



Staff Report to the Zoning Administrator

Application Number: **231045**

Applicant: DeMattei Construction
Owner: Michael & Shireen Sheridan
APN: 054-191-14
Site Address: 135 Via Concha, Aptos

Agenda Date: 01/19/24
Agenda Item #: 2
Time: After 9:00 a.m.

Project Description: Proposal to reconfigure a portion of the existing roof while retaining the building footprint and existing gable roof and street frontage profile, construct a ground floor wrap around deck and rear patio with recessed spa, remodel interior, and replace existing exterior materials.

Location: Project located on the west side of Via Concha approximately 200 feet north of the intersection with Clubhouse Drive in Seascape Beach Estates (135 Via Concha).

Permits Required: Coastal Development Permit

Supervisory District: Second District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231045, based on the attached findings and conditions.

Project Description & Setting

The subject parcel is located within the gated community of Seascape Beach Estates and developed with an existing single family dwelling. The surrounding parcels are developed at an urban density on parcels of similar size. The front of the subject parcel is relatively flat in topography whereas the rear of the parcel consists of a coastal bluff which provides expansive views of the Monterey Bay.

The project proposes to remodel an existing single family dwelling by replacing the existing smooth stucco siding and tile roof with a cement fiber board siding and a standing seam metal roof, reconfiguring the interior floor plan of the home by modifying the primary bedroom and bathroom configuration, laundry room and storage, and to remodel the existing kitchen layout. The project proposes to install new yard improvements including a new driveway and additional parking area, front and side yard planting areas, wraparound ground floor decks and a recessed spa located in the rear yard. The proposed work is located entirely within the footprint of the existing dwelling with exception of the proposed wraparound deck and spa. The wraparound

deck is proposed entirely at grade along the north side and rear of the subject property and is no greater than 18 inches in height.

The project will result in a slight increase in height of the existing home due to the reconfiguring of the existing roof pitch. The existing height of the dwelling is approximately 15.9 feet at its highest point. Though portions of the existing roof will be raised and reconfigured to create a uniform building profile, the finished height of the home would not exceed the existing height of 15.9 feet. As proposed, the project would comply with the height and development standards for the Seascape Beach Estates Combining district which limits height to 16 feet as measured from the highest point on the curb at the front of a parcel to the highest point of the structure, excluding chimneys.

A coastal development permit is required due to the location of the proposed development being situated at the top of a coastal bluff and within a mapped scenic area as defined in the County General Plan/Local Coastal Program.

Zoning & General Plan Consistency

The subject property is a 6,000 square foot lot, located in the R-1-6-SBE (Single Family Residential (6,000 square foot minimum parcel) Seascape Beach Estates Combining District) zone district, a designation which allows residential uses. The existing single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Residential Density) General Plan designation.

The proposed project is located entirely within the existing building footprint and the existing building conforms to the required 20 foot front yard, six foot side yard (10% of the 60 foot parcel width), 20 foot rear yard setback (measured 80 feet from the front property line), 60 percent floor area, and 60 percent lot coverage. As proposed, the project complies with all applicable site standards for the Seascape Beach Estates Combining District (SBE).

The wraparound deck is also exempt from Seascape Beach Estates setback requirements because decks under 18 inches in height are not subject to setback standards. Furthermore, the deck railing complies with the side and rear yard fence height standard.

The project does not constitute "development" as defined in SCCC 16.10.040(19) (Geological Hazards Ordinance) in that the proposed development would not alter more than 65 percent of the major structural components. As proposed and conditioned, the project would modify 44 percent of the major structural components. Further, the modifications to the existing single family dwelling complies with the requirements of the County Design Review Ordinance to ensure the project will blend in with the surrounding built environment and not result in an adverse visual impact on surrounding land uses and the natural landscape. The project has been reviewed and conditionally approved by the Seascape Beach Estates Architectural Review Committee.

Local Coastal Program Consistency

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and

integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. Existing public beach access is located at the intersection of Club House Drive and Via Gaviota, approximately 500 feet southwest of the project site.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231045**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Nathan MacBeth
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3118
E-mail: nathan.macbeth@santacruzcounty.us

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231045
Assessor Parcel Number: 054-191-14
Project Location: 135 Via Concha, Aptos

Project Description: Remodel of an existing single family dwelling.

Person or Agency Proposing Project: DeMattei Construction Attn Jim Whitney

Contact Phone Number: (408) 350-4200

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301)

F. Reasons why the project is exempt:

Remodel of an existing single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6-SBE (Single Family Residential (6,000 square foot minimum parcel) Seascape Beach Estates Combining District), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Residential Density) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be complementary to the site; and the development site is on a prominent ridge, beach, or bluff top. The project has received conditional approval from the Seascape Beach Estates Architectural Review Committee.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at the end of Clubhouse Drive, approximately 500 feet west of the project site.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6-SBE (Single Family Residential (6,000 square foot minimum parcel) Seascape Beach Estates Combining District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood. The project has been reviewed and conditionally approved by the Seascape Beach Estates Architectural Review Committee.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms

Application #: 231045
APN: 054-191-14
Owner: Sheridan

to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road. Consequently, the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6-SBE (Single Family Residential (6,000 square foot minimum parcel) Seascapes Beach Estates Combining District) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Urban Low Residential Density) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the R-1-6-SBE zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County however the project is located within the Seascapes Beach Estates Combining District. As proposed, the existing and proposed dwelling complies with the Seascapes Beach Estates Combining District site standards.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling is to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not expected to increase above existing levels (1 peak trip per dwelling unit) and not result in adverse impacts existing roads or intersections in the surrounding area. The project site is currently served by utilities which are not expected to be overloaded as a result of the remodel project.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood. The project has been reviewed and conditionally approved by the Seascape Beach Estates Architectural Review Committee.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single family dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit D: Project plans, prepared by T.Willis Designs, revised 9/1/23.

- I. This permit authorizes the remodel of an existing single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
 - B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious

area.

1. The Building Permit application shall adhere to the County Design Criteria (CDC).
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
- C. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- E. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
1. Submit a final modification worksheet for review. The project shall not modify more than 65% of the major structural components.
- F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- G. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
- H. Provide required off-street parking for three (3) cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of-way. Parking must be clearly designated on the plot plan.
- I. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time

during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.

- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

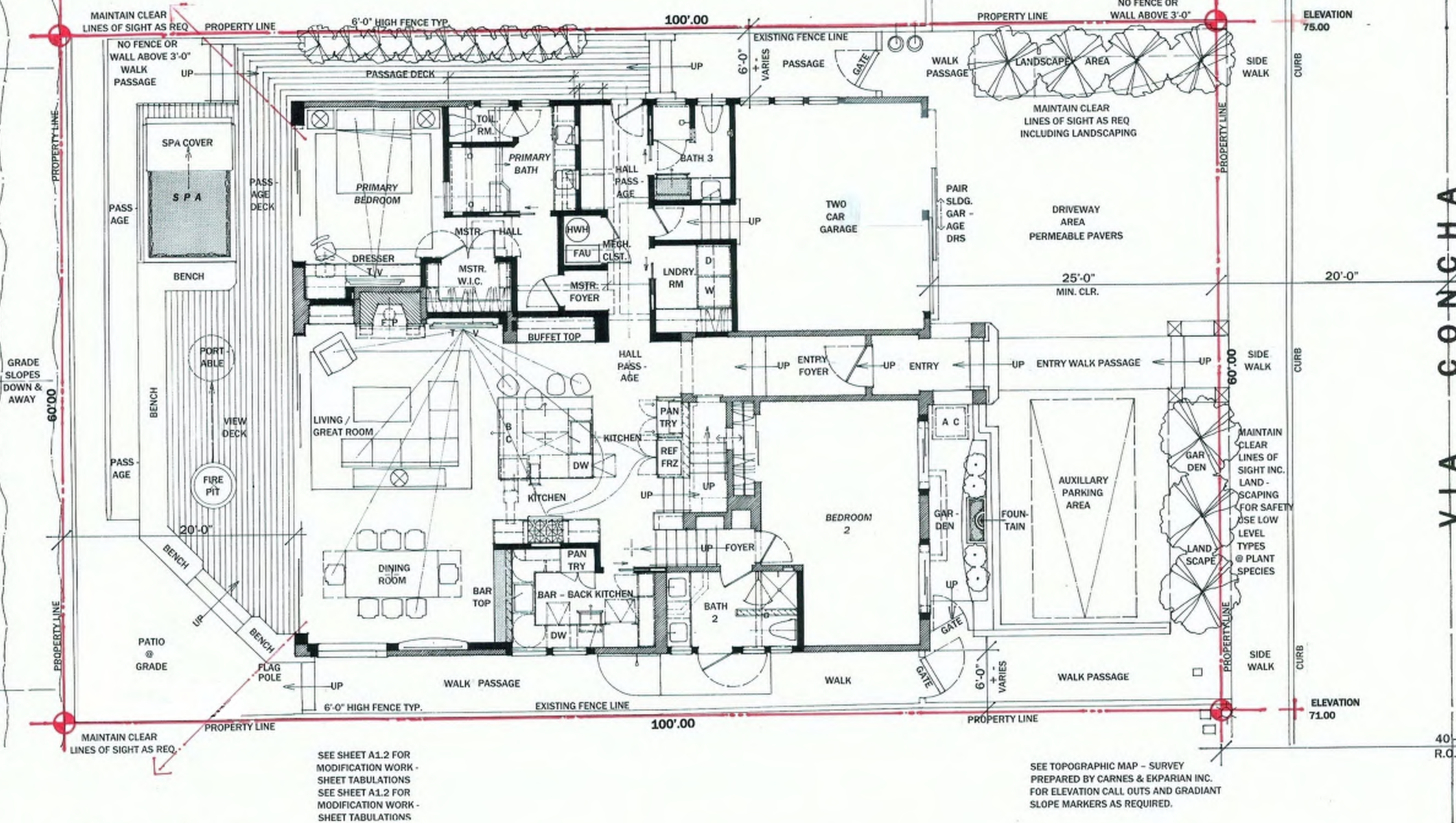
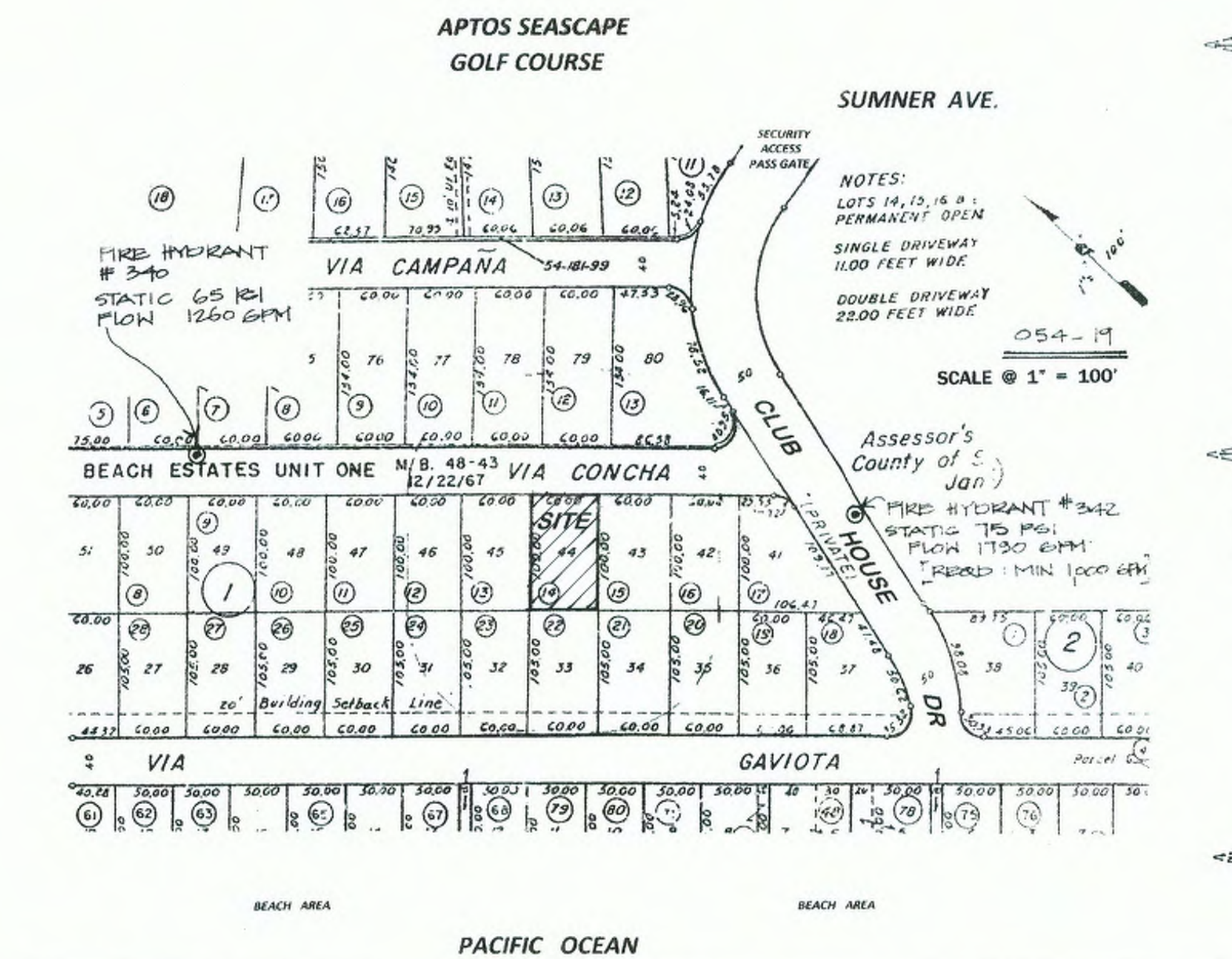
Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

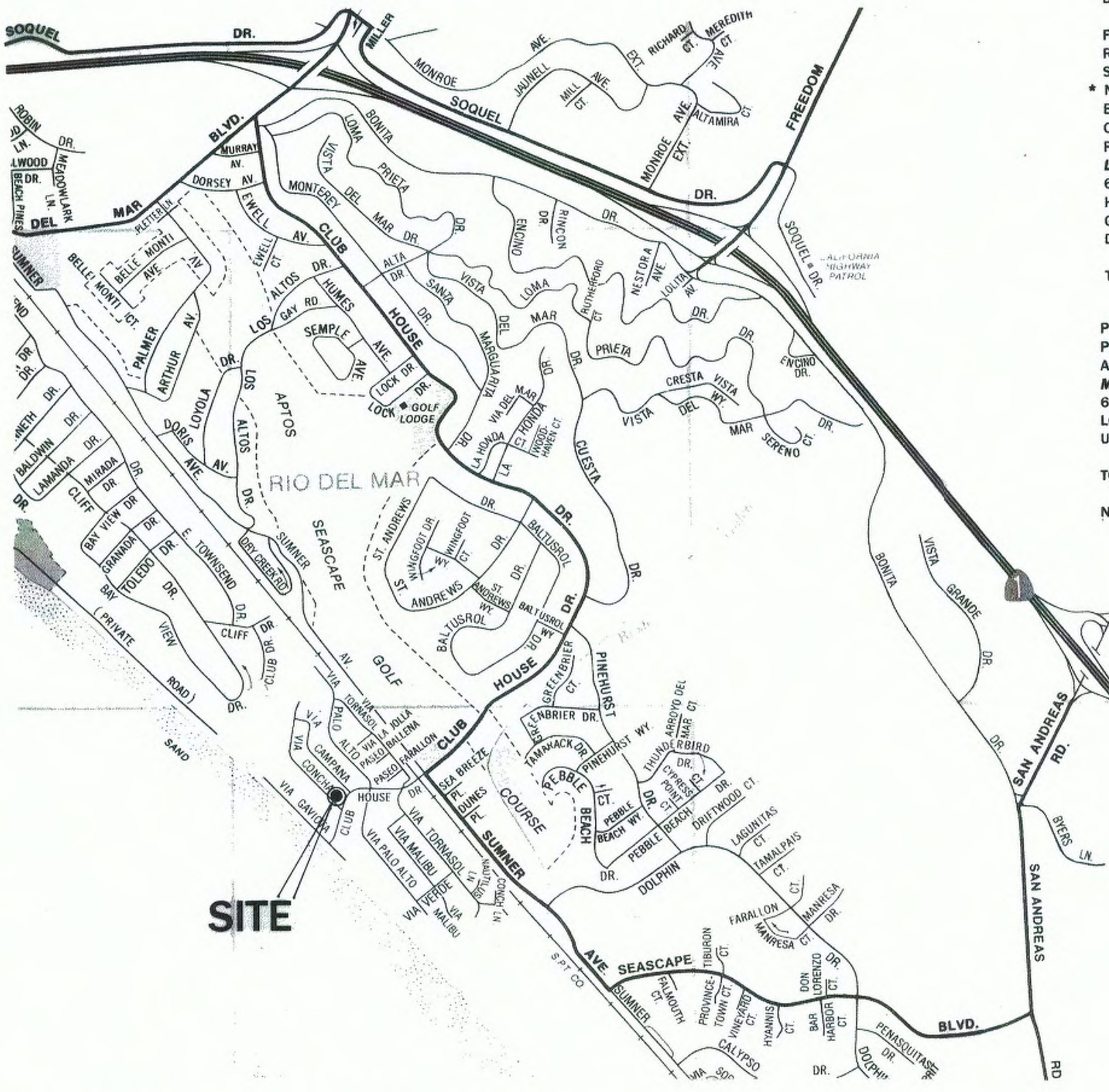
Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



PARTIAL
PROPOSED SITE / PLAN VIEW

ALL CONSTRUCTION WORK SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS PER THE 2022 EDITION....

2022 CBC / CALIFORNIA BUILDING CODE - OR
2022 CRC / CALIFORNIA RESIDENTIAL CODE
2022 CMC / CALIFORNIA MECHANICAL CODE
2022 CPC / CALIFORNIA PLUMBING CODE
2022 CEC / CALIFORNIA ELECTRICAL CODE
2022 CEC / CALIFORNIA ENERGY CODE
2022 CFC / CALIFORNIA FIRE CODE
2022 EDITION OF ENERGY EFFICIENCY STANDARDS
AND CITY MUNICIPAL CODES & ORDINANCES



LOCATION / VICINTY MAP

PROJECT DATUM A.P.N. # 054-191-14

THE TABULATIONS BELOW ARE TAKEN IN PART FROM PREVIOUS APPROVED PLANS FOR AN ADDITION - REMODEL AND DATED APRIL 8, 1997.
ARCHITECT OF RECORD / 1997 PROJECT ROBERT J. GOLDSPIK LIC. # C 12796
PROPERTY OWNER / 1997 PROJECT JACK & GAYANNE PECKHAM
8042 SOQUEL DRIVE
APTOS, CALIFORNIA 95003
PHONE : 408 688 8950

REVISOR / 1997 PROJECT J. GOLDSPIK
135 VIA CONCHA
APTOS, CALIFORNIA 95003
PHONE :

SITE AREA	6,000.00 SF
EXISTING STRUCTURES	
HOUSE	2,084.00 S.F.
GARAGE	532.00 S.F.
DECK	431.00 S.F.

