



Staff Report to the Zoning Administrator

Application Number:
231393

Applicant: Robin McCarthy, Arch Studio

Owner: Gillian and John Montgomery

APN: 038-213-12

Site Address: 106 Beachgate Way, Aptos

Agenda Date: March 15, 2024

Agenda Item #: 3

Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing 974 square foot, two-bedroom single-family dwelling and a 245 square foot detached garage and construct a replacement 2,017 square foot four-bedroom dwelling with a 240 square foot detached garage.

Location: Property is located on the east side of Beachgate Way (106 Beachgate Way), approximately 70-feet north of the intersection of Beachgate Way and Park Drive in Seacliff, Aptos.

Permits Required: Requires a Coastal Development Permit, a Site Development Permit, and a Soils Report Review (REV231177).

Supervisory District: Supervisorial District 2 (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231393, based on the attached findings and conditions.

Project Description & Setting

The subject parcel is a flat, modestly sized lot of 4,095 square feet in the Seacliff Park neighborhood in Aptos. The lot is located in the middle of the block and is sandwiched between lots developed with contemporary 2-story homes. The proposed home is a four-bedroom home in the modern farmhouse style. While the proposed dwelling is twice as large as the existing home in square footage, its footprint closely matches that of the structure it is replacing.

The proposal to build a new residence requires the demolition of a Spanish Colonial Revival style single-family residence and detached garage, both built in 1925. Due to the age of these structures (over 50 years old), a third-party historic review, conducted to Department of Parks and Recreation (DPR) standards, has been required. The submitted study determined that due to the home's lack of association to historic personages and the evolution of the surrounding neighborhood to homes built after 1973, the existing structures were not a contributing historic resource and would not qualify for federal, state, or county inventory of historic resources.

A Coastal Development Permit is required because the proposed development involves demolition of an existing dwelling and construction of a replacement home on a parcel within the Coastal Zone, outside the Residential Exclusion Area, and within the Coastal Appeals Jurisdiction.

The project proposes a new garage set partially within the side and rear setbacks which mandates a Site Development Permit, pursuant to Santa Cruz County Code Section 13.10.323(E)(6)(f)(iii).

Zoning & General Plan Consistency

The subject property is a 4,095 square foot (.094 acre) lot, located in the R-1-4 residential zone district. The proposed single-family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation, which allows residential development at densities equivalent to 4,000 to 6,000 square feet of net developable parcel area per unit.

Table 1. R-1-4 Site and Development Standards for the Primary Dwelling

Standard	Required	Existing	Proposed
Front yard setback	15 feet	5.5 feet	15 feet
Side yard setback	5 feet / 5 feet	5 feet / 15 feet	5 feet / 8 feet
Back yard setback	15 feet	33 feet	15 feet
Height	28 feet	12 feet	28 feet
Floor Area Ratio	.5:1 (2,047 SF)	.3:1 (1,219 SF)	.49:1 (2,017 SF)
Lot Coverage	40% (1,638 SF)	30% (1,219 SF)	40% (1,624 SF)

The proposed 240 square foot garage has a comparable footprint to the original structure and sited further from the rear and side property lines than the existing garage, however due to the 10-foot separation between structures required by Santa Cruz County Code (SCCC) 13.10.323(E)(6)(c), the proposed garage will still encroach into the rear and side setbacks. The parcel is less than 10,000 square feet; therefore, the proposed garage qualifies for an exception allowing a setback reduction up to zero feet from the rear or interior side property line, pursuant to SCCC 13.10.323(E)(6)(f)(iii). The required findings are addressed in Exhibit B.

Design Review

The proposed single-family residence complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as a small footprint and greater front yard setback than the existing residence to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Local Coastal Program Consistency

The proposed single-family residence is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access

to the beach, ocean, or other nearby body of water.

Public Outreach/Public Comment

Public noticing was conducted via required signage posted at the site and through direct mailings to residents within 300 feet of subject parcel. One comment regarding the height and footprint of the proposed structure was received in person at the front counter. The concern was alleviated by reviewing the plans with the neighbor.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVE** Application Number 231393, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Historic Evaluation / CA Department of Parks and Recreation (DPR 523A)
- G. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231393
Assessor Parcel Number: 038-213-12
Project Location: 106 Beachgate Way, Aptos

Project Description: Proposal to demolish an existing 974 square foot, two-bedroom single-family dwelling and construct a replacement 2,017 square foot four-bedroom dwelling with a 240 square foot detached garage.

Person or Agency Proposing Project: Robin McCarthy, Arch Studio, Inc.

Contact Phone Number: (408) 859-8723

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 2 – Replacement of Reconstruction (Section 15302)
Class 3 – New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Project proposes the construction of a replacement single-family dwelling and detached garage on a parcel zoned for residential uses, where the new structures would have same purpose and capacity as the original.

In addition, none of the conditions described in Section 15300.2 apply to this project.



Rebecca Rockom, Project Planner

Date: March 5, 2024

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

Single-family residential use is a principal permitted use in Zone R-1-4 (General Plan designation R-UM) and the proposed conforms with the residential density allowed in the Urban Medium designation (7.3 – 10.8 units per acre). The Local Coastal Program describes the intent of this area is to provide medium density residential development in areas within the Urban Services Line (USL) served by a full range of urban services. The proposed home with connections to public water and sewer conforms to the allowable residential density and is consistent with the LCP Land Use Plan, therefore this finding can be made.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top. The required design criteria (Visual Compatibility, Minimum Site Disturbance, Ridgeline Development, Landscaping, and Viewshed) are addressed in the following Design Review findings.

A 2-story modern farmhouse style house is proposed to replace a single-story Spanish Revival style stucco home built in 1925 and located in the center of the block on Beachgate Way. The surrounding homes in this Seacliff neighborhood vary from mid-century Ranch style homes to contemporary homes built within the last 30 years. The majority of nearby homes are 2 stories and tend to occupy a larger footprint on comparably sized lots (each approximately 4000 SF). The mass and bulk of the future home match the scale of the surrounding homes.

Characteristics of the modern farmhouse style include a front porch, board and batten siding, two over two windows, and a seamed metal roof. These qualities integrate well with both traditional and modern homes. The exteriors of the adjacent homes vary from stucco to wood siding; roofing materials range from terracotta tile to asphalt composite shingles. The simple lines and materials of the modern farmhouse style home fit in with the mix of exterior materials seen nearby. The architecture of the proposed home mirrors many of the nearby homes with a gabled roofline, covered front porch/stoop, and a detached recessed garage. While the loss of a charming Spanish style home may impact the neighborhood, the farmhouse style would blend well with the architectural character of nearby homes and visual compatibility of the proposed home can be established.

The parcel has had a single-family residence on site for almost 100 years; a new home to replace the existing residence is not expected to further disturb the site. Minimal grading is required to

build a new single-family dwelling due to the natural level area of the site, and the replacement dwelling is proposed in a similar location as that of the existing home. Two citrus trees, each approximately 3 inches in diameter and less than 6 feet in height, are within the proposed building site and must be removed. All other (6) trees on the parcel are to be preserved. The finding for minimal site disturbance can be made.

The proposed development is to replace the existing single-story home with a 2-story residence. The new home will be sited squarely in the center of the parcel and the upper floor, as designed, neither cantilevers over the lower floor nor crowds the neighboring homes. The parcel is not located within a significant public viewshed. Due to the surrounding 2-story homes, neither the existing home, nor the proposed home, is or will be visible from a park trail or the public beach area. The proposed home will not negatively impact a significant public viewshed or alter the community character.

This parcel is not located on or near an exposed ridgeline, therefore the proposal does not alter the existing cliff-top silhouette as viewed from the beach or Rio Del Mar lowlands.

This proposal does not include a home over 5,000 square feet, and is not located on a sensitive site, nor within a coastal special community, therefore this Coastal Development Permit does not require a landscape plan.

The development of the subject property is limited due to parcel size and zoning setbacks. The existing home is legal non-conforming to the front setback and the new home will comply with the required 15-foot front setback by being set farther from the right-of-way. The lot is not in a designated scenic area, is not adjacent or near a designated scenic road. The existing home does not have an ocean view, nor can it be seen from the public beach areas. While the proposed home is twice as tall as the original structure, the parcel is surrounded by numerous 2-story homes, including the homes directly across the street and on either side of the replacement residence. The proposed home does not significantly alter any scenic views from the public right of way. The proposed upper floor is in line vertically with the first floor and does not loom over other parcels or add significant structural bulk to the skyline. As such the proposed home will not impede any public viewshed or negatively impact the existing community character.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public access to Seacliff State Beach is available via a path/stair at the south end of Beachgate Way.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4 single family residential zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made in that the project site is on Beachgate Way, not located between the shoreline and the first public road. Consequently, the proposed single-family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single-family residence and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-4 (Single-Family Residential) zone district as the primary use of the property will be one primary single-family dwelling that meets all current site standards for the zone district.

This parcel is less than $\frac{1}{4}$ acre (.094 acre / 4,095 SF). The demolition of the existing home and affiliated necessary land clearing of less than $\frac{1}{4}$ acres is consistent with SCC Code 13.20.075 (Land clearing exclusions).

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

The proposed single-family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single-family dwelling will not adversely shade adjacent properties and will meet current setbacks for the zone district.

The proposed single-family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single-family dwelling will comply with the site standards for the R1-4 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family dwelling is to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase and will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single-family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single-family dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

7. The garage will not be detrimental or injurious to property or improvements in the neighborhood. The garage will not unreasonably infringe on adequate light, air, or privacy of adjacent residences.

The subject parcel is less than 10,000 square feet and therefore qualifies for the allowance for a garage with zero setback, pursuant to SCCC 13.10.323(E)(6)(f)(iii). The proposed 240 square foot single-car garage is appropriately sized for this parcel at 13 feet in height. The garage provides covered parking for one of the three (3) required parking spaces.

While 3 feet taller than the existing garage, the proposed garage has a slightly smaller footprint (240 square feet) relative to the existing garage (245 square feet) and is set back an additional 8 inches farther from the side property line and 2.5 feet farther from the rear property line than the existing garage. The proposed garage maintains the existing level of privacy to the adjacent residences and allows more light and air into the neighboring parcels than the current garage. The additional findings for a garage with zero setback can be made.

Conditions of Approval

Exhibit D: Project plans, prepared by Robin McCarthy with Arch Studio, Inc., dated September 6, 2023, and modified on January 5, 2024.

- I. This permit authorizes the construction of a 2,017 square foot 2-story residence as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans. Building permit application plans shall clearly represent all proposed grading, including any overexcavation and recompaction as recommended by the geotechnical engineer.

4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
 5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The application submittal shall adhere to the County Design Criteria (CDC). Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 2. The applicant shall submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual, available here: <http://www.sccoplanning.com/Portals/2/County/Planning/env/ConstructionStormwaterBMPManual-Oct%20312011version.pdf>.
 3. The applicant shall submit a drainage plan that complies with the requirements set forth in 2022 California Building Code (CBC) Section 1804.4 and the recommendations of the soils engineer.
- C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- E. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
1. Building permit application plans shall reference the soils report and update(s), include contact information for the geotechnical engineer, and include a statement that the project shall conform to the recommendations of the geotechnical engineer.
 2. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The plan review form shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the soils report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report. The author of the report shall sign

and stamp the completed form. An electronic copy of this form may be found on our website: www.sccoplanning.com, under “Environmental”, “Geology & Soils”, “Assistance & Forms”, “Soils Engineer Plan Review Form”.

- F. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per square foot for single family dwellings, ***based on additional habitable floor area.***
 - G. Pay the current fees Childcare mitigation. Currently, these fees are \$0.85 per square foot for single family dwellings, ***based on additional habitable floor area.***
 - H. Pay the current fees for Roadside and Transportation improvements for adding additional bedrooms. Currently, these combined fees are \$2,000 per additional bedroom, up to 3 bedrooms.
 - I. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 2,500 square feet is \$3 per square foot.
 - J. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of-way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080 shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to

and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

PROJECT DIRECTORY		PROJECT DATA		SHEET INDEX									
<div><div>OWNER: JOHN AND GILLIAN MONTGOMERY 1275 GLEN EYRIE AVENUE SAN JOSE, CA 95125 E-MAIL: JOHN@MONTY5.COM AND GILLIAN@DPSHOW.COM PHONE: 408.838.4317</div><div>LAND SURVEYOR: ALAN BRODIE FRENCH LIC. L9301 LAND SURVEYOR ALPHA LAND SURVEYS, INC. 4444 SCOTT'S VALLEY DRIVE, #7 SCOTT'S VALLEY, CA 95066 PH. (831) 438-4453</div><div>ARCHITECT: ROBIN MCCARTHY, AIA, CGBP ARCHITECT CA, LIC. C29767 1155 MERIDIAN AVE., SUITE 210 SAN JOSE, CA 95125 PH: (408) 859-8723 EMAIL: robin@archstudioinc.com</div><div>GEOTECHNICAL ENGINEER: REBECCA L. DEES, GE 2623 DEES & ASSOCIATES, INC 501 MISSION ST., SUITE 8A SANTA CRUZ, CA 95060 (831) 427-1770 beckyb@deesandassociates.com</div></div>		<div>PROJECT ADDRESS & ZONING: ADDRESS: 106 BEACHGATE WAY, APTOS, CA 95003 APN#: 038-21-312 ZONING: R-1-4 DISTRICT PROJECT DESCRIPTION: 1. DEMOLITION OF AN EXISTING SINGLE-STORY RESIDENCE AND SINGLE-CAR DETACHED PARKING GARAGE, AND ALL PAVING & LANDSCAPE EXCEPT TREES AS NOTED ON SITE PLAN. 2. CONSTRUCTION OF A NEW 2-STORY RESIDENCE WITH DETACHED 1-CAR PARKING GARAGE WITH NEW PAVING & LANDSCAPE. OTHER INFO.: FIRE SPRINKLERS REQUIRED: YES BUILDING CODE INFORMATION : OCCUPANCY TYPE: R-3 / U CONSTRUCTION TYPE: V-B STORIES: TWO-STORY TOTAL NEW FLOOR AREA: 2,018.30 + 240 GARAGE (SQ. FT.)</div> <div>ZONING REQUIREMENTS: MINIMUM LOT SIZE: 5,000 SQ. FT. MINIMUM SITE WIDTH: 35 FT. SITE FRONTAGE: 35 FT. EXISTING LOT SIZE: 4,094 SQ. FT. SETBACKS FOR MAIN RESIDENCE: FRONT: 15 FT. SIDES: 15 FT., 8 FT. REAR: 15 FT. SETBACKS FOR GARAGE: (50% REDUCTION TO SLIDE & REAR ALLOWED) SIDE: 2.5 FT. REAR: 7.5 FT. MAXIMUM FLOOR AREA RATIO (F.A.R.): 5:1 = 2,047 SF MAX. MAXIMUM PARCEL COVERAGE: 40% 4,094 * 0.40 = 1,637.60 SF MAXIMUM ALLOWED MAXIMUM HEIGHT: 28 FT., 2-STORIES MAX, 13FT (DETACHED GARAGE)</div> <div>FLOOR AREA CALCULATIONS: EXISTING FLOOR AREA (SQ. FT.) : MAIN FLOOR: 974 SF COVERED FRONT PORCH: 31 SF GARAGE FLOOR AREA: 245 SF PROPOSED FLOOR AREA (SQ. FT.) : MAIN FLOOR: 1,039.45 SF UPPER FLOOR: 978.85 SF 1-CAR GARAGE: 240.00 SF GARAGE CREDIT: (225 SF CREDIT ALLOWED) TOTAL FLOOR AREA: 2,033.30 SF FAR: 2,017.07 SF < 2,047 SF MAX* *FAR BREAKDOWN ON SHEET A3-3 LOT COVERAGE CALCULATIONS: LOT COVERAGE (SQ. FT.) : BUILDING FOOTPRINT 1,039.45 SF GARAGE: 240.00 SF PORCHES / PATIOS: 344.06 SF TOTAL: 1,623.51 SF LOT COVERAGE: 1,623.51 SF < 1,637.60 SF MAX</div>		<div>ARCHITECTURAL SET CS-1 COVER SHEET A1-1 PROPOSED SITE PLAN & LOT COVERAGE CALCULATIONS A1-2 DEMOLITION SITE PLAN A2-1 DEMOLITION FLOOR & ROOF PLAN A2-2 DEMOLITION ELEVATIONS A2-3 DEMOLITION GARAGE PLANS A3-1 PROPOSED FLOOR PLANS A3-2 PROPOSED DETACHED GARAGE PLANS A3-3 FLOOR AREA CALCULATIONS A4-1 PROPOSED ROOF PLAN A5-1 PROPOSED EXTERIOR ELEVATIONS A5-2 PROPOSED EXTERIOR ELEVATIONS A5-3 PERSPECTIVE RENDERINGS A6-1 BUILDING SECTIONS SURVEY T-1 TOPOGRAPHIC MAP</div>									
LEGEND		RENDERING		GENERAL NOTES									
<div><div><div><div></div><div>(N) FULL-HEIGHT WALL</div></div><div><div></div><div>(N) PARTIAL HEIGHT WALL</div></div><div><div></div><div>(E) WALL TO REMAIN</div></div><div><div></div><div>(E) WALL TO BE REMOVED</div></div><div><div></div><div>SHEAR WALL</div></div><div><div><div>1</div></div><div>DOOR SYMBOL, SEE SCHEDULE</div></div><div><div><div>2</div></div><div>WINDOW SYMBOL AND SKYLIGHT SYMBOL, SEE SCHEDULE</div></div><div><div><div>9</div><div>A2</div></div><div>DETAIL NUMBER SHEET NUMBER</div></div><div><div><div>A</div><div>A2</div></div><div>SECTION LETTER SHEET NUMBER</div></div><div><div><div>X</div></div><div>SPECIFIC OR KEY NOTE</div></div><div><div><div>OFFICE EL. + X'-X" CARPET</div><div>ROOM NAME ROOM FINISH FLOOR ELEVATION ROOM FINISH FLOORING</div></div><div><div><div>41</div><div>32</div></div><div>INTERIOR ELEVATION IDENTIFICATION</div></div><div><div><div></div></div><div>REVISION</div></div><div><div><div></div></div><div>CENTER LINE</div></div><div><div><div></div></div><div>DATUM LINE</div></div></div></div><div><div>VICINITY MAP</div><div></div></div></div>		<div></div> <div><div>PERSPECTIVE FROM BEACHGATE WAY</div><div>EXHIBIT D</div></div>		<div><div>1. ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY DRAWINGS, SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS.</div><div>2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS: <ul style="list-style-type: none">CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)CALIFORNIA PLUMBING CODE, 2022 EDITIONCALIFORNIA MECHANICAL CODE, 2022 EDITIONCALIFORNIA ELECTRICAL CODE, 2022 EDITIONCALIFORNIA EXISTING BUILDING CODE 2022 EDITIONCALIFORNIA FIRE CODE 2022 EDITIONINTERNATIONAL EXISTING BUILDING CODE 2022 EDITIONCALIFORNIA RESIDENTIAL CODE, 2022 EDITIONCALIFORNIA GREEN BUILDING STANDARDS, (CALGREEN) 2022 EDITION2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24</div><div>3. STRUCTURAL ENGINEER SHALL FIELD INSPECT FOUNDATION FOOTINGS AND WALLS PRIOR TO CONCRETE POUR AND ALL SHEAR WALLS, HOLD-DOWNS AND FRAMING.</div><div>4. ALL TELEPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY REQUIREMENTS.</div><div>5. ANY OMISSION, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</div><div>6. ALL EQUIPMENT SHALL BE LISTED BY THE APPROVED LISTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS.</div></div>									
				<div><div>NEW 2-STORY CONSTRUCTION FOR:</div><div>MONTGOMERY RESIDENCE</div><div>106 BEACHGATE WAY, APTOS, CA 95003</div><div>APN: 038-21-312</div></div> <div><table><tr><th colspan="2">SUBMITTALS:</th></tr><tr><th>Date</th><th>Description</th></tr><tr><td>9-06-23</td><td>DISCRETIONARY REVIEW</td></tr><tr><td>01-05-24</td><td>PC RESPONSE</td></tr></table><div>COVER SHEET, PROJECT INFORMATION</div><div><div>DATE: 09-06-23</div><div>SCALE: SEE DRAWINGS</div></div><div>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ROBIN MCCARTHY ARCH STUDIO, INC. AND MAY NOT BE DUPLICATED WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY</div><div>CS-1</div></div>		SUBMITTALS:		Date	Description	9-06-23	DISCRETIONARY REVIEW	01-05-24	PC RESPONSE
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ROBIN MCCARTHY, AIA
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NEW 2-STORY CONSTRUCTION FOR:
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106 BEACHGATE WAY, APTOS, CA 95003
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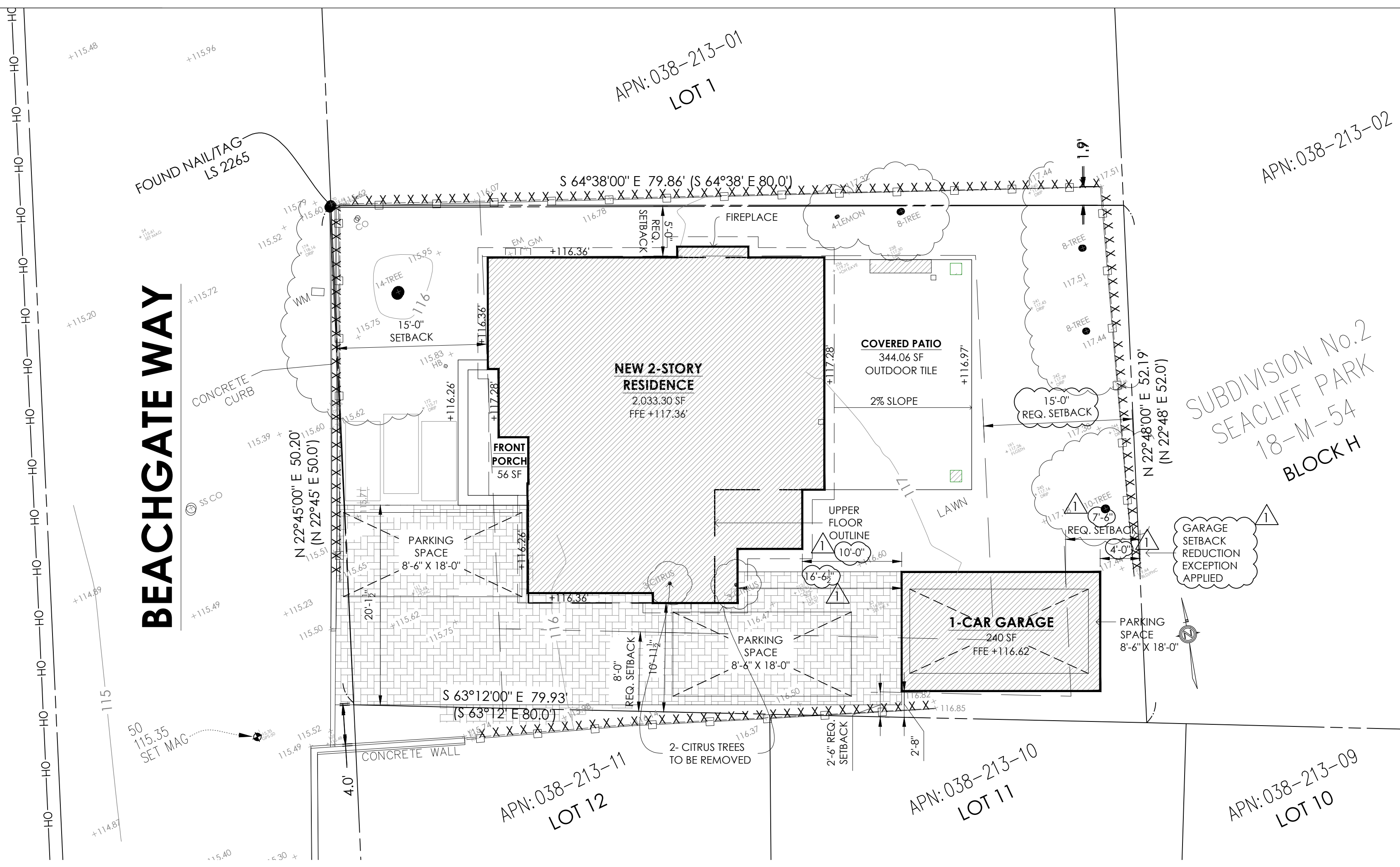
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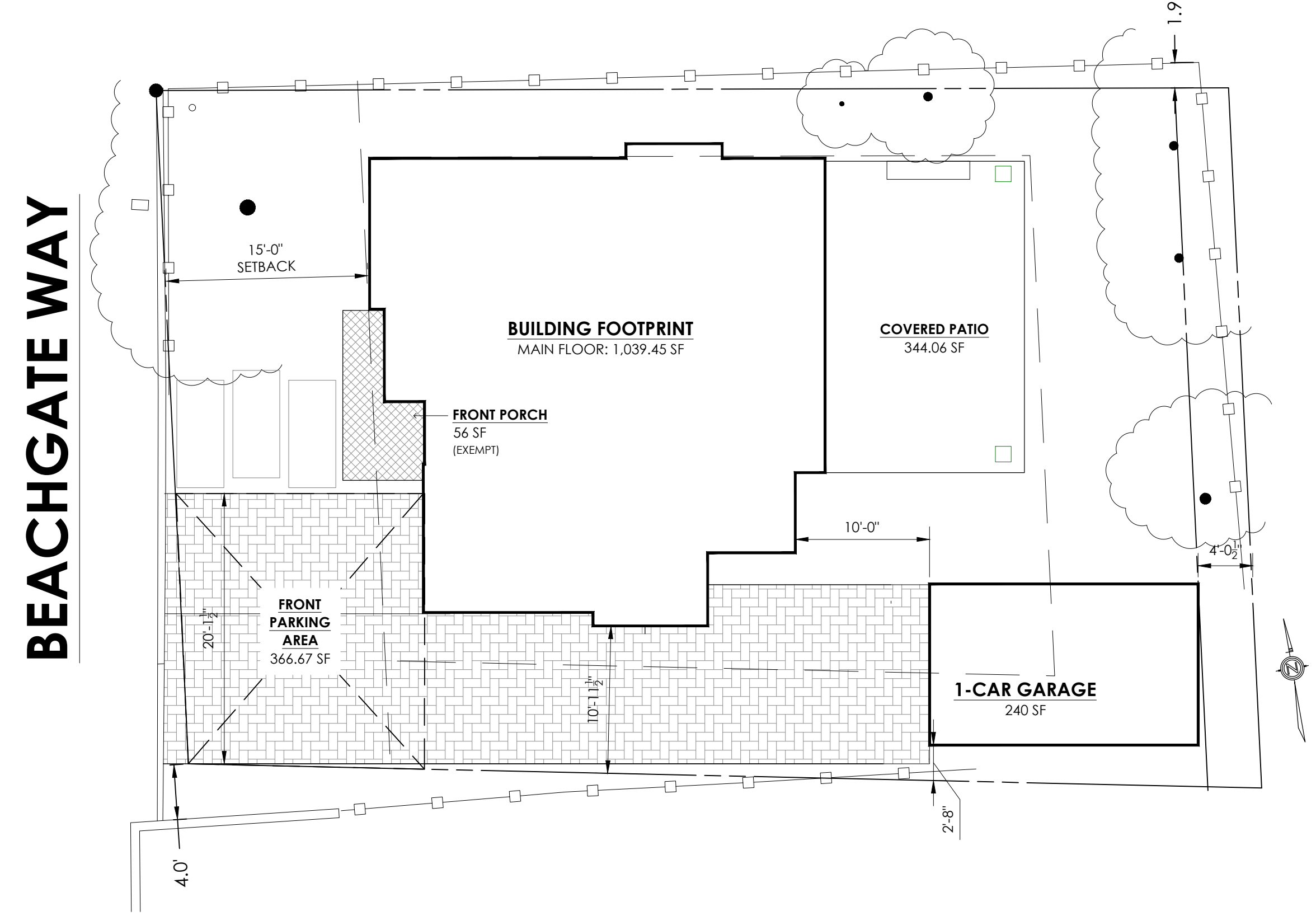
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CS-1



