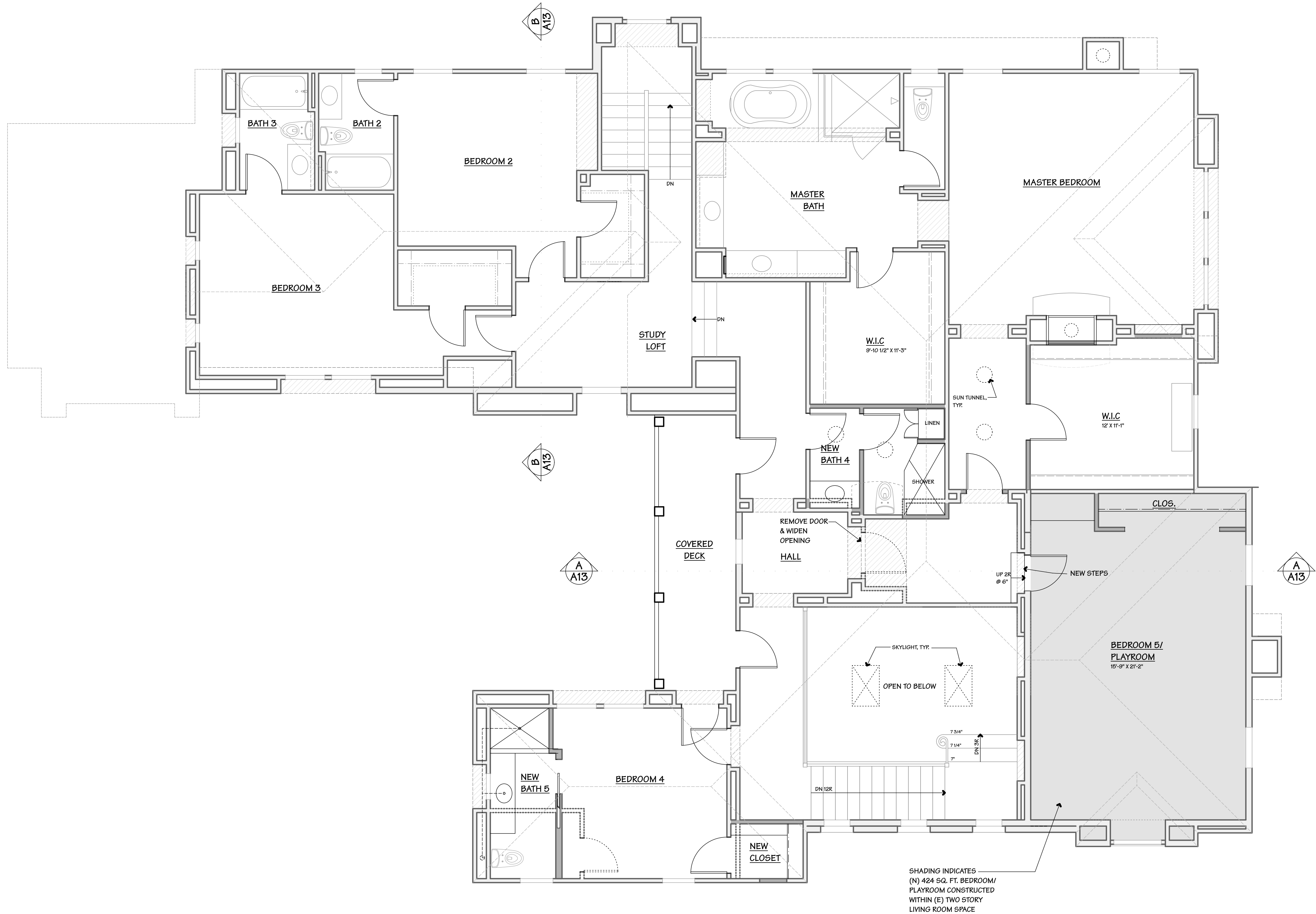
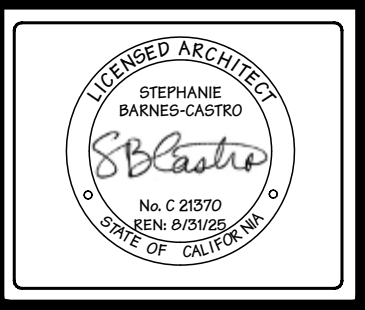


EXHIBIT E



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ARCHITECT

PROPOSED
UPPER LEVEL
FLOOR PLAN

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

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DATE	REVISION
SHEET	
A5	
OF	SHEETS