PROJECT DESIGN PROPOSAL
RECONFIGURE A PORTION OF EXISTING ROOF AREA WHILE RETAINING THE EXISTING BUILDING FOOTPRINT.
RETAIN EXISTING BUILDING PROFILE AS VIEWED FROM STREET FRONTAGE ALONG VIA CONCHA.
RAISE INTERIOR CEILING OF MAIN LEVEL EXTENDING PERIMETER WALLS TO FORM A PARAPET.
NEW SHALLOW PITCHED ROOF DOES NOT EXCEED HEIGHT OF EXISTING GABLE ROOF.
RETAIN EXISTING DECK LOCATED AT WEST REAR. ALTER DECK TO ALLOW INSTALLATION OF A SPA SITTING ATOP EXISTING GRADE.
INSTALL NEW PASSAGE DECK TO WRAP AROUND BUILDING AT NORTH SIDE. DECK THIS DECK DOES NOT EXCEED 18" ABOVE GRADE.
ONE ADDITIONAL AUXILIARY PARKING SPACE IS PROPOSED LOCATED AT BUILDING FRONTAGE.
USE PERMEABLE PAVERS FOR PARKING AND DRIVEWAY SURFACES.
A COMPLETE INTERIOR RENOVATION - REMODEL IS PROPOSED PER PLAN. THIS TO INCLUDE ALTERATION TO BUILDING EXTERIOR BOTH IN MATERIALS AND FINISHES INCLUDING COLORS.
A COMPLETE FIRE SPRINKLER SUPPRESSION SYSTEM WILL BE REQUIRED FOR THIS PROJECT.
NO EXPANSION OF THE EXISTING BUILDING ENVELOPE IS PROPOSED

*** THE SCOPE OF PROJECT REQUIRES INSTALLATION OF FIRE SPRINKLERS**
COUNTY ZONING
R1-6, VN NON-SPRINKLERED DWELLING.
PROPOSED PROJECT TRIGGERS INSTALLATION OF FIRE SPINKLERS
COASTAL ZONE APPRICIABLE AREA
LOT COVERAGE 45% MAXIMUM
FLOOR AREA 50% MAXIMUM
BUILDING HEIGHT 16'-0" MAXIMUM (AS REQUIRED BY CC & R's)

FRONT YARD SETBACK 20'-0"
REAR YARD SETBACK 10'-0"
SIDE YARD SETBACK 6'-0"
*** NOTE A SMALL AREA OF PREVIOUS PROJECT LOCATED AT SOUTH SIDE EXCEEDS 16'-0" IN HEIGHT ABOVE GRADE. THIS CONDITION IS NOT CALLED OUT ON PREVIOUSLY APPROVED PLANS AND IS NOT ALTERED BY THIS PROJECTS DESIGN OR SCOPE.**
LOT COVERAGE
6,000.00 SQ. FT. X 45% = 2,700.00 S.F. MAXIMUM PERMITTED
HOUSE : 2,084.00 S.F.
GARAGE : 532.00 S.F.
DECK : 74.00 S.F. (OVER 18" ABOVE GRADE)

TOTAL : 2,690.00 S.F. 44.8%

PROPOSED TRASH ENCLOSURE : 33.00 S.F. (OVER 18" ABOVE GRADE)
PROPOSED NEW TOTAL : 2,723.00 S.F. 46 %
AREA ADDED TO LOT COVERAGE 23.00 S.F. OVER MAXIMUM OR 1.0 %
MAXIMUM FLOOR AREA (NO CHANGES)
6,000.00 S.F. X 50% = 3,000.00 S.F. MAXIMUM PERMITTED
LOWER FLOOR : 2,391.00 S.F. (225.00 S.F. CREDIT FOR GARAGE)
UPPER FLOOR : 531.00 S.F.

TOTAL : 2,922.00 S.F. 48.7 (78.00 S.F. BELOW MAX. OR 1.3 % BELOW MAX.)
NOTE : ALL STORMWATER IS COLLECTED ON SITE AND EXITS TO VIA CONCHA

ASSESSORS PARCEL MAPS

SHEET INDEX

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- C-2 GRADING & DRAINAGE PLAN
- C-3 SECTIONS & DETAILS
- C-4 STORMWATER POLLUTION CONTROL PLAN
- A1.1 EXTERIOR ELEVATIONS KEYED TO BUILDING MATERIALS & COLOR FINISH SCHEDULE
- A1.2 PHOTO MONTAGE OF SUBJECT PROPERTY - VIEWED FROM BEACH SHOWING INTENDED MODIFICATION / MODIFICATION WORK SHEET
- A2 PROPOSED MAIN LEVEL & SPLIT LOWER - LEVEL FLOOR PLAN
- A3 PROPOSED MAIN LEVEL & SPLIT UPPER - LEVEL FLOOR PLAN
- A3.1 MODIFICATION PLAN VIEWS / MAIN LEVEL - SPLIT LOWER LEVEL / ROOF PLAN / MAIN LEVEL - SPLIT UPPER LEVEL / FOUNDATION PLAN
- A3.2 WALL MODIFICATION PLAN - ENLARGED
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- A4 EXTERIOR ELEVATIONS - EAST FRONT / NORTH SIDE / WEST REAR / SOUTH SIDE
- A4.1 BUILDING HEIGHT COMPLIANCE ELEVATION DIAGRAM
- A5 ROOF PLAN
- A6 ELEVATION COMPARISON SHEET SHOWING EXISTING & PROPOSED

REVISED

RESP. TO DISC. COMMENTS 6/20/23

RESP. TO DISC. COMMENTS 9/1/23

PROPOSED

T. Willis DESIGN
PLANNING / DESIGN CONSULTANT
28 PEPPER CREEK WAY
NOVATO, CALIFORNIA 94947
PHONE : 415 898 - 1477
twillisdsgn@comcast.net

Lila Friday / Associates, A.S.I.D.

P. O. BOX 190
SAN Geronimo, CA. 94963

PHONE : 415 272 - 3009 lfriday@comcast.net

MICHAEL & SHIREEN

SHERIDAN RESIDENCE
135 VIA CONCHA
APTOS, CALIFORNIA 95003
PHONE :

THW

A1
OF

Exhibit D

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR CHANGES IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF SANTA CRUZ DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANTA CRUZ PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ.
9. THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
12. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
13. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
14. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
15. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
16. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
18. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
19. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
20. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

TOPOGRAPHIC SURVEY

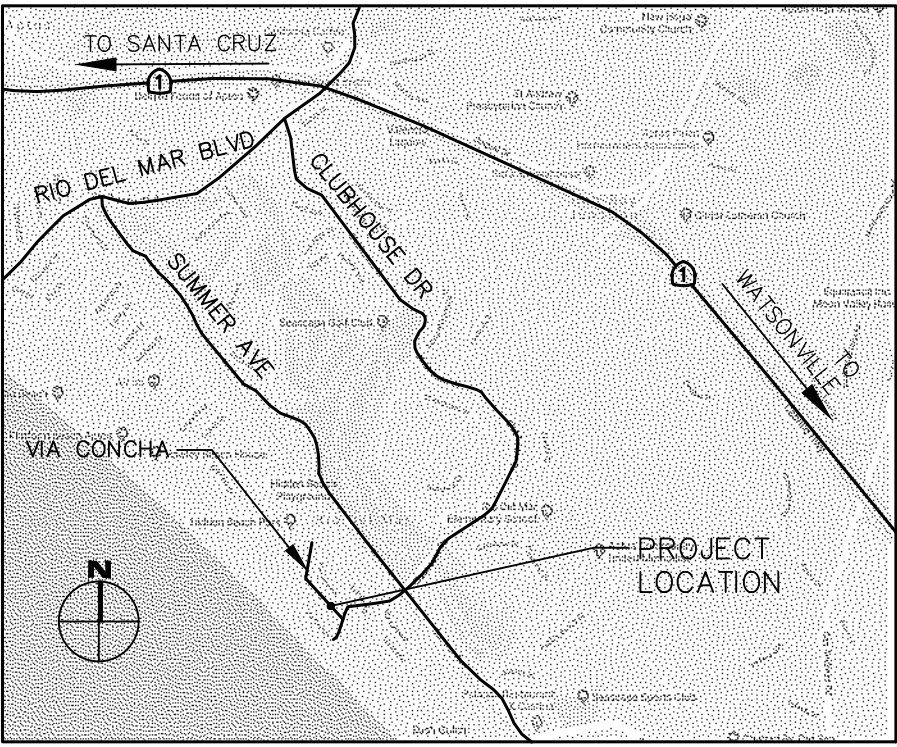
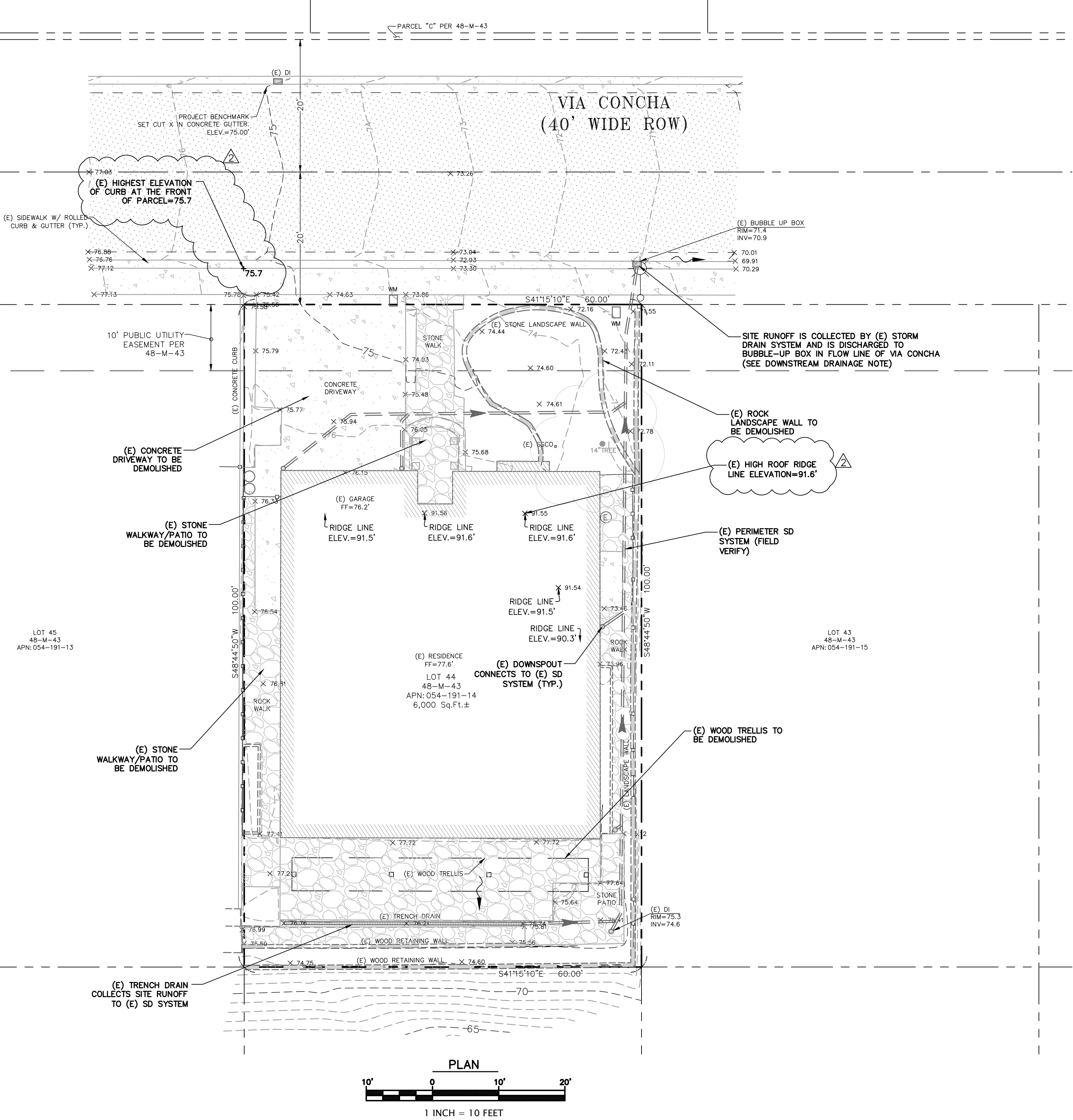
THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY CARNES & EKPARIAN, INC. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK. EXISTING TOP OF RIDGE LINE ELEVATIONS SURVEYED BY CARNES AND EKPARIAN AS NOTED.

BASIS OF BEARINGS

THE BEARINGS ON THIS MAP ARE BASED ON THE NORTHEASTERLY LINE OF PARCEL C AS FOUND, MONUMENTED AND RECORDED AS SOUTH 41°15'10" EAST IN VOLUME 48 OF MAPS, AT PAGE 43, RECORDS OF SANTA CRUZ COUNTY, CALIFORNIA.

BASIS OF ELEVATION

THE PROJECT BENCHMARK FOR THIS PROJECT IS A CUT "X" LOCATED ON THE NORTH SIDE OF VIA CONCHA IN THE CONCRETE GUTTER AS SHOWN HEREON. ELEVATION = 75.00' (ASSUMED)



LEGEND

- (E) AC
- (E) CONCRETE
- (E) STONE PATIO/WALKWAY
- (E) RETAINING WALL
- PROPERTY LINE
- SETBACK LINE
- (E) STORM DRAIN
- (E) CB

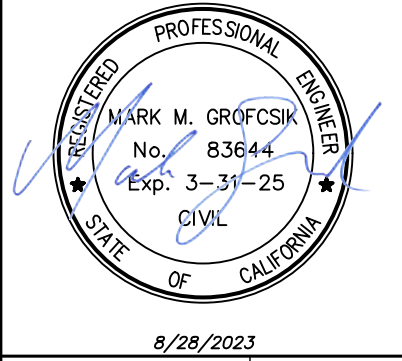
DOWNSTREAM DRAINAGE NOTE

(E) DRAINAGE FOR SITE IS DESIGNED TO NOT DISCHARGE ANY STORMWATER RUNOFF TO THE REAR OF THE SITE TOWARDS THE RESIDENCES FRONTING VIA GAVOTA.

THE (E) DRAINAGE IS DESIGNED TO COLLECT ALL SITE RUNOFF INTO PIPES THAT CONVEY THE RUNOFF TO A BUBBLE UP BOX IN THE FLOW LINE OF VIA CONCHA ADJACENT TO THE EASTERN CORNER OF THE PROPERTY WHERE IT IS EVENTUALLY COLLECTED BY AN (E) INLET AT THE CORNER OF VIA CONCHA AND CLUBHOUSE DRIVE 150' TO THE SOUTHEAST.

THE (E) INLET AT THE CORNER OF VIA CONCHA AND CLUBHOUSE DRIVE CONNECTS TO A PRIVATE STORMWATER SYSTEM THAT DISCHARGES TO THE BEACH APPROXIMATELY 500 FEET BELOW.

RI ENG C1-C3 ADDED TO RESPOND TO COMMENTS 6/29/2023.
REVISED CIVIL TO RESPOND TO COUNTY COMMENTS 8/28/2023.



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

RESIDENTIAL ADDITION FOR MICHAEL & SHIREEN SHERIDAN 135 VIA CONCHA APTOS, CA 95003 APN 054-191-14	EXISTING CONDITIONS & DEMO PLAN
project no. 23-047-1	
date AUG 2023	
scale AS SHOWN	
dwg name CIVIL1.dwg	

Exhibit D

C-1

PLANNING SUBMITTAL

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO BRING THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
4. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6", WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
5. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
6. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

1. SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC SDR26) AND SHALL HAVE A SMOOTH INTERIOR.
2. SEWER LATERALS SHALL BE SLOPED AT A MINIMUM 2%.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF THE EXISTING LATERAL. AN EXTERIOR CLEANOUT, PER COUNTY DESIGN CRITERIA, SHALL BE INSTALLED CONSISTENT WITH PART 4 FIGURE SS-10, IF ONE DOES NOT EXIST BETWEEN THE STRUCTURE AND THE DISTRICT MAIN.
4. ANY AND ALL DEFECTS DETERMINED BY THE COUNTY SHALL BE REPAIRED BY THE CONTRACTOR UNDER A SEPARATE NO-COST SANITARY SEWER PERMIT PRIOR TO ISSUING FINAL INSPECTION APPROVAL. SANITARY SEWER PERMIT SHALL BE REQUESTED FROM THE DEPARTMENT OF PUBLIC WORKS BY THE CONTRACTOR PRIOR TO ANY SEWER REPAIRS/IMPROVEMENTS. THE CONTRACTOR SHALL REPAIR OR REPLACE THE SANITARY SEWER PERMIT TO MEET THE DESIGN CRITERIA FOR SPECIFICATIONS ON PIPE LAYING, PIPELINE TESTING AND ALLOWABLE DESIGN TOLERANCES.
5. BACKFLOW PREVENTOR SHALL BE INSTALLED IF FINISHED FLOOR ELEVATION IS LESS THAN 12 INCHES HIGHER THAN THE DOWNSTREAM DISTRICT MANHOLE PER COUNTY DESIGN CRITERIA PART 4 FIGURE SS-14.

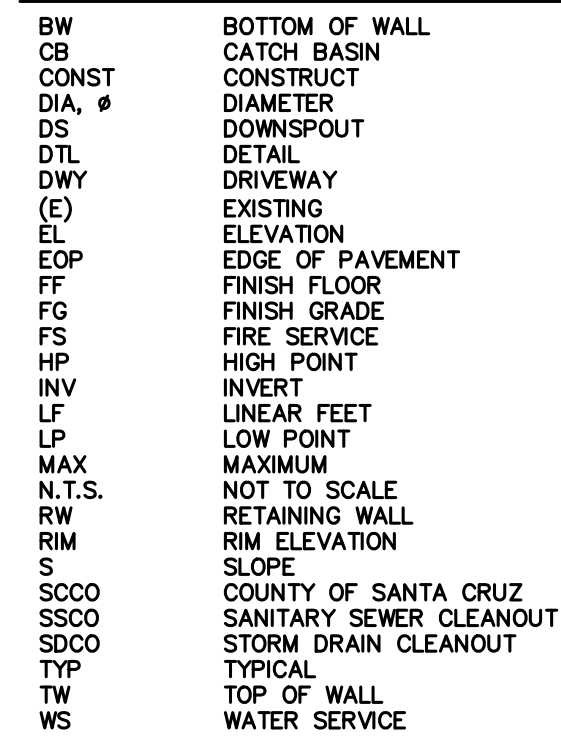
THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

1. CULVERTS SHALL BE POLYVINYL CHLORIDE (PVC SDR35), HIGH DENSITY POLYETHYLENE (HDPE ADS N12 OR EQUAL), OR REINFORCED CONCRETE PIPE (RCP) AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION E - STORM DRAINAGE FACILITIES OF COUNTY OF SANTA CRUZ DESIGN CRITERIA.
2. INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
3. DISCHARGE ALL DOWNSPOUTS TO PERIMETER STORM DRAIN SYSTEM.