PROPOSED SITE PLAN

PROPOSED LOT COVERAGE CALCULATIONS:	
LOT COVERAGE (SQ. FT.):	
BUILDING FOOTPRINT	1,039.45 SF
GARAGE:	240.00 SF
COVERED PORCHES / PATIOS:	344.06 SF
TOTAL:	1,623.51 SF
MAXIMUM PARCEL COVERAGE: 40%	
4,094 * 0.40 = 1,637.60 SF MAXIMUM ALLOWED	
LOT COVERAGE: 1,623.51 SF < 1,637.60 SF MAX	
PARKING AREA CALCULATION (SQ. FT.):	
FRONT PARKING AREA MAXIMUM =	50%
FRONT YARD SETBACK:	750.00 SF
FRONT YARD PARKING AREA:	366.67 SF
366.67 SF / 750.00 SF = 48.8% (UNDER MAX ALLOWED)	



LOT COVERAGE PLAN

SITE PLANS

SITE PLAN GENERAL NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL, IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE. A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (C8C 1804.4).
3. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
4. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
5. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
6. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
7. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
8. TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
9. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.
10. INTERIM CONTROL MEASURES, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING SHALL BE INCLUDED. INTERIM CONTROL METHOD SHALL INCLUDE, BUT ARE NOT LIMITED TO SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS.
11. THE BUILDING SHALL HAVE THE ADDRESS AND BUILDING NUMBER IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS REQUIRED. SEE SHEET A5-1 ELEVATION NOTES FOR ADDITIONAL INFORMATION.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY.
13. ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED ONLY DURING THE HOURS OR 8:00AM TO 5:00PM MONDAY THROUGH FRIDAY, AND 10:00AM TO 5:00PM ON SATURDAY. NO CONSTRUCTION ACTIVITY OR RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE OF THE AFOREMENTIONED HOURS OR ON SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEARS DAY, 4TH OF JULY, LABOR DAY, THANKSGIVING AND CHRISTMAS DAY.

LANDSCAPE IRRIGATION NOTES:

ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A PERMANENT IRRIGATION SYSTEM FOR ALL USES. IRRIGATION SYSTEMS SHALL BE DESIGNED AND MAINTAINED TO PREVENT WATER WASTE (E.G. RUNOFF OR OVERSPRAY). IRRIGATION CONTROLLERS SHALL BE CAPABLE OF MULTIPLE PROGRAMMING AND INCORPORATE SENSORS TO OVERRIDE THE CALL FOR WATER DURING RAIN OR IF THE SOIL IS STILL MOIST. IRRIGATION CONTROLLERS AND BACKFLOW DEVICES SHALL BE SCREENED FROM PUBLIC VIEW. IRRIGATION SHALL ONLY OCCUR BETWEEN 8 P.M. AND 10 A.M. SEE WATER-EFFICIENT LANDSCAPING CHECKLIST FOR DETAILED REQUIREMENTS

PLANTING, SOIL MANAGEMENT AND WATER FEATURES

1. PLANT SELECTION AND INSTALLATION MUST BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURAL INDUSTRY PRACTICES. SEE LANDSCAPING RESOURCES HANDOUT. PROJECTS MAY BE REQUIRED TO PLANT A MINIMUM NUMBER AND SIZE OF TREES, SHRUBS, ETC.
2. PLANTS WITH SIMILAR WATER NEEDS MUST BE GROUPED IN THE SAME AREA ("HYDROZONE").
3. TALL FESCUE OR SIMILAR TURF REQUIRING LESS WATER MUST BE USED FOR TURF TURF MUST NOT BE PLANTED ON SLOPES GREATER THAN 10%.
4. A MINIMUM 2-IN. LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL.
5. SOIL AMENDMENTS (I.E. USE OF COMPOST) AND STRUCTURED SOIL SHALL BE INCORPORATED BASED ON WHAT IS APPROPRIATE FOR SELECTED PLANTS.
6. WATER FEATURES (I.E. FOUNTAINS) MUST HAVE A RECIRCULATING WATER SYSTEM AND USE RECYCLED WATER IF AVAILABLE. COVERS ARE STRONGLY RECOMMENDED FOR POOLS AND SPAS.

SITE DRAINAGE

1. SITE DRAINAGE SHALL NOT BE DIRECTED ACROSS ANY PROPERTY LINES.

PLANT MATERIAL:

1. PLANT MATERIAL SHALL HAVE A VARIETY OF SHRUBS, VINES, GROUND COVERS AND SHALL BE SIZED AND SPACED TO ACHIEVE IMMEDIATE EFFECT.
2. TURF SHALL BE TALL FESCUE OR SIMILAR TURF REQUIRED LESS WATER.



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106 BEACHGATE WAY, APTOS, CA 95003
APN: 038-21-312

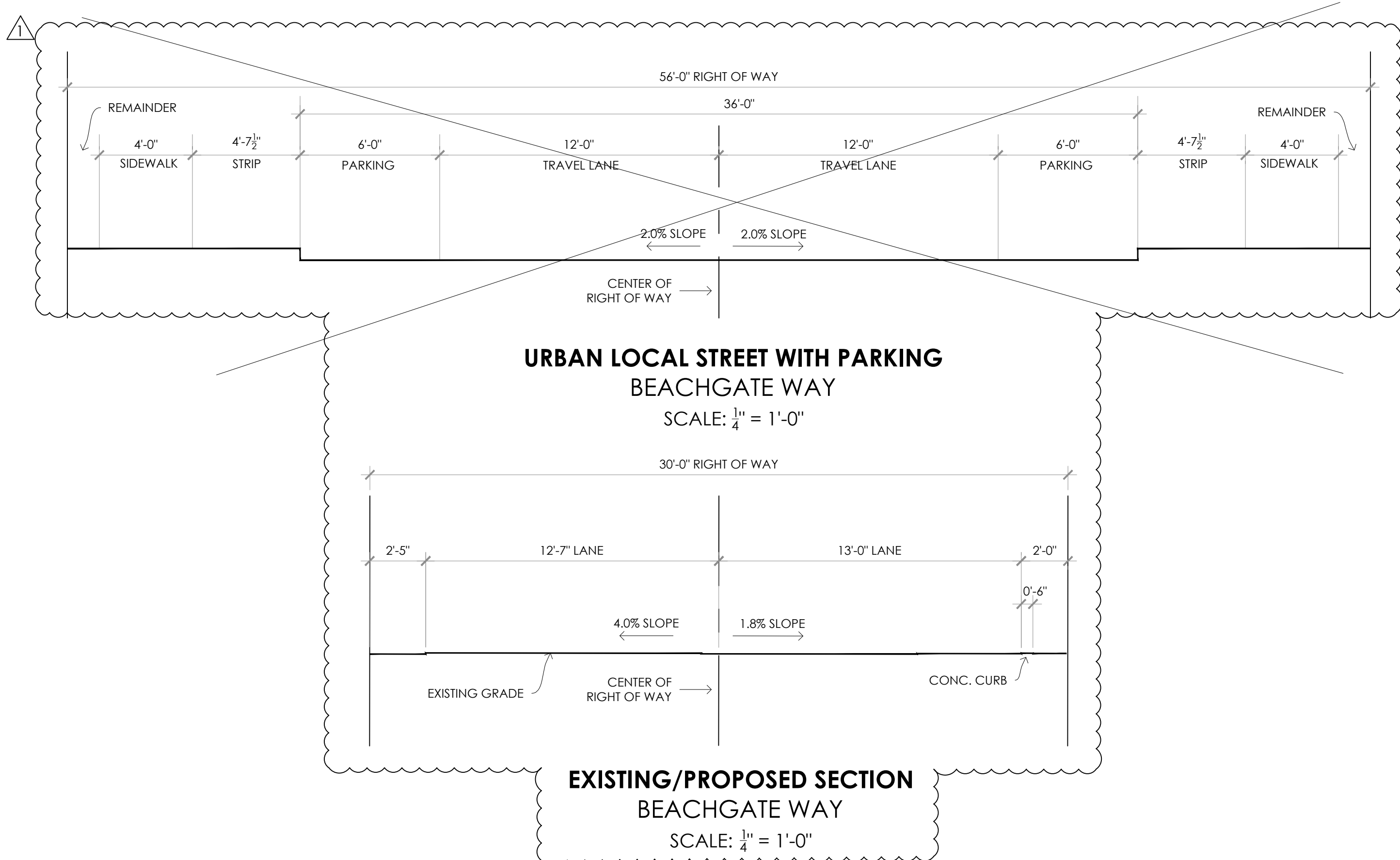
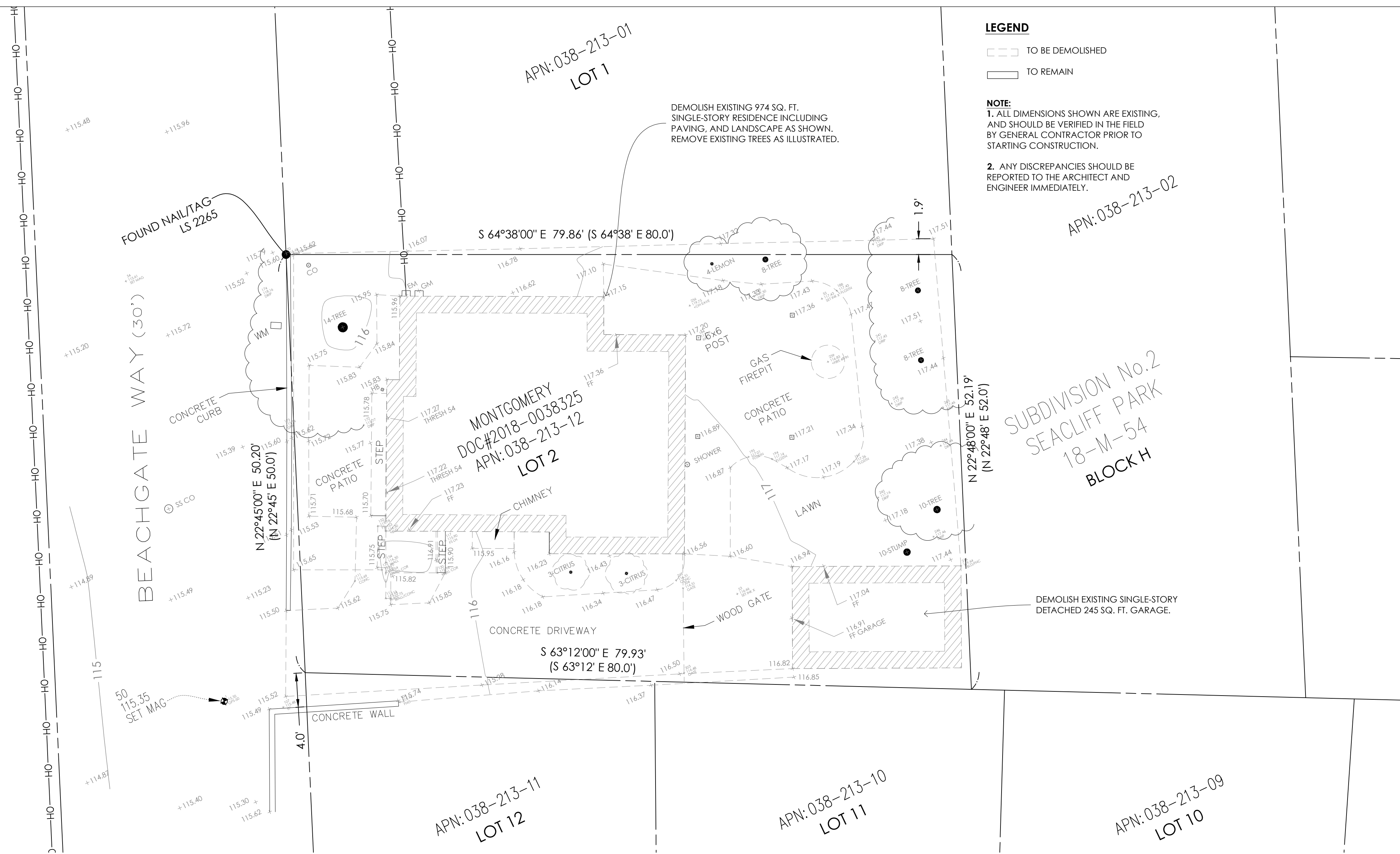
SUBMITTALS:	
Date	Description
9-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

SITE PLANS

DATE: 09-06-23	SCALE: 8" = 1'-0"
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A1-1



DEMOLITION SITE PLAN

SITE DEMOLITION GENERAL NOTES:

- EXISTING HOME, DETACHED GARAGE AND SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO CONCRETE WALKWAYS, PATIOS, DECKS, SHEDS, AND PLANTERS) SHALL BE COMPLETELY DEMOLISHED AND REMOVED FROM SITE. SEE PLAN FOR EXTENTS.
- CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF AND SECURE EXISTING GAS LINES TO PROPERTY.
- CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF EXISTING ELECTRICAL SERVICE TO BUILDING. SET UP NEW TEMPORARY POWER POLE AS REQUIRED TO PROVIDE POWER DURING CONSTRUCTION.
- CONTRACTOR TO SAFE OFF EXISTING WATER SERVICE AS REQUIRED TO UPGRADE WATER SERVICE TO NEW HOME. PROVIDE TEMPORARY WATER ACCESS AT SITE AS REQUIRED FOR USE DURING CONSTRUCTION.
- STOCKPILING OF MATERIALS IS NOT ALLOWED ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE PROMPTLY.
- PER THE MOST CURRENT CALGREEN BUILDING CODE, THE GENERAL CONTRACTOR SHALL SUBMIT A WASTE HANDLING PLAN AND RECYCLING DEBRIS FOR THE FOLLOWING:
 - RECYCLE 100% OF ASPHALT AND CONCRETE;
 - RECYCLE UNIVERSAL WASTE PROPERLY;
 - RECYCLE 65% OF THE REMAINING MATERIALS GENERATED BY THE PROJECT;
 - SEPARATE PLANT/TREE DEBRIS FROM OTHER MATERIAL, AND COMPOST 100% OF PLANT DEBRIS.
- ALL MATERIALS SHALL GO IN A CITY APPROVED DEBRIS BOX.
- IF CONTRACTOR USES SELF-HAUL USING THEIR OWN EQUIPMENT AND VEHICLES, THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL MATERIALS TO AN APPROVED RECYCLING FACILITY.
- CONTRACTOR SHALL SAVE ALL RECEIPTS FOR SUBMITTAL WITH A FINAL DIVERSION REPORT. FAILURE TO PROVIDE PROPER DOCUMENTATION MAY RESULT IN A \$1000/TON PENALTY FOR EACH TON NOT RECYCLED.
- CONTRACTOR TO HIRE A CIVIL ENGINEER OR SPECIAL INSPECTION AGENCY AS REQUIRED TO SUPERVISE THE COMPACTION OF THE SITE AREA LOCATED WITHIN THE BUILDABLE AREA OF THE NEW HOME. PROVIDE A COMPACTION REPORT AS REQUIRED.

DEMOLITION CALCULATIONS:

EXISTING LOT COVERAGE (SQ. FT.) :
BUILDING FOOTPRINT: 974 SF
GARAGE FOOTPRINT: 245 SF
TOTAL: 1,219 SF

EXISTING BUILDING LOT COVERAGE: 1,219 SF /

EXISTING IMPERVIOUS PATIO COVERAGE (SQ. FT.) :
REAR PATIO: 587 SF
DRIVEWAY: 820 SF
FRONT PATIO: 218 SF
TOTAL: 1,625 SF



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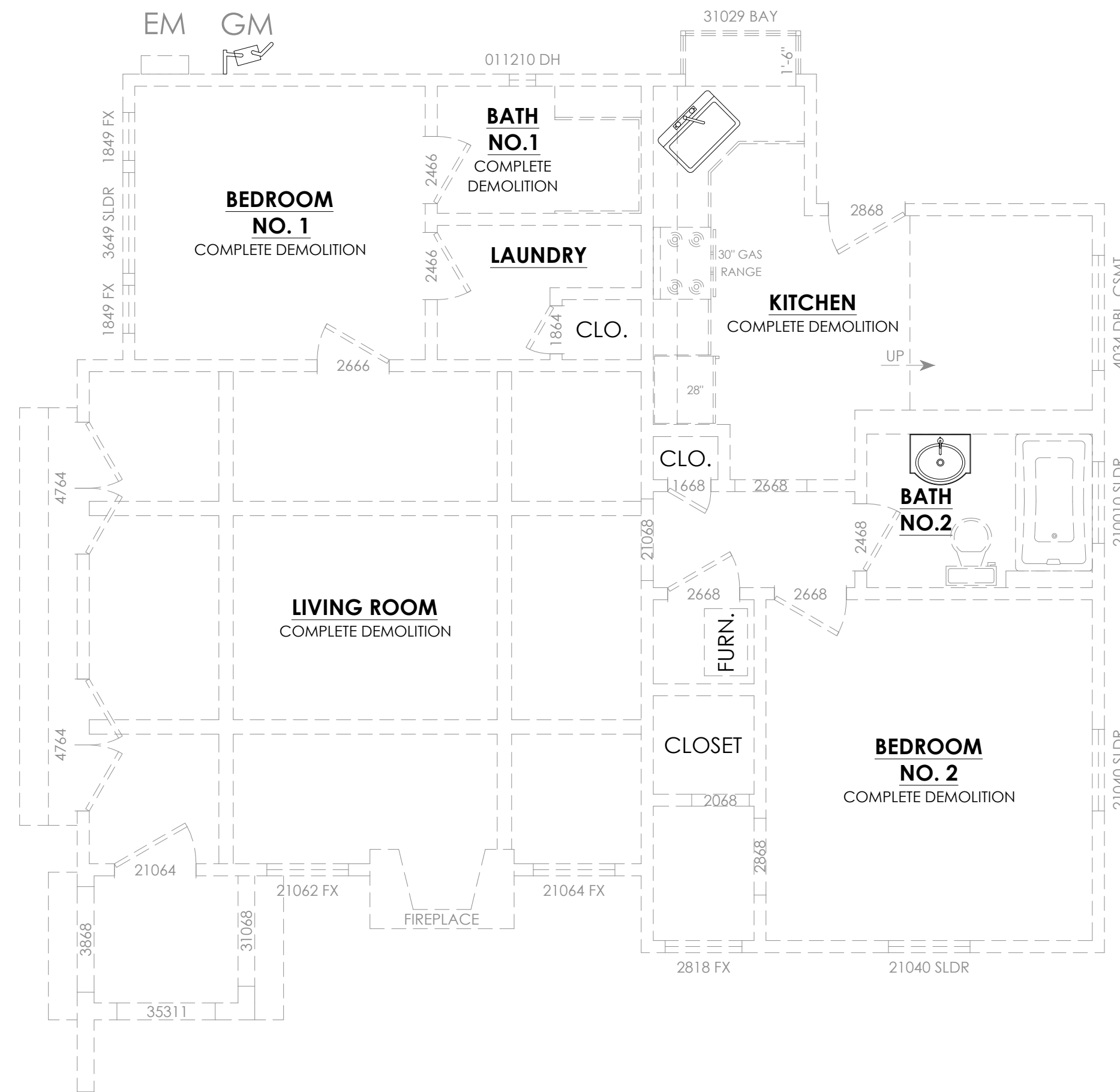
DEMOLITION SITE PLAN