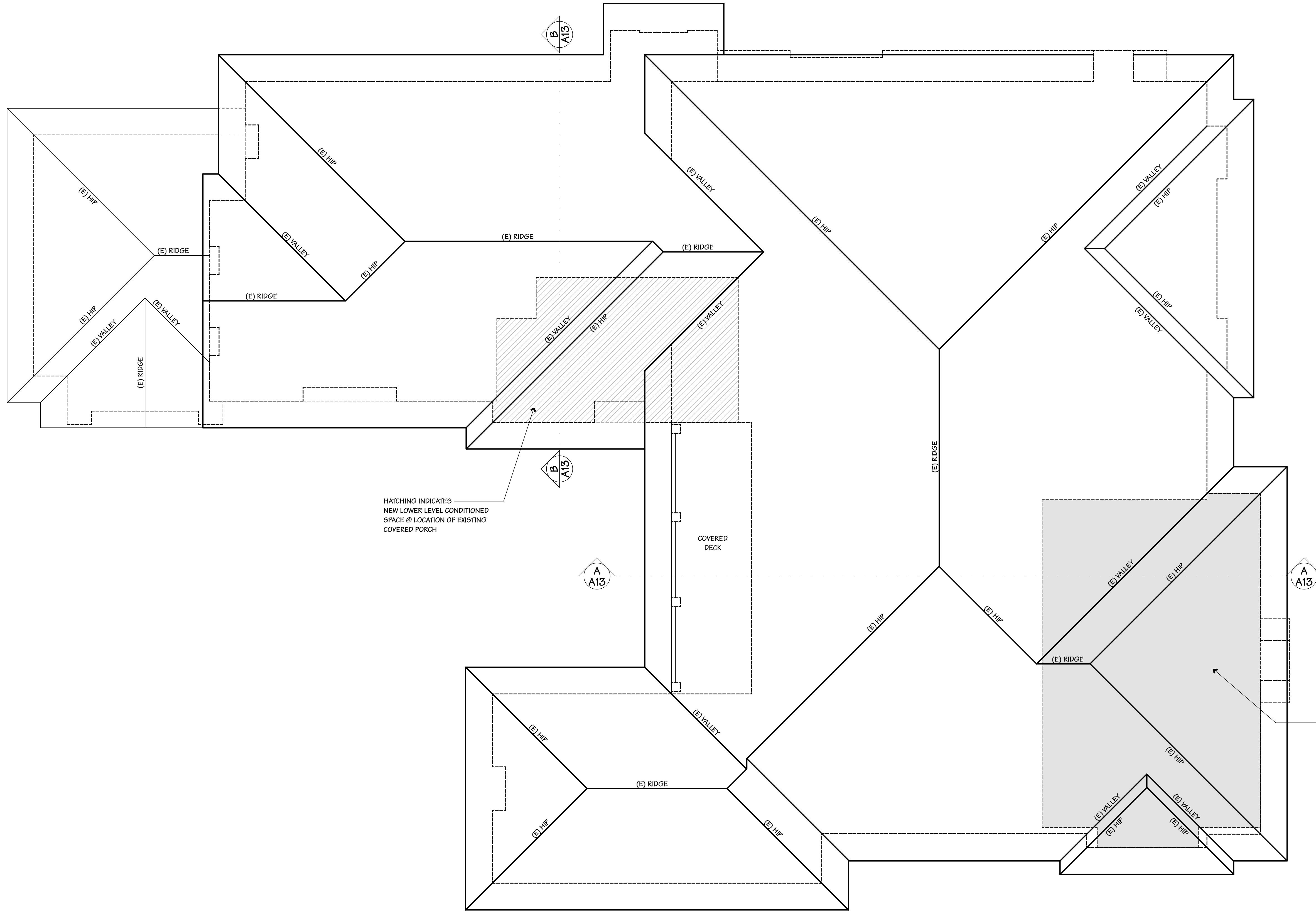
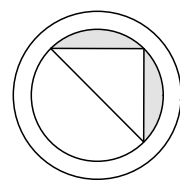
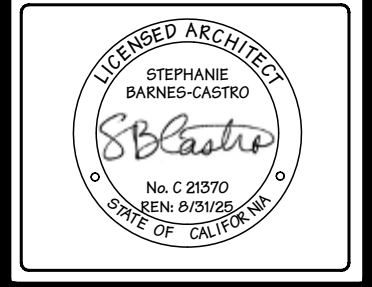


EXHIBIT E



EXISTING & PROPOSED ROOF PLAN (NO CHANGES)

1/4"= 1'-0"



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ARCHITECT

EXISTING &
PROPOSED
ROOF PLAN

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

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A6	
OF	SHEETS



EXHIBIT E



124 Laurent St.
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ARCHITECT

EXISTING
ELEVATIONS

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

SUBMITTAL DATE		
9/25/23		
△	DATE	REVISION

SHEET **A7**

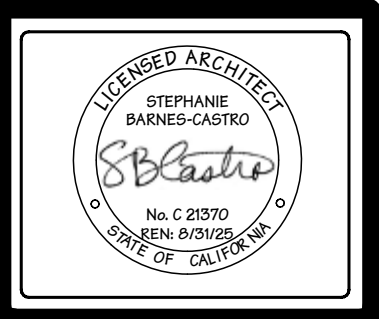


EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION

EXHIBIT E



424 Laurel St.
Santa Cruz CA 95060
Ph: (831) 239-0603
Email: sbcastro@sbcastro.com

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ARCHITECT

EXISTING
ELEVATIONS

CASPER RESIDENCE
676 HENRY COWELL DRIVE
SANTA CRUZ, CA 95060
APN# 061-471-17

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SHEET		
A8		
OF	SHEETS	



EXISTING COURTYARD SOUTH

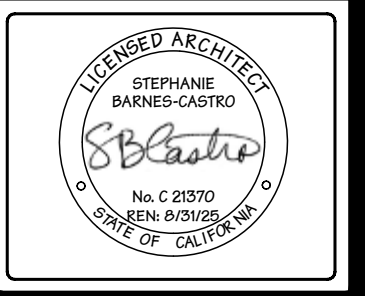


EXISTING COURTYARD WEST



EXISTING COURTYARD NORTH

EXHIBIT E



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EXISTING
ELEVATIONS

CASPER RESIDENCE
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SUBMITTAL DATE		
9/25/23		
Δ	DATE	REVISION
SHEET		
A9		
OF	SHEETS	



PROPOSED WEST ELEVATION (NO CHANGE)

