



Staff Report to the Zoning Administrator

Application Number: **201399**

Applicant: Maximillian Brandt
Owner: Fitzdoon Futures LLC (Toraun McKinney)
APN: 059-111-01
Site Address: 6005 Laguna Road, Santa Cruz

Agenda Date: May 3, 2024
Agenda Item #: 2
Time: After 9:00 a.m.

Project Description: Proposal to recognize the unpermitted reconstruction of an existing non-conforming single-family dwelling, and to authorize the structure to be elevated for flood protection purposes. Project would result in a two-story structure with a two-car garage and 450 square foot workshop on the first floor, 1,242 square feet of conditioned living space on the second floor, and an attic.

Project requires a Coastal Development Permit, a Variance to reduce the front yard setback from 40-feet to 6-feet, a Variance to reduce the rear yard from 20-feet to 3-feet, a Variance to reduce the east side yard from 20-feet to 2-feet, and a Variance to exceed to 28-foot height limit to a maximum height of 33-feet.

Location: Property is located about six hundred feet from the intersection of the southern end of Laguna Road and Highway 1.

Permits Required: Coastal Development Permit, Variance

Supervisory District: District 3 (District Supervisor: Justin Cummings)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 201399, based on the attached findings and conditions.

Project Description & Setting

The subject property is located approximately five miles north of Santa Cruz City limits and three miles south of the town of Davenport. Laguna Road is on the inland side of Highway 1, and is split into north and south portions, bisected by a failed bridge over Laguna Creek. The subject parcel is accessed via the southern portion of Laguna Road, in a cluster of dwellings built between Laguna Creek and an unnamed private roadway extending into the mountains.

Permit history on the subject property is limited. Assessor Records indicate that the property was developed with a 1,146 square foot two-bedroom house circa 1904. The house was constructed in the southeast corner of the property, about 11-feet from the front property line at Laguna Road, 75-feet from west property line at Laguna Creek, 2.5-feet from the right-of-way on the east

property line, and 123-feet from the rear property line to the north. A 792 square foot barn is developed just north of the existing dwelling.

The house and property became dilapidated over the years, and in 2012 violations were issued for unpermitted grading within a riparian area, for unauthorized occupation of trailers, and for illegal dwelling units. That violation remained outstanding until the property was purchased in 2019. Shortly after purchase, the property was cleaned up and a substantial unpermitted remodel began. In 2020, Code Compliance staff, in lieu of issuing an additional citation, compelled the property owner to submit permits to authorize the remodeling, and this application was received in December 2020. The home is presently unfinished and not lived in.

The proposed project would recognize the unpermitted construction to date (including a reroof, electrical, mechanical, siding, and plumbing), would authorize finish work to make the house habitable, and would permit the house to be elevated above of the base flood elevation through the construction of a nonhabitable storage and garage space on the first floor.

The project requires a Coastal Development Permit, as the project site is located within the Coastal Zone, is mapped scenic, and is within 100-feet of a wetland and stream. Variances to reduce the front, rear, and side yard setbacks are proposed to authorize the reconstruction and elevation of the nonconforming footprint of the home, and height variance is requested to raise the structure beyond the flood zone.

Zoning & General Plan Consistency

The subject property is a 25,439 square foot lot, located in the RA (Residential Agricultural) zone district, a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's AG (Agricultural) General Plan designation.

Prior to the unpermitted development, the existing dwelling on the property was a legal nonconforming dwelling (constructed prior to permitting requirements) and maintains substantially reduced setbacks than current RA or R-1-16 zone district standards. The parcel is considered a substandard lot (as defined in SCCC 13.10.323(E)(2)) in that it maintains less than 80 percent of the one-acre minimum site area required for the RA zone district; therefore, the required site standards for parcels 16,000 square feet to less than one acre are applied, resulting in slightly reduced setbacks at the front, side, and rear yard.

Nonconforming Structure and Modifications

Existing development on the property is nonconforming to current site standards, developed to within 12 feet of the front yard and 3 feet of the east side yard. The west side and rear yards are consistent with site standards. The proposed reconstruction of these nonconforming elements is evaluated under the County nonconforming structures ordinance (SCCC 13.10.262). The modification worksheet submitted with the project plans (Exhibit D) indicates that the project would modify 61 percent of the structural components (including 100 percent modifications of the foundation, roof, and floors). Because the development is located within 5 feet of a vehicular right of way, reconstruction of the nonconforming elements requires an Administrative Site Development Permit. New nonconforming development is subject to Variance approval.

Given that permit history at the project site is limited and that the structure has been historically and recently modified without the benefit of permits, it is difficult to discern the specific elements

of the structure which are legal nonconforming, and which represent unpermitted construction. Therefore, rather than evaluating portions of the project as a “reconstruction” under the nonconforming regulations and portions of the project as new construction subject to variance approval, the entire development has been evaluated under the provisions of the Variance approval regulations (SCCC 13.10.230, discussed below).

Variance to Setbacks and Height

The sum of the proposed project would result in a reconstructed home which is developed within the front and east side yards and would exceed the 28-foot maximum height limit for the zone district. The table below represents the existing and proposed development standards versus the applicable zone district standards. As previously discussed, the substandard parcel size results in alternative development standards.

	Existing	Proposed	RA Zone District*	R-1-16 to <1-acre Zone District*
Front yard (Laguna Road)	12-feet	6-feet	40-feet	30-feet
Side yards	75-feet (west), 2-feet (east)	65-feet (west), 2-feet (east)	20-feet	15-feet
Rear Yard	123-feet	120-feet (house), 3-feet (water tanks)	20-feet	15-feet
Maximum Height	21-feet	33-feet	28-feet	28-feet

**Development standards above reflect the standards implemented when project was deemed “Complete for Processing” and do not reflect the Sustainability Update standards adopted as of March 19, 2024.*

The proposed increase in height is required for compliance with County flood regulations (SCCC 16.13), which require flood proofing or elevation of the habitable portions of the structure outside of the base flood elevation (BFE). County Environmental Planning staff have reviewed and accepted a hydrology report submitted by the applicant (Exhibit G), which establishes a BFE of 32.73 feet. The result of compliance with the flood regulations is that the first floor of the house is required to be elevated approximately five to six feet above existing grade. Since the structural portions of the house are completed, the proposed design would elevate the entire structure and bring the first habitable floor to 9.5-feet above existing grade and would add a new garage and non-habitable storage space below. In other words, the applicant is proposing four to five feet of additional elevation to accommodate non-habitable parking and storage under the house, resulting in a structure with a maximum height of 33-feet.

Staff support the project design, in that the site is constrained by conditions which are not present on typical residential building sites. The half-acre parcel is encumbered by a creek and riparian area on the western property line which prevents development on that portion of the parcel. The creek also affects the siting of the septic system, further limiting the area in which structures can be developed. The proposed setback reductions would have minimal affect on adjacent properties and visually, the setbacks established from the new development would match existing the pattern of development, which has existed on the site since the early 1900s. The increase in building height is supported in that flood regulations require lifting the home off the existing foundation and elevating it at least six feet above grade. The additional height proposed by the applicant provides covered parking and additional storage for the property, where further development of accessory

structures is limited. An alternative to approval of the height variance would require the owner to deconstruct the upper roofline and attic portions of the structure to meet the 28-foot height limit. However, a reduction in height is not expected to have a material effect on the privacy of adjacent properties and would not be detrimental to private or public viewsheds.

Design Review

The proposed project is subject to the County's Design Review Ordinance (SCCC 13.11) as the project site is characterized as a "sensitive site" visible from a scenic road (Highway 1). The project site does not benefit from any physical screening from the Highway 1 viewshed because the site is located more than 500-feet from the highway and the home is thus not visually prominent.