DATE:
09-06-23

SCALE:
1/8" = 1'-0"

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A1-2



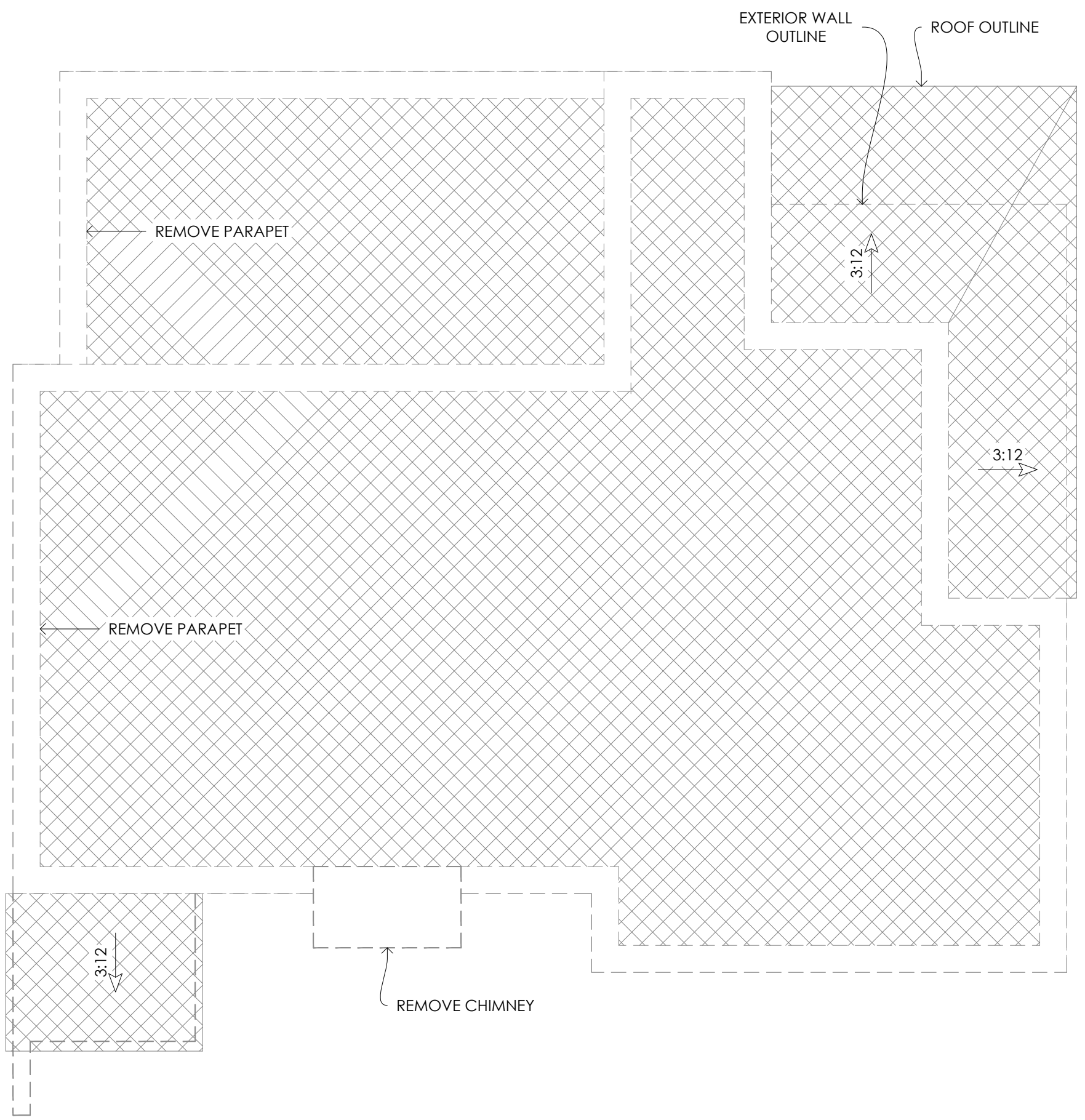
FLOOR PLAN
COMPLETE DEMOLITION
1/4" = 1'-0"

LEGEND
--- TO BE DEMOLISHED
--- TO REMAIN

NOTE:
1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.

LEGEND
--- EXISTING ROOF PLANE
--- REMOVED OR MODIFIED ROOF PLANE

NOTE:
1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.



ROOF PLAN
COMPLETE DEMOLITION
1/4" = 1'-0"

SCOPE OF WORK:

- 1. REMOVE EXTERIOR SINGLE-STORY RESIDENCE, DETACHED GARAGE, AND ALL SITE WORK, PAVING, LANDSCAPE, EXCEPT TREES AS NOTED NOT TO BE REMOVED.

GENERAL DEMOLITION NOTES:

- 1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER, ALLIED WASTE SERVICES.
- 2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND RECYCLING FROM THE PREMISES, USING THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
- 3. SEE CALGREEN RESIDENTIAL CHECKLIST AND NOTES, SHEET GN, FOR ADDITIONAL INFORMATION IN THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
- 4. PROVIDE PROPER SHORING & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
- 5. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES, AND TREE PROTECTION MEASURES AND PLAN.
- 6. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
- 7. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY.



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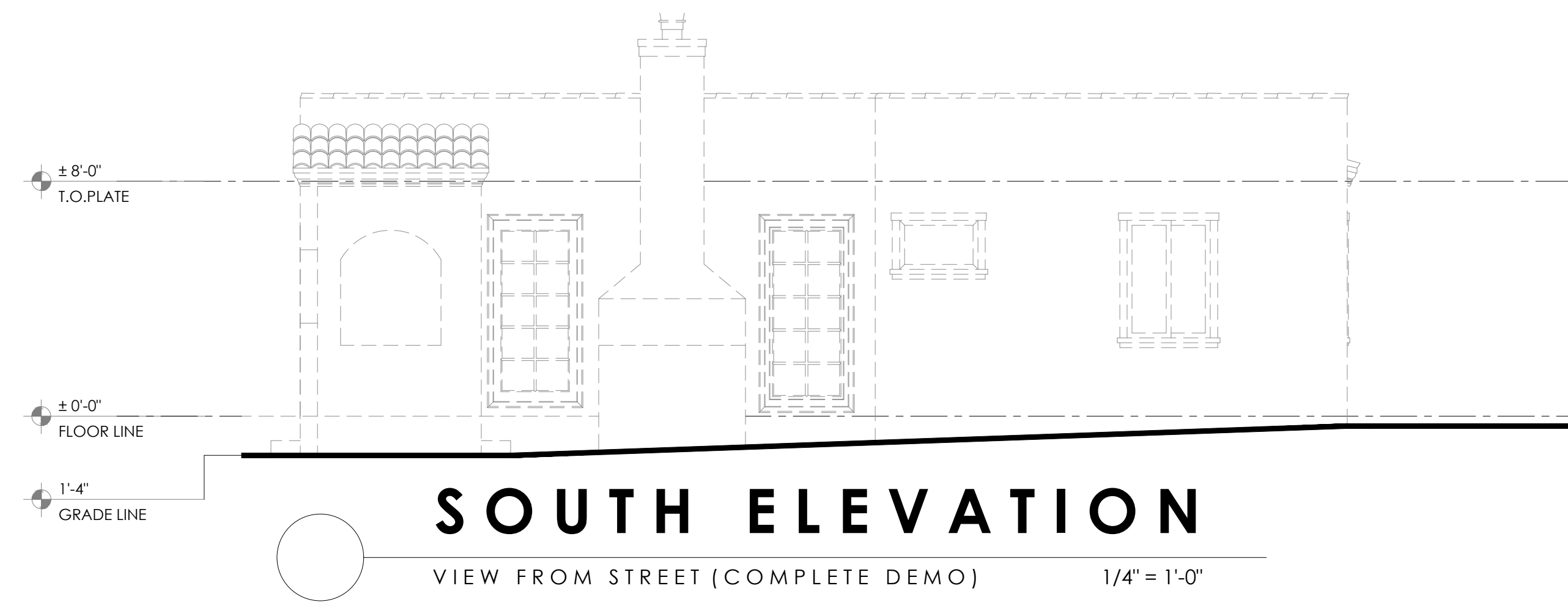
DEMOLITION FLOOR & ROOF PLAN

DATE: 09-06-23
SCALE: 1/4" = 1'-0"

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A2-1

DEMOLITION FLOOR & ROOF PLAN

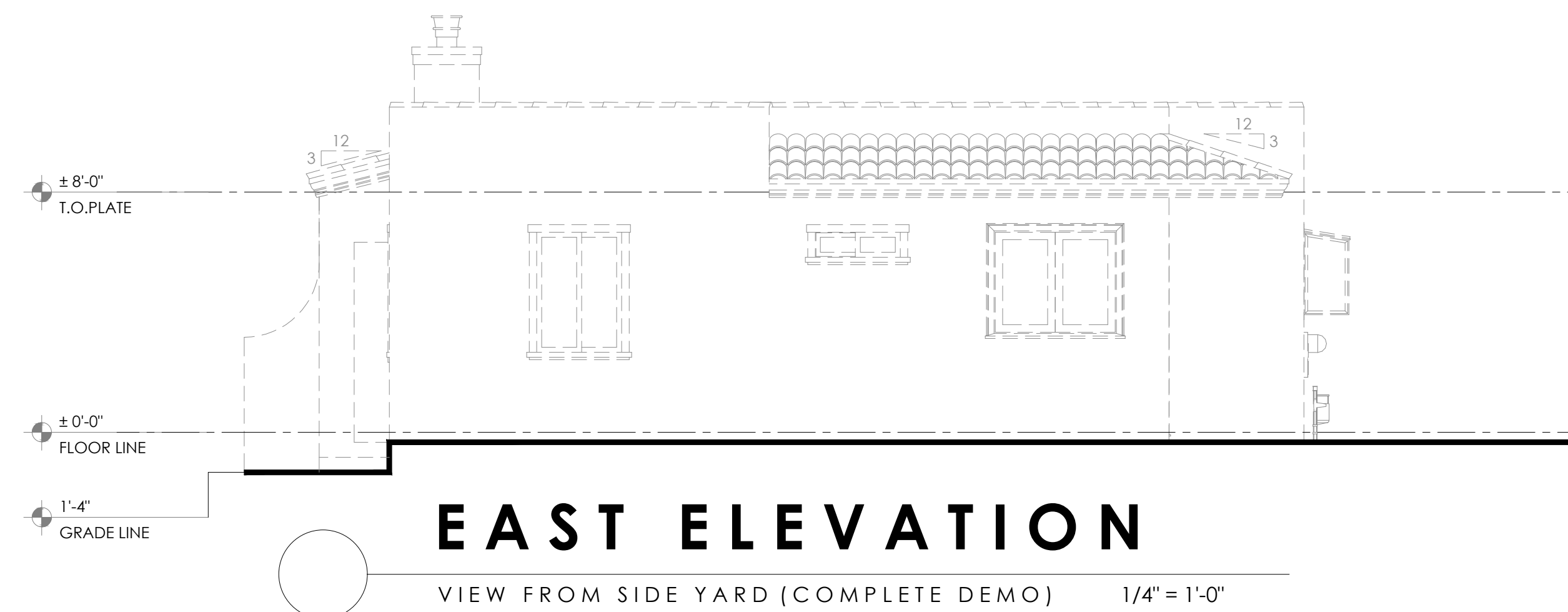
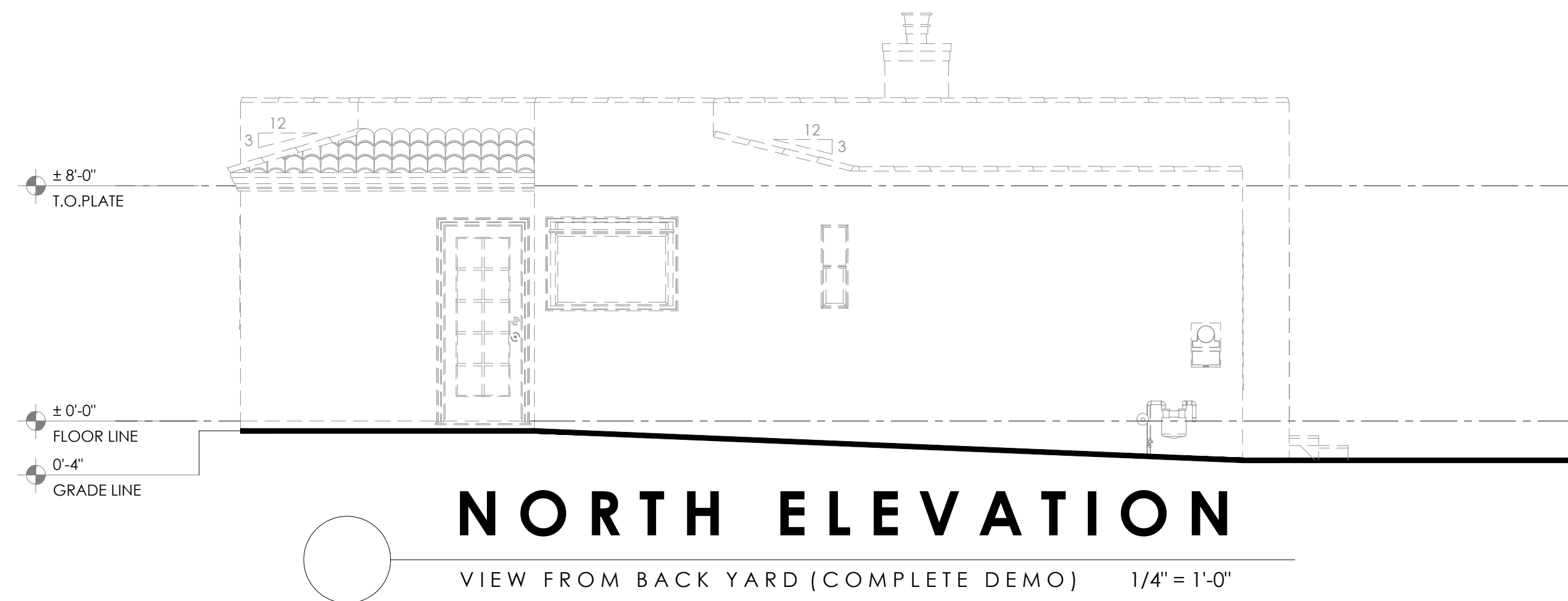
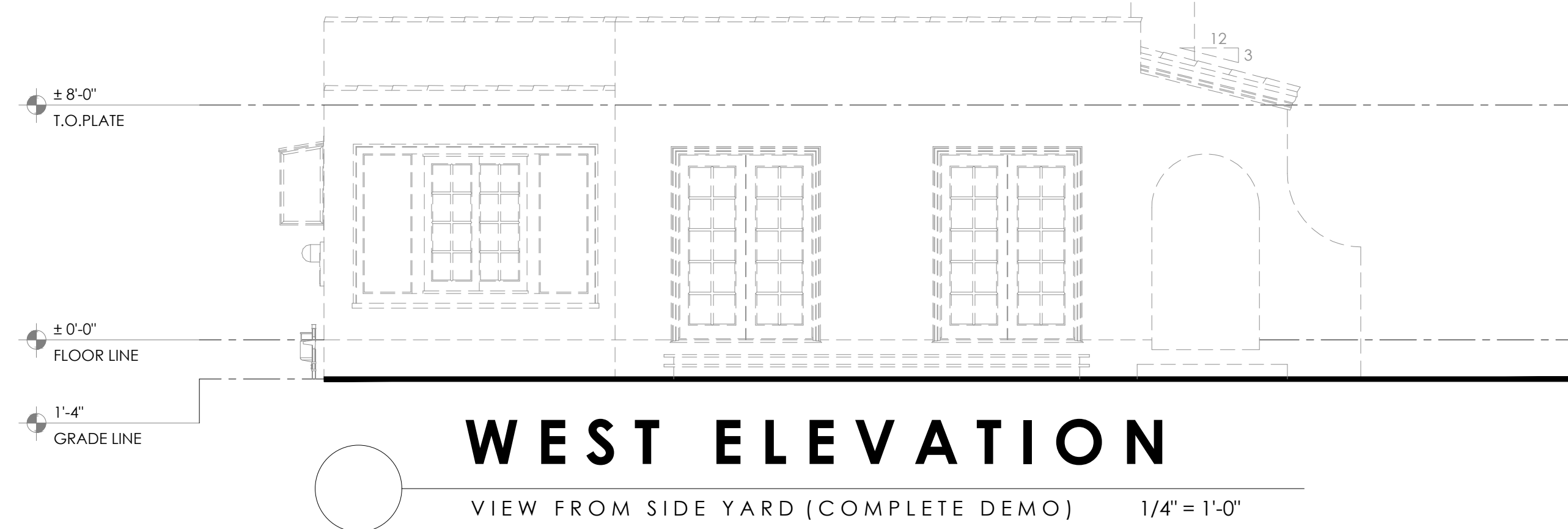


LEGEND

- TO BE DEMOLISHED
- TO REMAIN

NOTE:

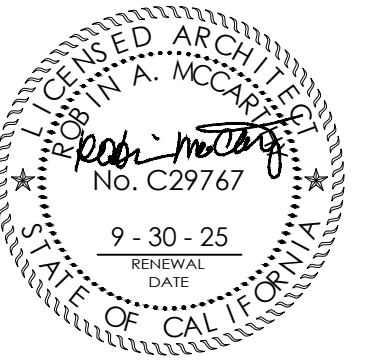
1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.



DEMOLITION ELEVATIONS



ROBIN MCCARTHY, AIA
ARCHITECT #C29767
1155 MERIDIAN AVE. #210
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:
MONTGOMERY RESIDENCE
106 BEACHGATE WAY, APTOS, CA 95003
APN: 038-21-312

SUBMITTALS:	
Date	Description
9-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

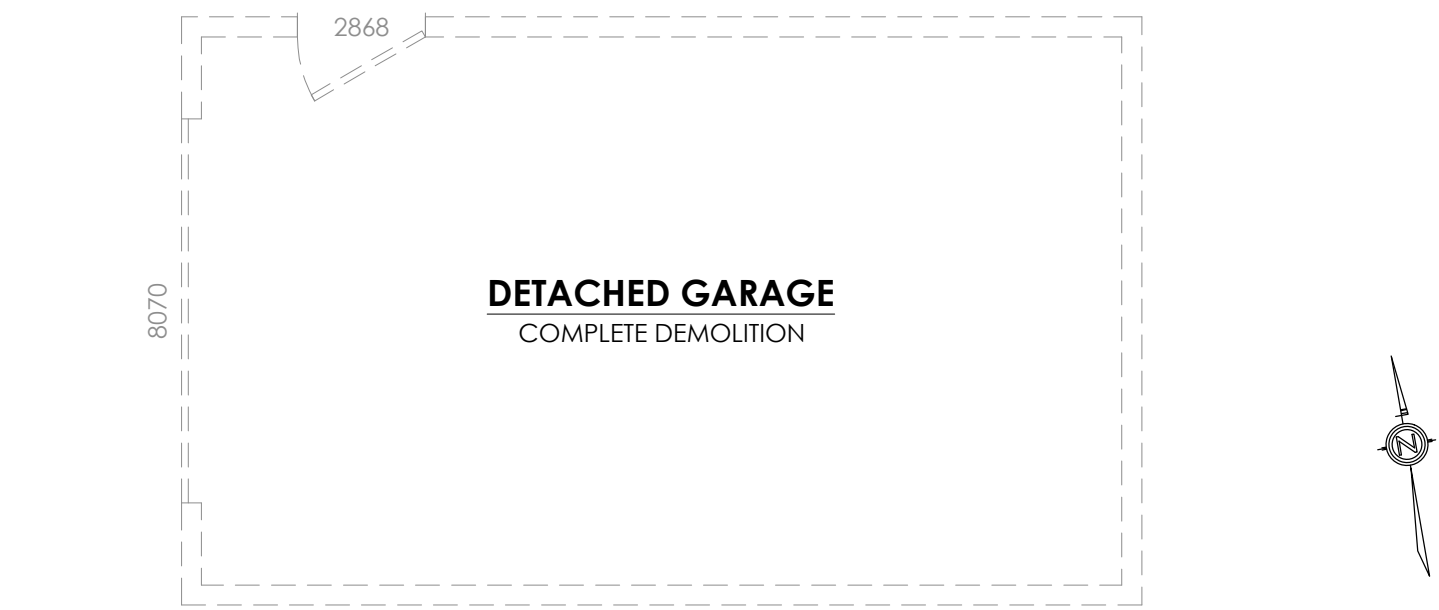
DEMOLITION ELEVATIONS

DATE:
09-06-23

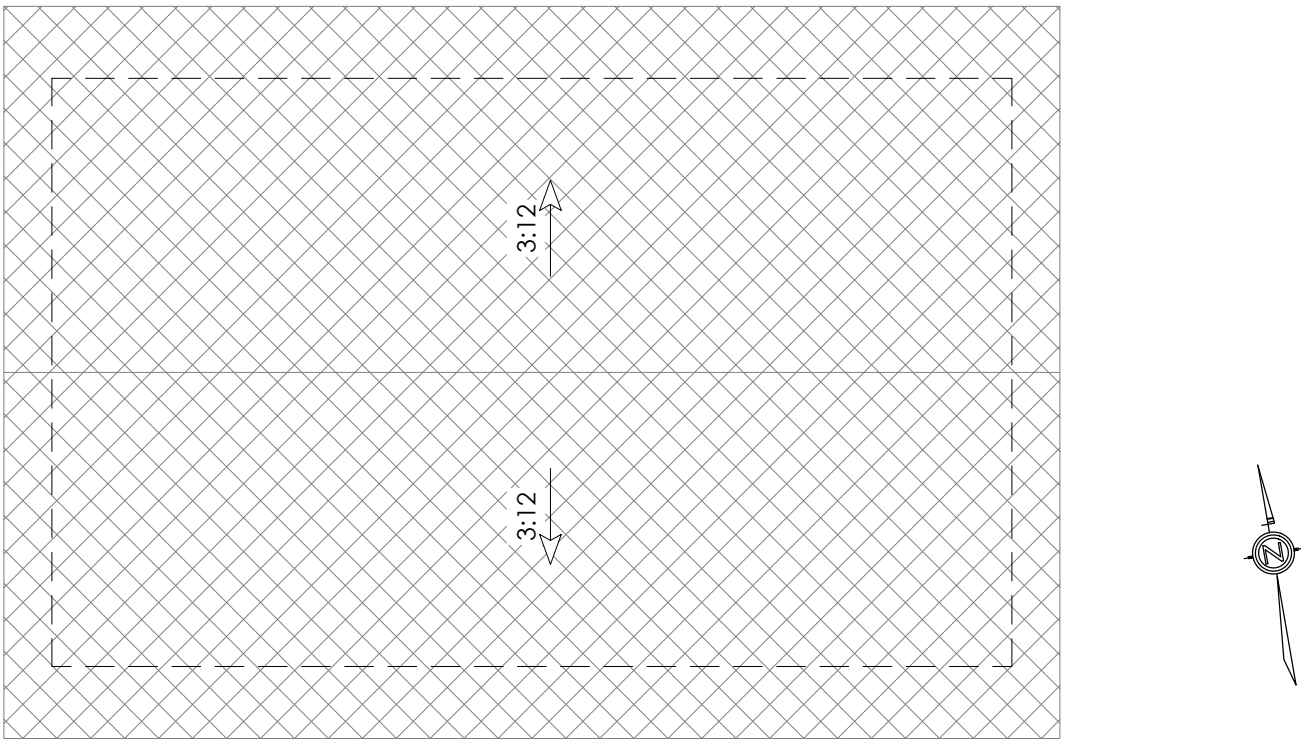
SCALE:
1/4" = 1'-0"