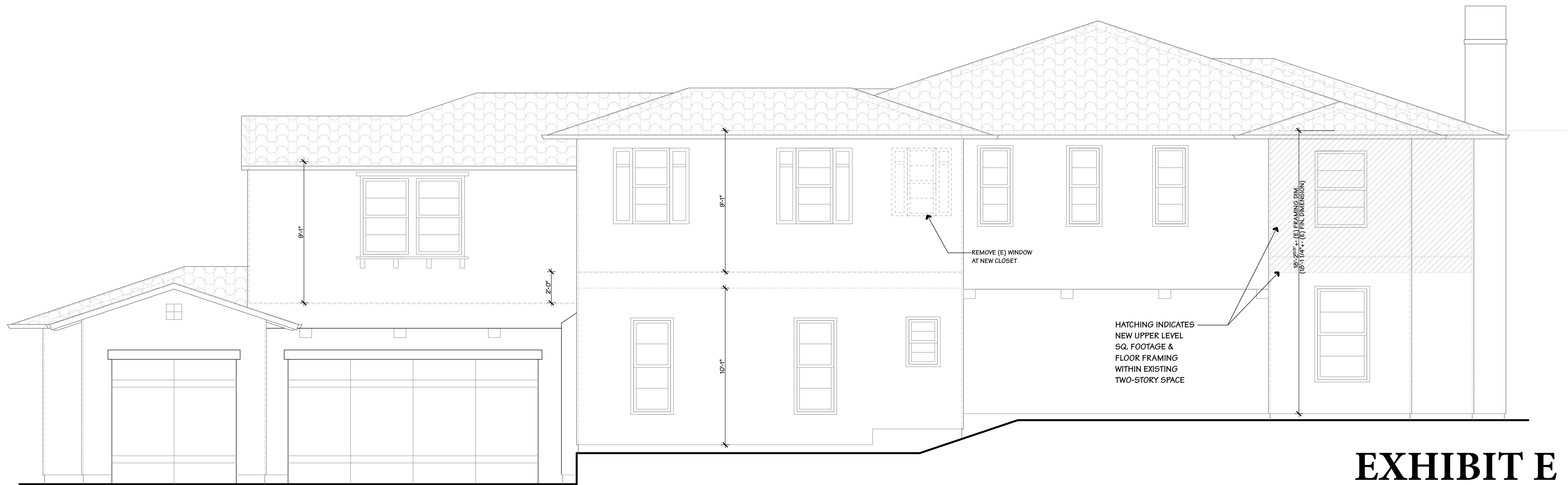
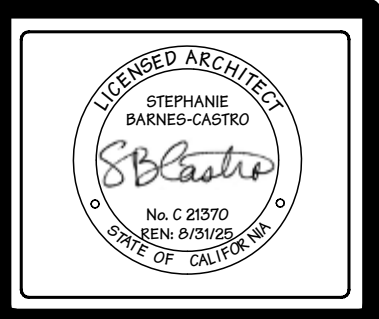


EXHIBIT E

PROPOSED SOUTH ELEVATION



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ELEVATIONS

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DATE	REVISION
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A10	
OF	SHEETS

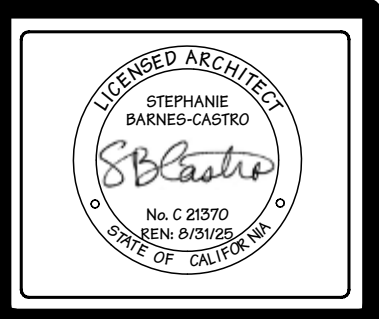


PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

EXHIBIT E



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Δ	DATE	REVISION
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A11		
OF	SHEETS	



PROPOSED COURTYARD SOUTH

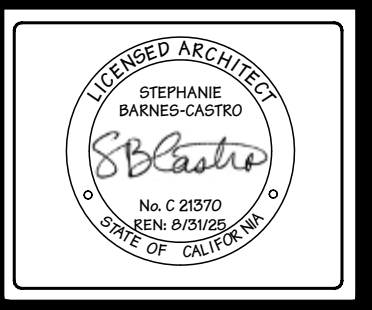


PROPOSED COURTYARD WEST



PROPOSED COURTYARD NORTH (NO CHANGE)

EXHIBIT E



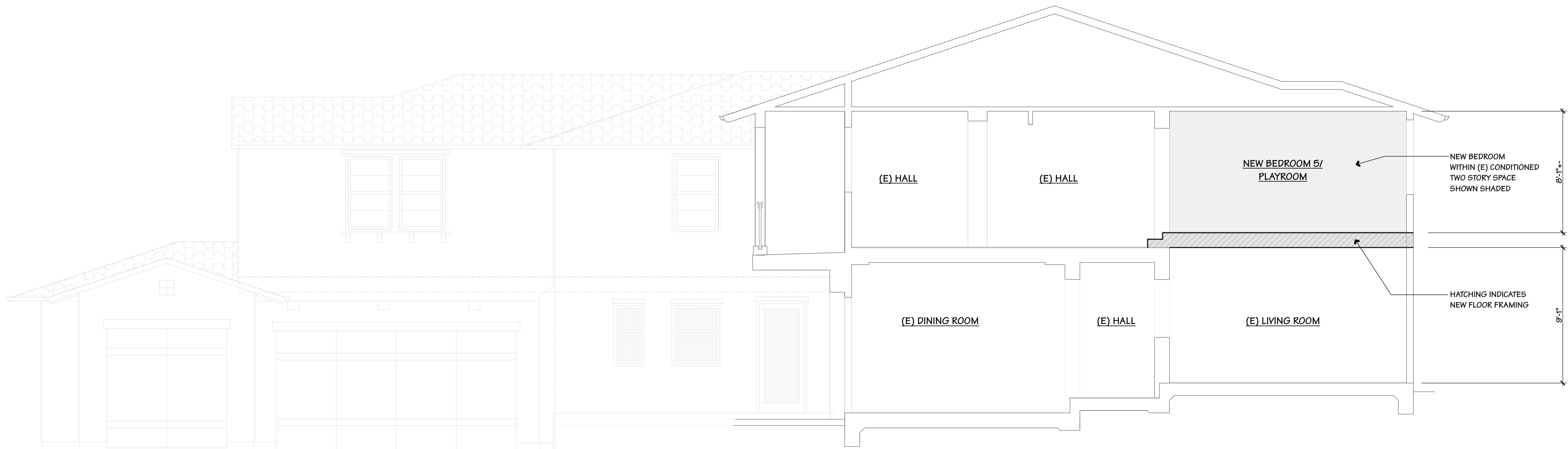
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PROPOSED
ELEVATIONS