The building design neither adds nor detracts from the character of the area, as there is no specific architectural character or development pattern in the neighborhood. The Hardie plank siding used for the proposed project is similar in design as the teardrop siding used in the original structure and the composite roofing material will be retained. The increased building height proposed by the structure would not impose on the natural landscape of the surrounding area and the resulting structure will blend into the surrounding topography.

Agricultural Resources and Agricultural Buffer Requirements

SCCC 16.50.095 establishes requirements for agricultural buffers "to prevent or minimize potential conflicts between either existing or future commercial agricultural and habitable land uses (i.e., residential, recreational, institutional, commercial or industrial)" and requires a 200-foot buffer between Types 1, 2, or 3 agricultural resource lands and non-agricultural uses involving habitable uses. Parcels surrounding the project site are designated Type 3 Agricultural Resources, indicating viable commercial agricultural land within the Coastal Zone, and have historically been used for both grazing and farming. The site itself does not maintain an agricultural resource designation.

Given that original dwelling was constructed prior to buffering requirements, that the reconstruction would not develop further into the buffer setback, and that the project design maintains design elements to provide physical buffers, the determination was made that the proposal would not require the establishment of a new agricultural buffer setback. Notwithstanding, the project is conditioned to require a Statement of Acknowledgement as there is no acknowledgment on record.

Local Coastal Program Consistency

The proposed single-family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete

listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **201399**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Hydraulic Analysis, prepared by Waterways Consulting, dated 3-2-15.
- H. Acceptance Letter for Hydraulic Analysis (REV231219), prepared by Rick Parks, GE 2603, dated 12-13-23
- I. Acceptance Letter for Soils Report (REV231220), prepared by Rick Parks, GE 2603, dated 12-8-23
- J. Archaeological Report Review (REV231218), prepared by Leah MacCarter, dated 11-21-23

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 201399

Assessor Parcel Number: 059-111-01

Project Location: 6005 Laguna Road, Santa Cruz

Project Description: Proposal to recognize the unpermitted reconstruction of an existing single-family dwelling

Person or Agency Proposing Project: Toruan McKinney

Contact Phone Number: 530-412-0375

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Evan Ditmars, Project Planner

Date:_____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned RA (Residential Agricultural), a designation which allows residential uses. The proposed single-family dwelling is principally permitted use within the zone district, and the zoning is consistent with the site's AG (Agricultural) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available 1000 feet north of the property at Laguna Creek Beach.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are an allowed use in the RA (Residential Agricultural) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single-family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the single-family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the site is constrained by conditions which are not present on typical residential building sites. The half-acre parcel is encumbered with a creek and riparian area on the western property line which prevents development on that portion of the parcel. The creek also affects the siting of the septic system, further limiting the area in which structures can be developed. Additionally, the site is within a flood zone and subject to flood regulations, which limit development on the first floor of the structure. Properties of all zoning classifications which are similarly constrained by flood regulations are often developed with structures that exceed district-standard building heights.

2. That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety or welfare or injurious to property or improvements in the vicinity.

This finding can be made, in that the proposed setback reductions would have minimal effect on adjacent properties and visually, the setbacks established from the new development would match the existing pattern of development, which has existed on the site since the early 1900s. The home would be sited at the front of the parcel, roughly 200-feet from the neighboring dwelling to the north and 175-feet from the dwelling to the west. Parcels to the south and east are vacant. Therefore, neither the increased building height nor the reduction in setbacks would be detrimental to the intent and purpose of the zoning objectives of the RA zone district. Light, air, privacy, solar access, and open space are preserved for dwellings in the vicinity, and the development is compatible with the physical limitations of the land and does not impair the natural environment.

3. That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

The granting of the variances for this project would not constitute a granting of special privileges. Properties located in flood zones, including those along the shoreline or adjacent to a river or stream, are often approved with additional building height to allow property owners to construct reasonably sized houses commensurate in size to homes developed outside the flood zone. Any property subject to similar flood constraints could be considered for a similar variance.

Similarly, a reduction to the required setbacks does not represent a granting of privileges, as County Code provides a number of provisions for development within the required yards. Specifically, the County nonconforming regulations establish a procedure for allowing the reconstruction of nonconforming structures with nonconforming setbacks. Any nonconforming structure developed to a similar extent as the subject property could be redeveloped with a reduction in the required setbacks. The proposed reductions are consistent with the limitations of development for nonconforming properties.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single-family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agricultural) zone district as the primary use of the property will be one single-family dwelling.

The proposed variances will facilitate compliance with the County floodplain management regulations (SCCC 16.13), the riparian corridor and wetlands protection regulations (SCCC 16.30), and with the County nonconforming structures regulations (SCCC 13.10), in that the structure will be elevated outside of base flood elevation, will be located outside of riparian areas adjacent to the creek, and that the proposal will reconstruct nonconforming portions of an existing legal structure and that the reconstruction would not be detrimental to public health, safety, welfare, or the environment.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the AG (Agricultural) land use designation in the County General Plan.

The proposal complies with General Plan Policy 8.2.2 (Designing for Environmental Protection), in that the structure would be elevated outside of base flood elevation and would be sited (with reduced setbacks) to ensure development on the parcel is located outside of the designated riparian buffers.

The proposed single-family dwelling is consistent with General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that although the structure would be elevated above the zone district height limit, the proposed development would be just 3,064 square feet, with just 1,252 square feet of living space. The structure would be proportionate in size for the 25,439 square foot parcel.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family dwelling is to be constructed on an existing developed lot. No increase in traffic is anticipated as a result of the project, as the proposal reduces the number of bedrooms in the dwelling from three to two.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single-family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single-family dwelling will be of an appropriate scale and type of design and because there is no specific architectural character or development pattern in the neighborhood, the proposal will not detract from the character of the area. The Hardie plank siding used for the proposed project is similar in design as the teardrop siding used in the original structure and the composite roofing material will be retained. The increased building height proposed by the structure would not impose on the natural landscape of the surrounding area and the resulting structure will blend into the surrounding topography.

Conditions of Approval

Exhibit D: Project plans, prepared by Maximilian Brandt, dated December 14, 2023.

- I. This permit authorizes the reconstruction and remodel of an existing single-family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height

measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depicts the total height of the proposed structure. Maximum height is 33 feet.

5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
- C. Obtain a permit to install an enhanced treatment sewage disposal system.
1. Permit application for an enhanced treatment sewage disposal system must be approved by the State Central Coast Regional Water Quality Control Board.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
1. The applicant shall provide a signed and stamped copy of an accepted soils report and update(s).
 2. Building permit application plans shall reference the soils report and update(s), include contact information for the geotechnical engineer, and include a statement that the project shall conform to the recommendations of the geotechnical engineer.
 3. Building permit application plans shall clearly represent all proposed grading, including any over excavation and recompaction as recommended by the geotechnical engineer.
 4. Submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual.