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A2-2



FLOOR PLAN
COMPLETE DEMOLITION
1/4" = 1'-0"



ROOF PLAN
COMPLETE DEMOLITION
1/4" = 1'-0"

LEGEND

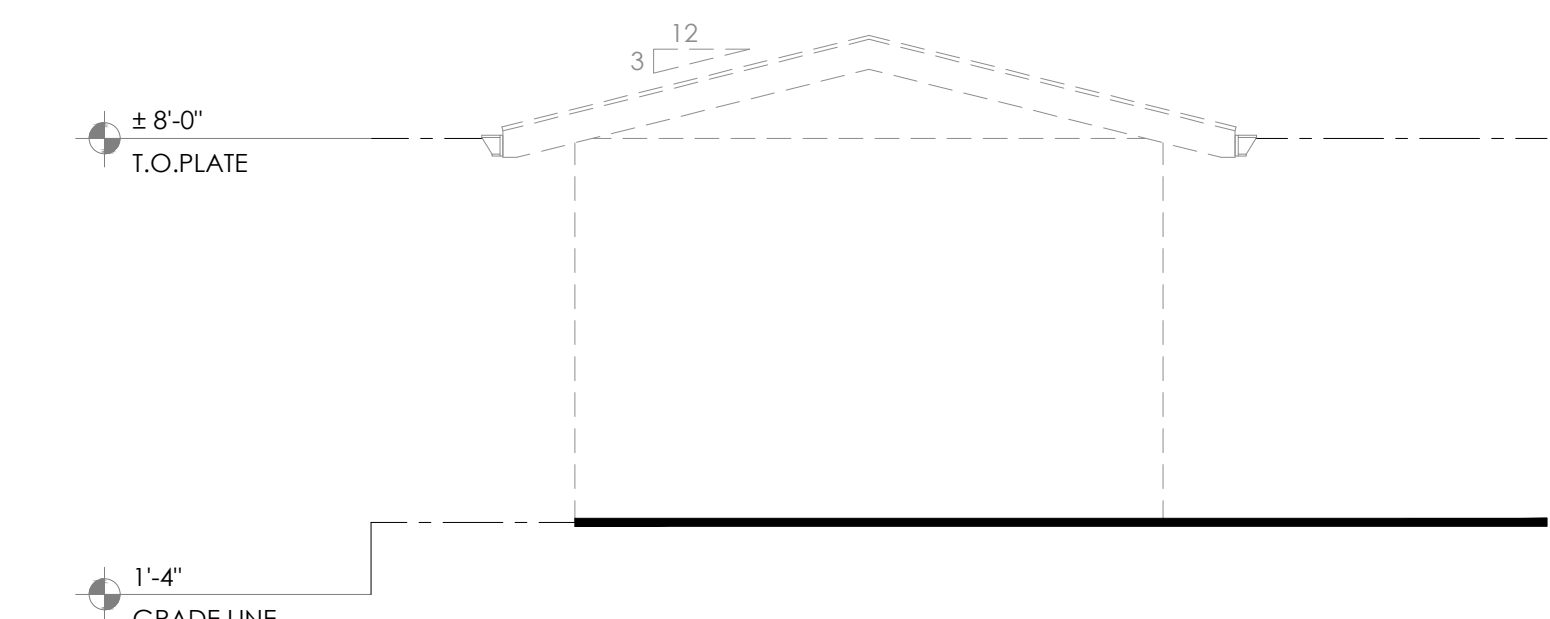
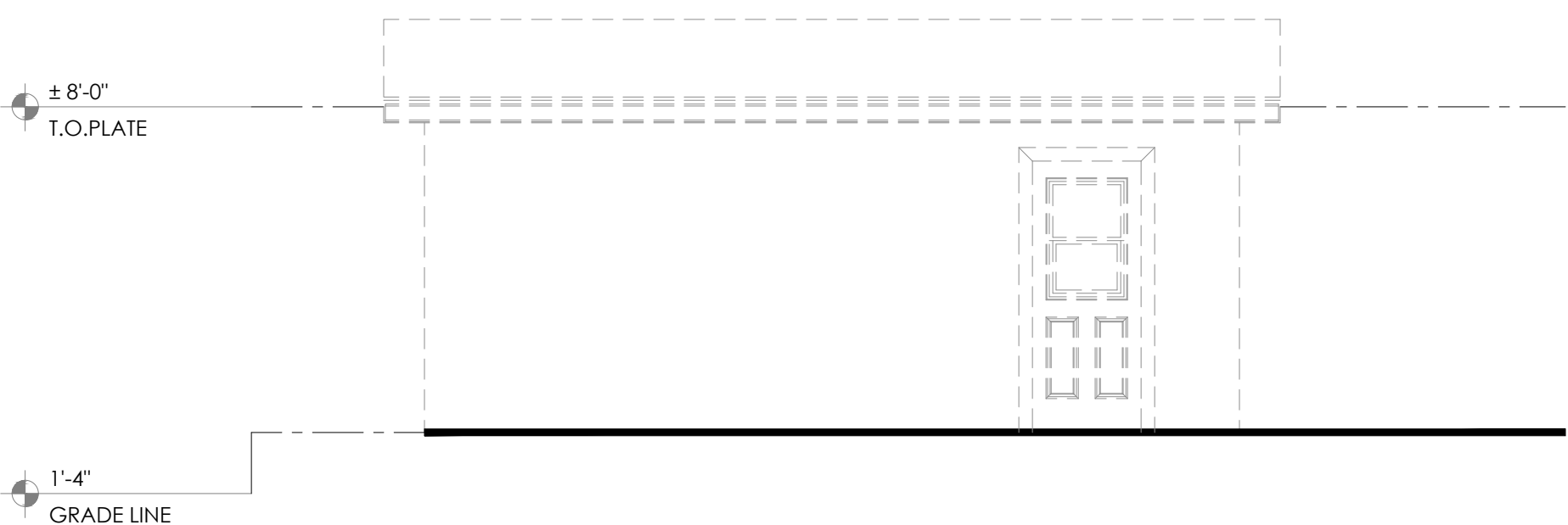
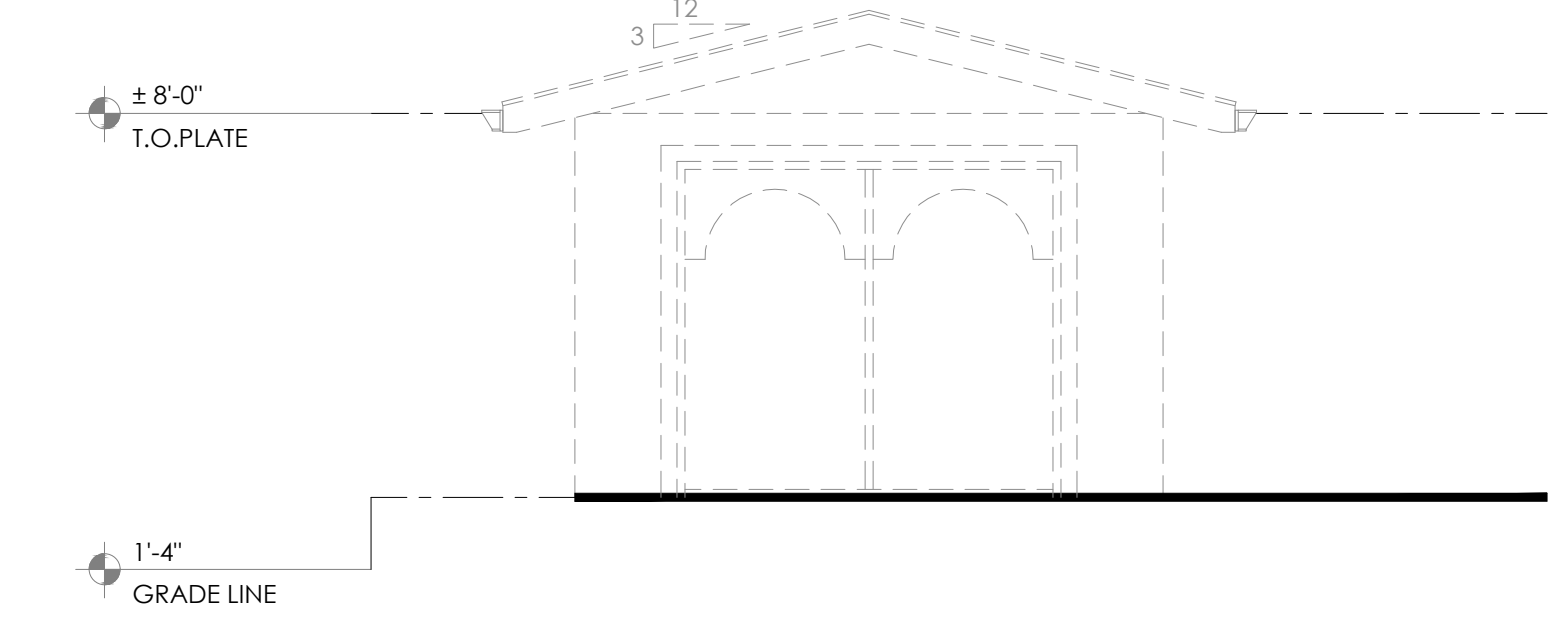
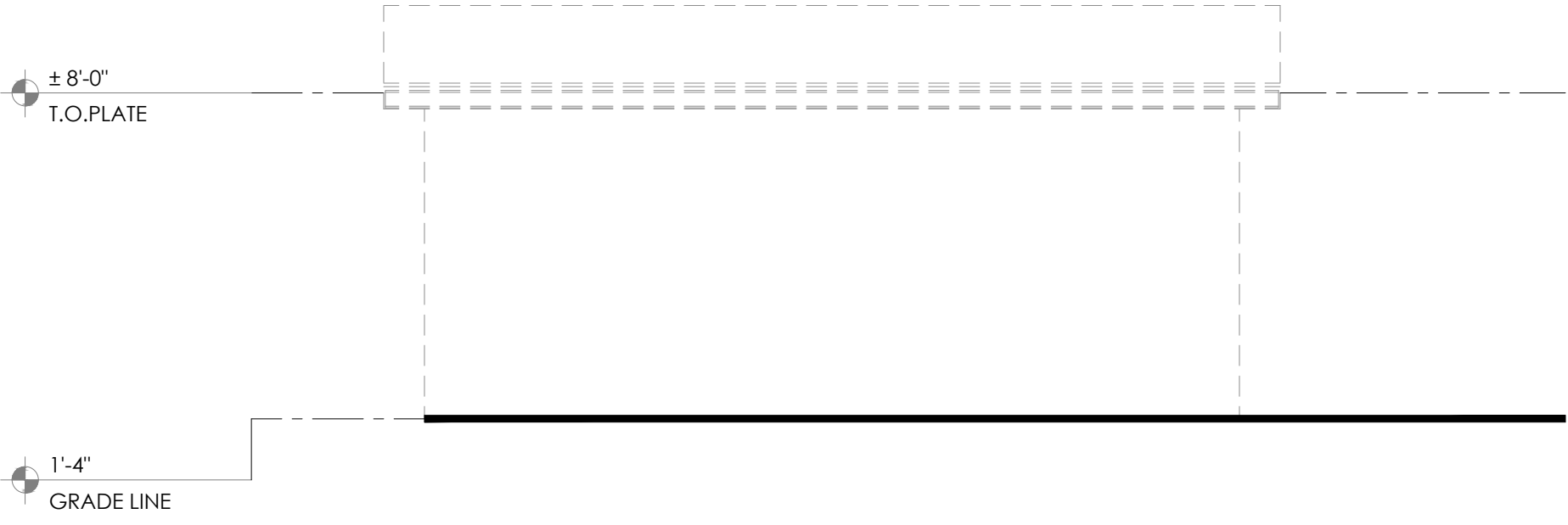
- TO BE DEMOLISHED
- TO REMAIN

NOTE:
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LEGEND

- EXISTING ROOF PLANE
- REMOVED OR MODIFIED ROOF PLANE

NOTE:
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ROBIN MCCARTHY, AIA
ARCHITECT #C29767
1155 MERIDIAN AVE. #210
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NEW 2-STORY CONSTRUCTION FOR:
MONTGOMERY RESIDENCE
106 BEACHGATE WAY, APTOS, CA 95003
APN: 038-21-312

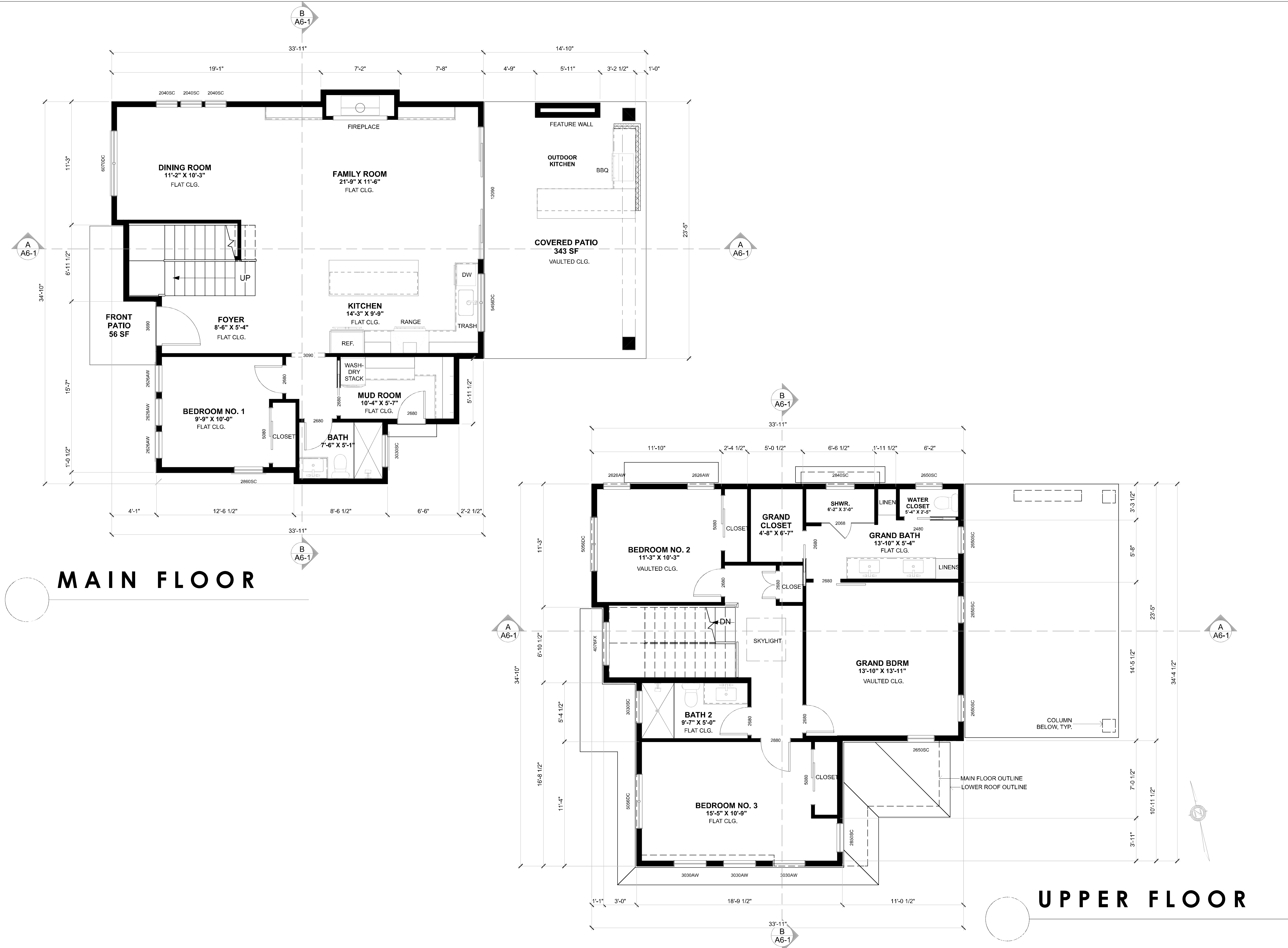
SUBMITTALS:	
Date	Description
9-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

**DEMOLITION
DETACHED
GARAGE
PLANS**

DATE: 09-06-23	SCALE: 1/4" = 1'-0"
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A2-3

DEMOLITION DETACHED GARAGE PLANS



PROPOSED FLOOR PLANS



ROBIN MCCARTHY, AIA
ARCHITECT #C29767
1155 MERIDIAN AVE. #210
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:
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106 BEACHGATE WAY, APTOS, CA 95003

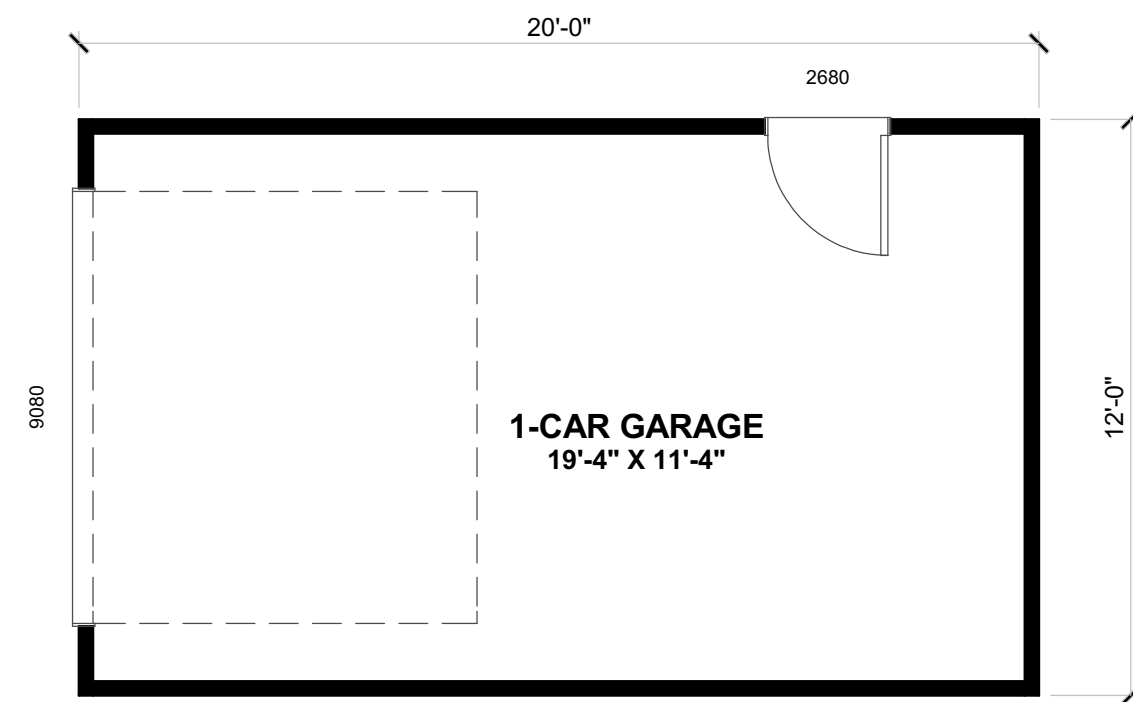
SUBMITTALS:	
DATE	DESCRIPTION
09-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

PROPOSED FLOOR PLANS

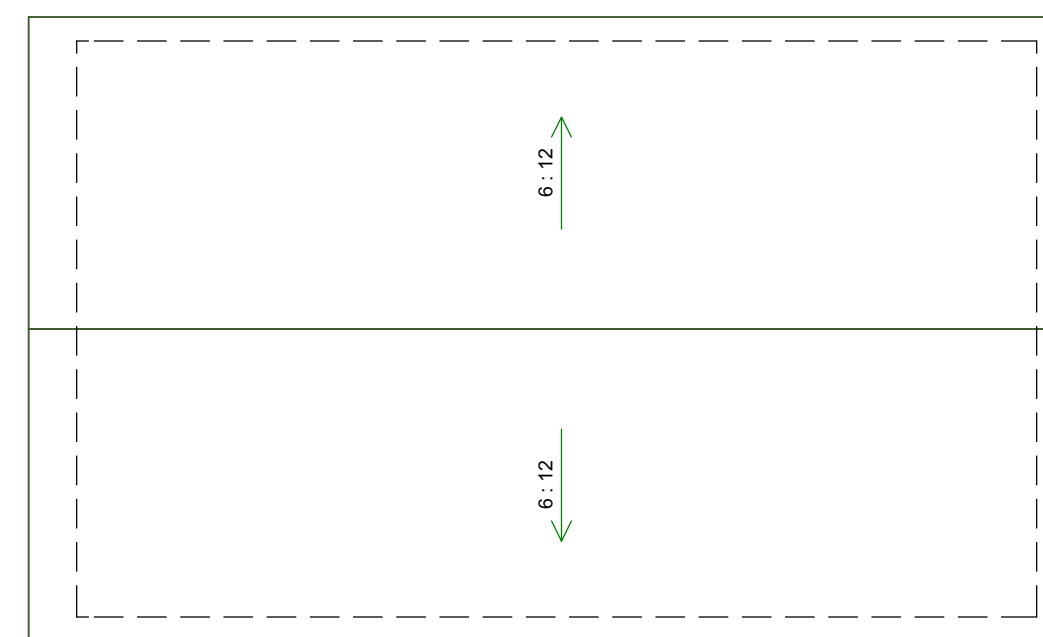
DATE: 09/06/23
SCALE: 1/4 IN. = 1 FT.