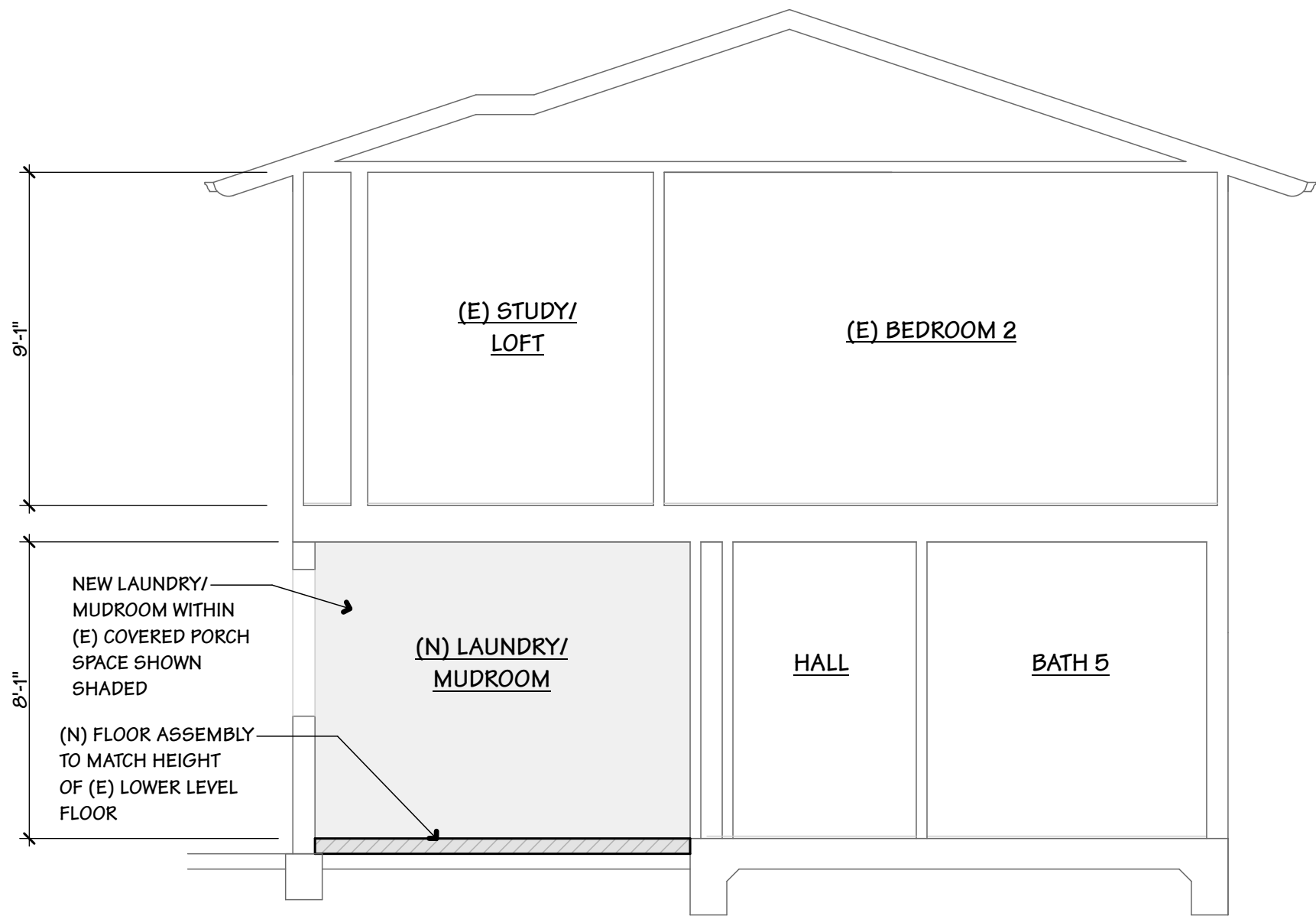
CASPER RESIDENCE
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APN# 061-471-17

SUBMITTAL DATE	
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OF	SHEETS



SECTION A-A

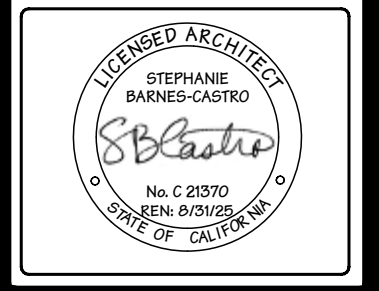
1/4"= 1'-0"



SECTION B-B

1/4"= 1'-0"