Existing Impervious Areas	Area (sf)
Ex House (To Remain)	2650
Ex Exterior Hardscape (To be demolished)	2110
Ex Total Impervious Area	4760
Proposed & Retained Surfaces	Area (sf)
Existing Impervious to Remain	
E House	2650
Total:	2650
Proposed Impervious Area	
Proposed Concrete Patio	50
Total:	50
Proposed Semi-Pervious Areas	
Permeable Patio & Driveway Areas	1530
Total:	1530
Credit for 1/2 of Proposed Semi-Pervious Areas	-765
Adjusted Total Proposed and Retained Impervious Area	3465

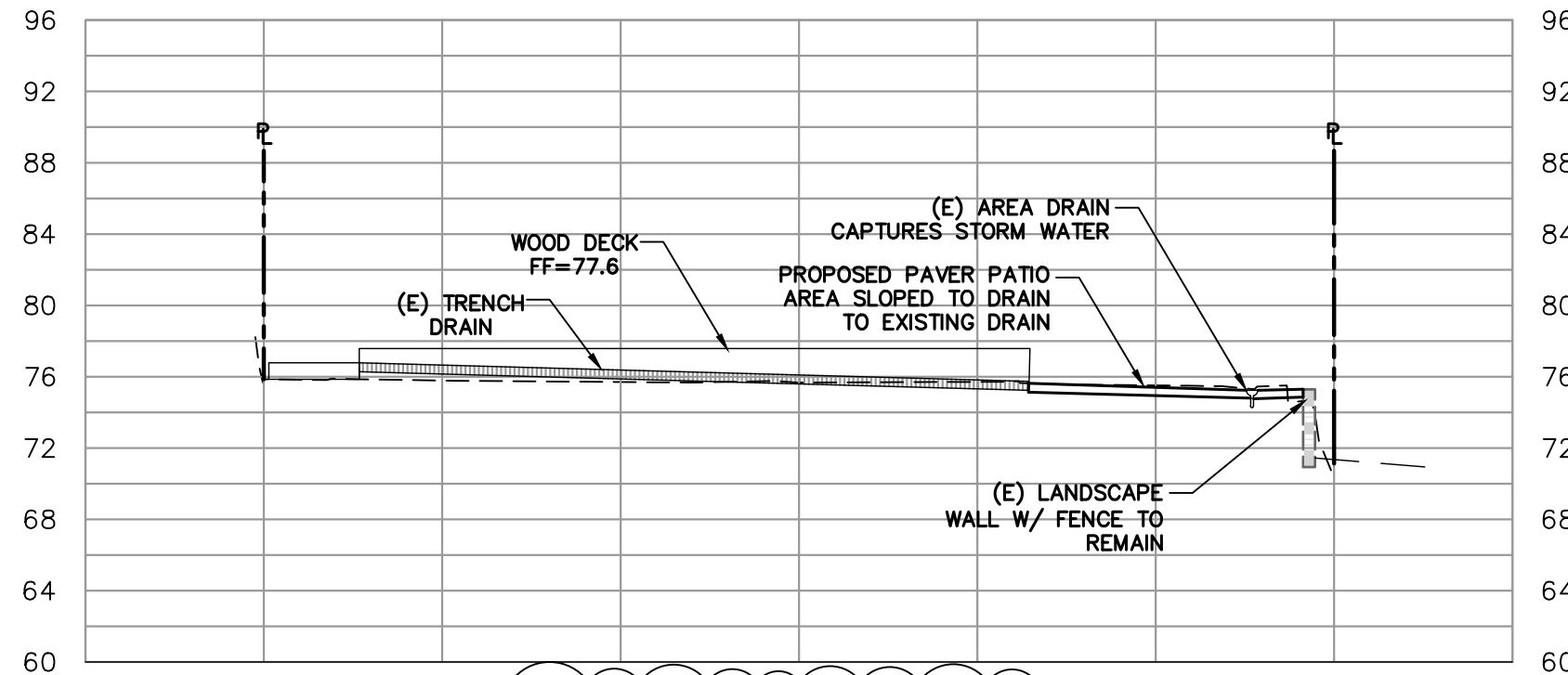
NOTE: ALMOST ALL EXISTING EXTERIOR IMPERVIOUS SURFACES ARE PROPOSED TO BE REPLACED WITH PERVIOUS PAVERS OR DECOMPOSED GRANITE RESULTING IN A DECREASE IN SITE RUNOFF. ADDITIONALLY, THE PROPOSED DRAINAGE SYSTEM WILL INCORPORATE THE (E) STORM DRAIN SYSTEM TO DISCHARGE RUNOFF THE SAME WAY AS PRE-PROJECT CONDITIONS.

RI ENGINEERING HAS PERFORMED A SITE ASSESSMENT AND IT HAS BEEN DETERMINED THAT THERE ARE NO KNOWN EXISTING DRAINAGE ISSUES ON OR NEAR THE SITE. THERE ARE NO ANTICIPATED ADVERSE IMPACTS TO THE PUBLIC RIGHT OF WAY OR NEIGHBORING PROPERTIES AS A RESULT OF THE PROPOSED IMPROVEMENTS.

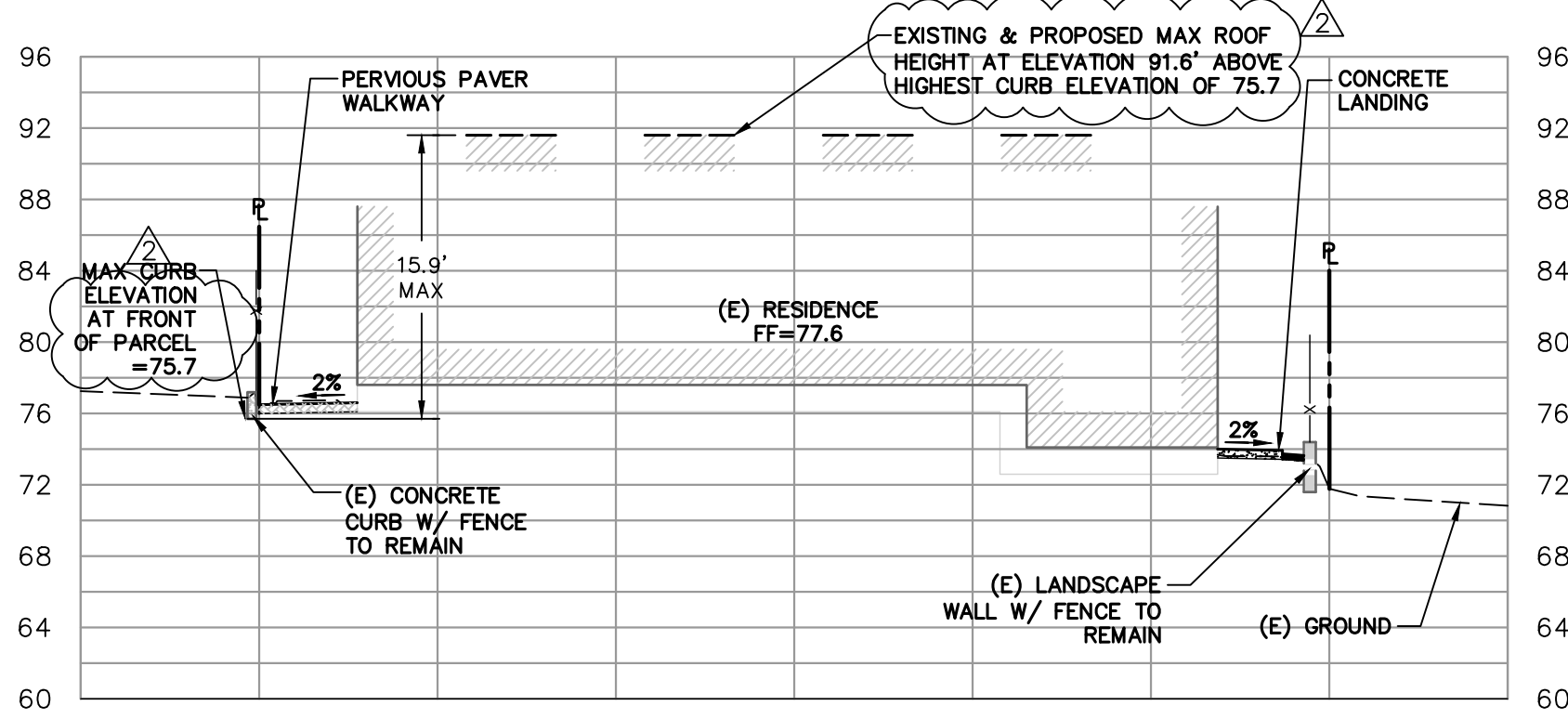


SSBE COMBINING DISTRICT: MAXIMUM ROOF HEIGHT= 16'
HEIGHT OF STRUCTURE, MEASUREMENT STANDARD: THE HEIGHT OF A STRUCTURE SHALL BE MEASURED FROM THE HIGHEST POINT ON THE CURB AT THE FRONT OF A PARCEL TO THE HIGHEST POINT OF THE STRUCTURE, EXCLUDING CHIMNEYS.
EXISTING HIGHEST POINT ON CURB AT FRONT OF THE PROPERTY= 75.7'
EXISTING MAX ROOF RIDGE HEIGHT= 91.6'
91.6'-75.7= 15.9' MAX (E) STRUCTURE HEIGHT. (LESS THAN 16' MAX ALLOWABLE).
PROPOSED ROOF ELEVATION TO MATCH EXISTING MAXIMUM ROOF HEIGHT OF 91.6'
(SEE MEASUREMENTS OF EXTERIOR ELEVATIONS FOR EXISTING--TO--PROPOSED ROOF DRAWINGS PREPARED BY PRECISION PROPERTY).
NOTE: (E) CHIMNEY TO EXCEED 16' HEIGHT.

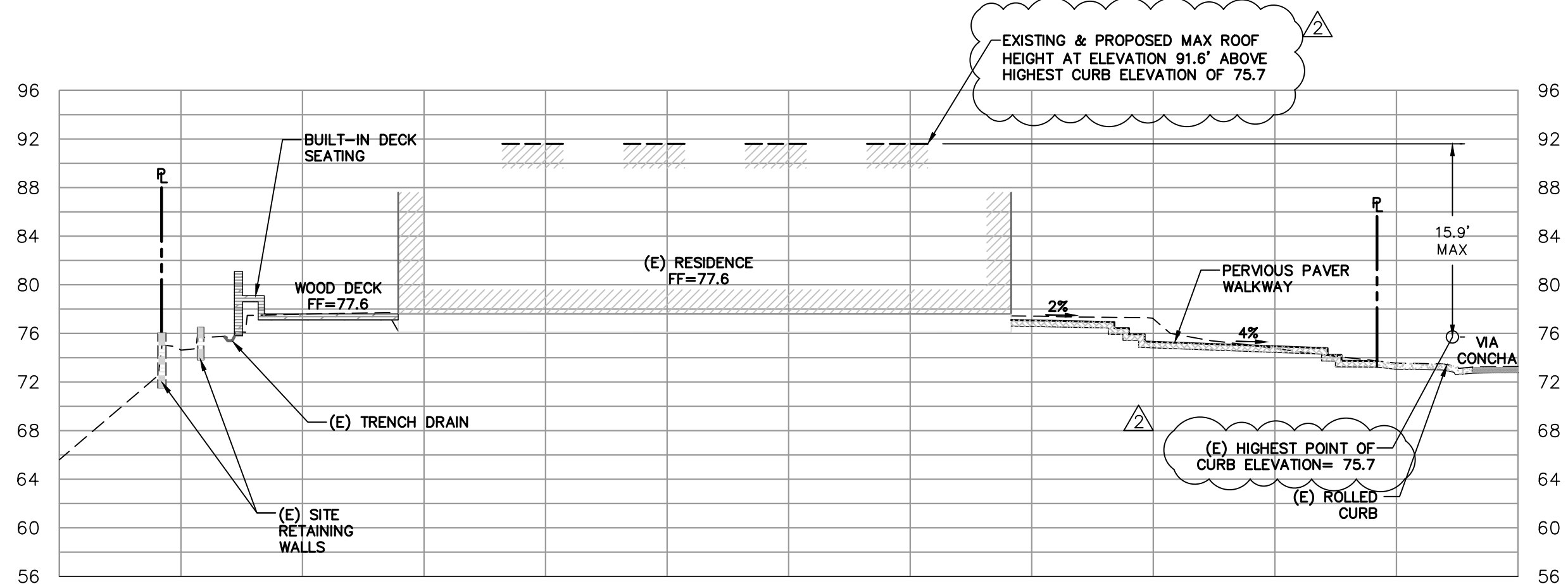
PLANNING SUBMITTAL



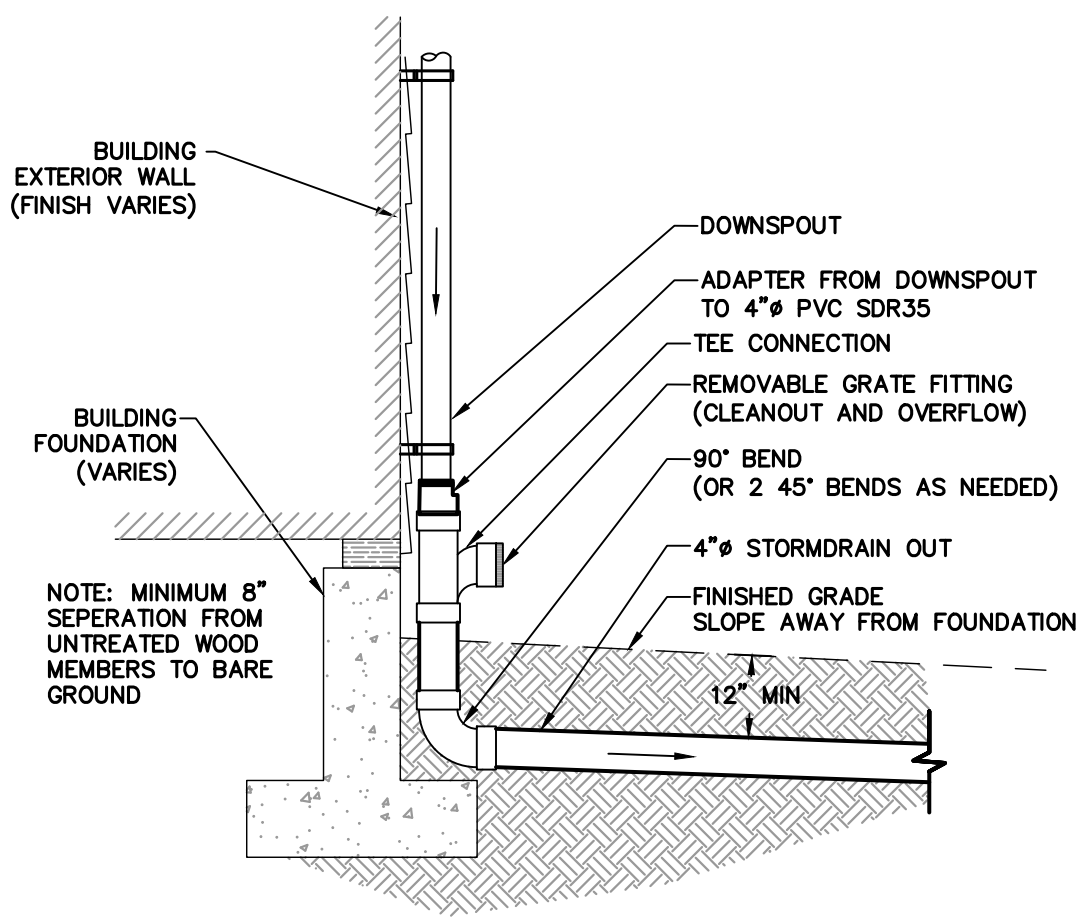
SECTION C-C
SCALE: 1"=10' HORIZONTAL, VERTICAL



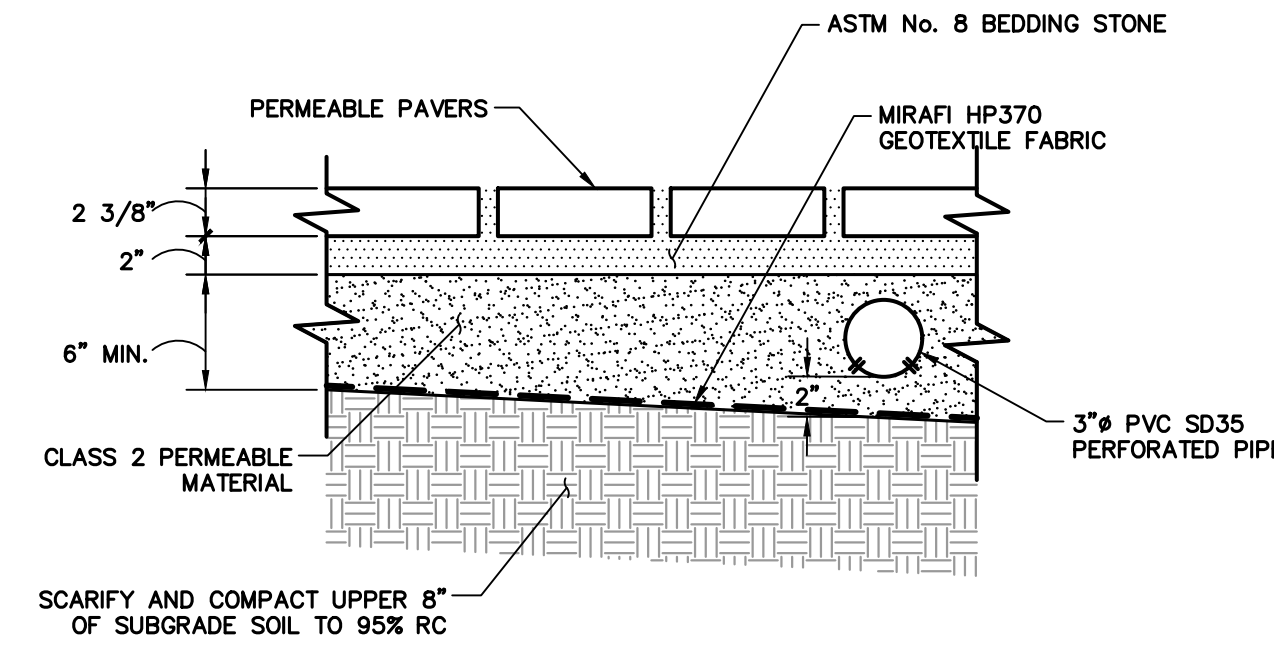
SECTION B-B
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION A-A
SCALE: 1"=10' HORIZONTAL, VERTICAL



DOWNSPOUT CONNECTION DETAIL
NTS



PERMEABLE PAVER SECTION
NTS

APPENDIX A:

County of Santa Cruz

Department of Community Development & Infrastructure
701 Ocean Street, 4th Floor, Santa Cruz, CA 95060-4070
(831) 454-2160

Project Information & Threshold Determination - Appendix A
Completion of this form shall be used as a guidance by the applicant for determining the projects stormwater requirements. Applicants are encouraged to contact the Stormwater Management staff with any questions. Definitions, standard details and further guidance is provided within Part 3 of the [Design Criteria](#) linked on the Public Works website at <https://dcpw.co.santa-cruz.ca.us/Home.aspx>.