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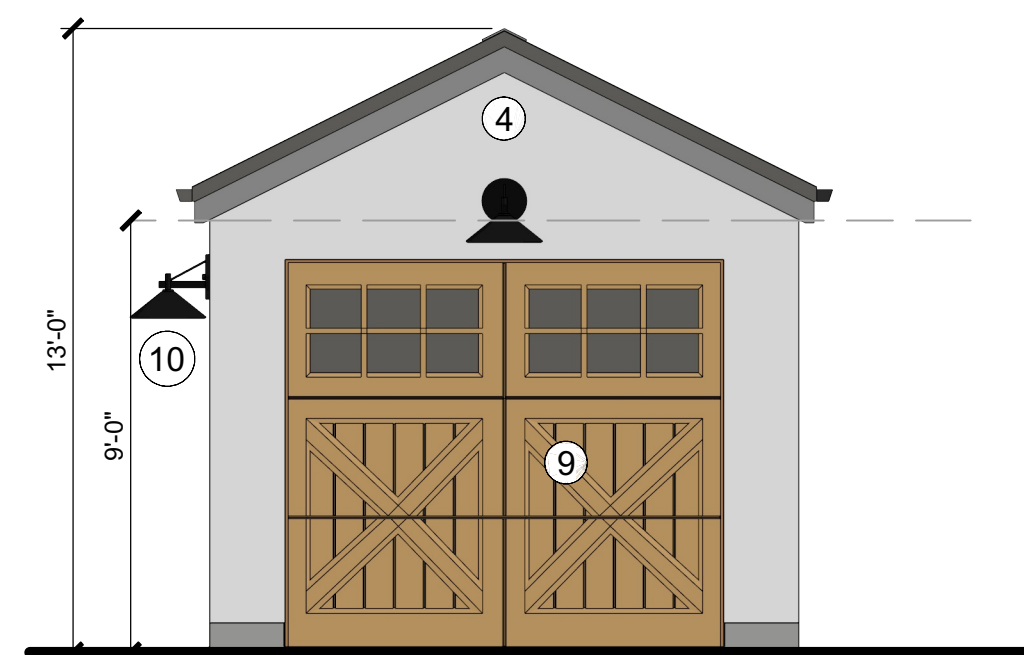
A3-1



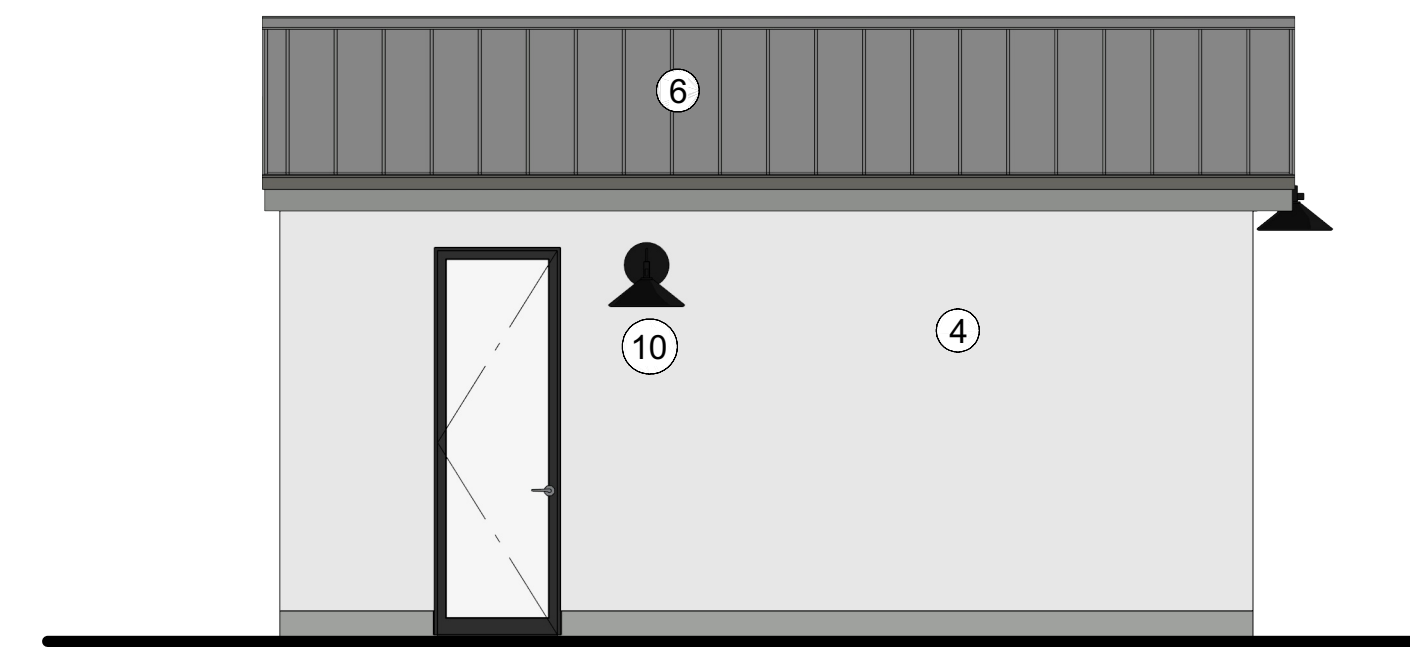
FLOOR PLAN



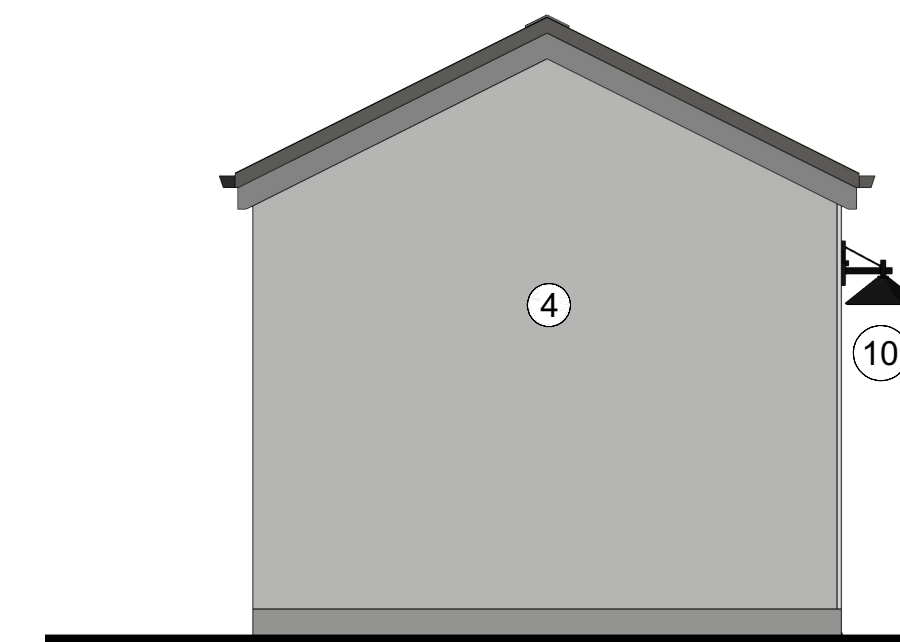
ROOF PLAN



WEST ELEVATION
FRONT VIEW



NORTH ELEVATION
SIDE VIEW



EAST ELEVATION
REAR VIEW



SOUTH ELEVATION
SIDE VIEW

PROPOSED DETACHED GARAGE PLANS



ROBIN MCCARTHY, AIA
ARCHITECT #C29767
1155 MERIDIAN AVE, #210
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:
MONTGOMERY RESIDENCE
106 BEACHGATE WAY, APTOS, CA 95003

SUBMITTALS:	
DATE	DESCRIPTION
09-04-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

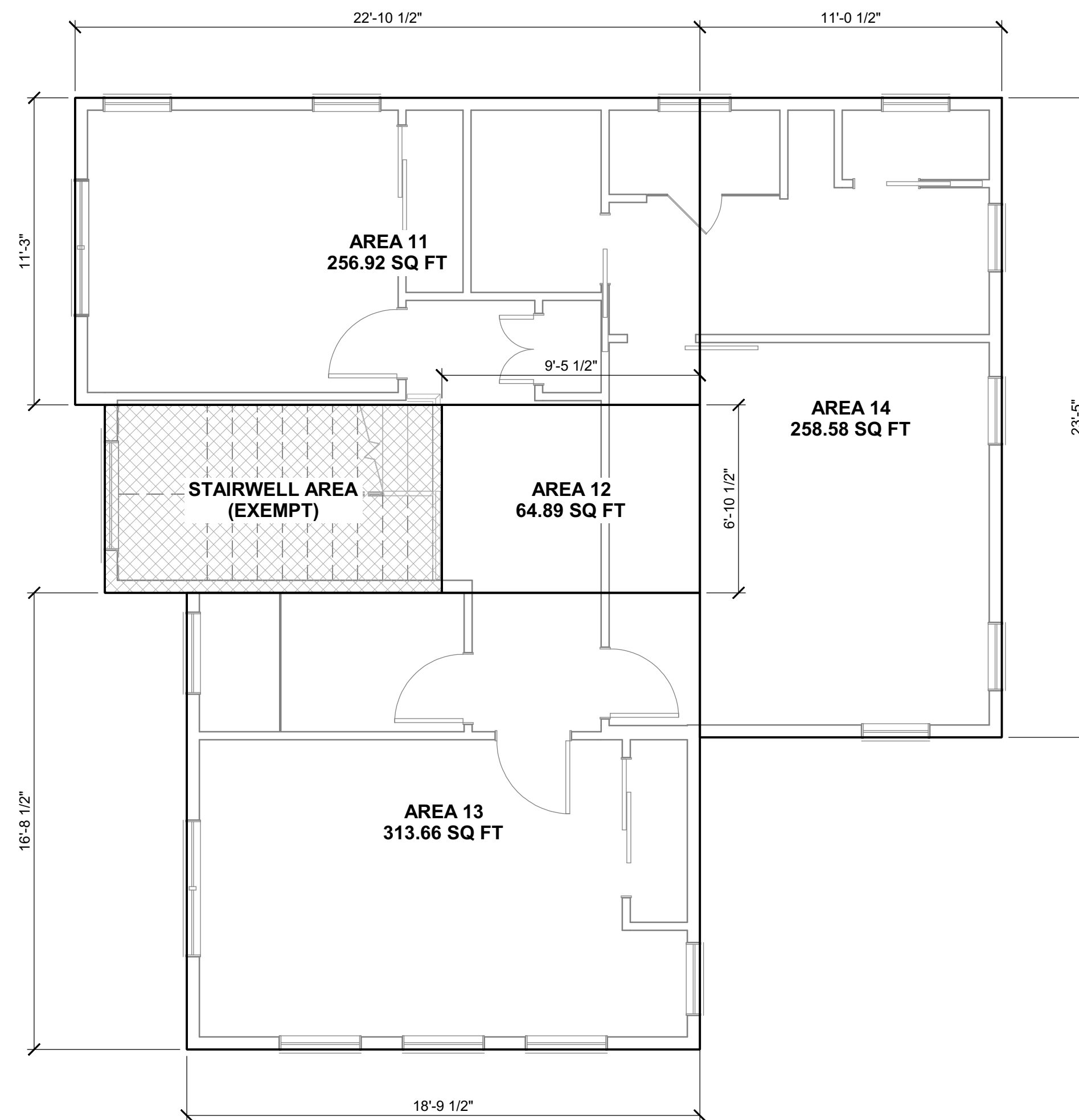
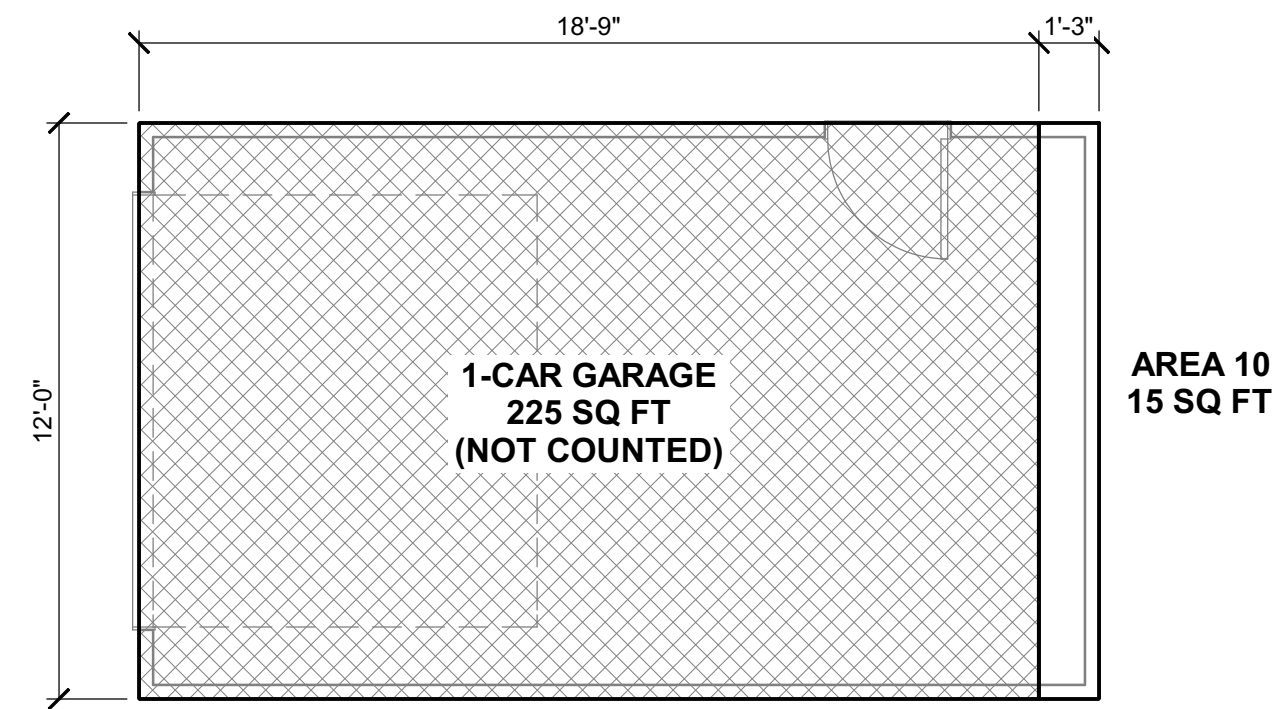
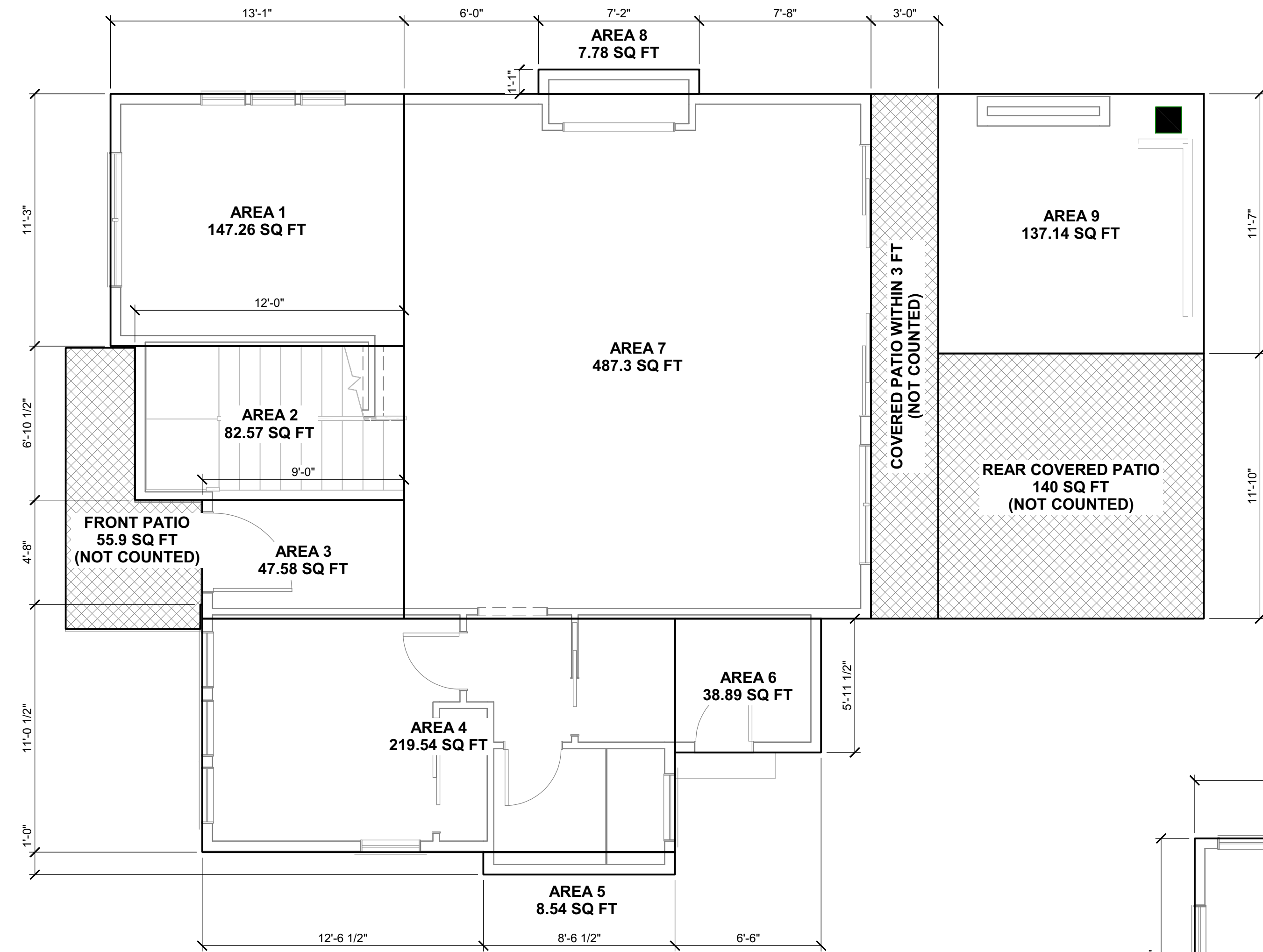
**PROPOSED
DETACHED
GARAGE PLANS**

DATE:
09/06/23

SCALE:
1/4 IN. = 1 FT.

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A3-2



FLOOR AREA CALCULATIONS:

MAIN FLOOR

AREA 1	147.26 SF
AREA 2	82.57 SF
AREA 3	47.58 SF
AREA 4	219.53 SF
AREA 5	8.54 SF
AREA 6	38.89 SF
AREA 7	487.30 SF
AREA 8	7.78 SF
SUB TOTAL 1	1,039.45 SF

AREA 9	137.14 SF
150% PATIO CREDIT	
SUB TOTAL 2	68.57 SF

SUBTOTAL 1	1,039.45 SF
SUBTOTAL 2	68.57 SF
MF TOTAL	1,108.02 SF

UPPER FLOOR

AREA 11	256.92 SF
AREA 12	64.89 SF
AREA 13	313.66 SF
AREA 14	258.58 SF
UF TOTAL	894.05 SF

GARAGE

1-CAR GARAGE	240.00 SF
CREDIT	225.00 SF
GARAGE TOTAL	15.00 SF (AREA 10)

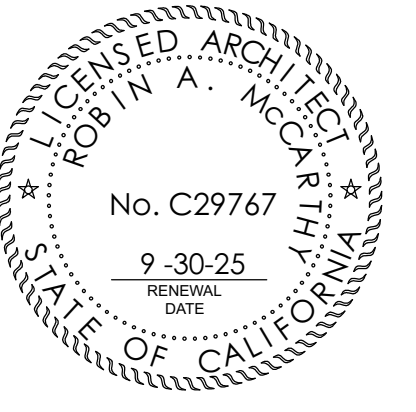
FAR CALCULATION

MAIN FLOOR	1,108.02 SF
UPPER FLOOR	894.05 SF
1-CAR GARAGE	15.00 SF
TOTAL	2,017.07 SF

FAR: 2,017.07 SF < 2,047.00 SF



ROBIN MCCARTHY, AIA
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NEW 2-STORY CONSTRUCTION FOR:
MONTGOMERY RESIDENCE
106 BEACHGATE WAY, APTOS, CA 95003

SUBMITTALS:

DATE	DESCRIPTION
09-04-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

FLOOR AREA CALCULATIONS

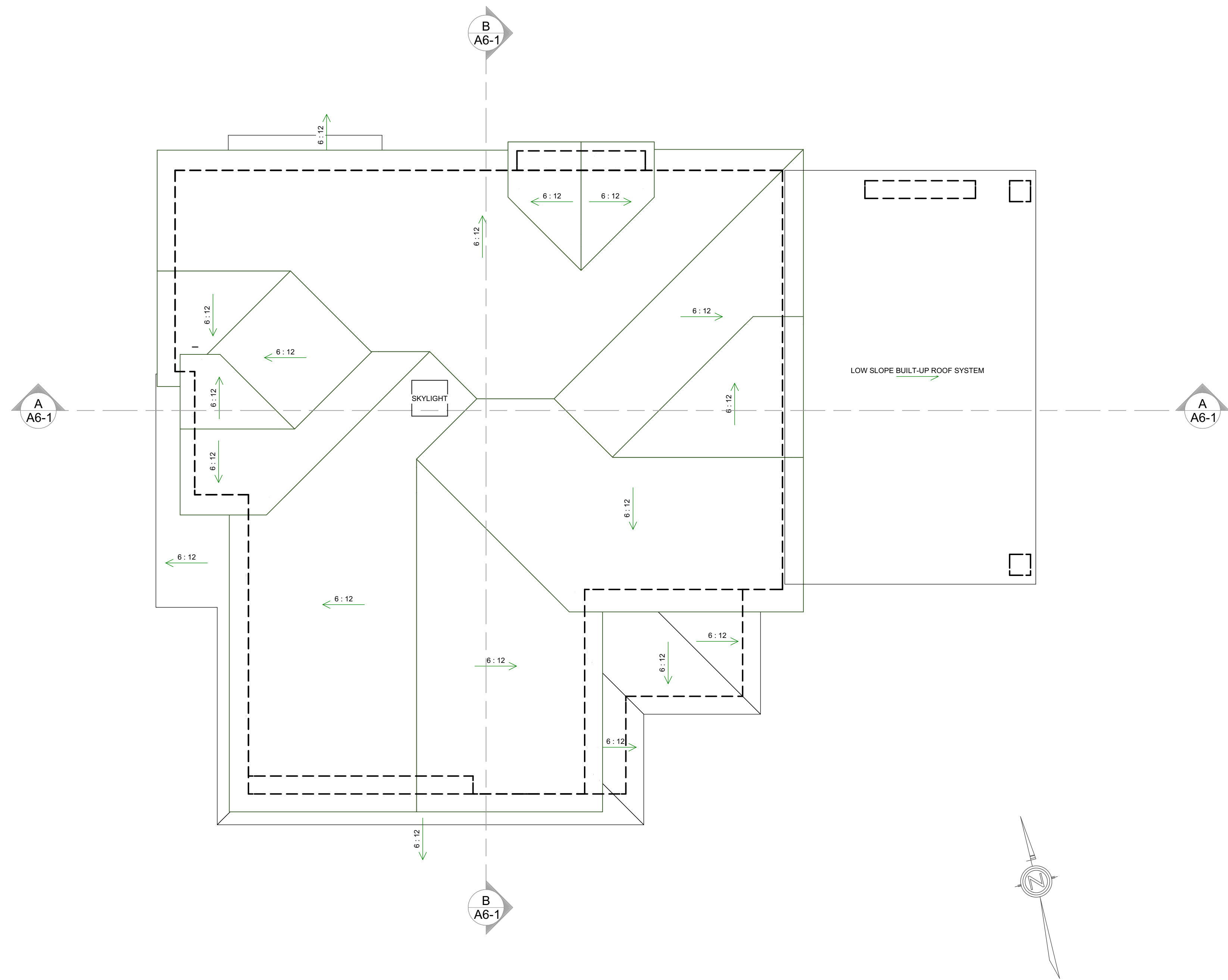
DATE:
09/06/23

SCALE:
1/4 IN. = 1 FT.

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A3-3

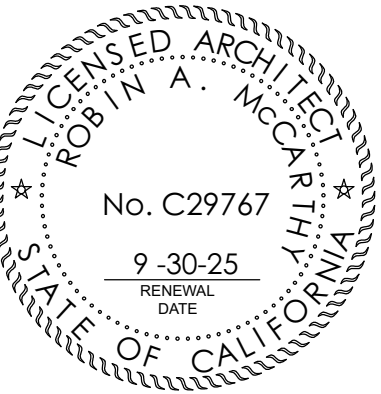
FLOOR AREA CALCULATIONS



PROPOSED ROOF PLAN



ROBIN MCCARTHY, AIA
ARCHITECT #C29767
1155 MERIDIAN AVE. #210
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:
MONTGOMERY RESIDENCE
106 BEACHGATE WAY, APTOS, CA 95003

SUBMITTALS:	
DATE	DESCRIPTION
09-04-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

PROPOSED ROOF PLAN

DATE:
09/06/23

SCALE:
1/4 IN. = 1 FT.