5. Submit a drainage plan that complies with the requirements set forth in 2022 California Building Code (CBC) Section 1804.4 and the recommendations of the soils engineer.
6. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The plan review form shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the soils report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report. The author of the report shall sign and stamp the completed form. An electronic copy of this form may be found on our website: www.sccoplanning.com, under “Environmental”, “Geology & Soils”, “Assistance & Forms”, “Soils Engineer Plan Review Form”.
7. The building permit application shall provide the contact information for the archaeologist of record.
8. The building permit application shall comply with Santa Cruz County Code 16.10.070.(F)(3), elevation and construction requirements for development within a flood hazard area.
9. The cover sheet and civil sheets shall clearly list the Base Flood Elevation (BFE) as determined by the Civil Engineer of Record for the project and stated in the approved hydrology report as 32.79 ft (NAVD88).
10. The grading plans shall clearly label the BFE contour as a dark, bold line. Architectural cross sections shall indicate the BFE and design flood elevation (BFE +1 ft). All elevation data shall be referenced to NAVD 88.
11. The source and date of survey data shall be indicated on the building permit plans. All survey data shall be referenced to NAVD 88.
12. The lowest floor, including the basement, and the top of the highest horizontal structural member (joist or beam) which provides support directly to the lowest floor, and all elements that function as a part of the structure, such as furnace, hot water heater, etc., shall be elevated at least one foot above the 100-year flood level. Foundations shall be designed to minimize flood water displacement and flow damage. Where a piling or caisson foundation system is used the space below the lowest floor shall be free of obstruction or be enclosed with wood-constructed lattice work or screens designed to collapse or be carried away under the stress of flood waters without jeopardizing the structural support of the building.
13. Fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls allowing for the entry and exit of flood waters. Designs for meeting this requirement must either be certified by a registered professional

engineer or architect or shall provide a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding. The bottom of all openings shall be no higher than one-foot above grade. Openings may be equipped with screens, louvers, valves or other coverings or devices; provided that they permit the automatic entry and exit of flood waters.

- E. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County/ CAL Fire Fire Protection District.
 - F. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - G. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per square foot for single-family dwellings.
 - H. Pay the current fees Child Care mitigation. Currently, these fees are \$0.85 per square foot for single-family dwellings.
 - I. Pay the current Affordable Housing Impact Fee. The fees are based on new habitable square footage and the current fee for a dwelling up to 2,000 square feet is \$2 per square foot.
 - J. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of-way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - L. The owner shall record a Declaration of Restriction to maintain the garage and workshop as nonhabitable, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning.
 - M. The owner shall record a Statement of Acknowledgement, as prepared by Santa Cruz County Planning, and submit proof of recordation to Santa Cruz County Planning. The statement of Acknowledgement acknowledges the adjacent agricultural land use and the agricultural buffer setbacks.
- III. Prior to subfloor building inspection, compliance with the elevation requirement shall be certified by a registered professional engineer, architect, or surveyor and submitted to Environmental Planning.
- IV. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. Compliance with lowest floor elevation, flood venting, and heating and electrical component requirements shall be established via a construction elevation certificate prepared by a registered civil engineer or architect and submitted to County staff for review prior to finalization of the building permit.
- C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- D. The project must comply with all recommendations of the approved soils reports.
- E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080 shall be observed.

V. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

VI. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of

California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

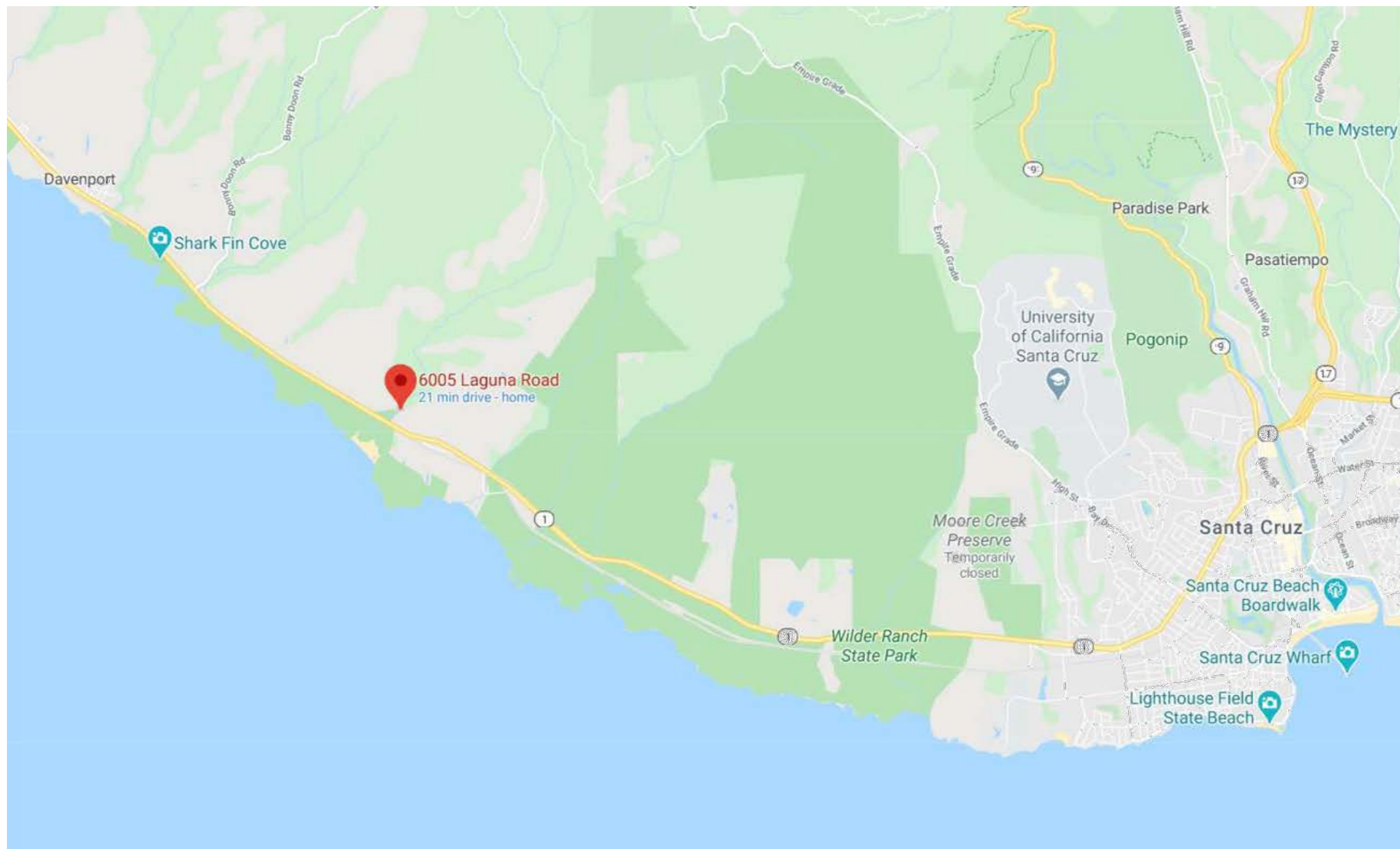
Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA GREEN BUILDING CODE

2019 CALIFORNIA FIRE CODE AS ADOPTED BY THE STATE OF CALIFORNIA
AND THE LOCAL FIRE PROTECTION DISTRICT

SANTA CRUZ COUNTY CODE AMENDMENTS

NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.

- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.

- CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.

ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGIN. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.

- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.

- ALL DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.

- COORDINATION:

THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAINS.

IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.

THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.

THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.

- ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.N.O.

- THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.

- VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.

- THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, U.N.O.

- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

PROJECT SCOPE

RESTORATION OF AN EXISTING LEGAL DWELLING INCLUDING UPGRADE OF FOUNDATION & ROOF, WIU UPGRADE FOR WINDOWS AND DOORS, MECHANICAL, ELECTRICAL, AND PLUMBING UPGRADES TO MEET CURRENT ENERGY & WATER EFFICIENCY CODE. SIDING UPGRADE TO CEMENT FIBER TO BRING TO FIRE-RESISTANCE CODE. DEMOLITION OF FORMER UNPERMITTED & SUBSTANDARD "MUD ROOM"; DISINTEGRATED DURING CLEAN OUT AND WAS DISPOSED OF.