PROJECT & CONTACT INFORMATION	
Project Site Address:	Property Owner, Applicant, or Representative Name:
135 Via Concha, Aptos, CA 95003	Mark Grofosik
Assessor's Parcel Number (APN):	Contact Phone Number:
054-191-14	(831) 425-3901
Building Permit No./Discretionary Application:	Flood Control District (additional permit fees for lot coverage may be assessed, refer to Unified Fee Schedule)
231045	Zone 6

PROJECT DESCRIPTION		
Lot Coverage	Actual	Adjusted
A. Total lot size:	6,000 sq.ft.	
B. Existing Permitted Impervious Area:	4,760 sq.ft.	
C. Replaced Permitted Impervious Area:	50 sq.ft.	
D. Replaced Permitted Semi-Impervious* Area:	0 sq.ft.	0 sq.ft.
E. Total proposed Self-mitigating Area:	0 sq.ft.	
F. Proposed Impervious Area:	0 sq.ft.	
G. Proposed Semi-impervious* Area:	1,530 sq.ft.	765 sq.ft.

Values in these tables are automatically calculated, user does not need to enter information here if filled out electronically.
Total REPLACED Impervious & semi-impervious area (C + D): **50** sq.ft.
Total NEW Impervious & semi-impervious area (F + G): **765** sq.ft.

Project Threshold Classification
(Value will auto-sum if filled out electronically, otherwise add REPLACED and NEW to obtain total for determining project size below)
☒ **Small Project** (less than 500 sq.ft. created and/or replaced) - Use Appendix B "Small Project Submittal Requirements" for submittal requirement guidance.
☐ **Medium Project** (more than 500 sq.ft. but less than 5,000 sq.ft. created and/or replaced) - Use Appendix C "Medium Project Submittal Requirements" for submittal requirement guidance.
☐ **Large Project** (more than 5,000 sq.ft. created and/or replaced OR 50% increase in permitted impervious area**) - Use Appendix D "Large Project Submittal Requirements" for submittal requirement guidance.

1. Application is part of a phased project OR master plan? Yes ☐ No ☒
2. No diversion is proposed and pre-development runoff patterns will be maintained. Yes ☒ No ☐
3. Application complies with Part 3 of the Design Criteria requirements. Yes ☒ No ☐
4. Drainage has been evaluated. There are no existing drainage issues on/near the site and none anticipated. Yes ☒ No ☐
5. Safe stormwater overflow has been incorporated into the project design. No adverse impacts to neighboring properties, drainage pathways, or roadways are anticipated. Yes ☒ No ☐

By signing this form, the signer agrees the information provided here represents, to the best of their knowledge the scope of work being proposed. Signee acknowledges this document is to be used as a guidance for determining the project size and stormwater requirements, additional requirements and clarification may be required.

Signature Required

*Form will apply a 50% credit for semi-impervious areas as first count. Applicant shall not apply the credit.
** Projects that add more than 50% impervious area coverage are required to mitigate the entire site.

Version 2022 - County Design Criteria

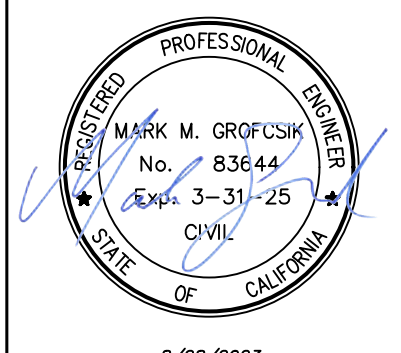
NOTE: ALMOST ALL EXISTING EXTERIOR IMPERVIOUS SURFACES ARE PROPOSED TO BE REPLACED WITH PERVIOUS PAVERS OR DECOMPOSED GRANITE RESULTING IN A DECREASE IN SITE RUNOFF. ADDITIONALLY, THE PROPOSED DRAINAGE SYSTEM WILL INCORPORATE THE (E) STORM DRAIN SYSTEM TO DISCHARGE RUNOFF THE SAME WAY AS PRE-PROJECT CONDITIONS.

RI ENGINEERING HAS PERFORMED A SITE ASSESSMENT AND DETERMINED THAT THE EXISTING DRAINAGE SYSTEM ON-SITE SHOULD BE MAINTAINED. THE EXISTING DRAINAGE SYSTEM CAPTURES STORMWATER BEFORE REACHING THE BLUFF AT THE REAR OF THE RESIDENCE, AND ROUTES STORMWATER TOWARD THE FLOWLINE OF VIA CONCHA DRIVE. THERE ARE NO ANTICIPATED ADVERSE IMPACTS TO THE PUBLIC RIGHT OF WAY OR NEIGHBORING PROPERTIES AS A RESULT OF THE PROPOSED IMPROVEMENTS.

Exhibit D

PLANNING SUBMITTAL

RI ENG C1-C3 ADDED TO RESPOND TO COMMENTS 6/29/2023.
REVISED CIVIL TO RESPOND TO COUNTY COMMENTS 8/28/2023.



RI Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

RESIDENTIAL ADDITION
FOR
MICHAEL & SHIREN SHERIDAN
135 VIA CONCHA
APTOS, CA 95003
APN 054-191-14

project no.
23-047-1
date
AUG 2023
scale
AS SHOWN
dwg name
CIVIL1.dwg

SECTIONS & DETAILS

C-3

TOTAL AREA OF DISTURBANCE = 6,000 SQFT

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

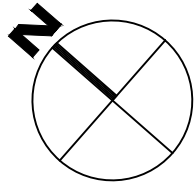
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
- APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

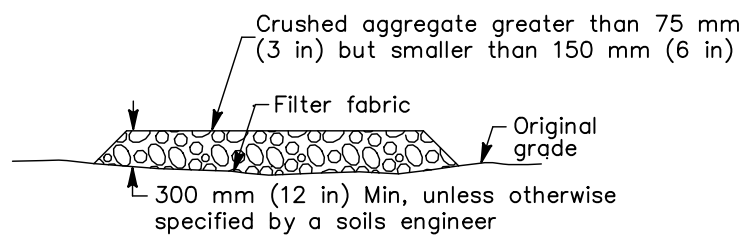
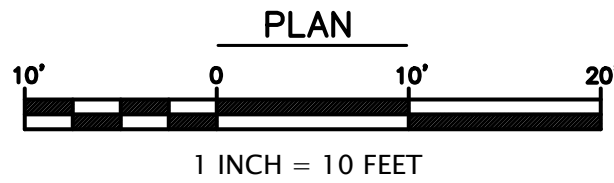
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



VIA CONCHA
(40' WIDE ROW)

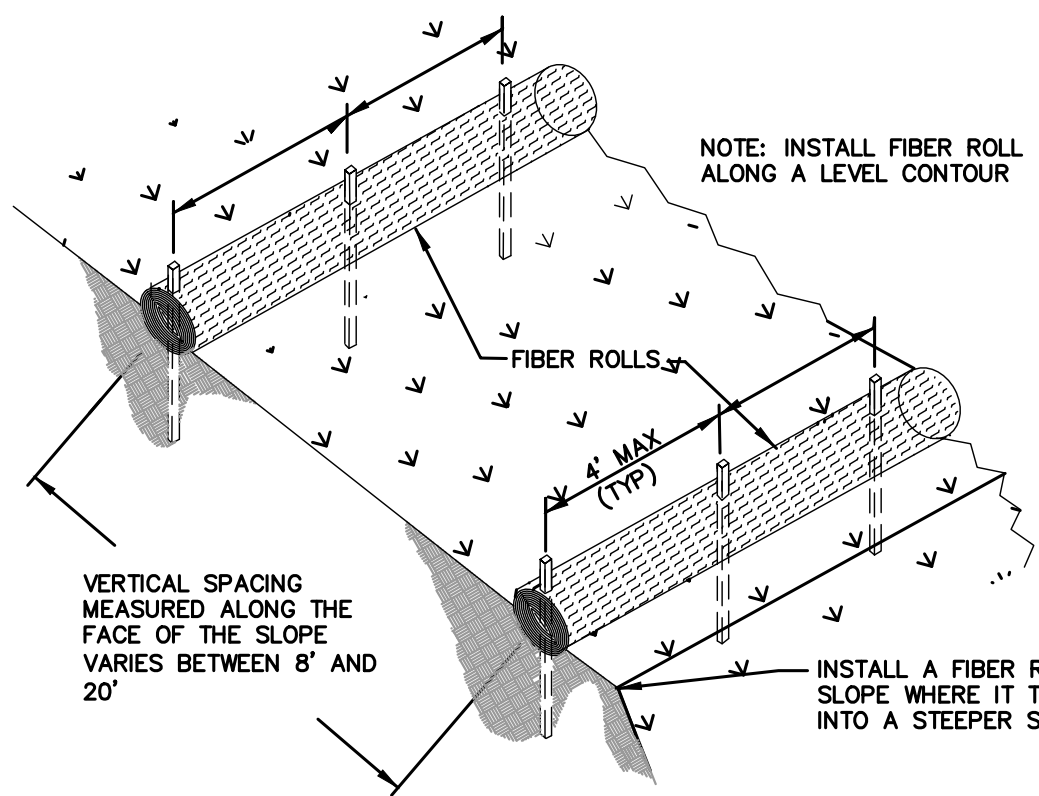
INSTALL STABILIZED
CONSTRUCTION
ENTRANCE PER
DETAIL THIS SHEET

STAGING AND
STOCKPILE AREA



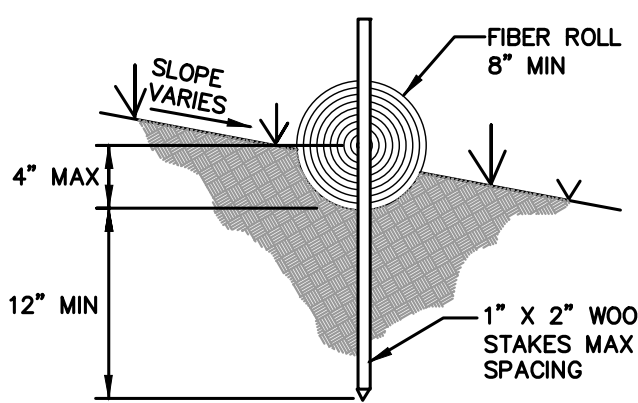
CONSTRUCTION ENTRANCE DETAIL

NTS



TYPICAL FIBER ROLL INSTALLATION

NTS



FIBER ROLL DETAIL IN SLOPE AREA

NTS

EROSION CONTROL MEASURES

- EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
- UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
- THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
- ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
- AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
- AMMONIUM PHOSPHATE FERTILIZER, 8-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
- SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

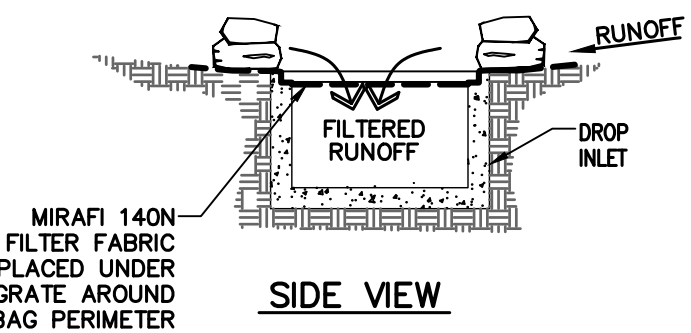
- COVER ALL EXPOSED SLOPES
- STRAW 2 TONS/ACRE ON SLOPES $\leq 20\%$ WITH SOIL BINDER
- USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>20\%$

EROSION CONTROL LEGEND

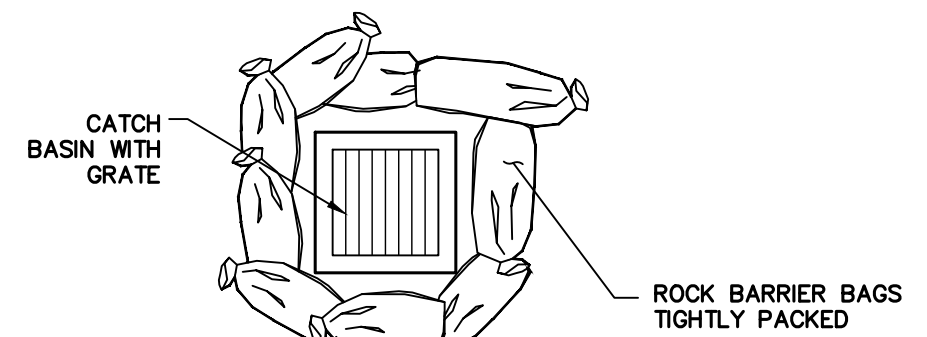
- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA

24"x12"x6" BURLAP OR
SYNTHETIC NET BAGS
FILLED WITH GRAVEL OR SAND

DETAIL



SIDE VIEW



PLAN VIEW

GRAVEL BAG CATCH BASIN PROTECTION

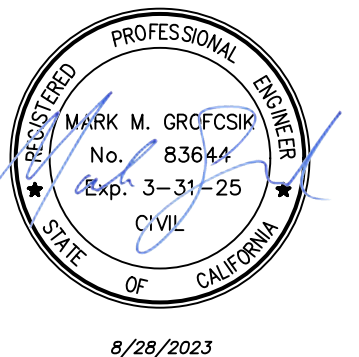
NTS

Exhibit D

PLANNING SUBMITTAL

RI ENG C1-C3 ADDED TO RESPOND TO COMMENTS 6/29/2023.

REVISED CIVIL TO RESPOND TO COUNTY COMMENTS 8/28/2023.



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

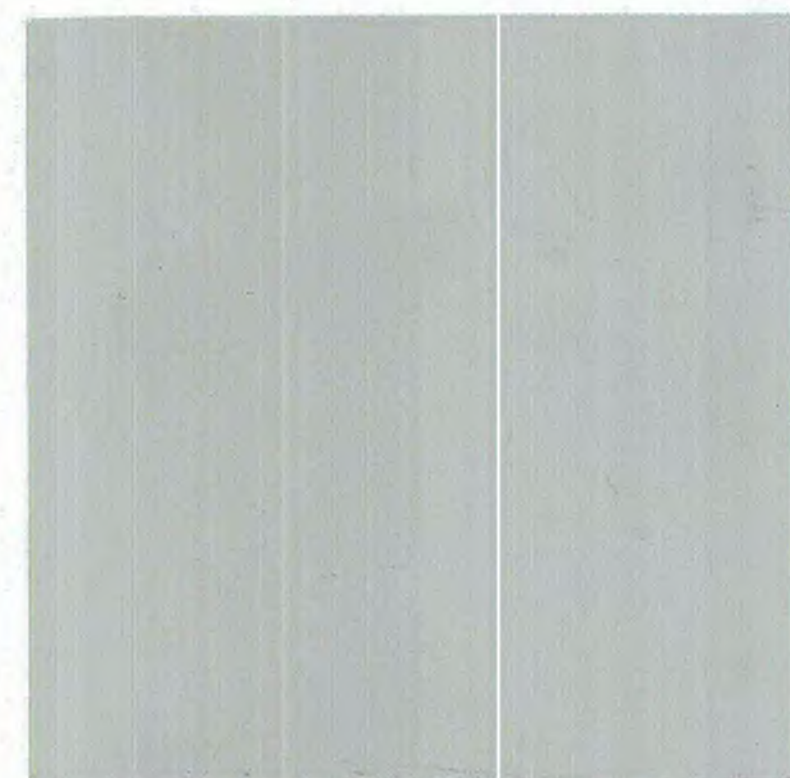
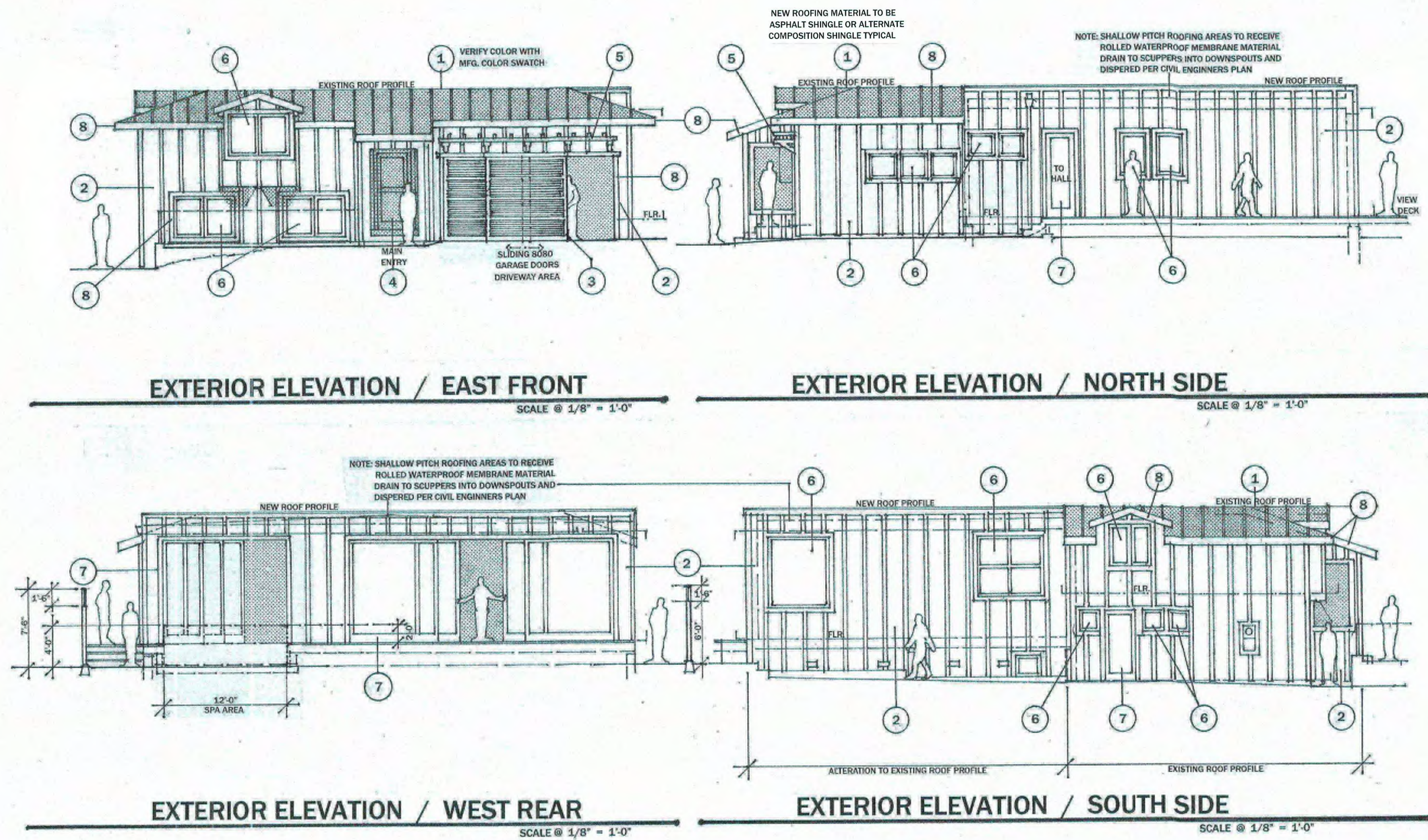
RESIDENTIAL ADDITION