EXHIBIT E



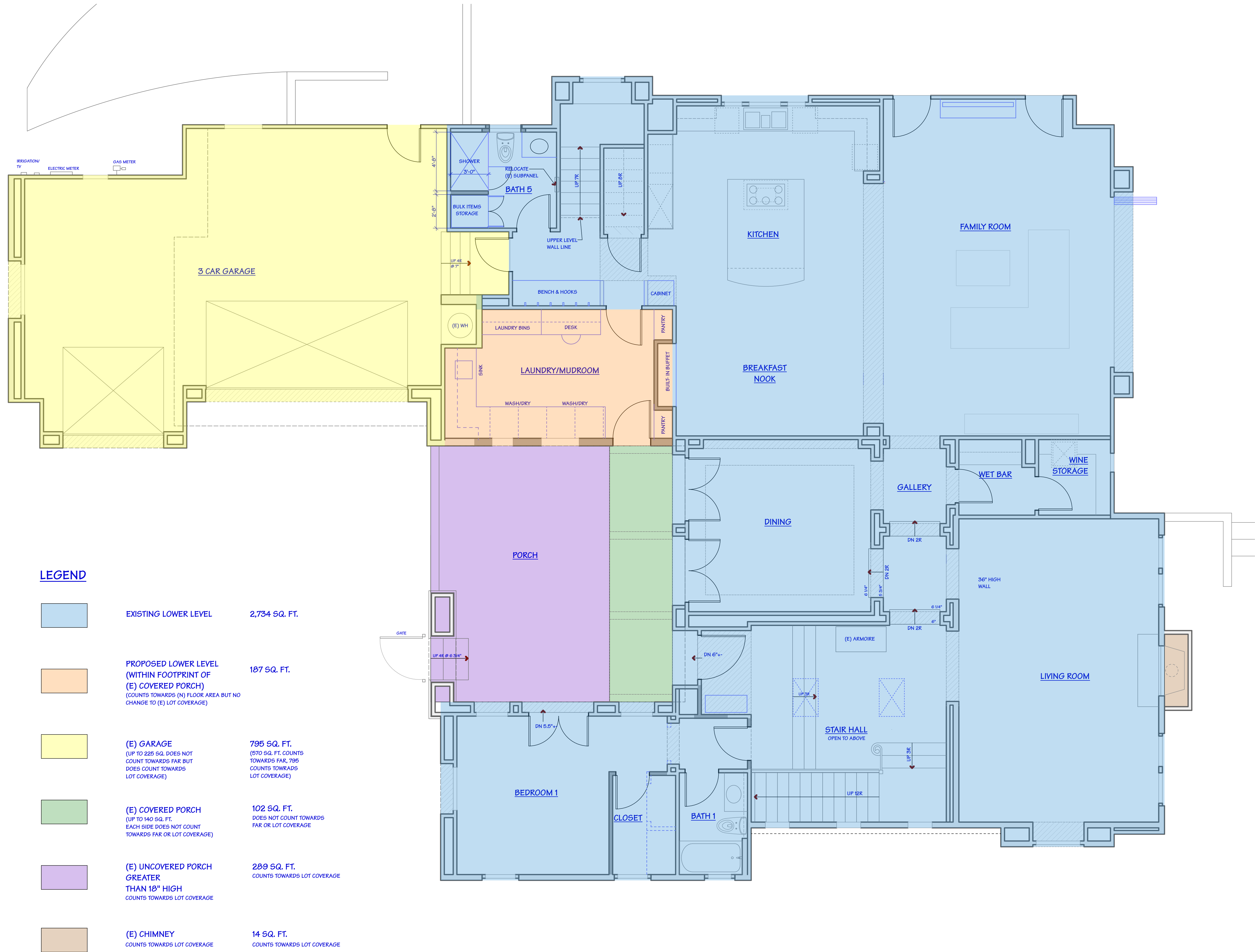
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Ph: (831) 239-0603
Email: sbcastro@sbcastro.com

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SECTIONS

CASPER RESIDENCE
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A13	
OF	SHEETS



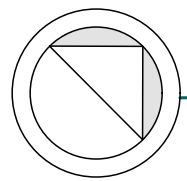
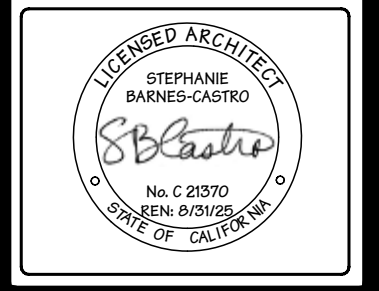
 LOWER LEVEL SQ. FOOTAGE DIAGRAM
1/4"= 1'-0"