THE EXISTING BUILDING SHALL BE RAISED IN ORDER TO MITIGATE THE RISK OF FLOOD DAMAGE, TO INSTALL A NEW FOUNDATION, AND TO PROVIDE A GARAGE UNDERNEATH.

IMPERVIOUS AREAS

EXISTING:
RESIDENCE:
CONDITIONED:
FRONT PORCH:
BARN:
TOTAL:

1,345 SF
104 SF
792 SF
2,241 SF

PROPOSED:
RESIDENCE:
CONDITIONED:
DECK & STAIRS:
STAIR & DOOR LANDINGS:
BARN:
TOTAL:

1,252 SF
560 SF
77 SF
792 SF
2,681 SF

PROJECT DATA

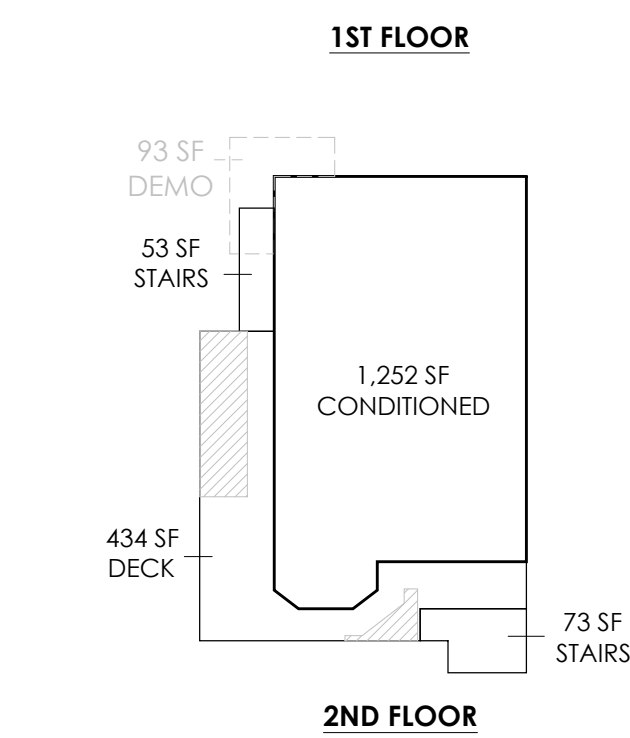
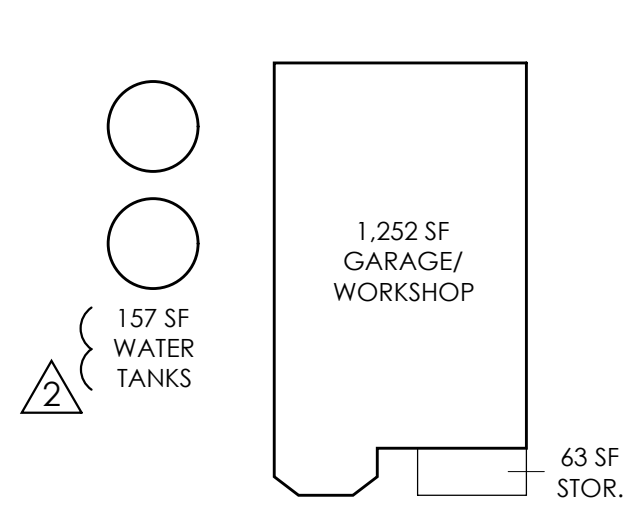
APN: 059-111-01
ZONING: RA
OCCUPANCY: R3
RESIDENCE: S
BARN: V8
CONSTRUCTION TYPE: YES
SPRINKLERED: YES
STATE RESPONSE AREA: SRA-MODERATE
MAX. BUILDING HEIGHT W/O VARIANCE: 28'
PROPOSED BUILDING HEIGHT: 32'-8"
MAXIMUM NUMBER OF STORIES: 2

FLOOR AREAS
RESIDENCE:
EXISTING:
CONDITIONED:
FRONT PORCH:
TOTAL:
PROPOSED:
CONDITIONED:
GARAGE / WORKSHOP:
2ND FLOOR DECK:
SOUTH STAIRS:
WEST STAIRS:
TOTAL:
BARN:
FLOOR AREA RATIO:

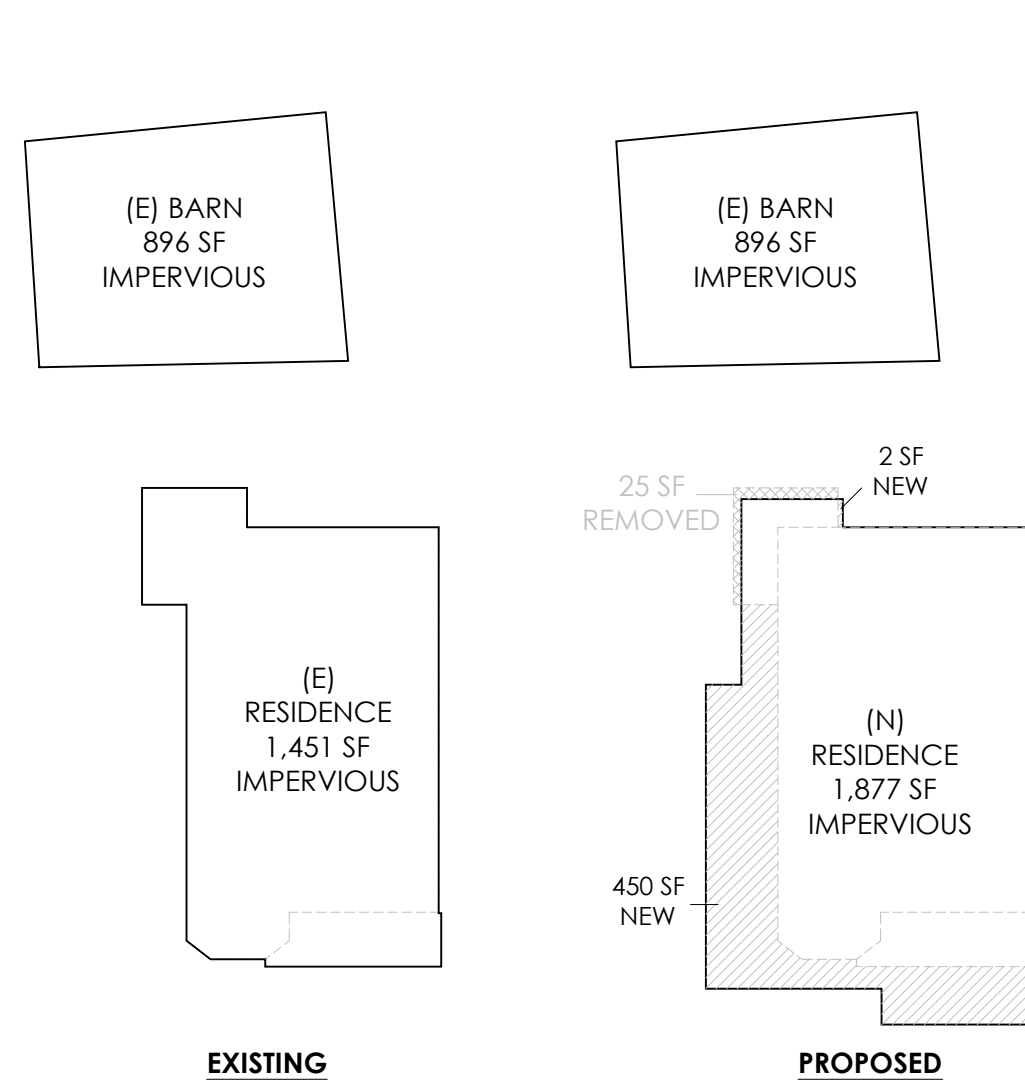
1,345 SF
104 SF
1,449 SF
1,252 SF
1,252 SF
434 SF
73 SF
53 SF
3,064 SF
792 SF
N/A