FOR
MICHAEL & SHIREEN SHERIDAN
135 VIA CONCHA
APTOS, CA 95003
APN 054-191-14

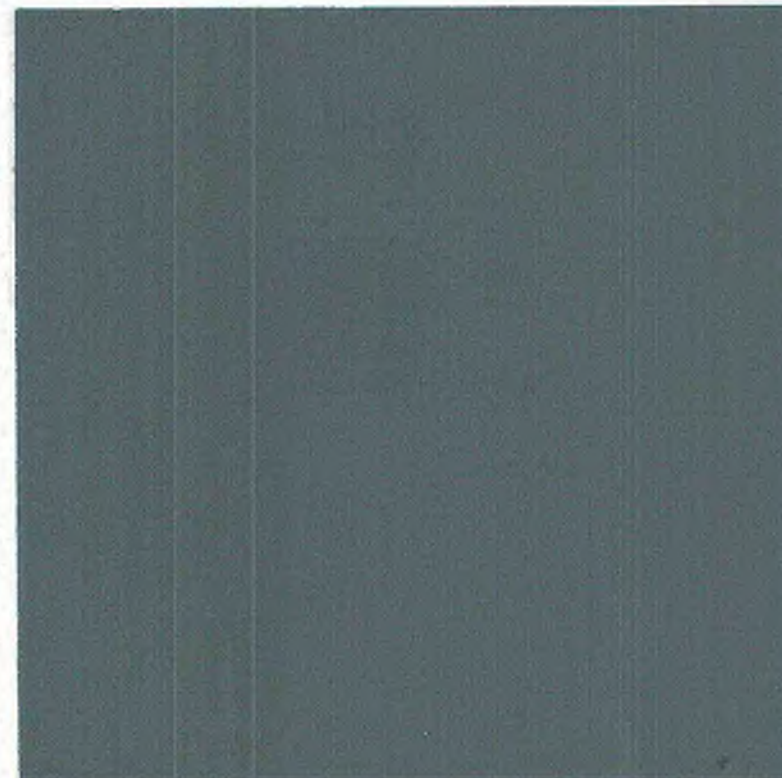
STORMWATER POLLUTION
CONTROL PLAN

project no.
23-047-1
date
AUG 2023
scale
AS SHOWN
dwg name
CIVIL1.dwg

C-4



BENJAMIN MOORE
GRAY HUSKIE # 1473



BENJAMIN MOORE
CHARCOAL SLATE # HC - 178

BUILDING MATERIALS, COLORS & FINISH SCHEDULE

NOTE THIS SCHEDULE IS PRELIMINARY AND ONLY INTENDED TO CONVEY THE BASIC DESIGN INTENT. FINAL SAMPLES WILL BE PROVIDED UPON REQUEST.

- 1 GAF TIBERLINE ULTRA HD FIBERGLASS ASPHALT SHINGLES ALTERNATE COMPOSITION SHINGLE ALL CLASS "A" RATED CHARCOAL COLOR SAMPLE(S) SUPPLIED UPON REQUEST.
- 2 SIDING / BOARD & BATTEN PLYWOOD SIDING (WUI) WILDLAND URBAN INTERFACE COMPLIANT USE **JAMES HARDIE BUILDING PRODUCTS** MATERIAL TO BE WUI COMPLIANT PER WALL TYPE ASSEMBLY
COLOR : BENJAMIN MOORE # 1473 GRAY HUSKIE / FLAT FINISH
- 3 GARAGE DOORS CUSTOM PER DESIGNER SELECTION PAIR OF 8080 SLIDING DOORS
COLOR : BENJAMIN MOORE # 1473 GRAY HUSKIE / SEMI-GLOSS FINISH
- 4 MAIN ENTRY FRONT DOOR / CUSTOM PER DESIGNER SELECTION
COLOR : BENJAMIN MOORE # HC - 178 CHARCOAL SLATE / SEMI-GLOSS FINISH
- 5 TRELLIS - ARBOR OVER GARAGE DOOR / METAL FABRICATION - VERIFY
COLOR : BENJAMIN MOORE # BLACK / SEMI-GLOSS FINISH
- 6 EXTERIOR WINDOWS / USE **FLEETWOOD** OR **BLOMBERG** METAL FABRICATED UNITS SASHES TO BE POWDER COATED. COLOR TO BE BLACK TO CLOSELY MATCH BENJAMIN MOORE COLOR TBD.
- 7 EXTERIOR DOORS / USE **FLEETWOOD** OR **BLOMBERG** METAL FABRICATED UNITS AND FRAMES POWDER COATED. CLOSLEY MATCH
COLOR : BENJAMIN MOORE # HC - 178 CHARCOAL SLATE / SEMI-GLOSS FINISH

VERIFY DOOR STYLE AND GLASS TYPE WHERE SPECIFIED WITH DESIGNER
- 8 EXTERIOR TRIM - WINDOW & DOOR CASINGS /
COLOR : BENJAMIN MOORE # BLACK / SEMI-GLOSS FINISH
- 9 DRIVEWAY / PERMEABLE PAVERS & CONCRETE BANDS. TYPE AND PATTERN TO BE DETERMINED
- 10 DECK AREA / COMPOSITE MATERIAL TO BE DETERMINED PER SELECTION BY DESIGNER
- 11 LANDSCAPING / TBD IN CONSULTATION WITH LANDSCAPE ARCHITECT - DESIGNER
- 12 EXTERIOR LIGHTING / ALL LED - RECESSED, SURFACE, STEP, PATH & UPLIGHTS AS REQ.
- 13 VIEW PATIO / CONCRETE MASONRY UNITS FOR CONTAINMENT & GLS WINDSCREEN
- 14 MISC. GRADE AREAS PATHS & WALKS / DECOMPOSED GRANITE (DG) PERMEABLE PAVERS IN COMBINATION WITH STAINED CONCRETE - COLORS TO BE DETERMINED PER SELECTION

Charcoal

Charcoal is the most neutral of shades, and works wonderfully with blues, grays, whites, yellow, gold, sage, and green.

Timberline® UHDZ™ Specs

SPECIFICATIONS (ALL DIMENSIONS ARE NOMINAL)

MATERIAL: Fiberglass Asphalt Construction

WIND RATING: Eligible for the WindProven™ Limited Wind Warranty when installed with four required GAF accessory products

SHINGLE STYLE: Wood-Shake Lock

SHINGLE TYPE: Architectural Shingles

APPROX. NAILS/SQ: 256

DURABILITY & TOUGHNESS	Advanced Protection Shingle with GAF Dura Grip Adhesive
EXPOSURE	5.625" (144 mm)
EXTREME WEATHER IMPACT RATED	No
FIRE RATING	Highest Rating - Class A
MATERIAL	Fiberglass Asphalt Construction
WIND RATING	Eligible for the WindProven™ Limited Wind Warranty when installed with four required GAF accessory products

ROOFING MATERIAL

REVISED

RESP. TO DISC.
COMMENTS 6/20/23



PROPOSED

JANUARY 2023

T.Willis DESIGN
PLANNING / DESIGN CONSULTING

28 PEPPER CREEK WAY
HONOLULU, CALIFORNIA 94947
PHONE : 415 898 - 1477
twilldesign@gmail.com

Lila Friday / Associates, A.S.I.D.

P. O. BOX 190
SAN Geronimo, CA. 94963

PHONE : 415 272 - 3009 lilafriday@comcast.net

MICHAEL & SHIREEN
A.P.N. # 054 - 191 - 14

SHERIDAN RESIDENCE

135 VIA CONCHA
APTOS. CALIFORNIA 95003
PHONE:

THW

A1.1

OF

Exhibit D



VIEW LEFT OF CENTER



VIEW CENTER



VIEW RIGHT OF CENTER

VIEWS OF SUBJECT PROPERTY FROM BEACH LEVEL

NO SCALE

Exhibit D

MODIFICATION WORKSHEET

Modification Worksheet

To be used in association with evaluating the extent of proposed modifications of the major structural components of a nonconforming structure or structure accommodating a nonconforming use, and for a determination whether a structure may be considered development per the Geologic Hazards Ordinance and thus may be required to prepare a geologic report or geologic assessment.

How to use this calculator: For each building component (roof, exterior walls, floor framing or foundation), you may enter either an estimated percentage to be modified or you can enter the actual measurements and use the calculator to obtain the percent modification of that component. Enter values only in the green fields. The result is given in the blue box at the bottom of the spreadsheet.

For spreadsheet guidelines, click the index tab (below page margin at bottom of this page) called "User Guide".

Roof

Enter either	Do not enter words or symbols	Calculation Tips
Estimated % of roof to be modified		Roof Calculation Notes: Measure as a flat plane, neglecting slope. Do not count deck roofs or eaves. Do count sealed decks that are part of the main roof system. On most one-story structures, the roof area will equal the floor area.
Area of Existing Roof	2679 SF	
Total Modified Area of Roof	2099 SF	
	78%	

Exterior Walls

Enter either	Do not enter words or symbols	Calculation Tips
Estimated % of exterior walls to be modified		Exterior Walls Calculation Notes: Modified segments wrap around corners and have no minimum separation. Attic walls and most cripple walls do not count. To assist with measuring modified segments in multiples of four feet, use the wall modification calculator.
Total length of existing exterior walls	266 LF	
Total length of modified exterior walls	120 LF	
	45%	

Floors

Enter either	Do not enter words or symbols	Calculation Tips
Estimated % of floor area to be modified		Floor Calculation Notes: The modified area of each structural member extends halfway to each adjacent member. For cross pieces and diagonal members, the modified area extends 16 inches on either side. Exclude decks and additions. Do not use F&B guidelines.
Total area of existing floors	2566 SF	
Total area of modified floors	44 SF	
	2%	

Foundations

Enter either	Do not enter words or symbols	Calculation Tips
Estimated % of foundations to be modified		Foundation Calculation Notes: Modification of a perimeter and pier and grade beam foundations are measured as percentage of length; Modification of a slab is measured as percentage of area.
Perimeter Foundations		
Total length of existing perimeter foundation	108 LF	
Total length of modified perimeter foundation	48 LF	
Area of first floor supported by perimeter foundation	1126 SF	
Slab Foundations		
Total area of existing slab foundation	1485 SF	
Total area of modified slab foundation	96 SF	
Area of first floor supported by slab foundation	1128 SF	
Pier and Grade Beam Foundation		
Total length of existing pier and grade beam foundation	1 LF	
Total length of modified pier and grade beam foundation	1 LF	
Area of first floor supported by pier and grade beam foundation	25 SF	
	25%	

Summary

Roof Modification (15%)	12%
Exterior Wall Modification (65%)	29%
Floor Framing Modification (10%)	0%
Foundation Modification (10%)	3%
	44%

For Planning Staff Only

If structural modifications exceed the level of modification indicated below, a discretionary application is required.

☐ 65% ☐ Other* ☐ 50% ☐ No Maximum*

*Explain:

APN: 054 - 191 - 14 Owner Name: MICHAEL & SHIREEN SHERIDAN Date: 2023

I certify that this worksheet is accurate. I understand that when the worksheet is evaluated as part of the application review, if the proposed work exceeds the established threshold, additional permits, information, and fees may be required for my project.

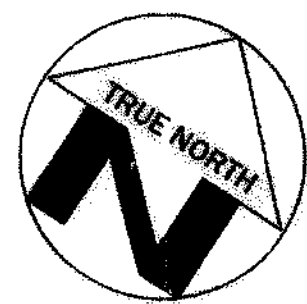
Signature: _____ Print Name: _____

Lila Friday / Associates, A.S.I.D.
P. O. BOX 190
SAN Geronimo, CA. 94963
PHONE: 415 272 - 3009 lilafriday@comcast.net

A.P.N. # 054 - 191 - 14
MICHAEL & SHIREEN
SHERIDAN RESIDENCE
135 VIA CONCHA
APTOS, CALIFORNIA 95003
PHONE:

THW

A1.2
OF



PROPOSED MAIN & SPLIT - LOWER LEVEL FLOOR PLAN

VERIFY ALL DIMENSIONS, DETAILS AND CONDITIONS IN FIELD PRIOR TO PROJECT START. NOTIFY OWNER AND/OR DESIGNER OF ANY DISCREPANCIES THAT WOULD ALTER THE DESIGN INTENT INDICATED ON THESE PLANS AS REQUIRED TYPICAL.

SCALE @ 1/4" = 1'-0"

Exhibit D

VIA CONCHA

MICHAEL & SHIREEN
SHERIDAN RESIDENCE
135 VIA CONCHA
APTOS. CALIFORNIA 95003
PHONE: E-MAIL:

A.P.N. # 054 - 191 - 14

PROJECT DESIGNER:

Lila Friday / Associates, A.S.I.D.

P. O. BOX 190
SAN Geronimo, CA. 94963

PHONE: 415 272 - 3009 E-MAIL: lfriday@comcast.net

TWILLIS DESIGN
PLANNING / DESIGN CONSULTANT
28 PEPPEER CREEK WAY
NOVATO, CALIFORNIA 94947
PHONE: 415 898 - 1477
twillisdesign@comcast.net

PROPOSED

REVISED
RESP. TO DISC.
COMMENTS 6/20/23

THW

A2
OF

PROPOSED UPPER SPLIT LEVEL FLOOR PLAN

VERIFY ALL DIMENSIONS, DETAILS AND CONDITIONS
IN FIELD PRIOR TO PROJECT START. NOTIFY OWNER
AND OR DESIGNER OF ANY DISCREPANCIES THAT
WOULD ALTER THE DESIGN INTENT INDICATED ON
THESE PLANS AS REQUIRED TYPICAL

SCALE @ 1/4" = 1'-0"

Exhibit D

REVISED

RESP. TO DISC.
COMMENTS 6/20

PROPOSED



28 PEPPER CREEK WAY
NOVATO, CALIFORNIA 9494
PHONE : 415 898 - 1477
twilldesigns@comcast.net

PROJECT DESIGNER :
Lila Fridary / Associates, A.S.I.D.

P. O. BOX 190
SAN GERONIMO, CA. 94963

PHONE : 415 272 - 3009 E-MAIL : lilafriday@comcast.net

MICHAEL & SHIREEN A.P.N. # 054 - 191 - 14

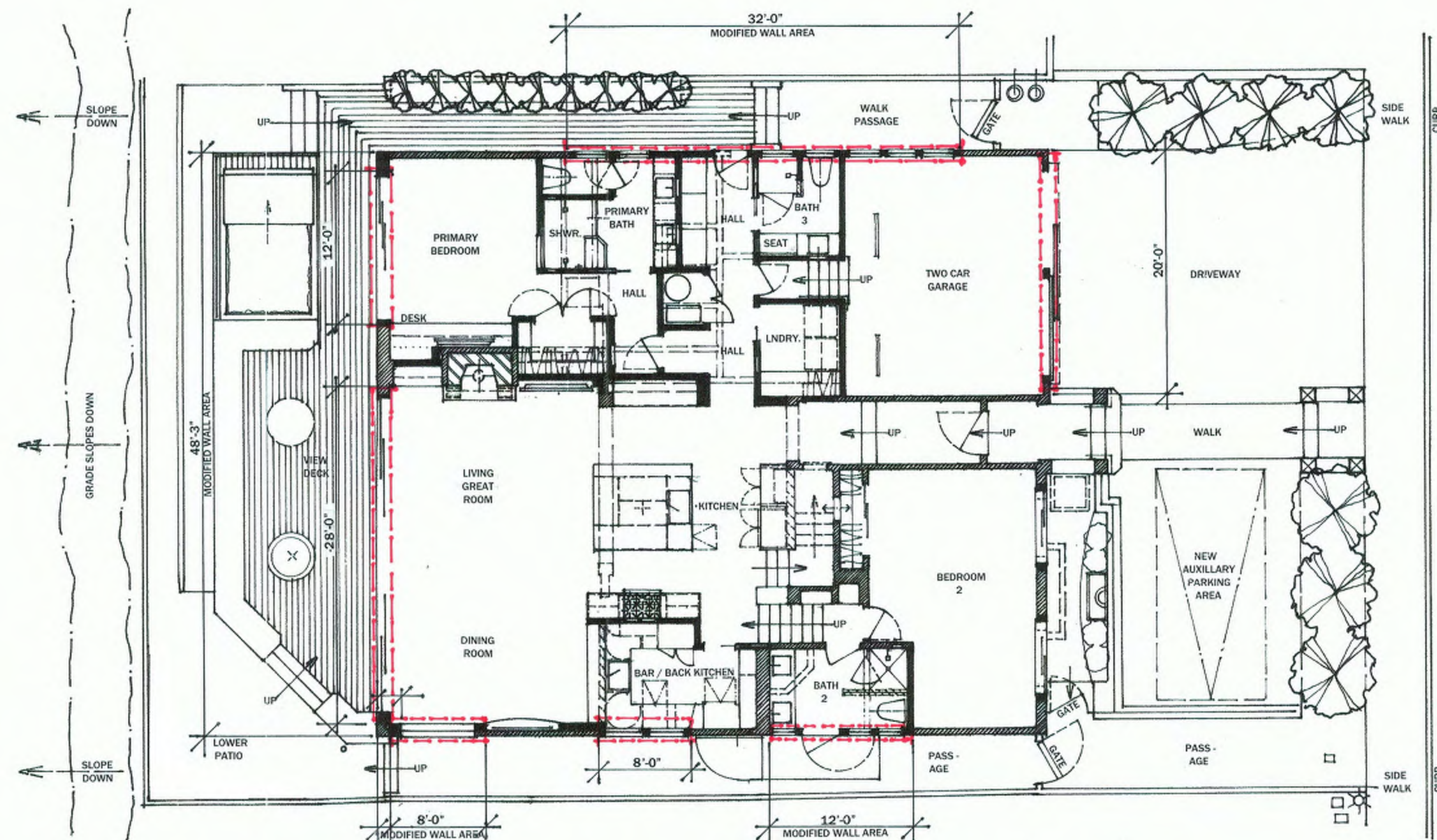
MICHAEL & SHIRLEEN
SHERIDAN RESIDENCE
A.P.N. # 004 - 191 - 14