EXHIBIT E



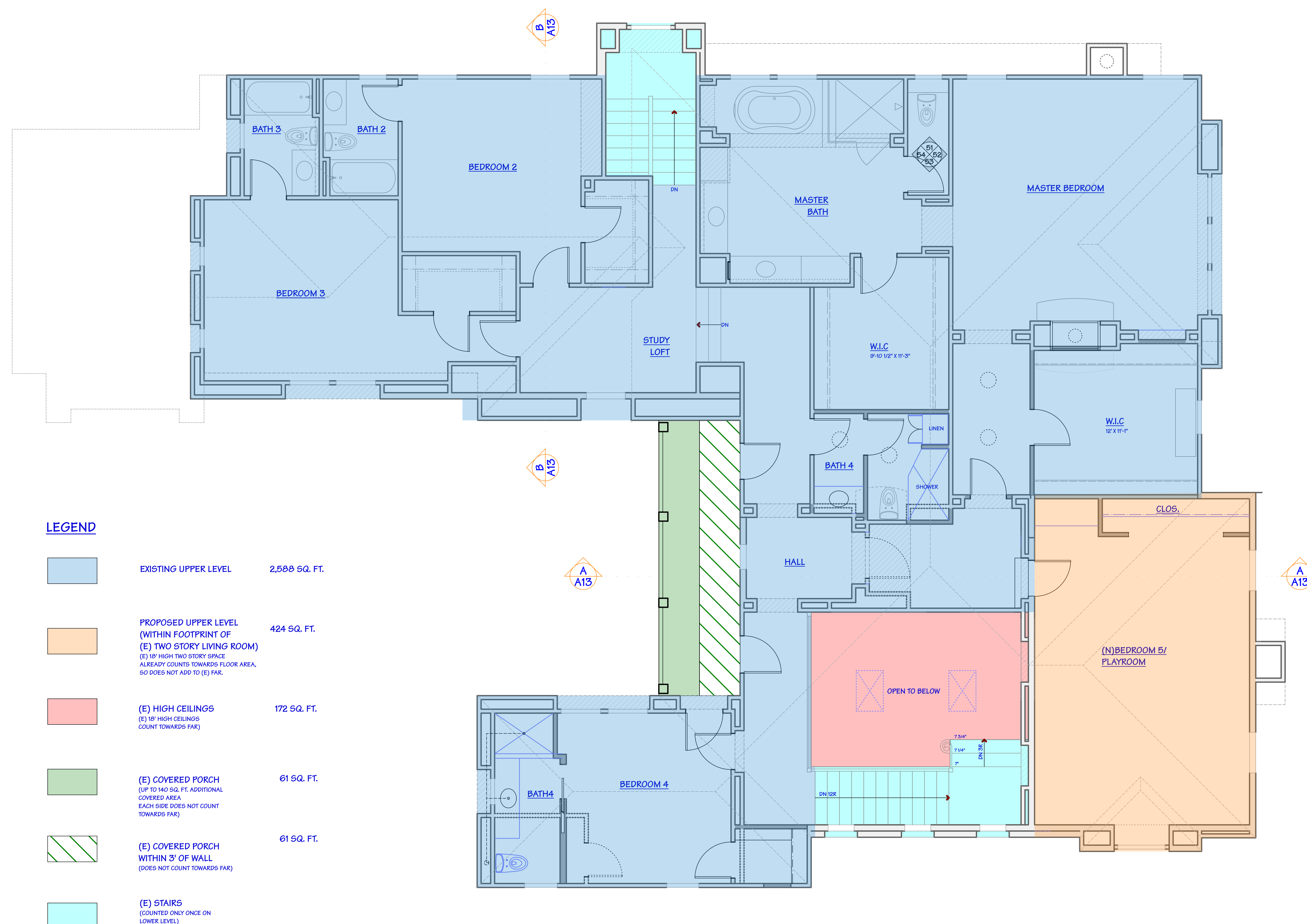
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Ph: (831) 239-0603
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LOWER LEVEL
SQ. FOOTAGE
DIAGRAM

CASPER RESIDENCE
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UPPER LEVEL SQ. FOOTAGE DIAGRAM
1/4"=1'-0"

EXHIBIT E

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Ph: (831) 239-0603
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UPPER LEVEL
SQ. FOOTAGE
DIAGRAM

CASPER RESIDENCE
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OF SHEETS

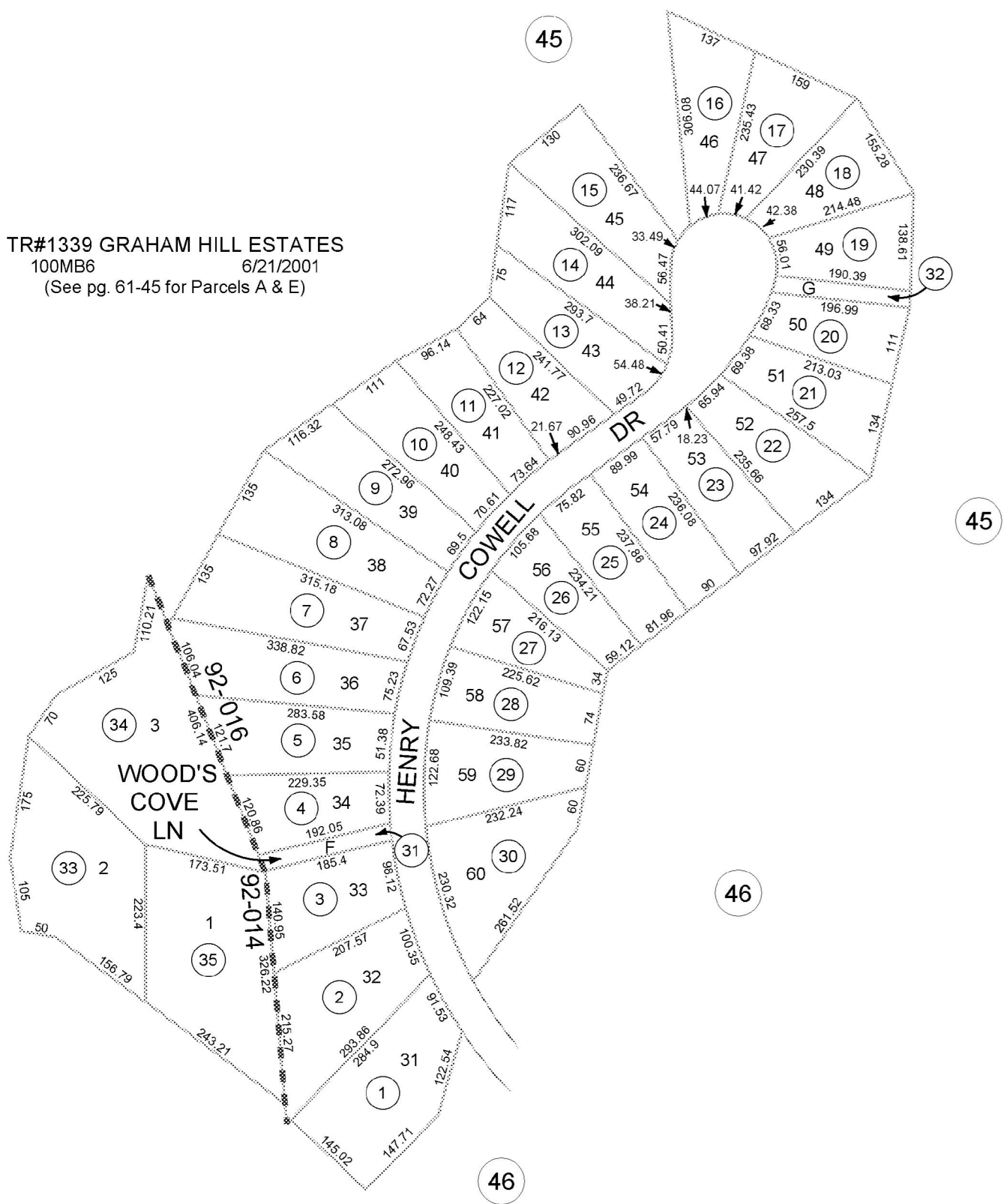
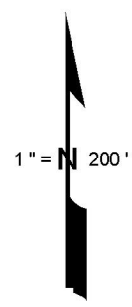
Stephanie Barnes - Castro Architects
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RINCON RANCHO
POR. SECS. 35 & 36, T.10S., & SECS. 1 & 2., T.11S., R.2W., M.D.B. & M.