LOT COVERAGE
LOT SIZE: 25,439 SF (0.584 ACRE)
MAX. LOT COVERAGE: 10 % (2,544 SF)
(E) LOT COVERAGE: 8.8 % (2,241 SF)
PROPOSED LOT COVERAGE: 9.6% (2,455 SF)

AREA DIAGRAMS



IMPERVIOUS AREAS



CONTACTS

OWNER / DESIGNER IN RESPONSIBLE CHARGE

TOR STARK AND TORAUIN MCKINNEY
6005 LAGUNA ROAD
SANTA CRUZ / CA 95060
VOICE: (831) 234-5337
(530) 412-0375
(831) 430-6446
toraun@gmail.com
tssurf@aol.com

PLAN SET PREPARATION

MAXIMILIAN BRANDT
3401 WINKLE AVE
SANTA CRUZ / CA 95065
VOICE: (831) 466-9078
maximilianbrandt72@gmail.com

SURVEYOR

EDMUNDSON & ASSOCIATES
1512 SEABRIGHT AVENUE
SANTA CRUZ, CA 95062
(831) 425-1796

SOILS ENGINEER

HARRO, KASUNICH & ASSOCIATES INC.
116 EAST LAKE AVENUE
WATSONVILLE, CA 95076
(831) 722-4175

HYDROLOGY STUDY

WATERWAYS CONSULTING INC.
ATTN: BRIAN M. SMITH
509A SWIFT STREET
SANTA CRUZ, CA 95060
(831) 421-9291

ENHANCED SEPTIC DESIGN

MICHAEL GUILBERT, PE
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(775) 750-4640
meguilbert@gmail.com

ARCHEOLOGICAL SURVEY

PATRICIA PARAMOURE
5439 SOQUEL DRIVE
SOQUEL, CA 95073
(408) 891-9678
patparamourearcheconsult@gmail.com

GEOTECHNICAL REPORT

ALL CONSTRUCTION MUST COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL INVESTIGATION BY HARRO, KASUNICH & ASSOCIATES FROM SEPTEMBER 2023

SHEET INDEX

A1 VICINITY MAP, PROJECT SCOPE, OVERALL SITE PLAN, SHEET INDEX, GENERAL NOTES
A1.1 CLOSE-UP SITE PLAN, STORMWATER MANAGEMENT PLAN, BEST MANAGEMENT PRACTICES
A2.1 EXISTING FLOOR PLAN
A2.2 EXISTING SECTIONS
A2.3 EXISTING ELEVATIONS
A3 FLOOR PLAN & ROOF PLAN
A4 SECTIONS
A5 ELEVATIONS
A6.1 OMITTED
A6.2 OMITTED
A6.3 OMITTED
COLOR BOARD

FIRE NOTES

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION) AND SANTA CRUZ COUNTY AMENDMENTS.

ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARDS FPO-006 AND SHALL REQUIRE PLAN SUBMITTAL AND PERMIT APPROVAL PRIOR TO INSTALLATION. THE STANDARD IS AVAILABLE AT THE SANTA CRUZ COUNTY FIRE MARSHALL OFFICE UPON REQUEST.

ALL BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF **NFPA 13** D AND ADOPTED STANDARDS OF SANTA CRUZ COUNTY.

THE ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED ROOF.

THE DRIVEWAY / ACCESS ROAD SHALL BE IN PLACE PRIOR TO ANY FRAMING CONSTRUCTION, OR CONSTRUCTION WILL BE STOPPED.

A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDINGS OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH. EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY, OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.

THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.