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A4-1



WEST ELEVATION
FRONT STREET VIEW

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	SPECIFICATION
①	VERTICAL SIDING	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN NICKEL GAP	SIZE: 1X8 COLOR: CHARCOAL GRAY
②	TRIM BOARD	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN FINISH	SIZE: 1X4 COLOR: CHARCOAL GRAY
③	FACIA & EAVE TRIM BOARD	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION	SIZE: 1X10 COLOR: BENJAMIN MOORE, WALL STREET
④	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	SMOOTH FINISH; COLOR: OFF-WHITE
⑤	EXTERIOR BRICK	GENERAL SHALE	CORNERSTONE THIN BRICK	COLOR: OFF-WHITE
⑥	STANDING SEAM METAL ROOF	SHEFFIELD MATERIALS INTERNATIONAL	CRAFTSMAN SNAP-ON SMALL BATTEN METAL ROOF	COLOR: CHARCOAL GRAY
⑦	WINDOWS	ANDERSEN WINDOWS	STEEL, CONTEMPORARY STYLE	SASH COLOR: BLACK
⑧	FRONT DOOR	SIMPSON CO.	PAINT-GRADE FINISH	COLOR: BENJAMIN MOORE, WASABI
⑨	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	NATURAL WOOD FINISH W/ 2-COATS OF SEALER
⑩	EXT. LIGHT FIXTURE	SHADES OF LIGHT	OUTRIGGER CONE OUTDOOR LIGHT	FINISH: BRONZE

NOTE: ALL MATERIALS ABOVE SHALL BE AS SPECIFIED OR SIMILAR AND APPROVED BY ARCHITECT.

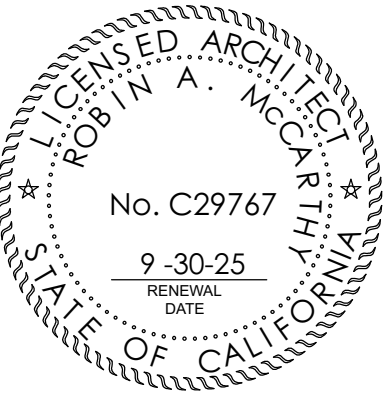


NORTH ELEVATION
SIDE YARD VIEW

PROPOSED EXTERIOR ELEVATIONS



ROBIN MCCARTHY, AIA
ARCHITECT #C29767
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NEW 2-STORY CONSTRUCTION FOR:
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SUBMITTALS:	
DATE	DESCRIPTION
09-04-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

PROPOSED EXTERIOR ELEVATIONS

DATE:
09/06/23

SCALE:
1/4 IN. = 1 FT.

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A5-1



EAST ELEVATION

REAR YARD VIEW



SOUTH ELEVATION

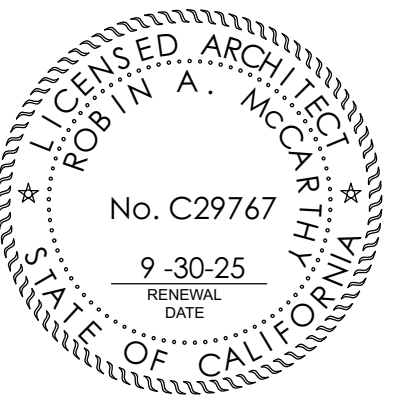
DRIVEWAY SIDE VIEW

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	SPECIFICATION
①	VERTICAL SIDING	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN NICKEL GAP	SIZE: 1X8 COLOR: CHARCOAL GRAY
②	TRIM BOARD	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN FINISH	SIZE: 1X4 COLOR: CHARCOAL GRAY
③	FACIA & EAVE TRIM BOARD	TRUEXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION	SIZE: 1X10 COLOR: BENJAMIN MOORE, WALL STREET
④	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	SMOOTH FINISH; COLOR: OFF-WHITE
⑤	EXTERIOR BRICK	GENERAL SHALE	CORNERSTONE THIN BRICK	COLOR: OFF-WHITE
⑥	STANDING SEAM METAL ROOF	SHEFFIELD MATERIALS INTERNATIONAL	CRAFTSMAN SNAP-ON SMALL BATTEN METAL ROOF	COLOR: CHARCOAL GRAY
⑦	WINDOWS	ANDERSEN WINDOWS	STEEL, CONTEMPORARY STYLE	SASH COLOR: BLACK
⑧	FRONT DOOR	SIMPSON CO.	PAINT-GRADE FINISH	COLOR: BENJAMIN MOORE, WASABI
⑨	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	NATURAL WOOD FINISH W/ 2-COATS OF SEALER
⑩	EXT. LIGHT FIXTURE	SHADES OF LIGHT	OUTRIGGER CONE OUTDOOR LIGHT	FINISH: BRONZE

NOTE: ALL MATERIALS ABOVE SHALL BE AS SPECIFIED OR SIMILAR AND APPROVED BY ARCHITECT.



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SUBMITTALS:	
DATE	DESCRIPTION
09-04-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

**PROPOSED
EXTERIOR
ELEVATIONS**

DATE:
09/06/23

SCALE:
1/4 IN. = 1 FT.

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A5-2

PROPOSED EXTERIOR ELEVATIONS



FRONT PERSPECTIVE



FRONT PERSPECTIVE 02



REAR PERSPECTIVE



SIDE PERSPECTIVE



SIDE PERSPECTIVE 02

EXTERIOR PERSPECTIVE RENDERINGS



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SUBMITTALS:	
DATE	DESCRIPTION
09-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

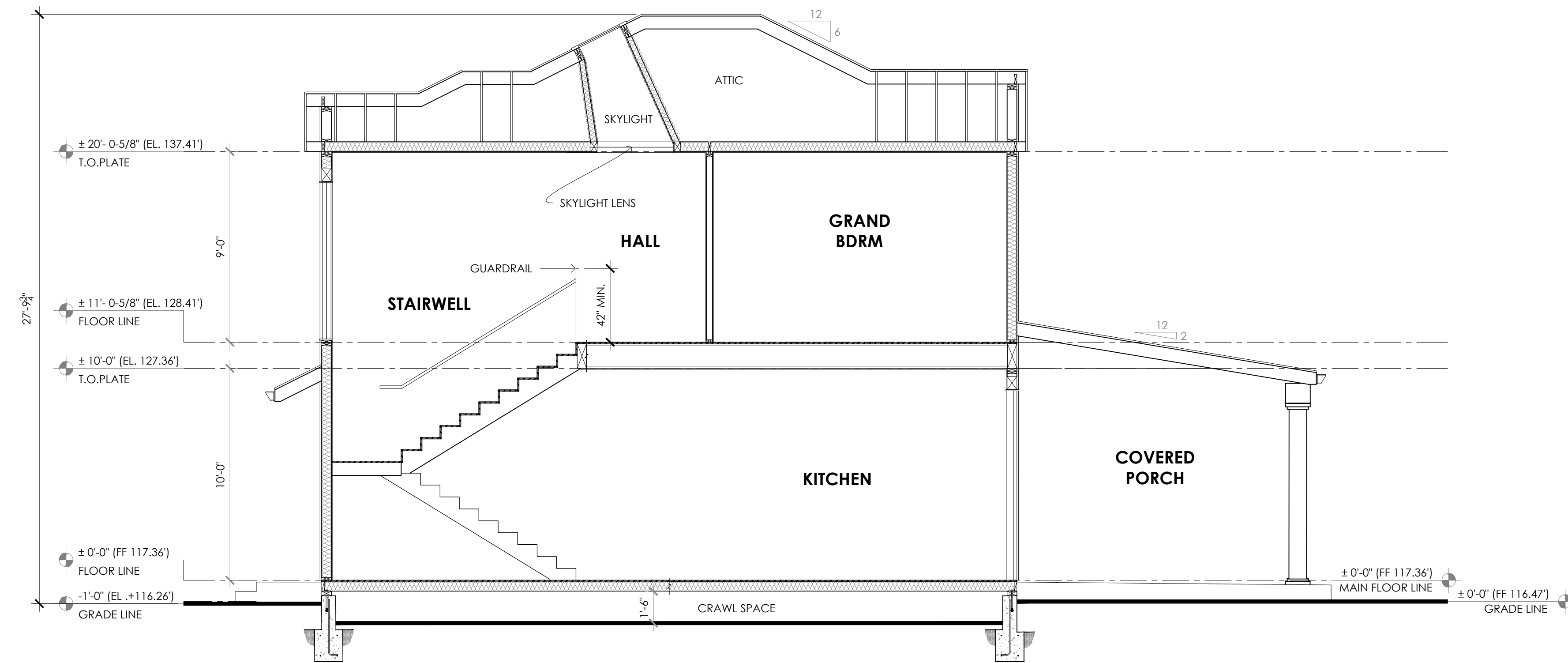
EXTERIOR
PERSPECTIVE
RENDERINGS

DATE:
09/06/23

SCALE:
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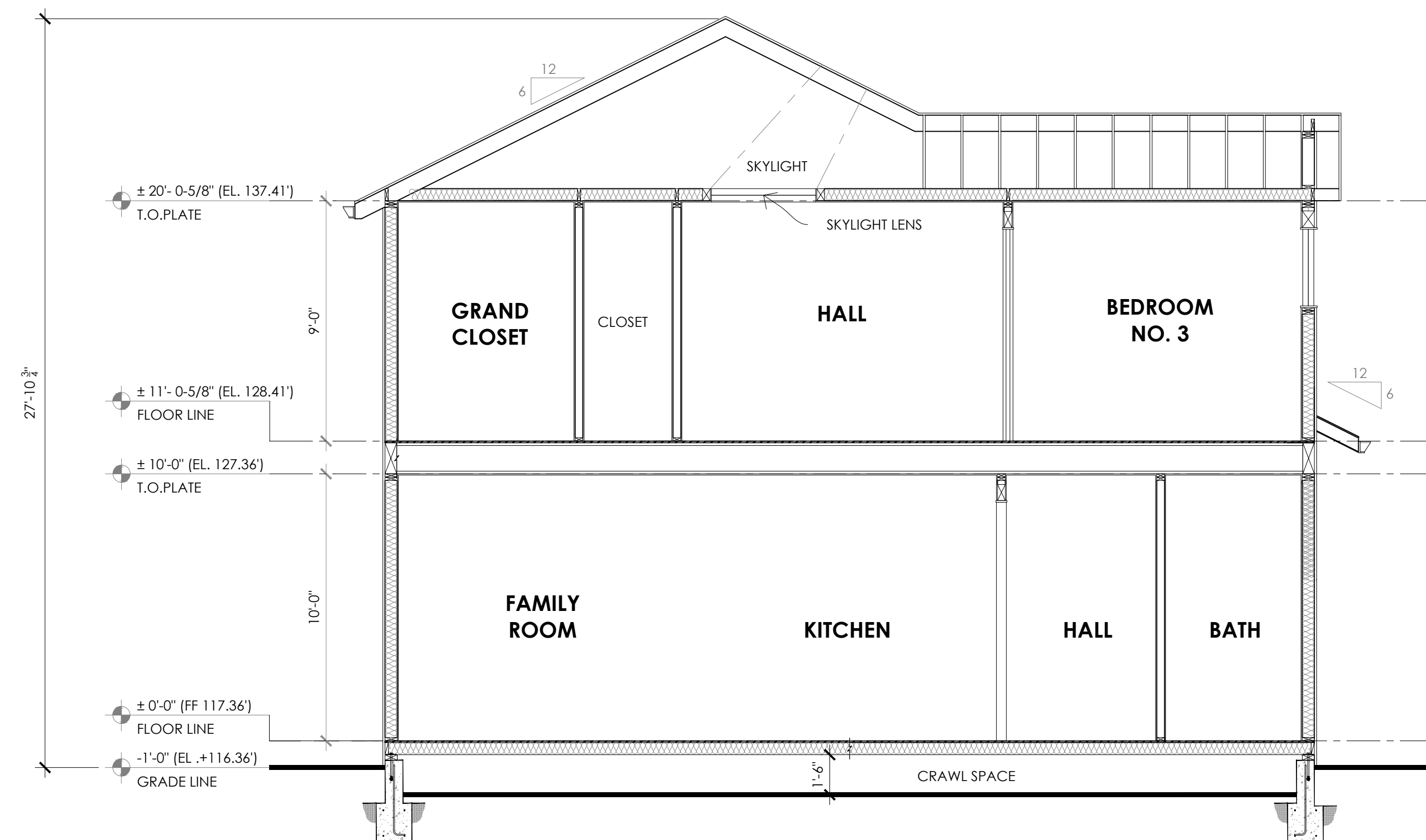
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A5-3



SECTION A - A

1/4" = 1'-0"



SECTION B - B

1/4" = 1'-0"

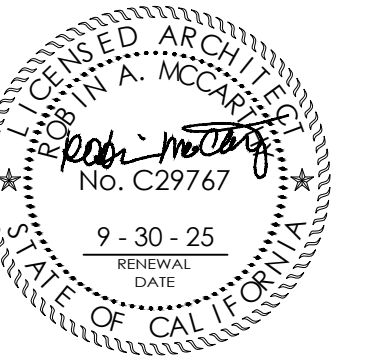
BUILDING SECTIONS

BUILDING SECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.



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APN: 038-21-312

SUBMITTALS:	
Date	Description
9-06-23	DISCRETIONARY REVIEW
01-05-24	PC RESPONSE

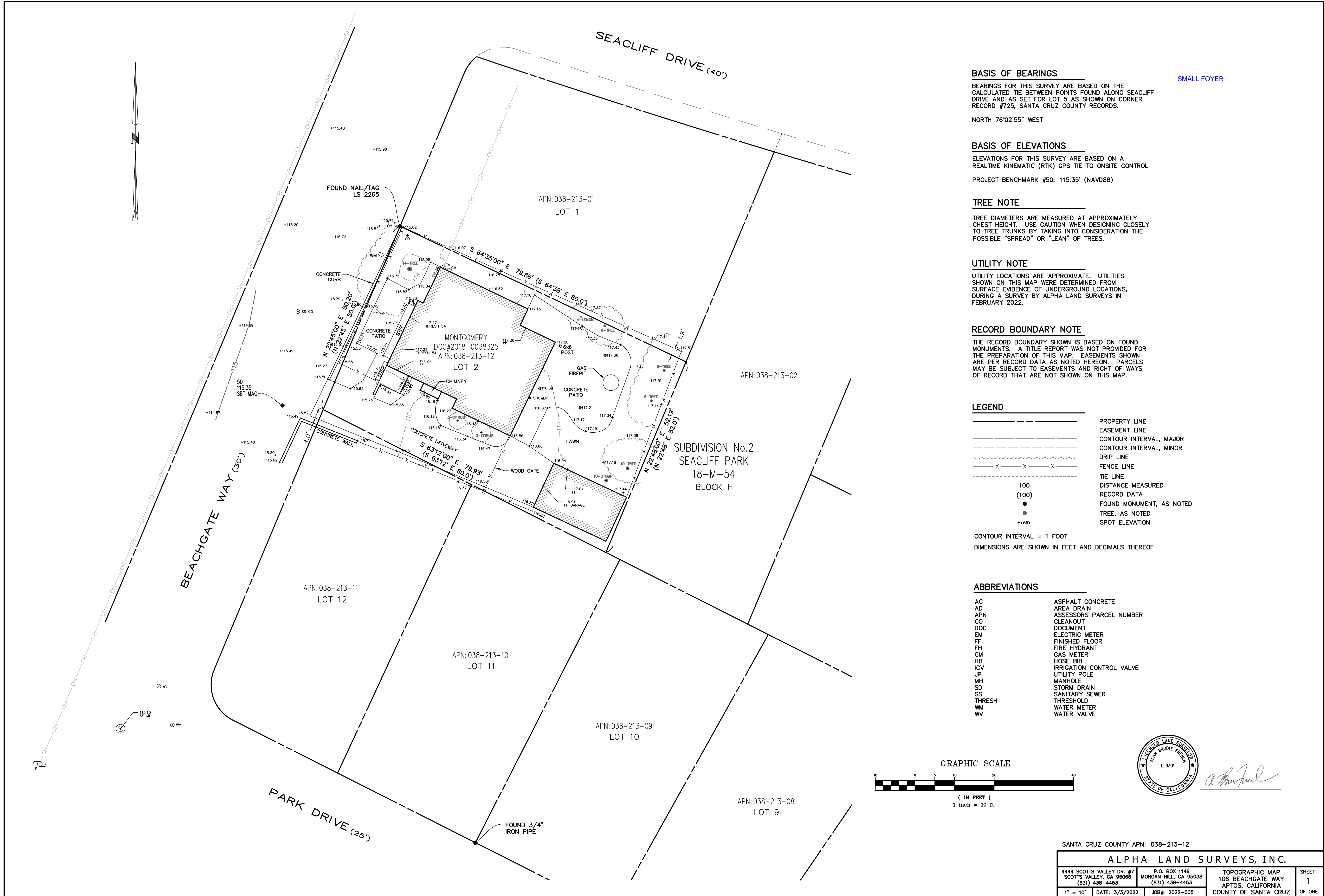
**BUILDING
SECTIONS**

DATE:
09-06-23

SCALE:
1/4" = 1'-0"

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A6-1



BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE CALCULATED TIE BETWEEN POINTS FOUND ALONG SEACLIFF DRIVE AND AS SET FOR LOT 5 AS SHOWN ON CORNER RECORD #725, SANTA CRUZ COUNTY RECORDS.

NORTH 76°02'55" WEST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS SURVEY ARE BASED ON A REALTIME KINEMATIC (RTK) GPS TIE TO ONSITE CONTROL

PROJECT BENCHMARK #50: 115.35' (NAVD88)

TREE NOTE

TREE DIAMETERS ARE MEASURED AT APPROXIMATELY CHEST HEIGHT. USE CAUTION WHEN DESIGNING CLOSELY TO TREE TRUNKS BY TAKING INTO CONSIDERATION THE POSSIBLE "SPREAD" OR "LEAN" OF TREES.

UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN FEBRUARY 2022.

RECORD BOUNDARY NOTE

THE RECORD BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS. A TITLE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS MAP. EASEMENTS SHOWN ARE PER RECORD DATA AS NOTED HEREON. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD THAT ARE NOT SHOWN ON THIS MAP.

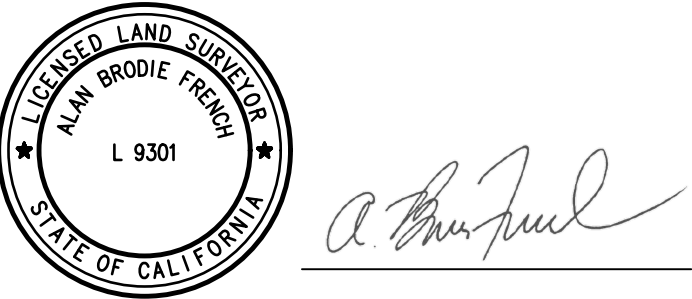
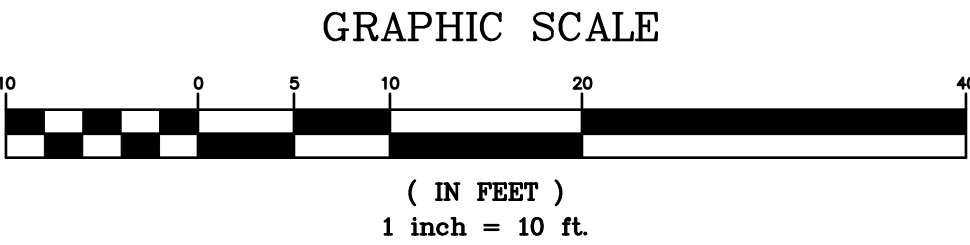
LEGEND

	PROPERTY LINE
	EASEMENT LINE
	CONTOUR INTERVAL, MAJOR
	CONTOUR INTERVAL, MINOR
	DRIP LINE
	FENCE LINE
	TIE LINE
	DISTANCE MEASURED
	RECORD DATA
	FOUND MONUMENT, AS NOTED
	TREE, AS NOTED
	SPOT ELEVATION

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
APN	ASSESSORS PARCEL NUMBER
CO	CLEANOUT
DOC	DOCUMENT
EM	ELECTRIC METER
FF	FINISHED FLOOR
FH	FIRE HYDRANT
GM	GAS METER
HB	HOSE BIB
ICV	IRRIGATION CONTROL VALVE
JP	UTILITY POLE
MH	MANHOLE
SD	STORM DRAIN
SS	SANITARY SEWER
THRESH	THRESHOLD
WM	WATER METER
WV	WATER VALVE



SANTA CRUZ COUNTY APN: 038-213-12			
ALPHA LAND SURVEYS, INC.			
4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP 106 BEACHGATE WAY APTOS, CALIFORNIA COUNTY OF SANTA CRUZ	SHEET 1 OF ONE
1" = 10'	DATE: 3/3/2022	JOB#: 2022-005	

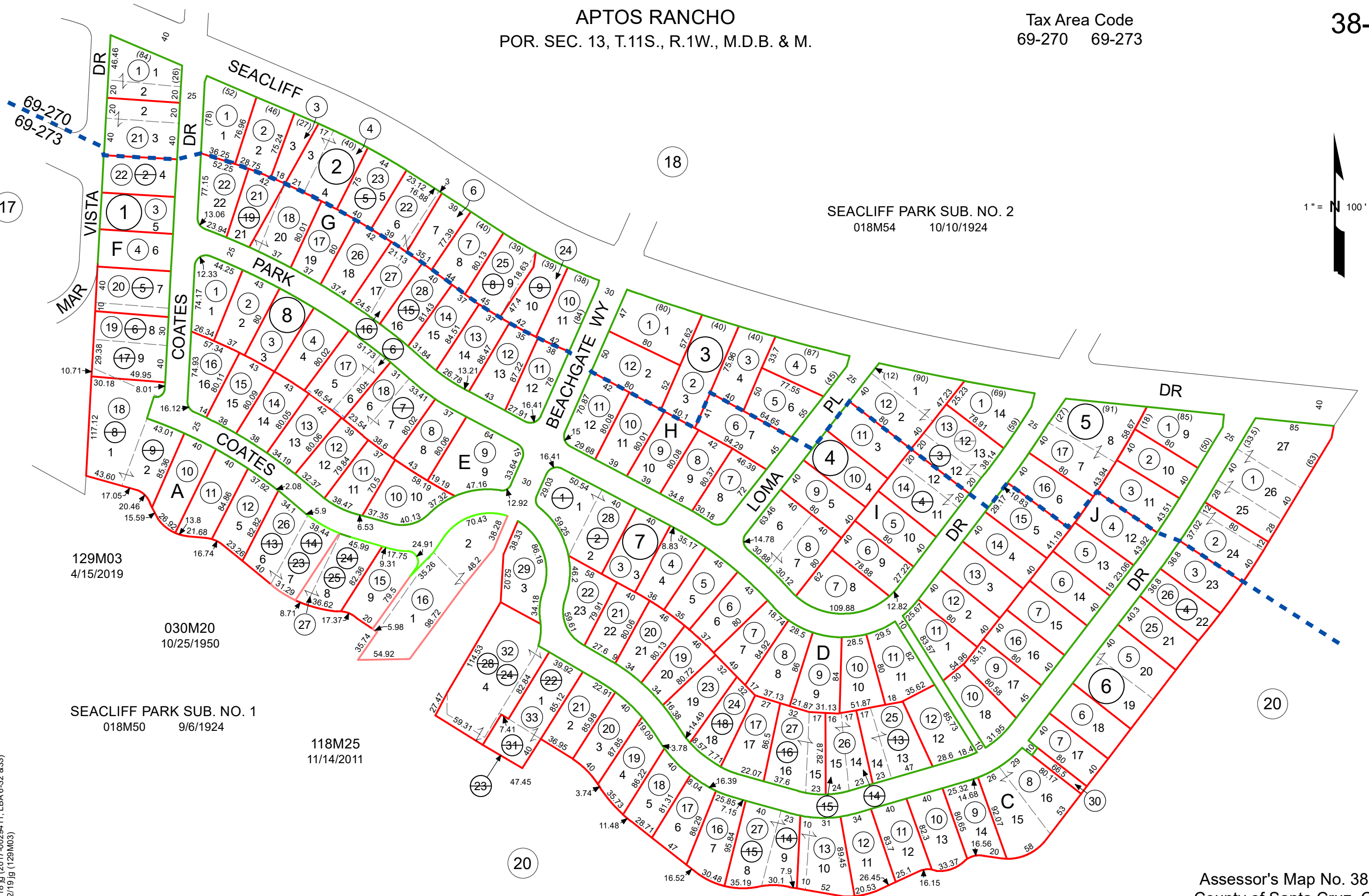
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Electronically Redrawn 11/14/97 wrp
Rev. 5/4/98 KSA (CA)
Rev. 5/19/99 CB (Tax Consolidation)
Rev. 12/17/99 CB (9-0062645, LBA 1-26 & 27)
Rev. 4/27/01 mvm (changed page refs.)
Rev. 2/28/06 md (spatial adjustment)
Rev. 5/9/12 mc (118RS25)
Rev. 8/1/16 jg (combo form, 6-31)
Rev. 1/3/18 jg (2017-0029411, LBA 6-32 & 33)
Rev. 7/22/19 jg (129M03)

APTOS RANCHO
POR. SEC. 13, T.11S., R.1W., M.D.B. & M.