**135 VIA CONCHA
APTOS, CALIFORNIA 95003
PHONE:
E-MAIL:**

THW

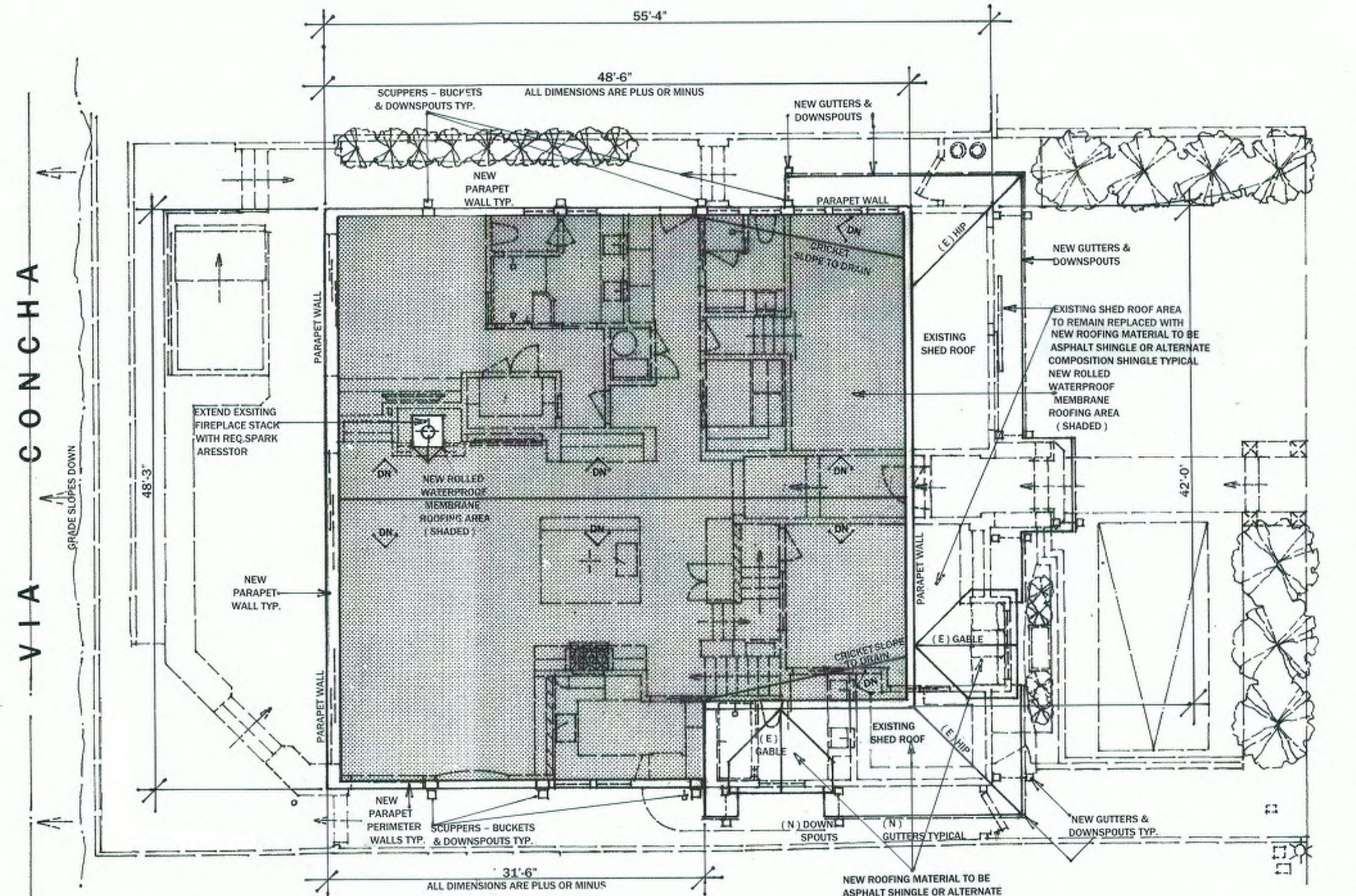
A3

OF



MAIN LEVEL - SPLIT LOWER LEVEL MODIFICATION PLAN - WALLS & FLOORS

SCALE @ 1/8" = 1'-0"

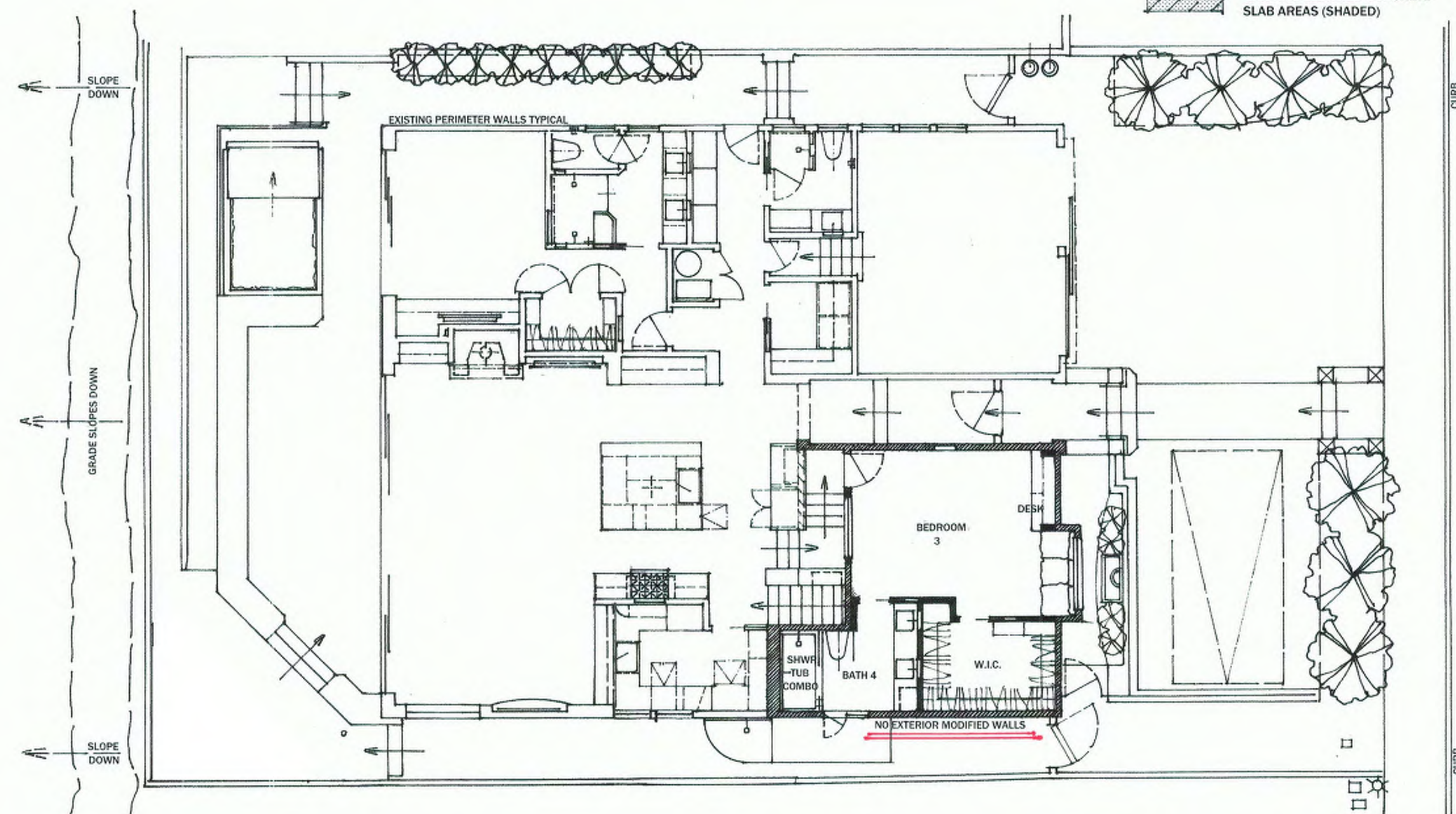


MODIFICATION PLAN - ROOF

SCALE @ 1/8" = 1'-0"

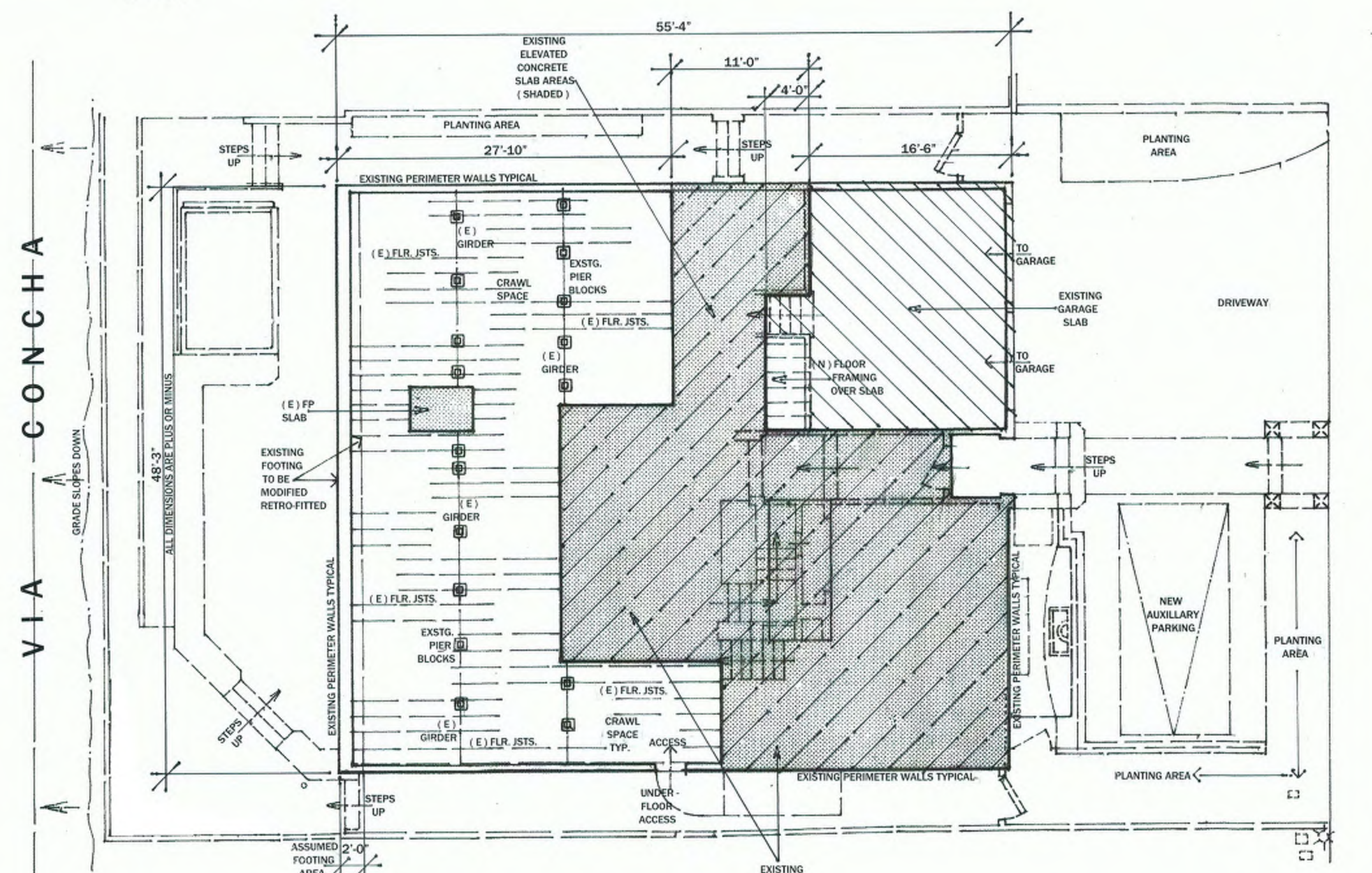
SYMBOLS LEGEND KEY VERIFY ALL DIMENSIONS, DETAILS & CONDITIONS IN FIELD PRIOR TO PROJECT START AS REQUIRED

- | | | | |
|--|---|--|---|
| | EXISTING WALLS | | EXISTING GARAGE SLAB |
| | REMOVE INTERIOR WALLS | | ROOF MODIFICATION AREA
ROLLED WATERPROOF ROOFING
(SHADED) |
| | NEW WALLS | | |
| | EXISTING ELEVATED CONCRETE
SLAB AREAS (SHADED) | | |



MAIN LEVEL - SPLIT UPPER LEVEL MODIFICATION PLAN - WALLS & FLOORS

SCALE @ 1/8" = 1'-0"



MODIFICATION PLAN - FOUNDATION

SCALE @ 1/8" = 1'-0"

Exhibit D

MICHAEL & SHIREEN
A.P.N. # 054 - 191 - 14
SHERIDAN RESIDENCE
135 VIA CONCHA
APTOS, CALIFORNIA 95003
PHONE: 415 272 3009

THW

A3.1
OF

Lela Bridgely / Associates, A.S.I.D.
P.O. BOX 190
SAN Geronimo, CA. 94963
PHONE: 415 272 3009

T.Willis DESIGN
PLANNING / DESIGN CONSULTANT
28 PEPPER CREEK WAY
NOVATO, CALIFORNIA 94947
PHONE: 415 898 - 1477
twillisdesign@comcast.net

PROPOSED
JUNE 2023

REVISED
RESP. TO DISC.
COMMENTS 6/20/23



PROPOSED UPPER SPLIT LEVEL ROOF MODIFICATION PLAN

VERIFY ALL DIMENSIONS, DETAILS AND CONDITIONS
IN FIELD PRIOR TO PROJECT START. NOTIFY OWNER
AND OR DESIGNER OF ANY DISCREPANCIES THAT
WOULD ALTER THE DESIGN INTENT INDICATED ON
THESE PLANS AS REQUIRED TYPICAL

EXISTING ROOF 2,679.00 SQ. FT.

1 30' X 47' = 1,421.00 SQ. FT.
2 17' X 40' = 689.00 SQ. FT.

TOTAL MODIFICATION
AREA 2,099.00 SQ. FT.

SCALE @ 1/4" = 1'-0"

VIA CONCHA

MICHAEL & SHIREEN
SHERIDAN RESIDENCE
135 VIA CONCHA
APTOS. CALIFORNIA 95003
PHONE:
E-MAIL:

A.P.N. # 054 - 191 - 14

PROJECT DESIGNER:

Lila Friday / Associates, A.S.I.D.

P. O. BOX 190

SAN Geronimo, CA. 94963

PHONE: 415 272 - 3009 E-MAIL: lfriday@comcast.net

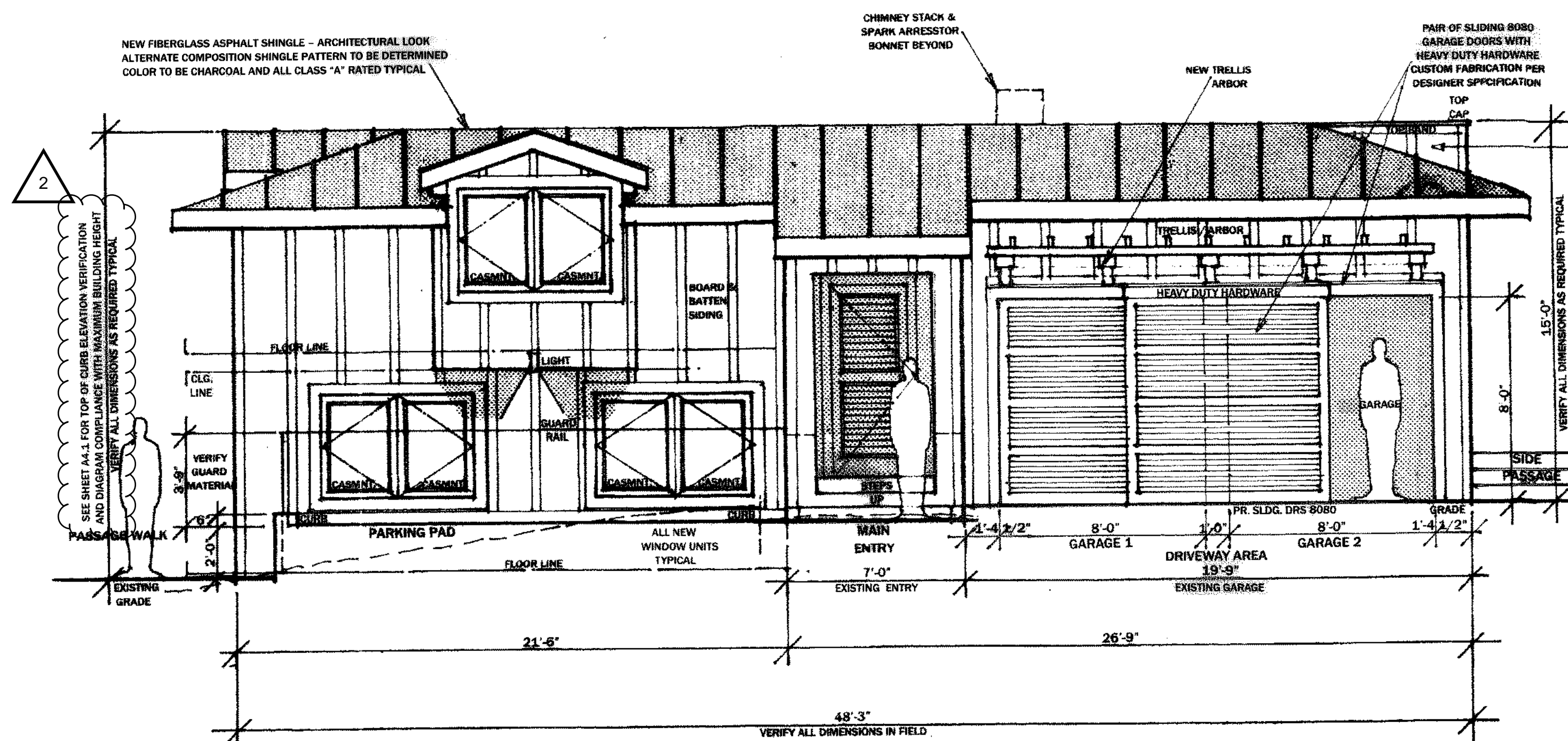
T.Will's DESIGN
PLANNING / DESIGN CONSULTANT
28 PEPPER CREEK WAY
NOVATO, CALIFORNIA 94947
PHONE: 415 898 - 1477
twilldesign@comcast.net