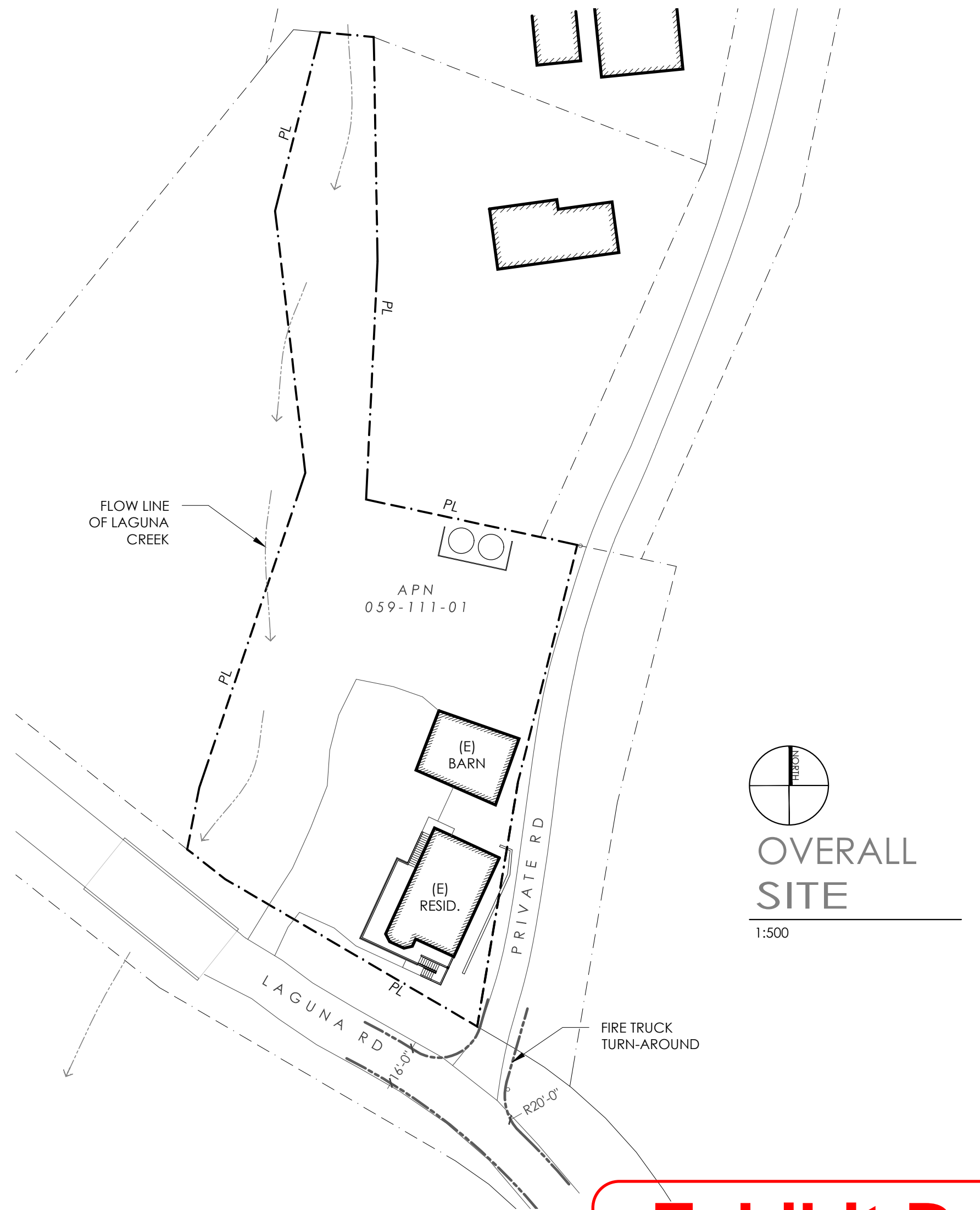


Exhibit D

Torauin McKinney
Torauin McKinney
Tor Stark

6005 LAGUNA ROAD

RESIDENTIAL REMODEL

6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

VICINITY MAP,
PROJECT SCOPE,
SITE PLAN,
SHEET INDEX,
GENERAL NOTES

SCALE AS NOTED
DATE 12. NOV. 2020

REVISIONS

25. SEPT. 2023

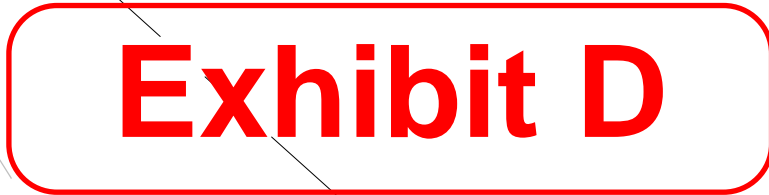
14. DEC. 2023

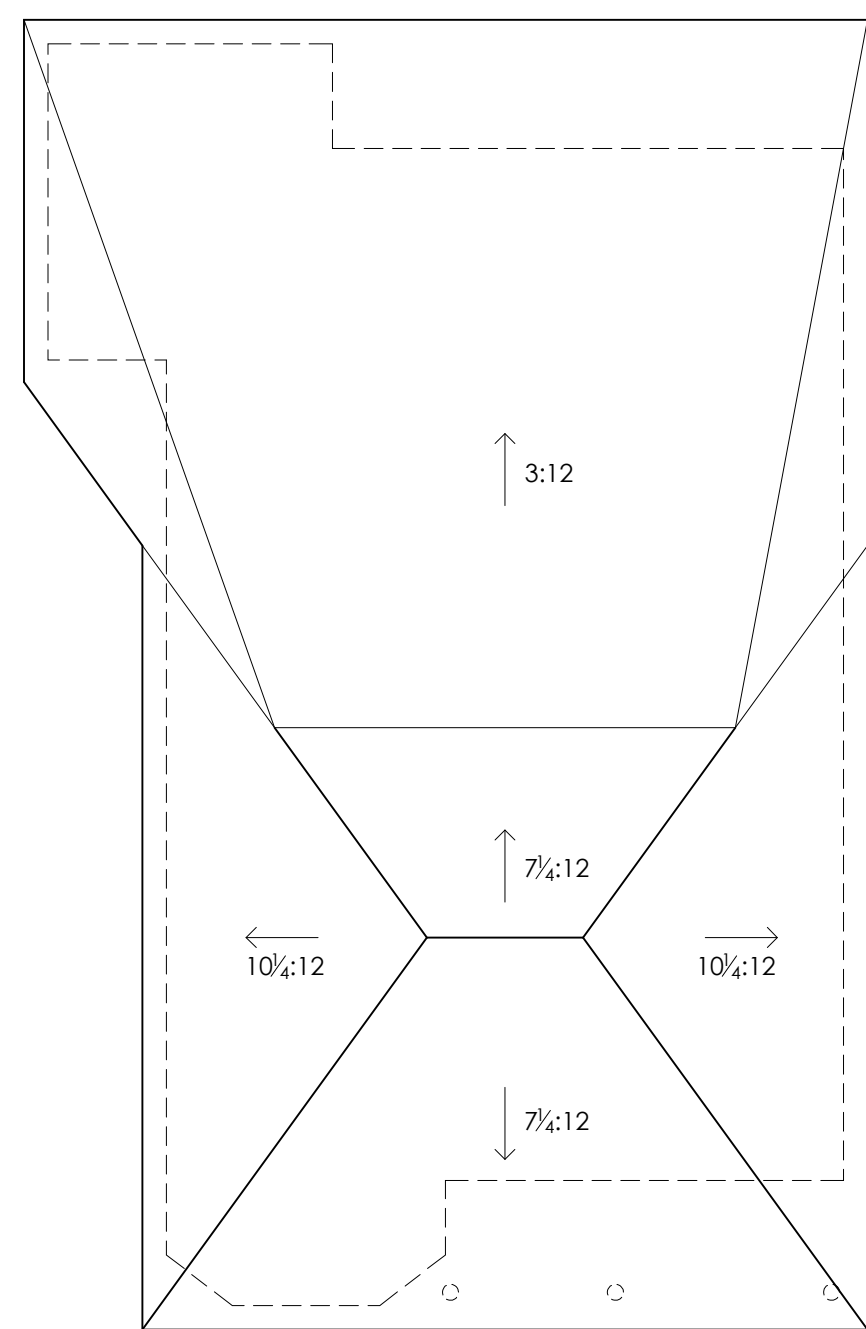
COASTAL REVIEW

A1

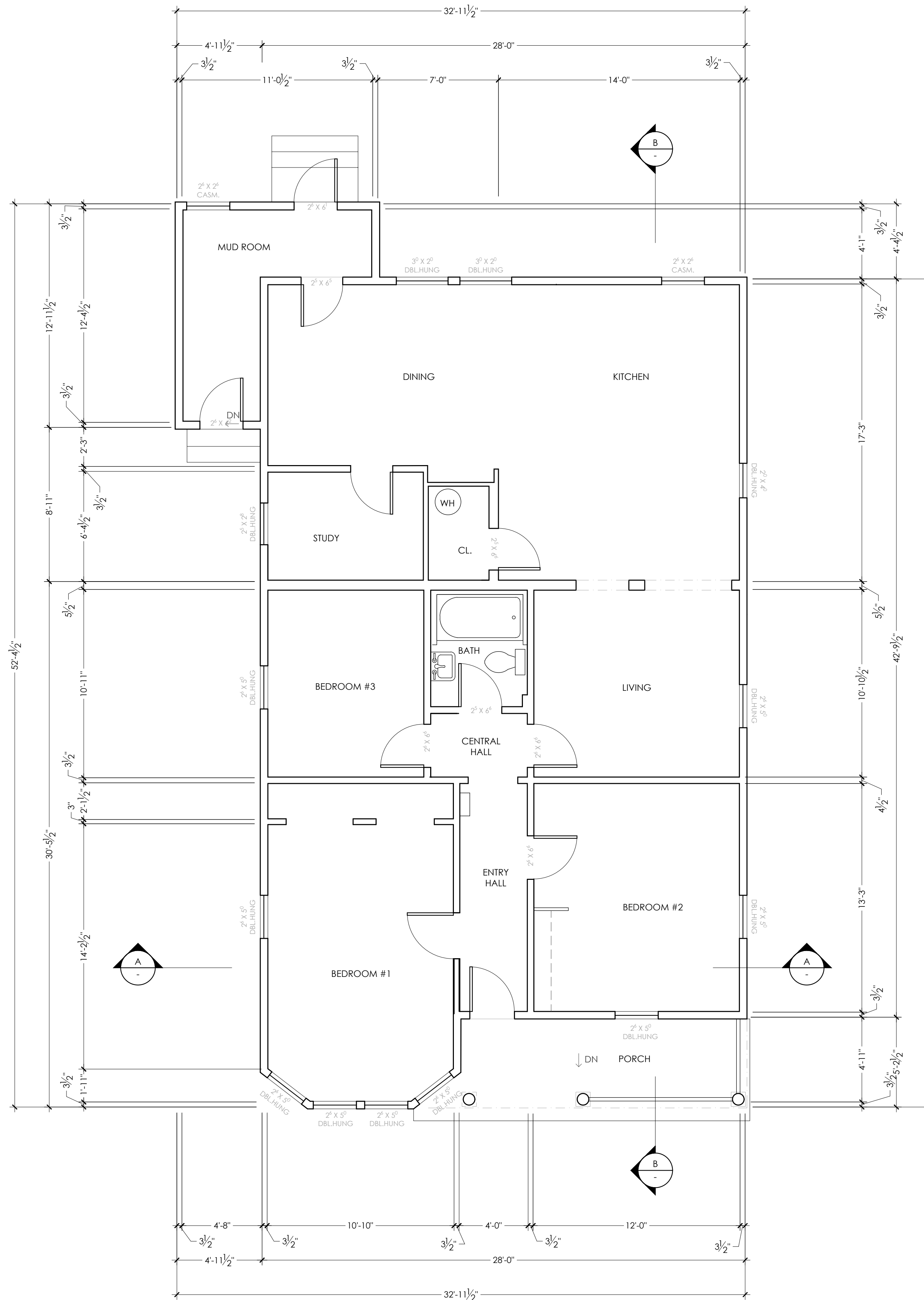
- NO CHANGES ARE PROPOSED TO THE EXISTING STORMWATER DRAINAGE PATTERNS
- PER SITE ASSESSMENT NO EXISTING DRAINAGE ISSUES HAVE BEEN FOUND ON OR NEAR THE SITE.
- NO DRAINAGE ISSUES OR ADVERSE IMPACTS ARE ANTICIPATED AS A RESULT OF THE PROPOSED IMPROVEMENTS.
- FINISH GRADE WITHIN 10 FEET OF THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% (2% FOR IMPERVIOUS SURFACES).
 - EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 5% FALL WITHIN 10' DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