Tax Area Code
69-270 69-273

38-21

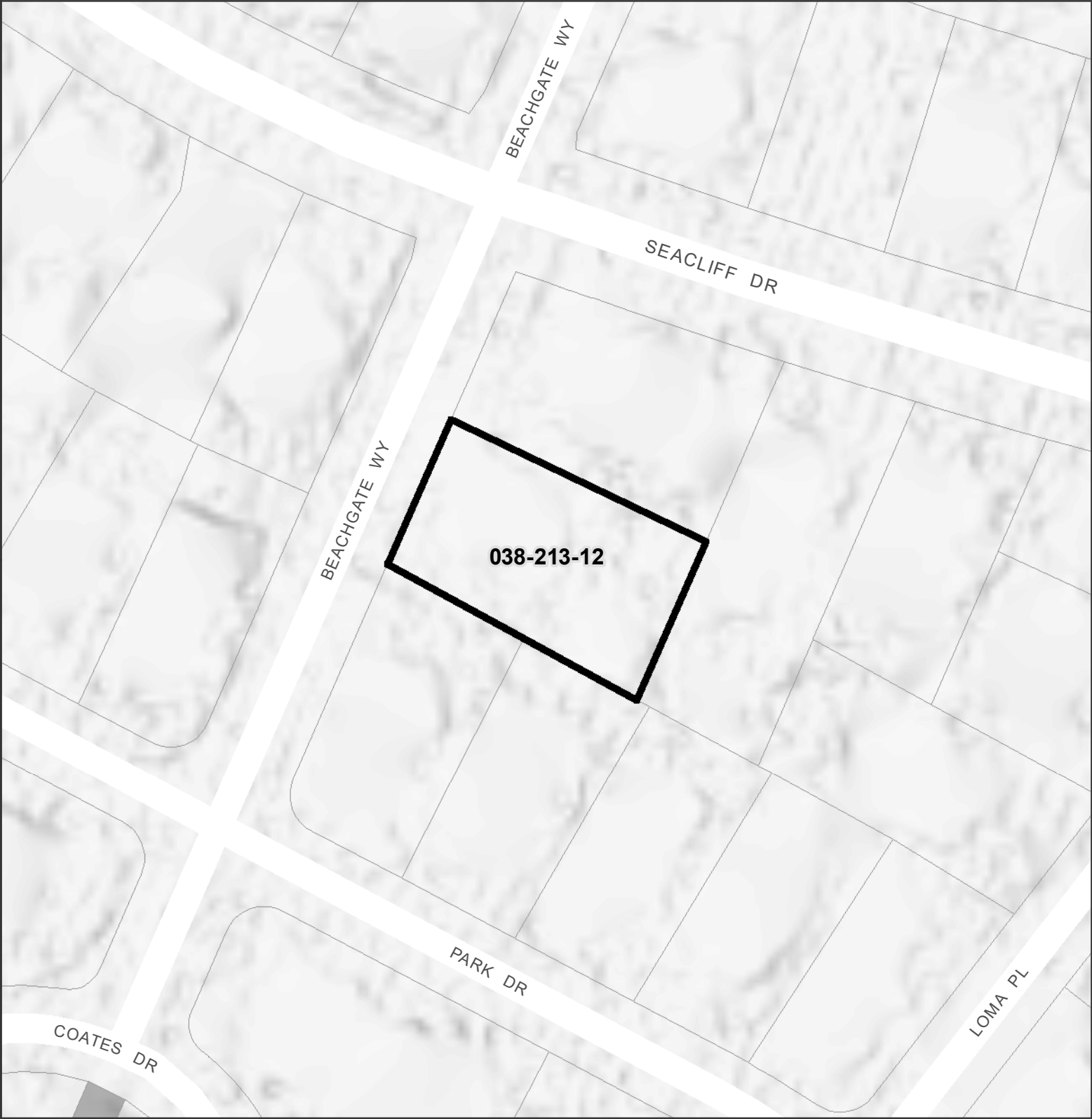


Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Assessor's Map No. 38-21
County of Santa Cruz, Calif.
Nov., 1997

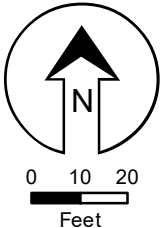


Parcel Location Map



Parcel: 03821312



- Study Parcel
- Assessor Parcel Boundary
- Existing Park

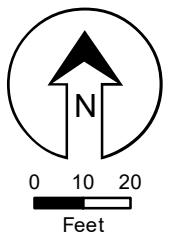




Parcel General Plan Map



-  O-R *Parks, Recreation & Open Space*
-  R-UM *Res. Urban Medium Density*

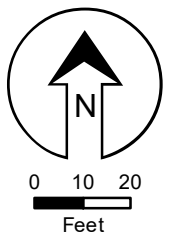




Parcel Zoning Map



- PR Parks, Recreation, & Open Space
- R-1 Single-Family Residential



PRIMARY RECORD

Other Listings
Review Code

Reviewer

Primary #
HRI #
Trinomial
NRHP Status Code

Date

Page 1 of 15 *Resource Name or #: (Assigned by recorder) Wilson & McGranahan Summer Residence

P1. Other Identifier: none

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Santa Cruz and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T ____; R ____; ____ of ____ of Sec ____; ____ B.M.

c. Address 106 Beachgate Way City Aptos Zip 95003

d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 596568 mE/ 4092399 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN 03821312; east side of Beachgate Way, approximately 70 feet north of the intersection of Beachgate Way and Park Drive in Seacliff

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The subject property is in the Seacliff Park neighborhood of Aptos on a bluff overlooking Seacliff State Beach and the Pacific Ocean. The neighborhood consists of one- and two-story single-family residences, varying greatly in architectural style, built between the 1920s and the 2020s. The residence is set back about 9 feet from the front property line and about five feet from the side (northeast) property line. On the southwest side is a driveway of stone paving blocks about 10 feet wide extending from the street to a detached single-car garage that appears to date from the 1920s. The garage sits at the southern corner of the property with no setback. The backyard is dominated by a wooden arbor that may be about 30 years old based on county assessor appraisal records. The arbor sits on a concrete patio covered in slate. The backyard is covered in artificial turf, with mature trees along the perimeter fence.

(Continued on page 3, DPR523L)

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P4. Resources Present: ☒ Building
☐ Structure ☐ Object ☐ Site ☐ District ☐
Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Front elevation, 12/5/2023,
no accession #

*P6. Date Constructed/Age and Source: ☒ Historic ☐ Prehistoric
☐ Both 1925 / 98 years (deeds)

*P7. Owner and Address:

John and Gillian Montgomery

1275 Glen Eyrie Ave

San Jose, CA 95125

*P8. Recorded by: (Name, affiliation, and address) Bonnie Montgomery,
421 N 5th St, San Jose, CA 95112

*P9. Date Recorded: 1/4/2024

*P10. Survey Type: (Describe)

intensive

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") none

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) Wilson & McGranahan Summer Residence *NRHP Status Code 6Z
Page 2 of 15

B1. Historic Name: Wilson & McGranahan Summer Residence
B2. Common Name: none
B3. Original Use: single-family residence B4. Present Use: single-family residence
*B5. Architectural Style: Spanish Colonial Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)
Constructed 1925. Roof over back door likely constructed between 1966 and 1969; last reroof after 1973; living room windows converted to French doors after 1973; second bathroom installed 1996, metal window replacements likely date to 1996.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:
Single-car garage, likely built around 1925; wooden arbor, likely built by 1992

B9a. Architect: unknown b. Builder: Wilson & McGranahan
*B10. Significance: Theme Residential, Commercial, and Institutional Architecture Area Aptos
Period of Significance 1925 Property Type beach house Applicable Criteria none
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Ohlone people have lived on the land now known as Santa Cruz County for thousands of years. The Spanish colonization of Alta California began in 1769, when Captain Gaspar de Portolá led an expedition to locate Monterey Bay. The Franciscan order founded Mission Santa Cruz on the banks of the San Lorenzo River on August 28, 1791. At its peak in 1796, the Franciscans gathered 523 native Ohlone into the Mission to Christianize them. In 1797, settlers from Spanish Colonial Mexico established the pueblo of Branciforte on the other side of the San Lorenzo River. During the Spanish period, this land was part of Mission Santa Cruz's grazing land for its livestock.

(Continued on page 4)

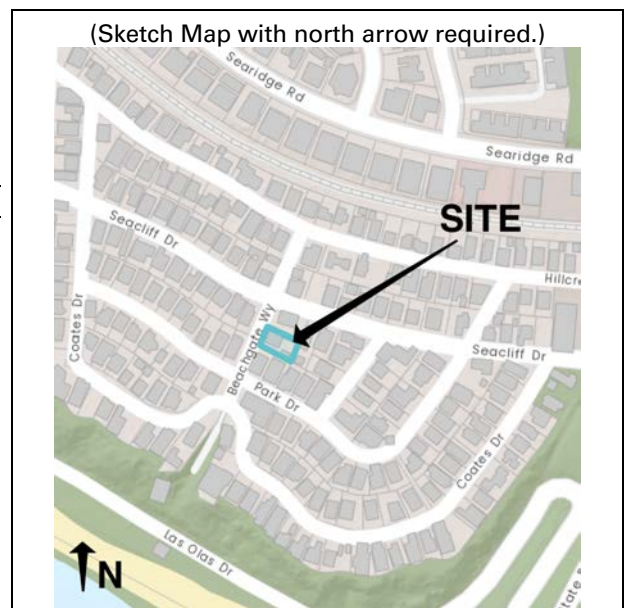
B11. Additional Resource Attributes: (List attributes and codes) none

*B12. References:
(See page 10, DPR523L)

B13. Remarks:
historic evaluation for Discretionary Application Review 231393

*B14. Evaluator: Bonnie Montgomery
*Date of Evaluation: January 4, 2024

This space reserved for official comments.)



CONTINUATION SHEET

Property Name: Wilson & McGranahan Summer Residence

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(Continued from page 1, DPR523a, P3a)

The residence is a 960-square-foot single-story wood-frame bungalow constructed in 1925. The structure is irregular in form with six room units and twelve corners (Figure 1) built on a concrete foundation. A 10-by-25-foot wing on the northeast side is slightly shorter in height than the main volume of the structure. Both roofs are flat with parapet walls lined with red Spanish tile. The same tiles appear on a shed roof over the entry porch and a roof over the kitchen door. White foam appears to cover the flat roofs (Figure 2). The walls are clad in stucco. The entry porch is on the western corner of the structure with a stucco-covered brick chimney on the southwest elevation. Fenestration includes original fixed and casement multi-lite wood windows as well as replacement metal windows. Designed in the Spanish Colonial Revival style, the house displays these character-defining features: an irregular plan set low to the ground; a flat roof with parapets and red terra-cotta tile roofing; stucco walls and decorative wall surfaces with low-relief terra-cotta sculpture; a porch with rounded arch openings, a tile roof, and wing wall.

Facing Beachgate Way to the northwest, trees, awnings, and a wooden fence provide privacy and security, but they obscure the front façade. A photo dated January 9, 1973, in the files of the county assessor's office, shows historical details that remain but are not clearly visible (Figure 3). The front façade is asymmetrical, with a shorter bedroom wing starting at the north corner and a taller main volume that ends with the entry porch at the west corner. The fenestration of the bedroom wing is a pair of eight-lite wooden casement windows flanked by single-lite fixed windows and topped with a circa 1990s black canvas awning. A window box, supported by two curved wooden posts, is attached to the stucco. The main volume is set about one foot ahead of the bedroom wing, with an original downspout along that wall (Figure 4). The 1973 photo in Figure 3 shows the original windows: paired 10-lite wooden sash windows surmounted by an arch and a round low-relief terra-cotta sculpture. These windows were likely fixed, matching the set of two windows flanking the chimney on the side elevation. Prior to 1997, according to assessment records, these windows were converted to French doors, and two wide wooden steps constructed to allow access to the front yard (Figure 5). Arched black canvas awnings hide the arch details in the stucco and obscure the terra-cotta medallions (shown in Figure 5 inset).

On the southwest side elevation facing the paving stone driveway, the same stones form a walk to the entry porch at the west corner of the house (Figure 6). Two concrete steps lead to a concrete porch landing. An arched opening stands opposite the replacement front door, which is a fan lite with four panels. As shown in Figure 3, the arched opening on the front elevation of the entry porch provided access to the residence via two concrete steps. Those concrete steps remain, but a metal railing now blocks entry from this side of the porch (Figure 7). The entry porch is capped with a shed roof of red Spanish tile.

The southwest side elevation continues to the south a pair of wooden ten-lite fixed wooden windows that flank a stucco-covered brick chimney. These windows are likely identical to the pair of windows on the front elevation that have been converted to French doors. These windows are likewise topped by contemporary black canvas awnings that follow the arch in the stucco. No terracotta medallions appear above these windows (Figure 8). The southwest elevation extends another two feet to create a bedroom wing with a small fixed rectangular window with a wooden sash and a larger metal replacement sliding window in its original wooden sash (Figure 9).

Figure 10 shows a wooden fence, built since 1973, attached to the south corner of the residence at one end and to the perimeter fence on the other. A metal replacement sliding window in its original wooden sash, identical to the one on the southwest elevation completes the bedroom wing. Figure 1 shows that, circa 1966, there were two other corners that formed a 3-foot wall and a 13-foot wall extending to the east corner of the house. Those corners are still visible at the junction of the tile roof addition with the flat roof (see Figure 2), but an approximately 40-foot addition to the kitchen and original bathroom in the late 1960s has eliminated those two corners in the house's footprint. The original wood sashes of the kitchen and bathroom windows appear to have been reused. The bathroom window has since been replaced with a metal sliding window in the wooden sash. The kitchen windows, a pair of wood casement windows, each with six lites, may be originals reused in the addition. *(Continued on next page)*

CONTINUATION SHEET

Property Name: Wilson & McGranahan Summer Residence

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The back door matches the ten-lite French doors on the front elevation. Modern gutters and downspouts drain the roof addition, which creates a deep overhang over the back patio (Figure 11). About twenty years ago, the current owners attached a piece of pressure-treated wood underneath the gutters. To that they attached another arbor constructed of tree stakes, that attaches to the perimeter fence. The northeast elevation has two windows: one is a replacement kitchen garden window, the other is a new window added in 1996 to illuminate the conversion of a closet to a bathroom. Another original downspout is on the southeast elevation, draining the flat roof of the shorter bedroom wing (Figure 12).

A 240-square-foot garage, circa 1920s, stands in the backyard along two corners of the property line. The structure is rectangular in form on a concrete slab and under a low-pitched full-width, front-facing gable roof of composition shingles. The rafters are exposed with gutters and downspouts attached for drainage. The walls are clad in tri-bevel drop siding. A replacement metal door with one lite and two panels is at the corner of the northeast elevation. A wooden garage door with mechanical hinge lift spans the front elevation (Figure 13). The decorative diamond shown on the door in 1973 (see Figure 3) has been replaced with a design that mimics the paired arched windows and awnings on the front elevation.

(End of DPR523a, P3a)

(Continued from page 2, DPR523b, B12)

Mexico gained its independence from Spain in 1821. From the 1820s to the early 1840s, the Mexican government granted large tracts of formerly Mission lands to private individuals. The subject property is part of the historic Rancho Aptos. Mexican Governor José Figueroa granted its 6,686 acres to Rafael de Jesus Castro in 1833. After Mexico ceded California to the United States, the Treaty of Guadalupe Hidalgo, signed February 2, 1848, provided that land grants would be honored. The United States government made a final survey of the rancho in 1858 (Santa Cruz County [hereafter SCC] Recorded Maps Volume 22, Page 9). Rafael Castro received his patent on April 23, 1860 (BANC MSS Land Case Files 172 SD).

In the 1850s, Rafael Castro built a 500-foot-long wharf just north of the bluffs on which the neighborhood of Seacliff Park now stands. Castro shipped hides, flour, and lumber from this wharf. In 1867, Titus Hale leased Castro's wharf; he repaired and extended it another 500 feet. His primary business was cutting oak firewood and shipping it to San Francisco from this wharf (Lydon, 2024).

In 1872, Claus Spreckels purchased Rancho Aptos from Rafael Castro. Born in Germany in 1828, Spreckels immigrated to New York in 1844. In 1856, Spreckels and his wife and son arrived in San Francisco. By 1872, he had become rich running a factory refining sugar cane imported from Hawaii and Asia. The economic potential of refining sugar from beets played some large part in Spreckels' decision to purchase Rancho Aptos. Spreckels partnered with Frederick Hihn, another German immigrant who owned vast acreage in Santa Cruz County, to bring a railroad line into the county. The line would carry freight and also allow Bay Area tourists to reach the beaches in a matter of hours rather than days. Spreckels opened his Aptos Hotel in June 1875, about 11 months before the rail line was complete. The hotel stood near Aptos Creek on today's Claus Court (Allen, 1995).

Spreckels also used the wharf Castro built, extending it in 1880 to accommodate his own ships that hauled redwood lumber from Aptos to Hawaii, then reloaded with sugar cane and shipped to his San Francisco refinery. A major storm destroyed the wharf in 1889, leaving only pilings still be seen at low tide. Spreckels' Aptos hotel was grand, but it failed financially. Aptos lost the competition for tourism to Santa Cruz and Capitola, and the town became more associated with the rough-and-tumble nature of its burgeoning logging and sawmill industries. Spreckels dismantled the Aptos Hotel in 1889 and used the lumber in his beet sugar refinery near Salinas (Allen, 1995).

(Continued on next page)

CONTINUATION SHEET

Property Name: Wilson & McGranahan Summer Residence

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After Claus Spreckels died in 1908, his heirs created the San Christina Investment Company to manage the family's personal property, including the Aptos Ranch. On July 5, 1922, the company sold the ranch to Fred L. Somers of Pomona. The deeds were recorded on August 28, 1922 (SCC Official Records [hereafter OR] Volume 317, Page 278; Volume 321, Pages 7, 10). On that same day, Somers sold the ranch to other investors (see, for example, SCC OR Volume 321, Pages 13, 14, 16; Volume 322, Pages 1, 2).

Investors worked on two fronts to reawaken Aptos as a resort town: developing the beach with entertainment and amenities for bathing, and subdividing the Aptos ranch into neighborhoods of summer homes. Seacliff Park was surveyed into house lots in phases. Subdivision No. 1, surveyed in August 1924, consists of the three blocks between the top of the bluff and Coates Drive (SCC Recorded Maps Volume 18, Page 50). The subject property is in Block H of Subdivision No. 2, surveyed in September 1924 (SCC Recorded Maps Volume 18, Page 54). Subdivision 2 consists of 12 blocks in a curvilinear warped grid, extending from Coates Drive to the railroad right-of-way. Figure 14 shows three of those blocks, including the subject property (Lot 2, Block H). The Santa Cruz *Evening News* reported sales of lots in the first two Seacliff Park subdivisions on October 27, 1924, but building did not commence until the spring of 1925. The Santa Cruz *Evening News* reported that Sunday, February 1, 1925, was a particularly fine day, with many visitors from Santa Cruz and Watsonville enjoying the beach at Seacliff and being shown lots in Seacliff Park. The *News* reported that nine houses had already been erected.

On July 14, 1925, the Santa Cruz Land Title Company granted Santa Cruz builders George G. Wilson and James R. McGranahan Lot 2 in Block H (SCC OR Volume 51, Page 470). The Santa Cruz *Evening News* noted the two builders' activity in Seacliff Park the following day with a rendering of a two-story Spanish Colonial Revival that Wilson & McGranahan were building "on the cliffs overlooking Aptos Beach" (Figure 15). The rendering is not of the subject property, but an identical house still stands at 616 Seacliff Drive (Figure 16). The Santa Cruz Land Title Company granted the 616 Seacliff lot to Wilson & McGranahan on December 17, 1925 (SCC OR Volume 62, Page 44). The July 14, 1925, article reported that a few foundations for new houses would be laid that month in Seacliff Park. Presumably, one of those homes was 106 Beachgate Way.

Wilson & McGranahan may have sold this Spanish Colonial bungalow to a Fresno couple, James R. and Hazel M. Baird, who enjoyed it for a couple of seaside seasons, but the Bairds sold the bungalow back to Wilson & McGranahan on November 1, 1927 (SCC OR Volume 92, Page 53). Wilson & McGranahan declared the subject property in their inventory of rental properties when Alice McGranahan sued her husband for divorce in 1932 (SCC OR Volume 227, Page 375). The two builders retained their real-estate holdings, but they dissolved their partnership soon afterwards. George G. Wilson received the subject property in the division of their assets, which he deeded to his wife Jeannie Wilson on July 13, 1933, along with three other lots in Santa Cruz County (SCC OR Volume 254, Page 78).

George Grant Wilson, according to naturalization records, was born in Edinburgh, Scotland, in 1887. He immigrated to the United States in 1911. He worked as a carpenter and ship joiner in Everett, Massachusetts. George and his wife and children are found in Everett in the 1920 census, but the family relocated to Santa Cruz in time for Alfred J. Wilson's birth on April 29, 1922. James Richard McGranahan, according to his obituary in the Santa Cruz *Sentinel* (March 19, 1964), was born in Jamesville, California, in 1884 and came to Santa Cruz in 1921. A search of the San Francisco *Building and Engineering News* found them receiving contracts to build private residences, commercial buildings, hospitals, churches, and schools, mostly in Santa Cruz County, but later also in Santa Clara and Monterey counties. Their partnership dissolved soon after McGranahan's divorce in 1932.

(Continued on next page)

CONTINUATION SHEET

Property Name: Wilson & McGranahan Summer Residence

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On July 6, 1935, Jeannie Wilson granted the subject property to Orpha Pye (SCC OR Volume 289, Page 380). In 1930, according to voter registration rolls, and the federal census, Elmo L. Pye, a salesman, lived with his wife Orpha Sill Pye in San Francisco. Sometime before 1935, the couple separated. In the 1936 voter registration rolls, Orpha was living in Aptos with her new husband, engineer Francis J. O'Shaughnessy. Mr. and Mrs. O'Shaughnessy spent most of their time in San Francisco, according to census and city directory listings. On June 26, 1945, Francis J. and Orpha O'Shaughnessy sold the subject property to Ernest P. Castro (SCC OR Volume 501, Page 495).