Tax Area Code
92-014 92-016
61-47



57PM27
4/16/2002

EXHIBIT F

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Assessor's Map No. 61-47
County of Santa Cruz, Calif.
Oct., 2001

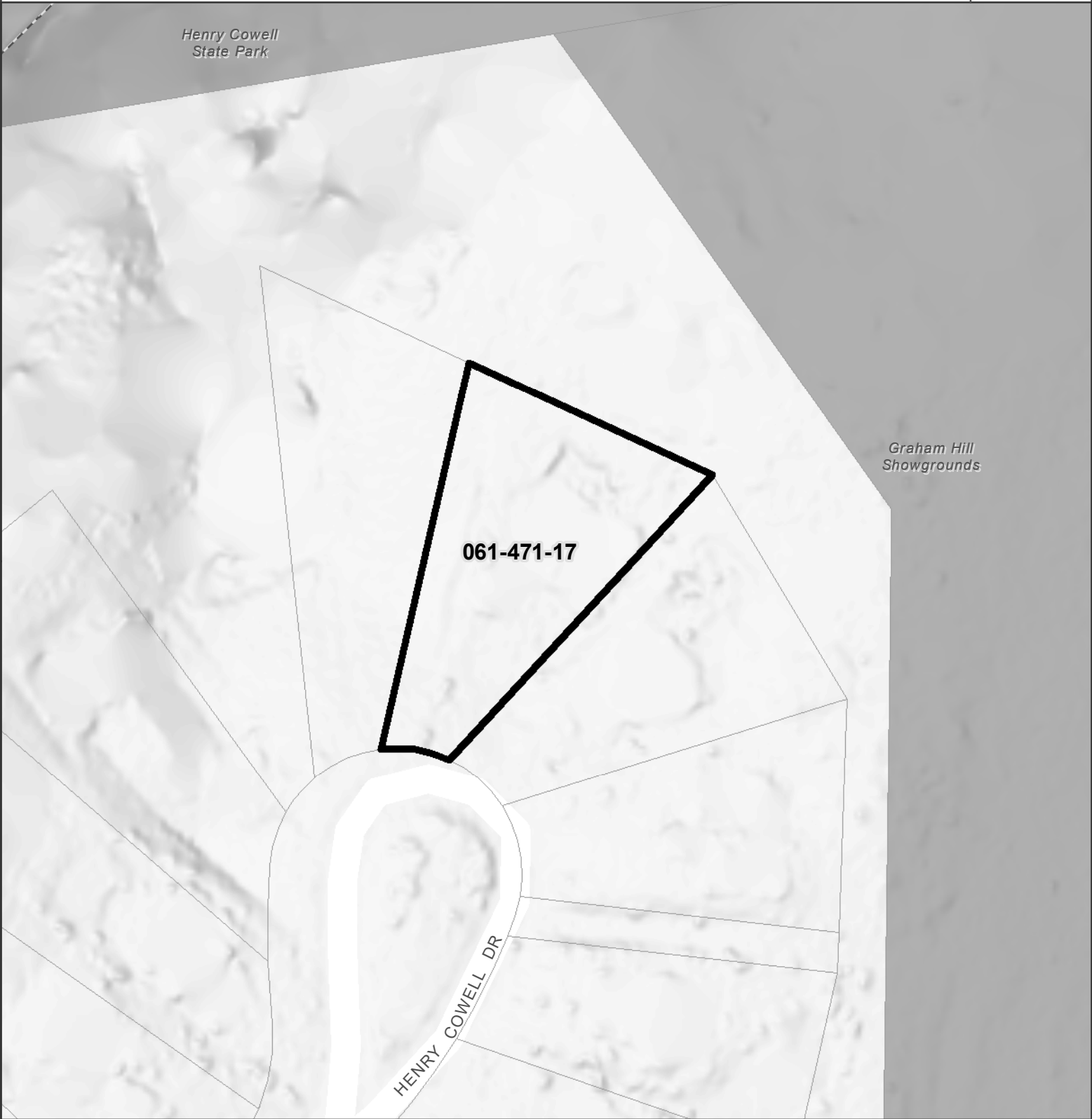
Electronically drawn 10/16/01 CB
Rev 10/16/01 CB (Por of pg 61-45)
Rev 10/16/01 CB (100MB6)
Rev 4/17/02 CB (57PM27)
Rev 5/17/02 mvm (TCA change)
Rev 6/7/04 CB (TCA Change)
Rev 3/31/05 mvm (added Wood's Cove Ln)
Rev 4/21/15 AR (TCA)