PROPOSED

REVISED

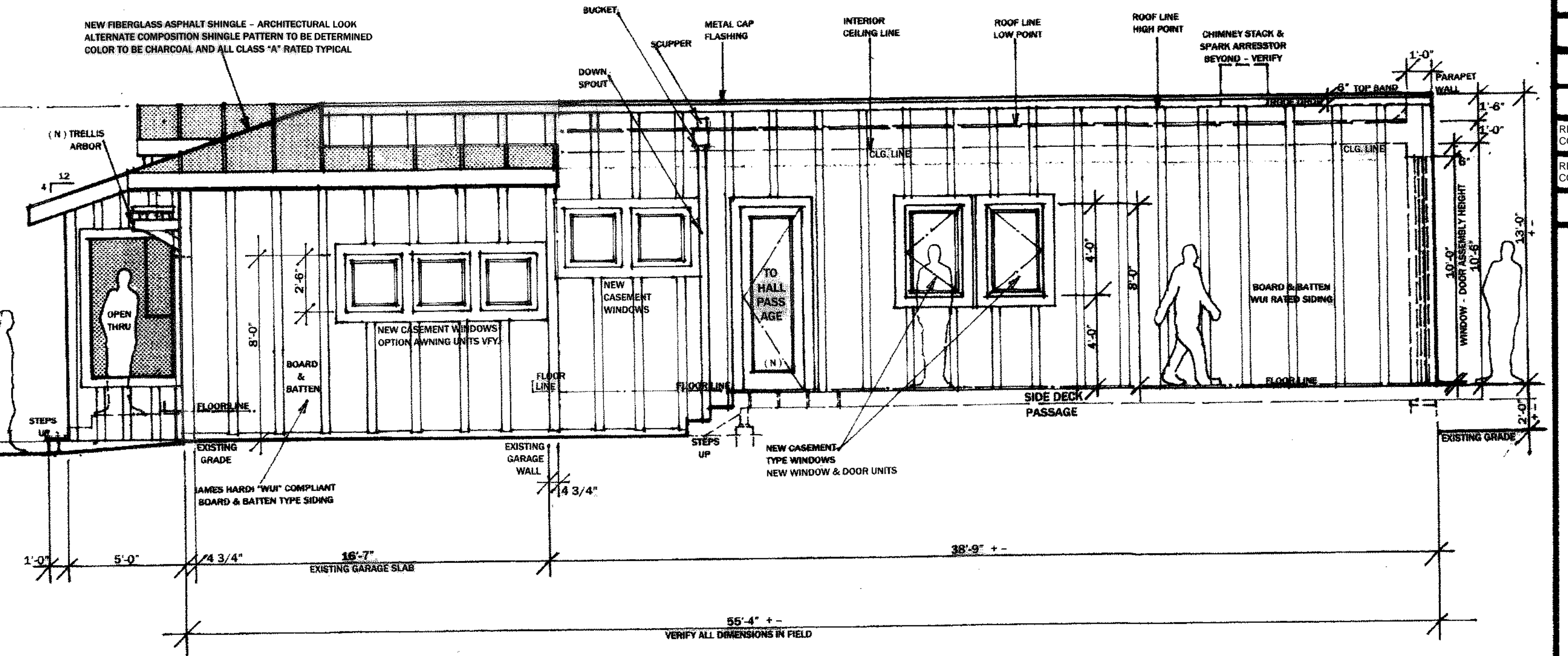
RESP. TO DISC
COMMENTS 6/20/23





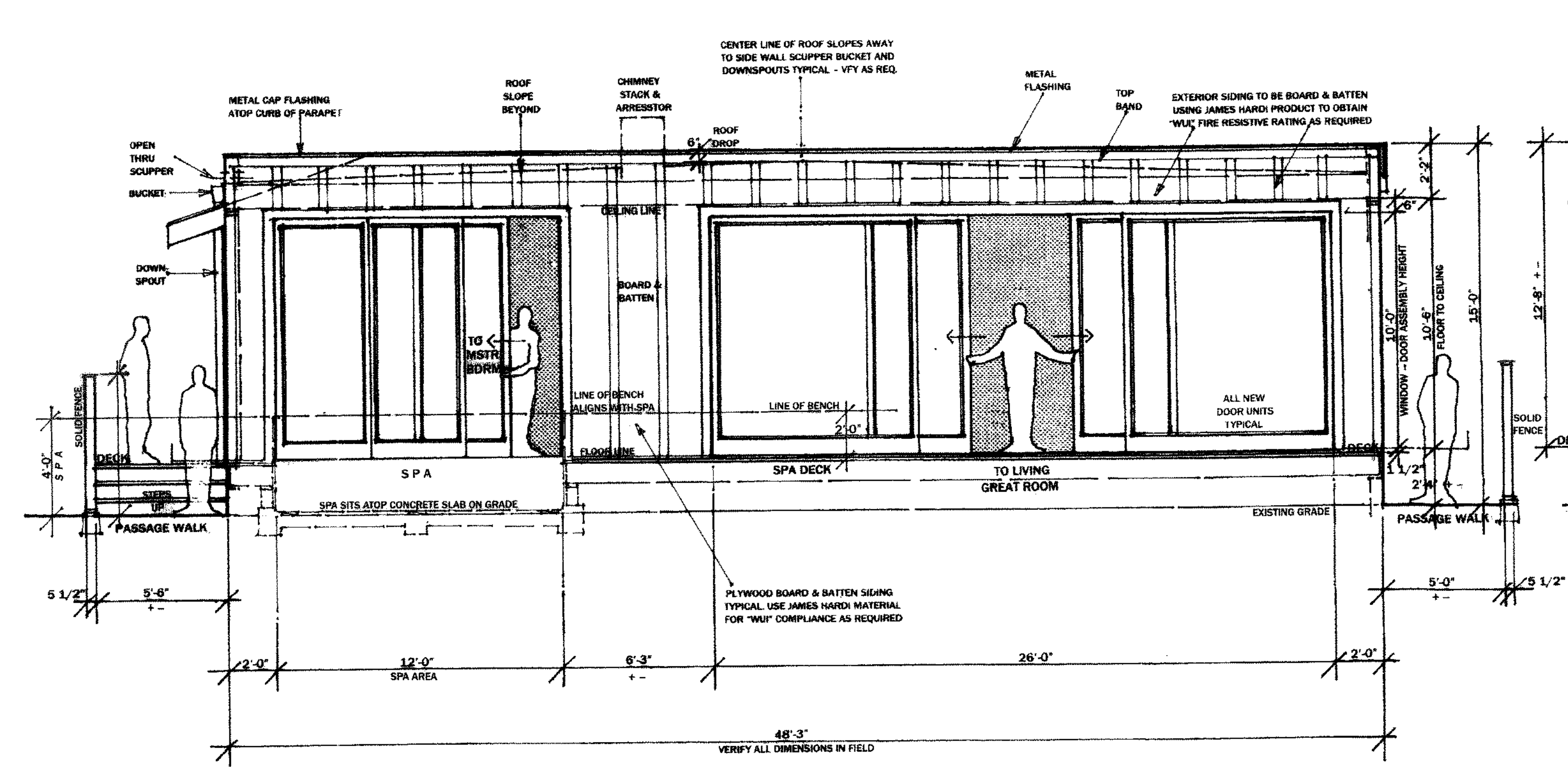
SEE SHEET A4.1 FOR TOP OF CURB ELEVATION VERIFICATION AND DIAGRAM COMPLIANCE WITH MAXIMUM BUILDING HEIGHT
EXTERIOR ELEVATION / EAST FRONT

SCALE @ 1/4" = 1'-0"



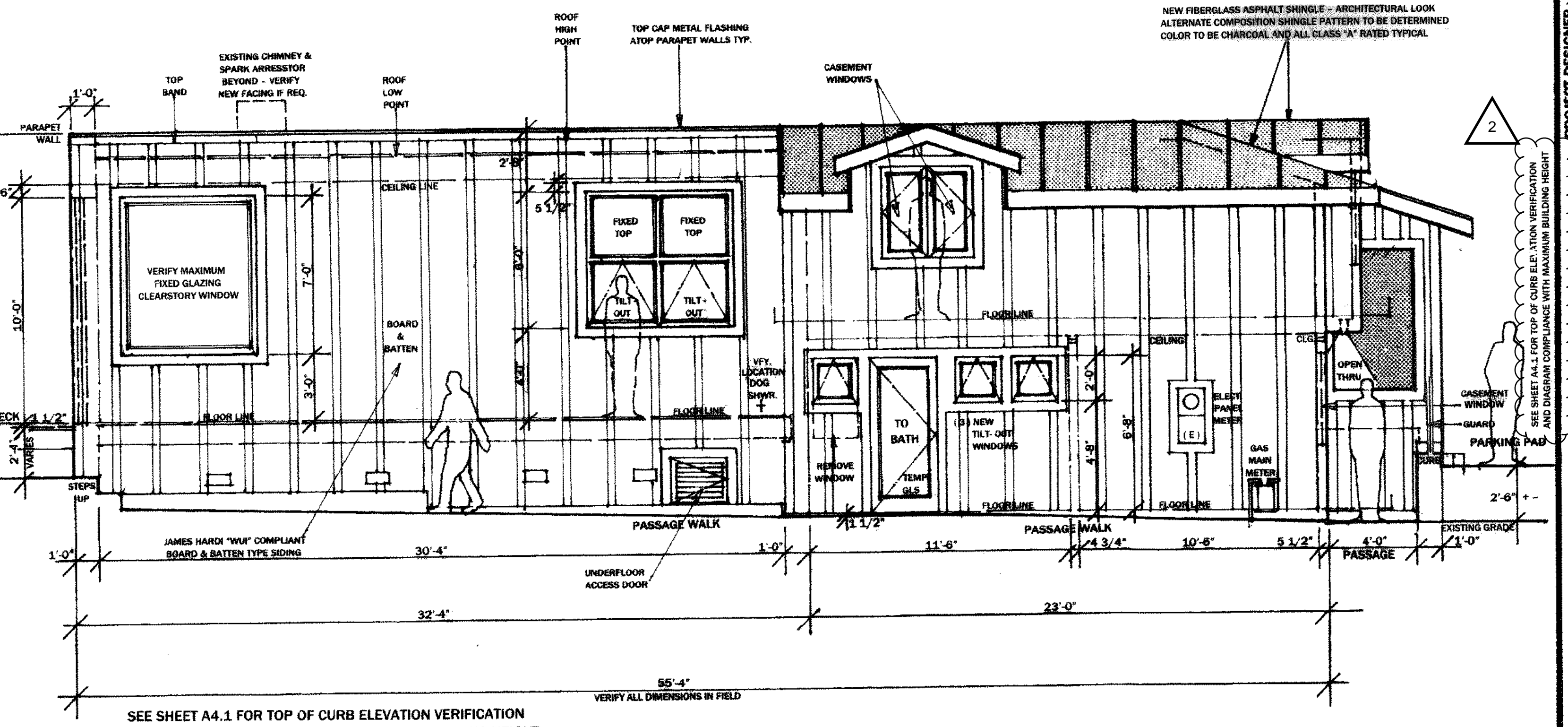
EXTERIOR ELEVATION / NORTH SIDE

SCALE @ 1/4" = 1'-0"



EXTERIOR ELEVATION / WEST REAR

SCALE @ 1/4" = 1'-0"



SEE SHEET A4.1 FOR TOP OF CURB ELEVATION VERIFICATION AND DIAGRAM COMPLIANCE WITH MAXIMUM BUILDING HEIGHT
EXTERIOR ELEVATION / SOUTH SIDE

SCALE @ 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS

PROPOSED

NOVEMBER 2022

11 - 3 - 22

REVISED

RESP. TO DISC. COMMENTS 6/20/23

RESP. TO DISC. COMMENTS 9/1/23

T. Willis DESIGN

26 PEPPER CREEK WAY

NOVATO, CALIFORNIA 94947

PHONE: 415 896 - 1477

EMAIL: twillisdesign@gmail.com

PROJECT DESIGNER:

Lila Friday / Associates, A.S.I.D.

P.O. BOX 190

SAN Geronimo, CA. 94963

PHONE: 415 272 - 3009

EMAIL: lillafri@comcast.net

SHERIDAN RESIDENCE

A.P.N. # 064 - 191 - 14

135 VIA CONCHA

APTOS. CALIFORNIA 95003

PHONE:

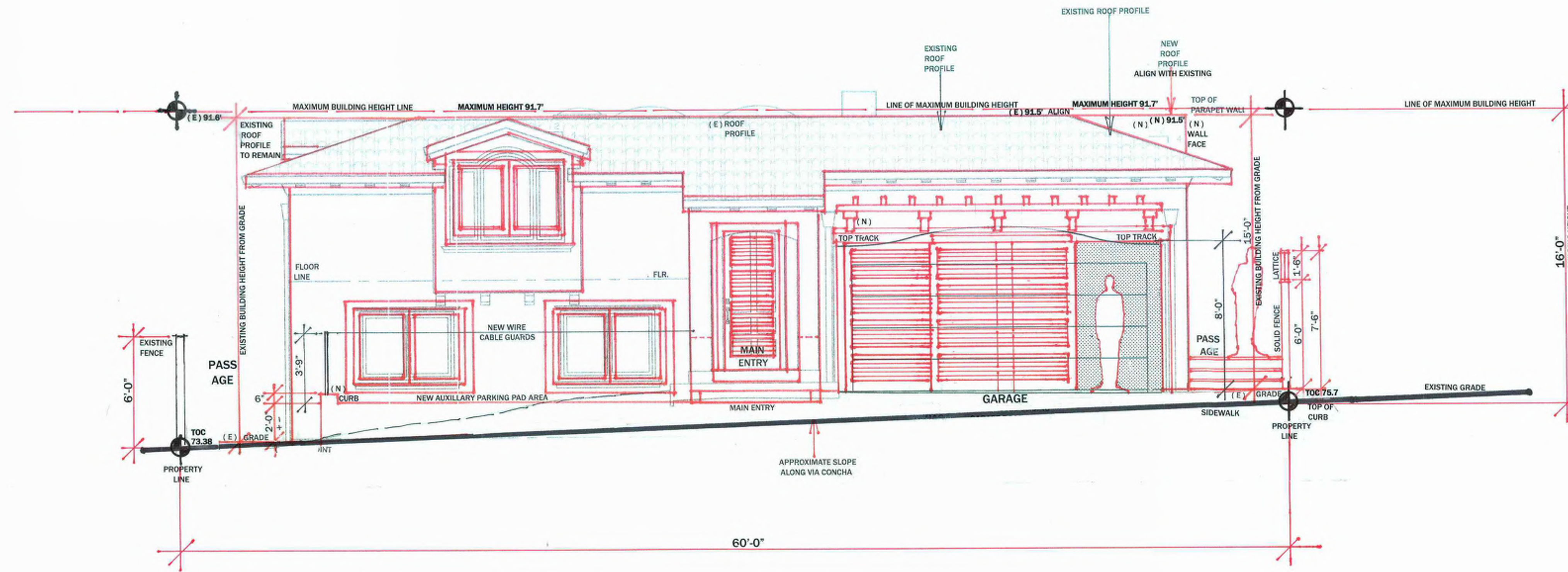
EMAIL:

THW

A4

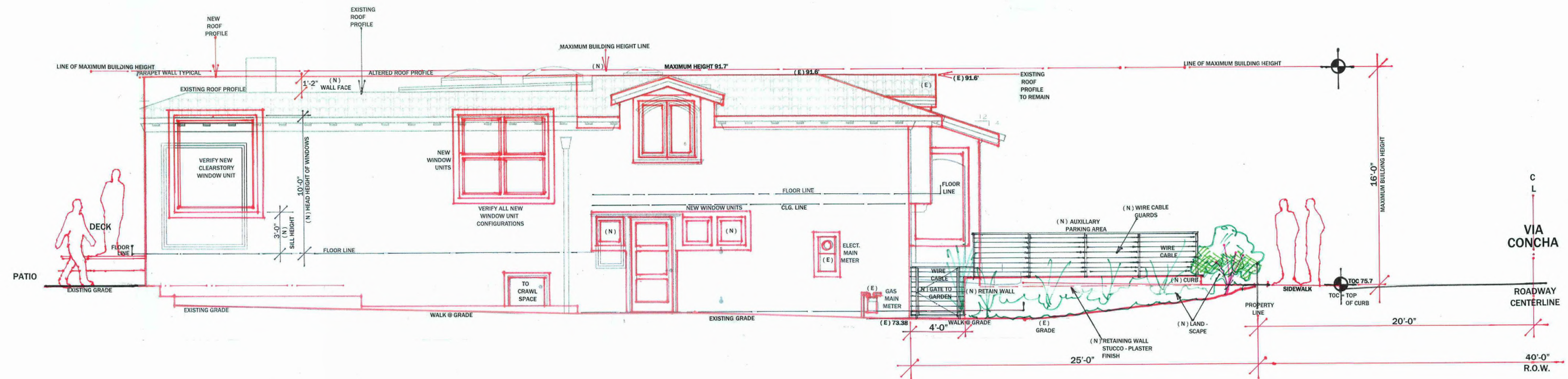
OF

Exhibit D



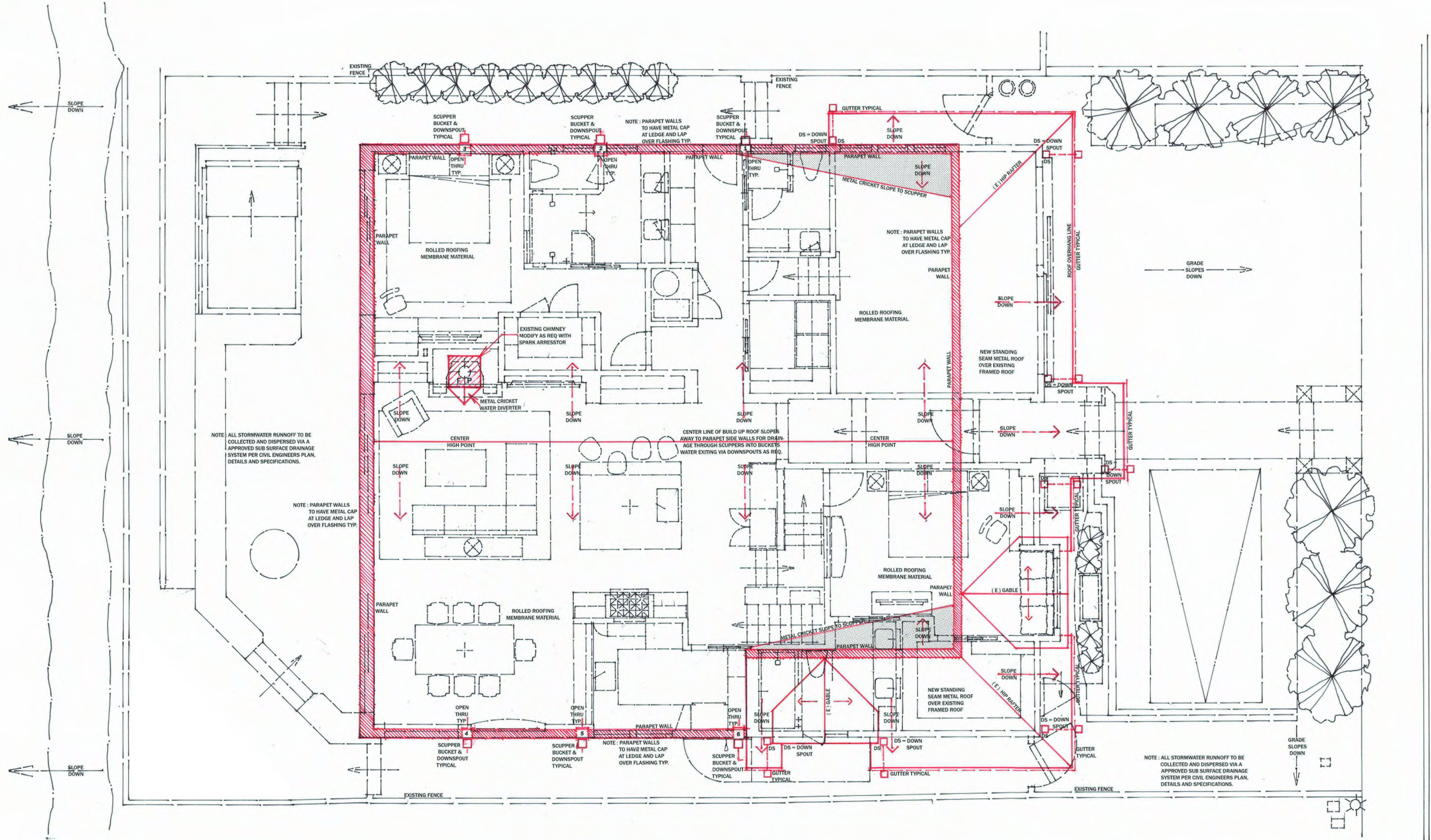
ELEVATION EAST - FRONT BUILDING HEIGHT COMPLIANCE