Ernest P. Castro, born in Aptos in 1903, was one of dozens of great grandchildren of Rafael Castro. He and his father, Peter Joaquin Castro, operated a service station on the north side of Route 1 near the entrance to Seacliff Park. Castro appears to have used 106 Beachgate Way as a rental for the eight years he owned it. In February 1953, he sold the property to William H. and Grace M. Grimm, according to county assessment records.

The Santa Cruz *Sentinel* announced on November 4, 1951, that "Mr. and Mrs. William H. Grimm have arrived from Kansas and have taken up residence at Aptos." Mr. Grimm had recently retired from the railroad and relocated to be near their daughter, Marcella Hudson. She had moved to Seacliff Park in 1949 with her husband and three daughters and lived at 511 Poplar St. This may have been the first time that anyone lived full time at 106 Beachgate Way. The Grimms are listed in the 1958 and 1959 Santa Cruz County directories.

Seacliff Park was a residential development with restrictive covenants, to insure that the right class of people (including only white people) lived there. Building likely slowed during the Great Depression, as it did everywhere in California, and stopped entirely during World War II, with national restrictions on using building materials for civilian purposes. Figure 17 shows an aerial photograph taken on April 1, 1948, when building restrictions were beginning to lift. Lots near the cliff had been fully developed, but many lots behind the cliff were still vacant. A 1954 U.S. Geological Survey quadrangle map published in 1954 shows that few additional houses had been built since 1948 (Figure 18). Block H had only three houses: 106 Beachgate Way (built 1925), 334 Park Drive (likely also built 1925), and 331 Seacliff Drive (build date unknown, demolished and replaced in 2008). An aerial photograph taken on July 31, 1964 (Figure 19), shows four additional houses on the block.

According to assessor records, on May 19, 1966, widowed Grace Grimm sold 106 Beachgate to the S & D Construction Company. The assessor appraised the property after the sale and drew the footprint shown in Figure 1. The 1964 aerial photograph conforms to that footprint. President Olin R. Shanrock, Jr., and Secretary-Treasurer Bob Desimpel incorporated this general contracting firm for business and industry in San Jose in 1965. Classified ads in the Santa Cruz *Sentinel* offered the house for rent during the winters of 1966 and 1967, listing the San Jose phone number of S & D Construction for inquiries. S & D employee Gary Childs and his wife Necia are listed at 106 Beachgate in the 1967 and 1969 Santa Cruz County directories. On August 20, 1969, S & D Construction sold the house to Theodore M. and Ursula M. Hider (SCC OR Book 1970, Page 527). It is likely that the unpermitted addition to the kitchen and bath plus the addition of a tile roof occurred between 1966 and 1969 while S & D Construction owned the property (see Figures 2 and 11).

Theodore Hider, an engineer at IBM in San Jose, and his wife Ursula, had a tragic connection to Aptos beaches. Their 22-year-old son Ralph drowned while surfing at Manresa Beach State Park on May 4, 1969. His body was found on May 17 at La Selva Beach. The Hiders appear to have occupied 106 Beachgate only during the summer. The address was listed as vacant in the 1973 and 1976 Santa Cruz County directories. On May 12, 1977, Theodore and Ursula Hider sold the property to Larry and Sharon Bunker (SCC OR Volume 2759, Page 223).

(Continued on next page)

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Property Name: Wilson & McGranahan Summer Residence

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Larry and Sharon Bunker lived in San Jose, where Larry was the president of Trendtec, a company supplying temporary technical labor to electronics firms. The 1978 Santa Cruz County directory indicates that the Bunkers rented 106 Beachgate to Theo and Ethel Roper, a retired couple. The Bunkers advertised the house for rental during the winter months in the Santa Cruz *Sentinel* in 1988 and 1989. An aerial photograph taken on March 14, 1985 (Figure 20), is too blurry to see the tile roof over the kitchen addition.

The Bunkers sold the property to James D. and Elaine M. Healy of Orinda on October 23, 1992 (SCC OR Volume 5133, Page 565). The Healys converted a bedroom closet into a second bathroom, according to a building permit issued on February 27, 1996. Replacement windows in other rooms likely date from this period as well. The Healys sold the property to William I. and Elizabeth R. Nowicki on August 28, 1998 (SCC Instrument No. 1998-0050783). William and Elizabeth lived in Los Altos and met while graduate students in computer science at Stanford. The Healys sold the house to the Montgomery family of San Jose on October 27, 2000 (SCC OR Instrument No. 2000-0052101). Two months later, an aerial photograph clearly shows the tile roof over the kitchen addition (Figure 21).

Joseph W. Montgomery, Jr., a real estate appraiser in San Jose, his wife Anita, and two of their sons and their wives, Theodore P. and Carol C. Montgomery and John and Gillian Montgomery, owned 106 Beachgate Way in common until April 2, 2008. John and Gillian Montgomery then purchased the house from other family members (Instrument No. 2008-0013709). Since January 27, 2011, the house has been held in the name of the John and Gillian Montgomery Revocable Trust (Instrument No. 2011-004432). Gillian Montgomery reported that the family improved the property by building the arbor connecting the kitchen door roof to the side perimeter fence, installing artificial turf in the backyard, and planting trees.

Seacliff Park today is a hodgepodge of single-family residences built between 1925 and the present day. A survey of the entire neighborhood is beyond the scope of this report, but a chronology of the development of Block H will perhaps be representative of the age of the housing inventory. The table below lists the age of each residence based on deeds, building permits, assessor data, aerial photography, and USGS mapping.

Building Chronology of Block H, Seacliff Park Subdivision No. 2

Lot	Address	Build Date	Source	Notes
2	106 Beachgate Drive	1925	Deed	Subject property
8	334 Park Drive	1925	Assessor	
10	338 Park Drive	1961	Assessor	
11	340 Beach Drive	1978	Assessor	
12	104 Beachgate Drive	1978	Assessor	
1	108 Beachgate Drive	1979	Assessor	
5	115 Loma Place	1990	Assessor	Replaced house built between 1948 and 1964
7	107 Loma Place	1995	Building Permit	
4	327 Seacliff Dr	2005	Building Permit	
9	336 Park Drive	2006	Building Permit	Replaced house built between 1954 and 1964
6	113 Loma Place	2007	Building Permit	Replaced house built between 1954 and 1964
3	331 Seacliff Drive	2008	Building Permit	Replaced house built between 1925 and 1948

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Property Name: Wilson & McGranahan Summer Residence

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Only three houses (25%) in this block are older than 50 years. Four houses (33%) were demolished between 1990 and 2008 that would now be at least 50 years old today. The median build date of these 12 houses is 1985. Seacliff Park developed too slowly for its housing inventory to be considered sufficiently historic to create an historic district or a conservation area. Each house in the neighborhood can only be assessed on its individual merits, not as a contributor to a district.

EVALUATION

To evaluate the property located at 106 Beachgate Way for its historic significance and eligibility for listing in the California Register of Historical Resources, the CRHR uses generally the same guidelines as the National Register of Historic Places (developed by the National Park Service); as such, selected language from those guidelines will be quoted below to help clarify the evaluation discussion. To be potentially eligible for individual listing on the CRHR, a structure must usually be more than 50 years old, must have historic significance, and must also retain its physical integrity. Built in 1925, this residence meets the age requirement.

In addition, the report uses the *County of Santa Cruz Survey of Historic Resources Update and Context Statement* (Lehmann, 1994) as a standard for evaluating this property. According to the *Secretary of the Interior's Standard for the Treatment of Historic Properties*, development of historic contexts is the foundation for decisions about identification, evaluation, registration, and treatment of historic properties. The Wilson & McGranahan Summer Residence falls under Context 2: Residential, Commercial, and Institutional Architecture, beach house property type.

Criterion A/1: Properties can be eligible for the National Register (Criterion A) or California Register (Criterion 1) if they are associated with events that have made a significant contribution to the broad patterns of national or state history. No single event at this property made a significant contribution to national or state history. This beach bungalow built in 1925 is representative of the type of residence built when the neighborhood began to be developed, but its significance is lost among the neighborhood's housing inventory that spans almost 100 years. It does not appear individually eligible for the National Register or California Register under Criterion A/1.

Criterion B/2: Properties may be eligible for the National Register (Criterion B) or the California Register (Criterion 2) if they are associated with the lives of persons significant in our past. The house is named for its builders, George G. Wilson and James R. McGranahan, who owned it for its first eight years. Subsequent owners were not significant to the history of the city, state, or nation; therefore, the property does not appear to be eligible for the National Register or California Register under Criterion B/2.

Criterion C/3: Properties may be eligible for the National Register (Criterion C) or the California Register (Criterion 3) if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. This Spanish Colonial Revival bungalow built in 1925 is typical of the style built in Santa Cruz and throughout California in the 1920s, but its design and materials are not distinctive. George G. Wilson and James R. McGranahan, local builders active between 1924 and 1932, deserve further study, but they were not distinguished men among their peers. The property would therefore not appear to qualify for the National Register or California Register under Criterion C/3.

Criterion D/4: All research and physical investigation of the project's site has focused only on the ground above the structure. Therefore, no informed determination can be made regarding this property's potential to yield archeological information important in prehistory or history or its eligibility for either the National Register or California Register under Criterion D/4.

(Continued on next page)

CONTINUATION SHEET

Property Name: Wilson & McGranahan Summer Residence

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(Continued from previous page)

When considering the property under the County of Santa Cruz Ordinance No. 4922 (Chapter 16.42 of the County Code relating to historic preservation), a historic resource is defined as “Any structure, object, site, property, or district which has a special historical, archaeological, cultural or aesthetic interest or value as part of the development, heritage, or cultural characteristics of the County, State, or Nation, and which either has been listed in the County General Plan, or has been listed in the Historic Resources Inventory adopted pursuant to Section 16.42.080 of this Chapter and has a rating of significance of NR-1, NR-2, NR-3, NR-4, or NR-5.”

“Protected Historic Resources” are those structures, objects, properties, sites, and districts as designated by Certified Resolution of the Board of Supervisors and thereby incorporated by reference and made a part of Chapter 16.42 of the County Code. Designation criteria are similar to that of the National and California Registers.

In evaluating 106 Beachgate Way under the Santa Cruz County Code, the property does not appear to qualify for listing on the Inventory.

INTEGRITY

Integrity refers to a property’s ability to convey its significance. Significance is conveyed by the retention of a resource’s visual and physical characteristics and its surroundings. The National Register criteria recognize seven aspects to integrity: location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity, a property will always possess several, and usually most, of these aspects.

The modern test of integrity according to the California Office of Historic Preservation is to stand on the sidewalk and ask yourself the following question: “Does the resource display enough of what made it significant for its historical period that it can be easily grasped by the average passerby?” Properties must have sufficient integrity in addition to meeting the criterion for significance to be considered a qualified historic resource.

The Wilson & McGranahan Summer Residence at 106 Beachgate Way retains most aspects of historic integrity. It is in its original location and continues its use as a beach house. It is of recognizably Spanish Colonial Revival design. Modern window replacements and awnings detract from the original materials and workmanship, but these are reversible. The house stood in a block with mostly vacant lots between 1925 and 1973. The feeling of space and openness without fences is easily seen in Figure 3, but that has since been lost in a dense block of beach houses that occupy most of their lots.

CONCLUSIONS AND RECOMMENDATIONS

The residence at 106 Beachgate Way is a representative, but not distinctive example of the Spanish Colonial Revival bungalow style of the 1920s. It has mostly been used as a summer vacation rental, with no association with important historical personages. If the neighborhood housing inventory mostly dated from an historical period, an argument could be made that the house would be a contributor to historic district or conservation area. Individually, the house does not qualify for the National Register, California Register, or for listing on the county inventory of historic resources.

(End of DPR523b, B10)

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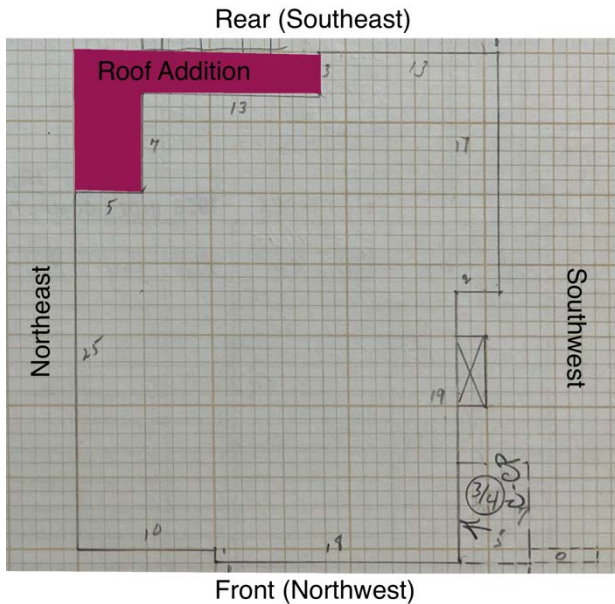
(Continued from page 2, DPR523b, B12)

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Figure 5. Front (northwest) elevation, main volume; inset, detail of terra-cotta medallion. (Source: Site visit, December 5, 2023.)



Figure 6. Side (southwest) elevation, entry porch. (Source: Site visit, December 11, 2023).

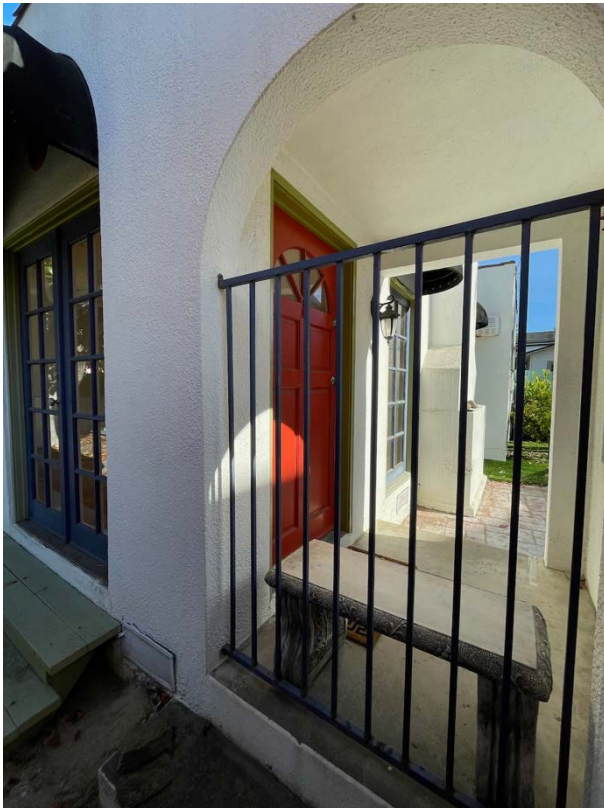


Figure 7. Front (northwest) elevation, concrete steps to porch blocked by metal railing; replacement front door. (Source: Site visit, December 5, 2023).

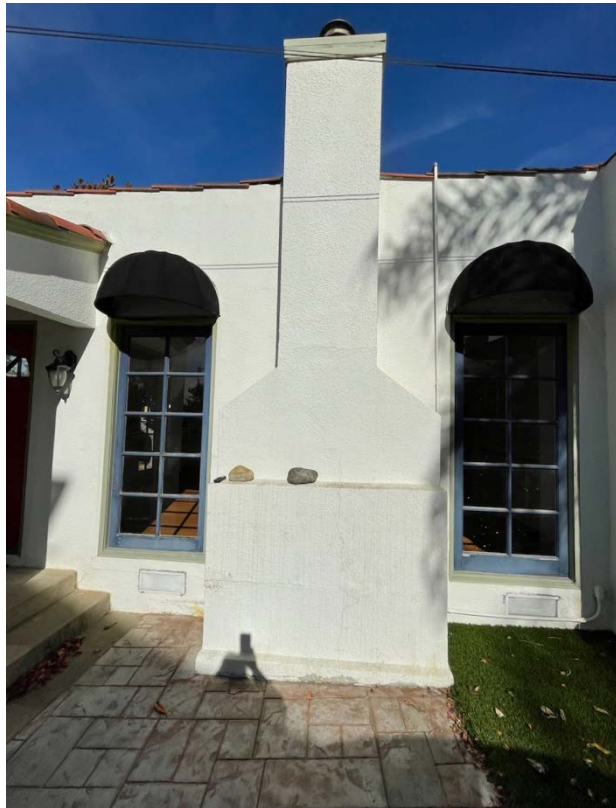


Figure 8. Side (southwest) elevation, chimney flanked with windows (Source: Site visit, December 5, 2023.)

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Property Name: Wilson & McGranahan Summer Residence

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Figure 9. Southwest elevation, bedroom wing. (Source: Site visit, December 5, 2023).



Figure 10. Rear (southeast) elevation. (Source: Site visit, December 5, 2023.)



Figure 11. Northeast elevation, back door and roof addition. (Source: Site visit, December 5, 2023).



Figure 12. Northeast elevation. (Source: Site visit, December 5, 2023).



Figure 13. Garage. (Source: Site visit, December 5, 2023).

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Property Name: Wilson & McGranahan Summer Residence

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HISTORICAL MAPS AND PHOTOGRAPHS

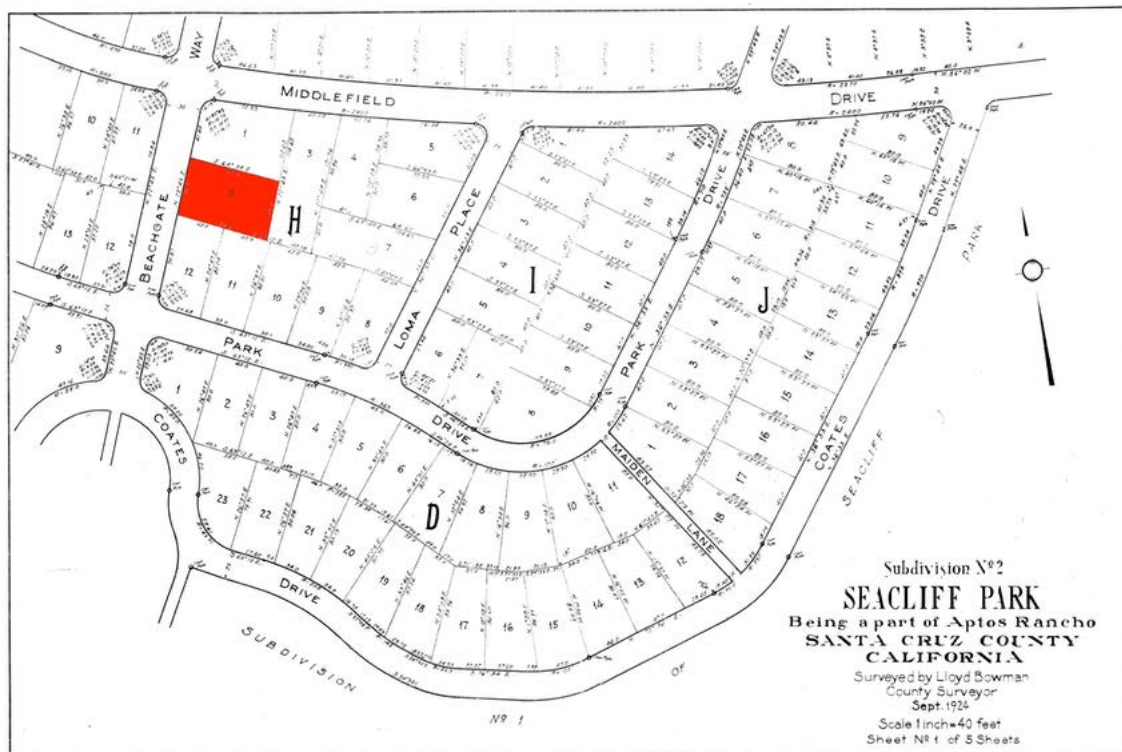


Figure 14. Seacliff Park Subdivision No. 2, Sheet 1, with subject property (Lot 2, Block H) highlighted in red. (Source: SCC Recorded Maps Volume 18, Page 54.)

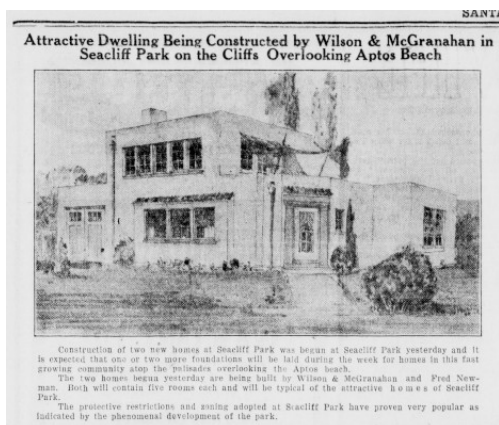


Figure 15. Rendering of house being constructed in Seacliff Park by Wilson & McGranahan. (Source: Santa Cruz Evening News, July 14, 1925.)



Figure 16. 616 Seacliff Drive, Aptos, as photographed by Google Street View in March 2015.

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Figure 17. April 1, 1948, aerial photograph cdf5_3-20, cropped to Seacliff Park subdivisions 1 and 2.

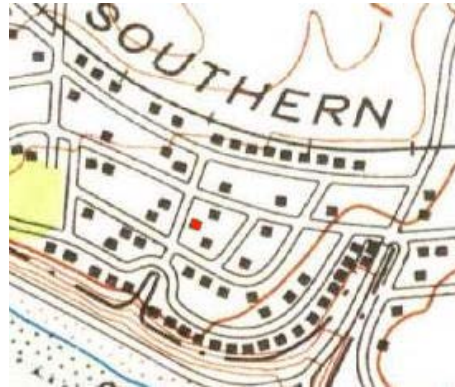


Figure 18. U.S. Geological Survey, Soquel Quadrangle, 1954, cropped to Seacliff Park subdivisions 1 and 2. Subject property highlighted in red.



Figure 19. July 31, 1964, aerial photograph ha-yb_70, cropped to Block H, Seacliff Park Subdivision No. 2.



Figure 20. March 14, 1985, aerial photograph wac-85ca_13-165, cropped to Block H, Seacliff Park Subdivision No. 2.



Figure 21. January 1, 2001, aerial photograph HM_2001_USA, Frame 3044-44, cropped to Block H, Seacliff Park Subdivision No. 2.

Parcel Information

Services Information

Urban/Rural Services Line:	<u>X</u> Inside <u> </u> Outside
Water Supply:	Soquel Water District
Sewage Disposal:	Santa Cruz Sanitation District
Fire District:	Central Fire Protection District
Drainage District:	Zone 6

Parcel Information

Parcel Size:	4,094 square feet
Existing Land Use - Parcel:	Single-family residential
Existing Land Use - Surrounding:	Single-family residential
Project Access:	Beachgate Way
Planning Area:	Aptos
Land Use Designation:	R-UM (Urban Medium Density Residential)
Zone District:	R-1-4 (Single-family Residential)
Coastal Zone:	<u>X</u> Inside <u> </u> Outside
Appealable to Calif. Coastal Comm.	<u>X</u> Yes <u> </u> No

Technical Reviews: Soil Report Review (REV231177)

Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Fire Hazard:	Not a mapped constraint
Slopes:	0-5%
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No grading proposed
Tree Removal:	2 citrus trees proposed to be removed
Scenic:	Not a mapped resource
Archeology:	Not mapped/no physical evidence on site