Parcel Location Map



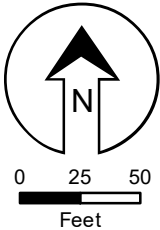
Mapped Area



Parcel: 06147117

- Study Parcel
- Assessor Parcel Boundary
- Existing Park

EXHIBIT F



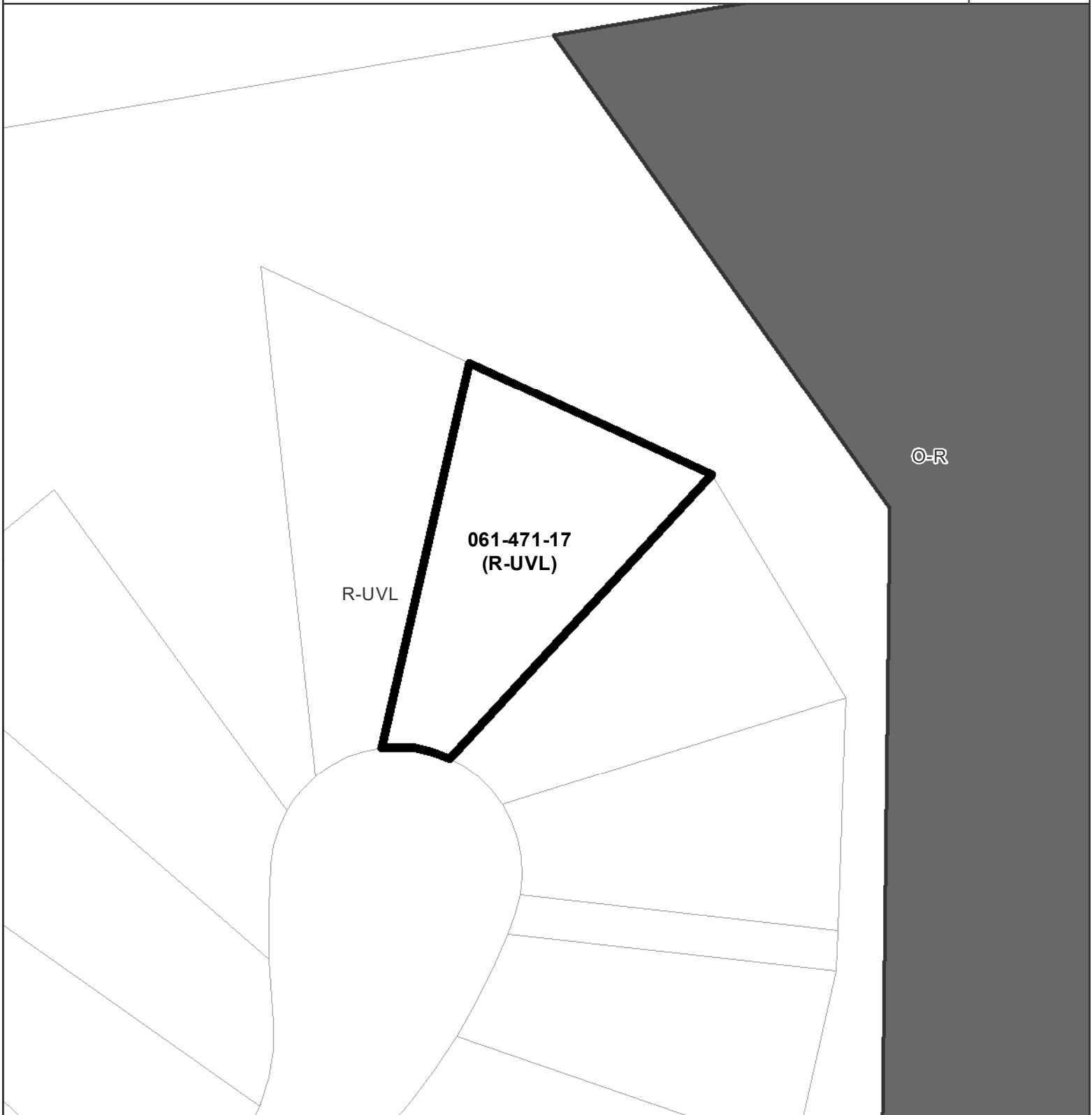


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel General Plan Map



Mapped
Area





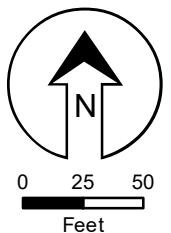
-  O-R *Parks, Recreation & Open Space*
-  R-UVL *Res. Urban Very Low Density*

EXHIBIT F





SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Zoning Map



Mapped
Area

SU

PR

061-471-17
(R-1-15)

R-1-15

- PR *Parks, Recreation, & Open Space*
- R-1 *Single-Family Residential*
- SU *Special Use*

EXHIBIT F