1. PAVEMENT:
 - 1.1. NO ERODIBLE AREAS SHALL DRAIN INTO PAVEMENT
 - 1.2. SUBGRADE SHALL BE UNIFORM AND MINIMALLY COMPACTED
 - 1.3. RESERVOIR BASE COURSE SHALL BE OF OPEN-GRADED CRUSHED STONE. BASE DEPTH SHALL BE ADEQUATE TO RETAIN RAINFALL AND SUPPORT DESIGN LOADS. WHEN SUBRAIN IS PROVIDED, OUTLET ELEVATION SHALL BE 3" ABOVE BOTTOM OF BASE COURSE.
2. CONSTRUCTION MATERIALS:
 - 2.1. LOOSE STOCKPILED MATERIALS THAT ARE NOT ACTIVELY BEING USED SHALL BE COVERED AND BERMED.
 - 2.2. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED.
 - 2.3. ALL CHEMICALS SHALL BE STORED IN WATER TIGHT CONTAINERS OR IN A STORAGE SHED.
 - 2.4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
3. WASTE MANAGEMENT:
 - 3.1. DISPOSAL OF ANY RINSE OR WASH MATERIALS OR MATERIALS ON IMPERVIOUS OR PEROUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - 3.2. SANITATION FACILITIES SHALL BE CONTAINED TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. AN SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM A DRAINAGE FACILITY.
 - 3.3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND MAINTAINED AS NECESSARY.
 - 3.4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY WORK DAY AND DURING A RAIN EVENT.
 - 3.5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED.
 - 3.6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN UNLESS BEING ACTIVELY USED. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - 3.7. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND SHALL BE USED TO CLEAN LEAKS OR SPILLS IMMEDIATELY. ASSOCIATED WASTE SHALL BE IMMEDIATELY CLEANED AND DISPOSED OF.
 - 3.8. WASHOUT AREAS THAT MAY CONTAIN POLLUTANTS SHALL BE CONTAINED WITH NO DISCHARGE TO SURROUNDING AREA.
4. VEHICLE STORAGE AND MAINTENANCE:
 - 4.1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS, OR SURFACE WATERS.
 - 4.2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs
 - 4.3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
5. LANDSCAPE MATERIALS:
 - 5.1. DISCONTINUE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - 5.2. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT BEING USED.
 - 5.3. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT BEING USED.
 - 5.4. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS.
 - 5.5. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING WHEN NOT BEING USED OR APPLIED.





EXISTING
ROOFPLAN
SCALE: 1/8" = 1'-0"



WALL LEGEND

- (E) 2x4 WALL
- DROP DOWN BEAM IN CEILING

EXISTING
FLOORPLAN
SCALE: 1/4" = 1'-0"