SCALE @ 1/4" = 1'-0"



ELEVATION SOUTH - SIDE BUILDING HEIGHT COMPLIANCE

SCALE @ 1/4" = 1'-0"



PROPOSED ROOF PLAN

VERIFY ALL DIMENSIONS, DETAILS AND CONDITIONS IN FIELD
NOTIFY OWNER AND OR DESIGNER OF ANY DISCREPANCIES
WHICH WOULD ALTER THE DESIGN INTENT AS REQUIRED

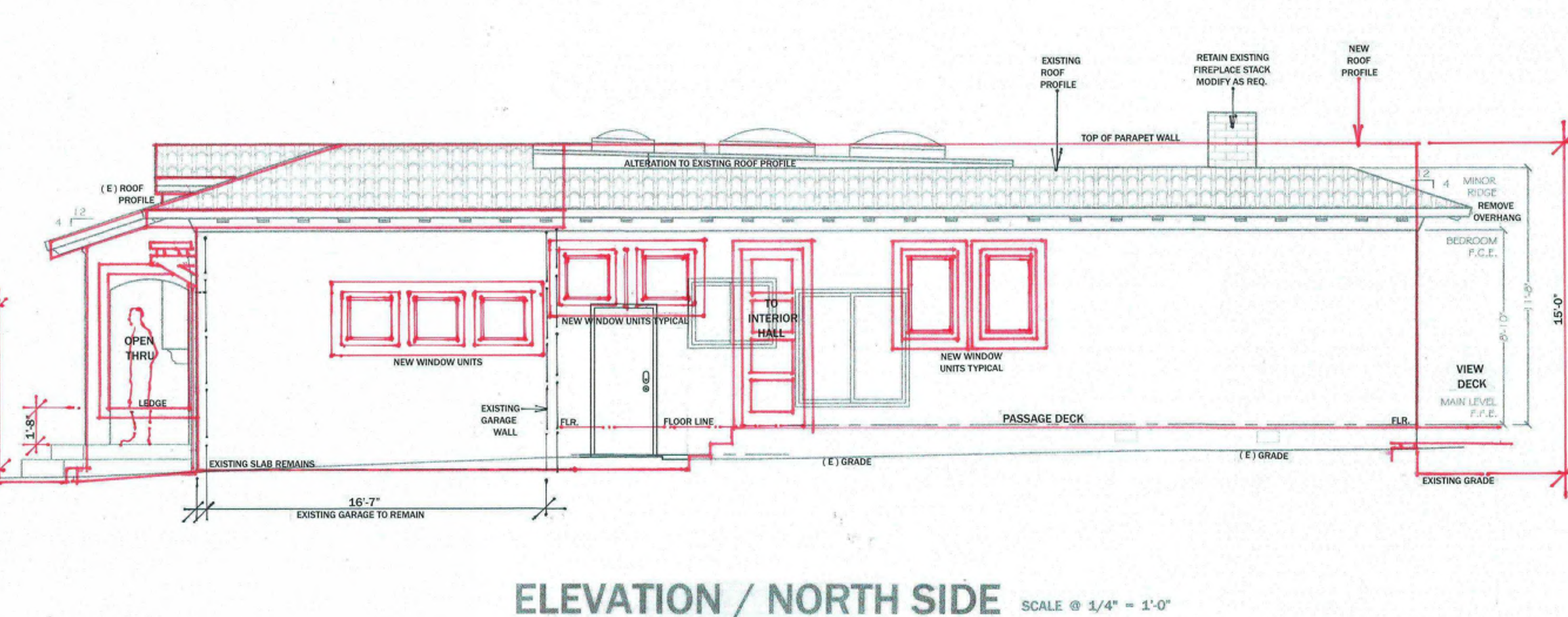
SCALE @ 1/4" = 1'-0"

VIA CONCHA

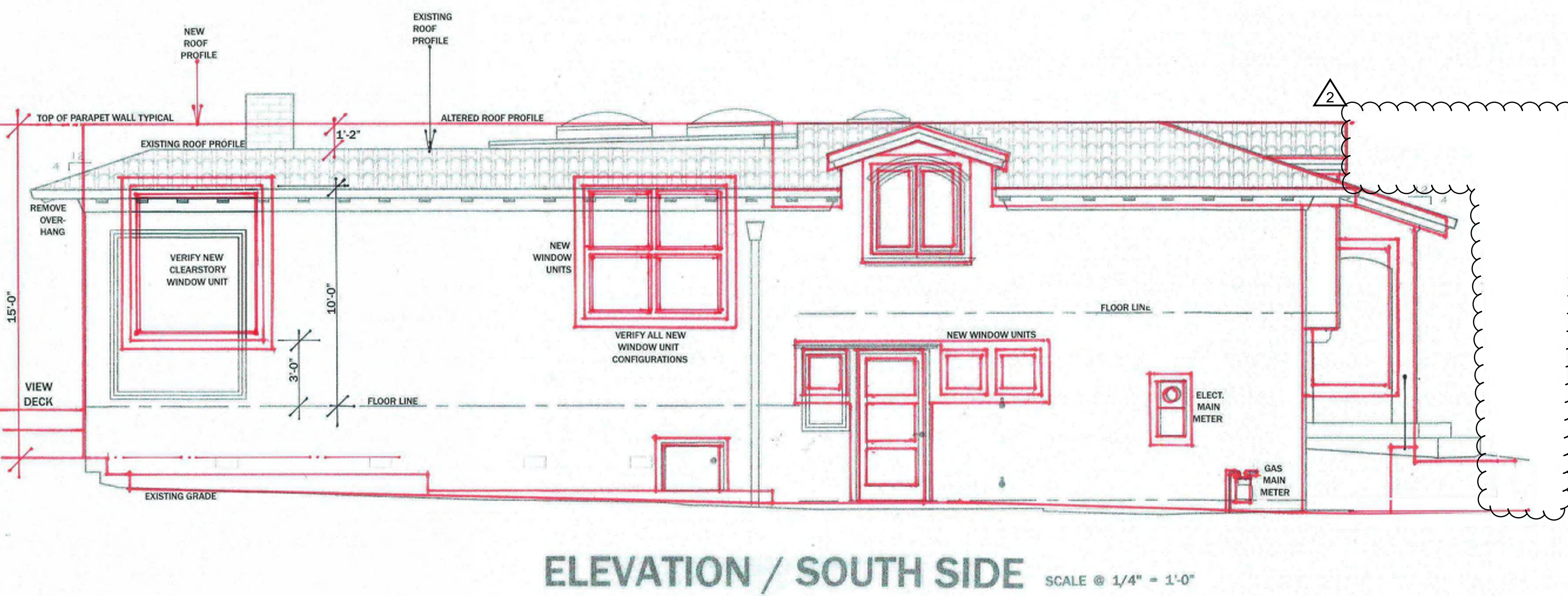
PROPOSED	
NOVEMBER 2022	
11 - 3 - 2022	THW
REVISED	
RESP. TO DISC. COMMENTS 6/20/23	
1	

T.Will's DESIGN <small>PLANNING / DESIGN CONSULTANT</small> 28 PEPPER CREEK WAY NOVATO, CALIFORNIA 94947 PHONE : 415 898 1477 twilldesign@comcast.net	
PROJECT DESIGNER : <i>Lila Friday</i> / Associates, A.S.I.D. P.O. BOX 190 SAN GERONIMO, CA. 94963 PHONE : 415 272 3009 E-MAIL : lilafriday@comcast.net	MICHAEL & SHIREEN SHERIDAN RESIDENCE 135 VIA CONCHA APTOS. CALIFORNIA 95003 PHONE: E-MAIL:

THW
A5
OF



ELEVATION / NORTH SIDE SCALE @ 1/4" = 1'-0"



ELEVATION / SOUTH SIDE SCALE @ 1/4" = 1'-0"



30

Exhibit D











35

Exhibit D

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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POR. APTOS RANCHO
SEC. 20, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-267

54-19



Electronically redrawn 10/10/03 KSA
Rev. 10/10/00 KSA (Por. to Pg. 62)
Rev. 6/15/01 mvm (changed page refs.)
Rev. 6/29/06 CB (Comb. Form, 1-51)
Rev. 6/4/2019 AN (por. to page 23)

Note - Assessor's Parcel & Block
Numbers are Shown in Circles



Assessor's Map No. 54-19
County of Santa Cruz, Calif.

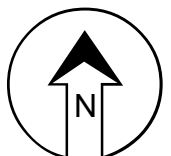


Parcel Location Map



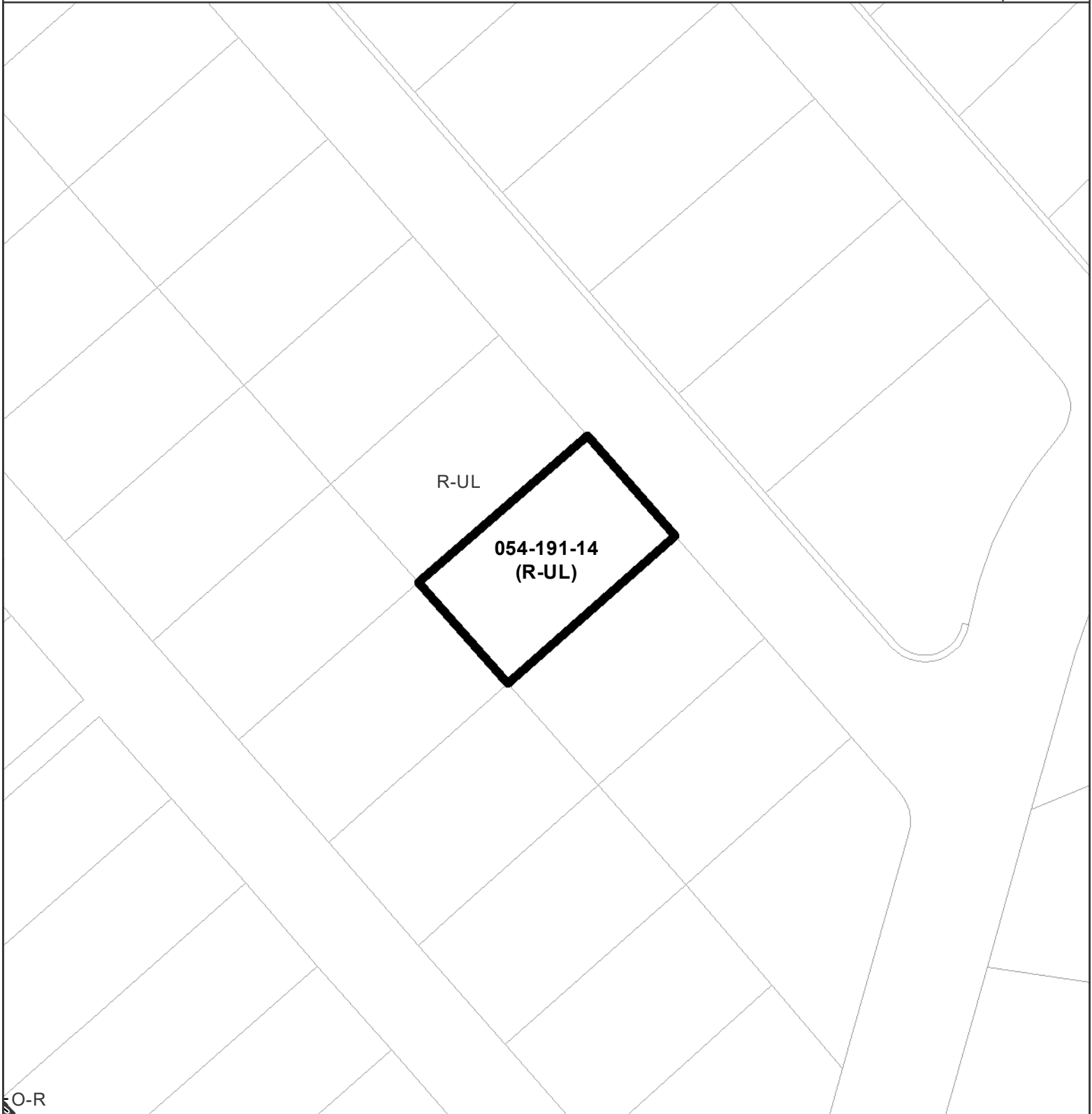
Parcel: 05419114



-  Study Parcel
-  Assessor Parcel Boundary

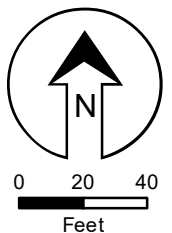




Parcel General Plan Map

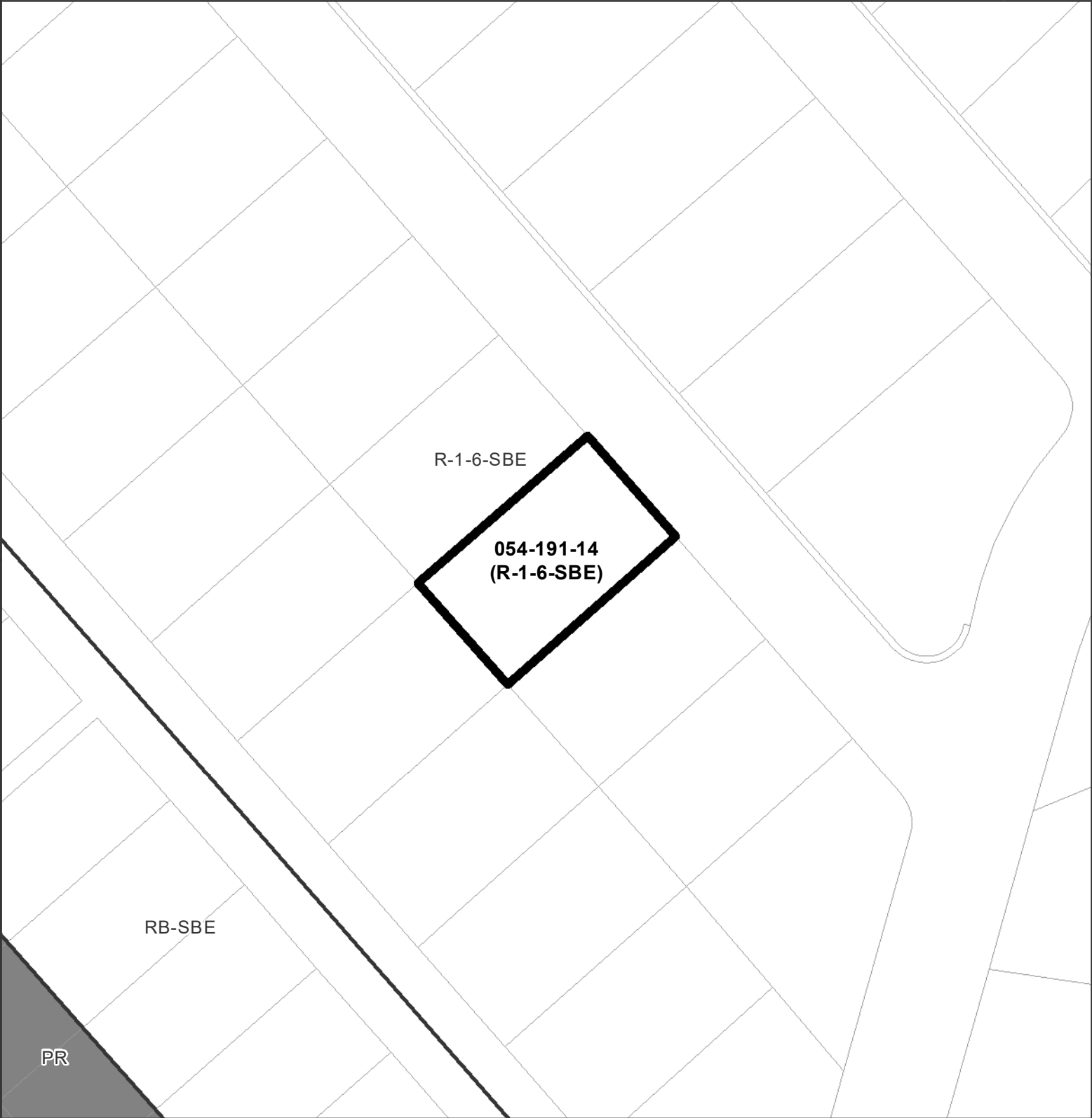


-  O-R *Parks, Recreation & Open Space*
-  R-UL *Res. Urban Low Density*

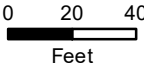
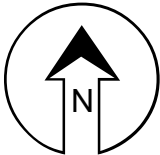




Parcel Zoning Map



- PR *Parks, Recreation, & Open Space*
- R-1 *Single-Family Residential*
- RB *Single-Family Ocean/Beach Residential*



Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Flood Control District 6

Parcel Information

Parcel Size: 6,000 square feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Via Concha
Planning Area: Aptos
Land Use Designation: R-UL (Urban Low Residential Density)
Zone District: R-1-6-SBE (Single Family Residential (6,000 square foot minimum parcel) Seascape Beach Estates Combining District)

Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm. X Yes No

Technical Reviews: Not applicable

Environmental Information

Geologic Hazards: Coastal bluff
Fire Hazard: Not a mapped constraint
Slopes: Coastal bluff
Env. Sen. Habitat: Not mapped
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Mapped scenic resource
Archeology: Not mapped

Seascape Beach Association

C/O King Management

2425 Porter Street, Ste. 15, Soquel CA 95073

831-475-9100 831-475-9101 *fax*

www.kingmanagement.net

November 21, 2023

Michael & Shireen Sheridan
14511 Chester Ave.
Saratoga, CA 95070

RE: 135 Via Concha - Architectural Review Application

Dear Michael & Shireen,

I am writing to inform you that the Architectural Review Committee (ARC), Seascape Beach Association, has reviewed your application. The committee has decided to provide you with a **conditional approval**.

The conditions are as follows:

1. The roof modifications will not exceed the 16' limit established by the California Coastal Commission. In the event that this measurement is breached you will be required to correct the roof to meet the approved height limit.
2. The ARC will require a copy of the County Planning Commission approval as well as the Coastal Commission approval.
3. Prior to the start of demolition and construction the ARC would like a timeline of your project.

Thank you for following the Seascape Beach architectural review processes! Please do not hesitate to contact me if you have any further questions.

On behalf of Seascape Beach Association,

Sam Jasso

Sam Jasso
Community Association Manager
King Management