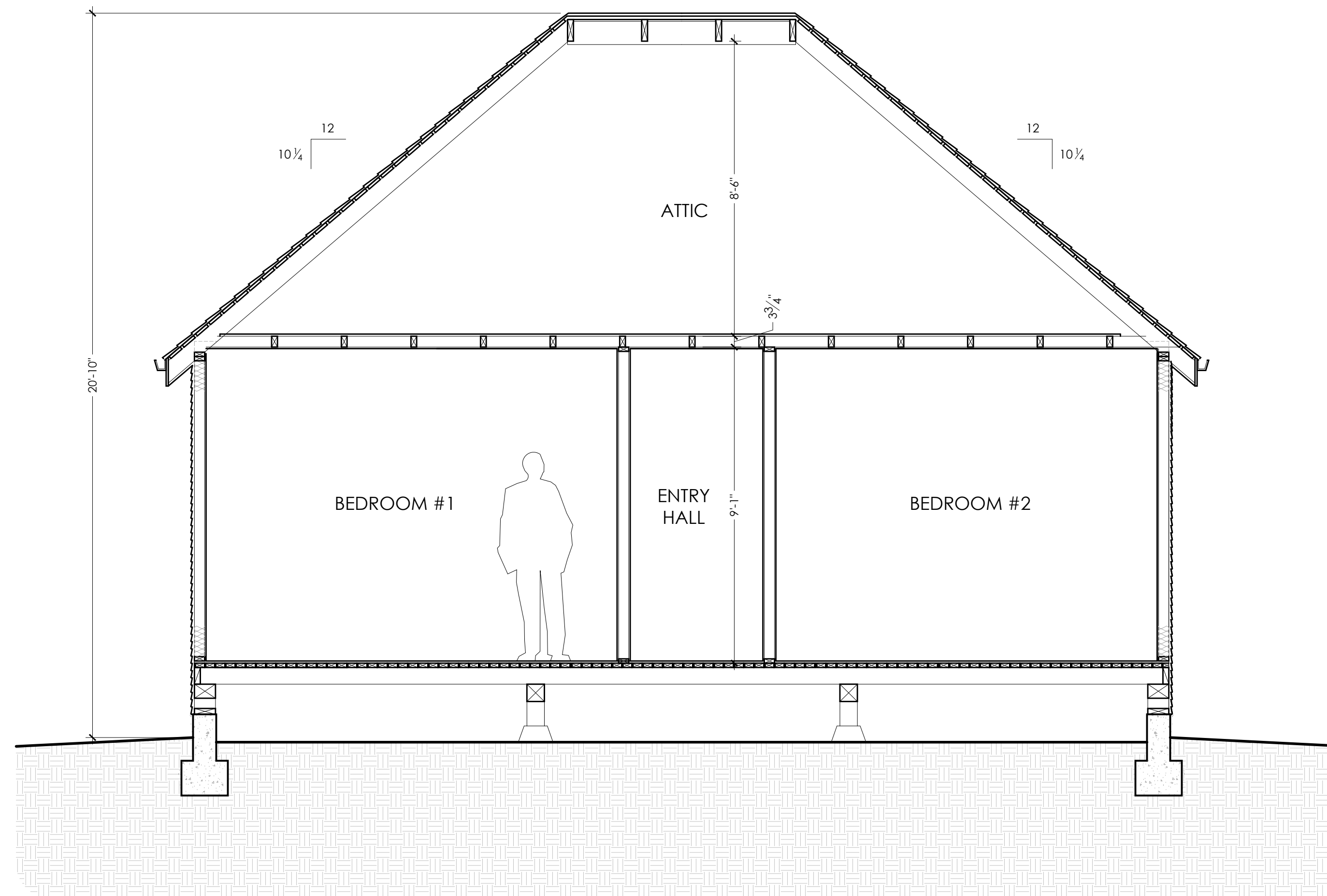
Exhibit D

6005 LAGUNA ROAD
RESIDENTIAL REMODEL
6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

EXISTING
FLOORPLAN
&
ROOFPLAN

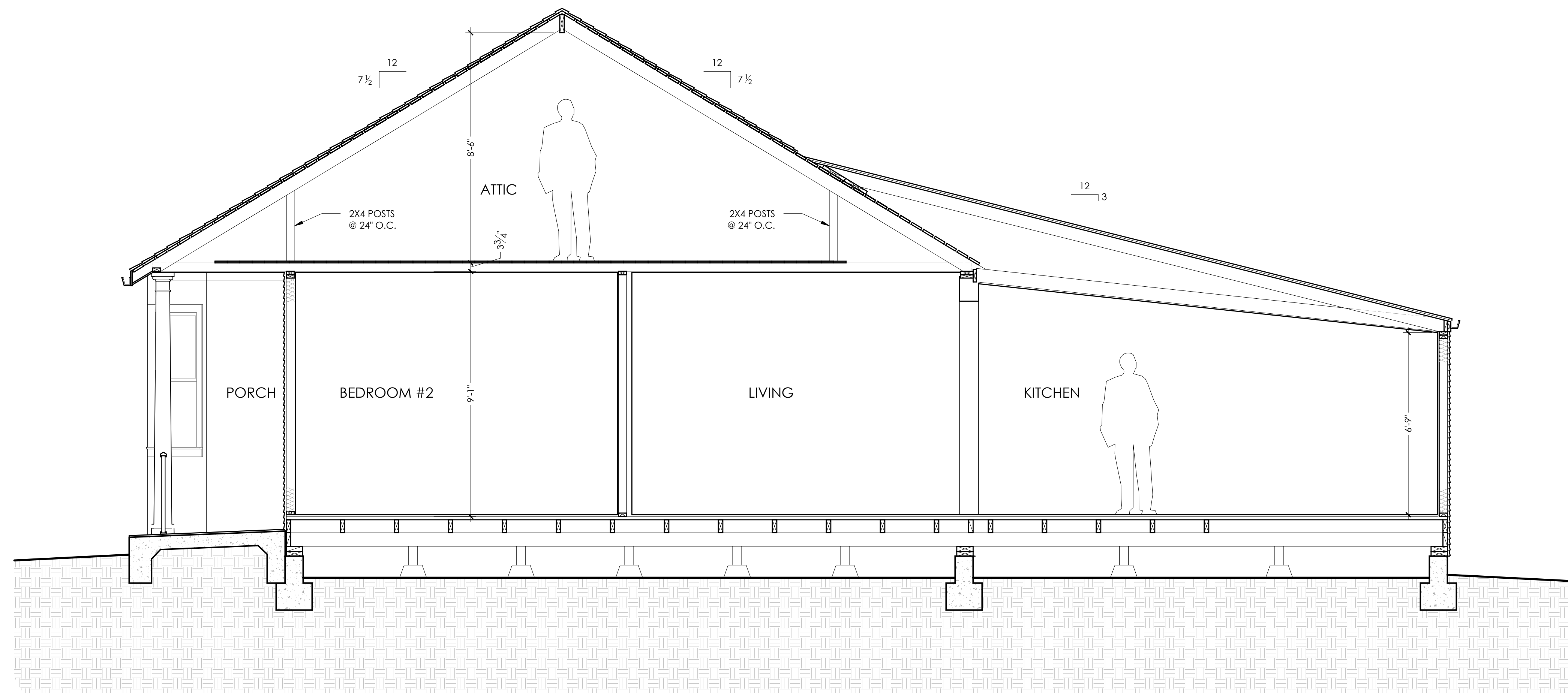
SCALE AS NOTED
DATE 11. NOV. 2020

REVISIONS	
1	25. SEP. 2023
2	14. DEC. 2023



EXISTING
SECTION A

SCALE: $\frac{3}{8}" = 1'-0"$



EXISTING
SECTION B

SCALE: $\frac{3}{8}" = 1'-0"$

6005 LAGUNA ROAD
RESIDENTIAL REMODEL
6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

SECTIONS
EXISTING

SCALE $\frac{3}{8}" = 1'-0"$
DATE 11. NOV. 2020

REVISIONS

1 25. SEP. 2023
2 14. DEC. 2023

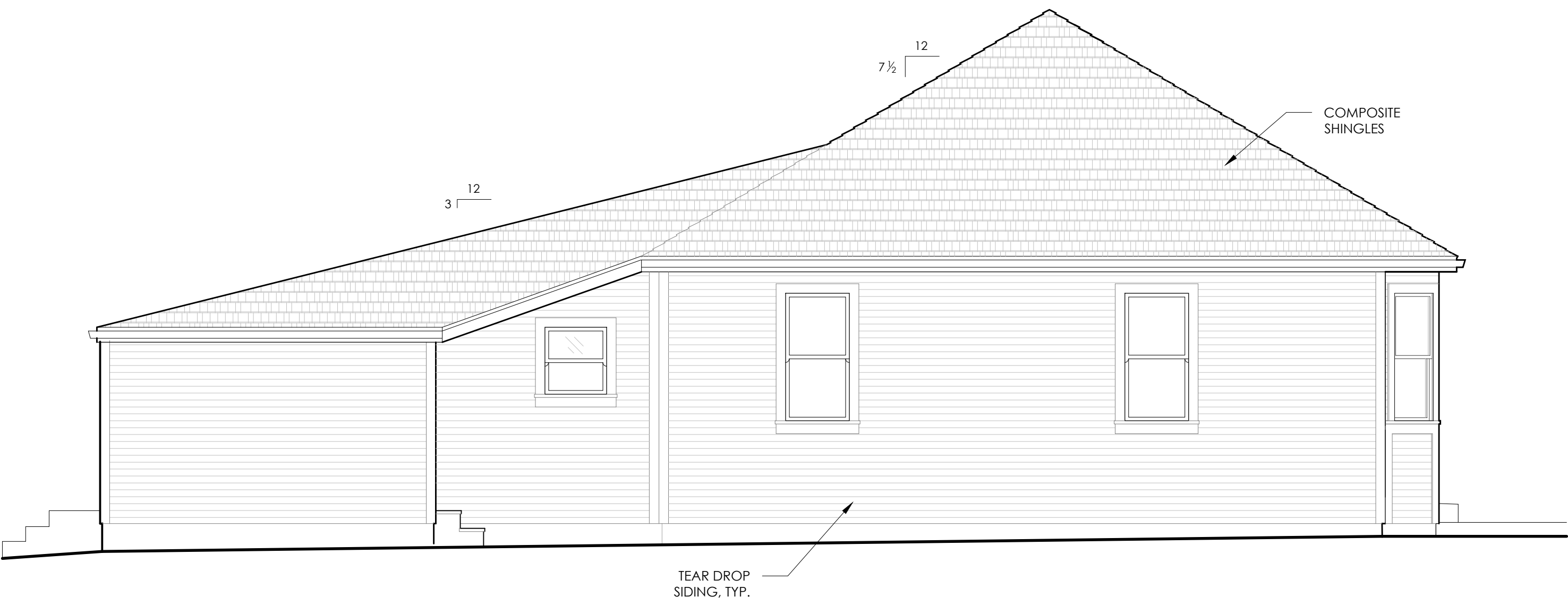
COASTAL REVIEW

A2.2

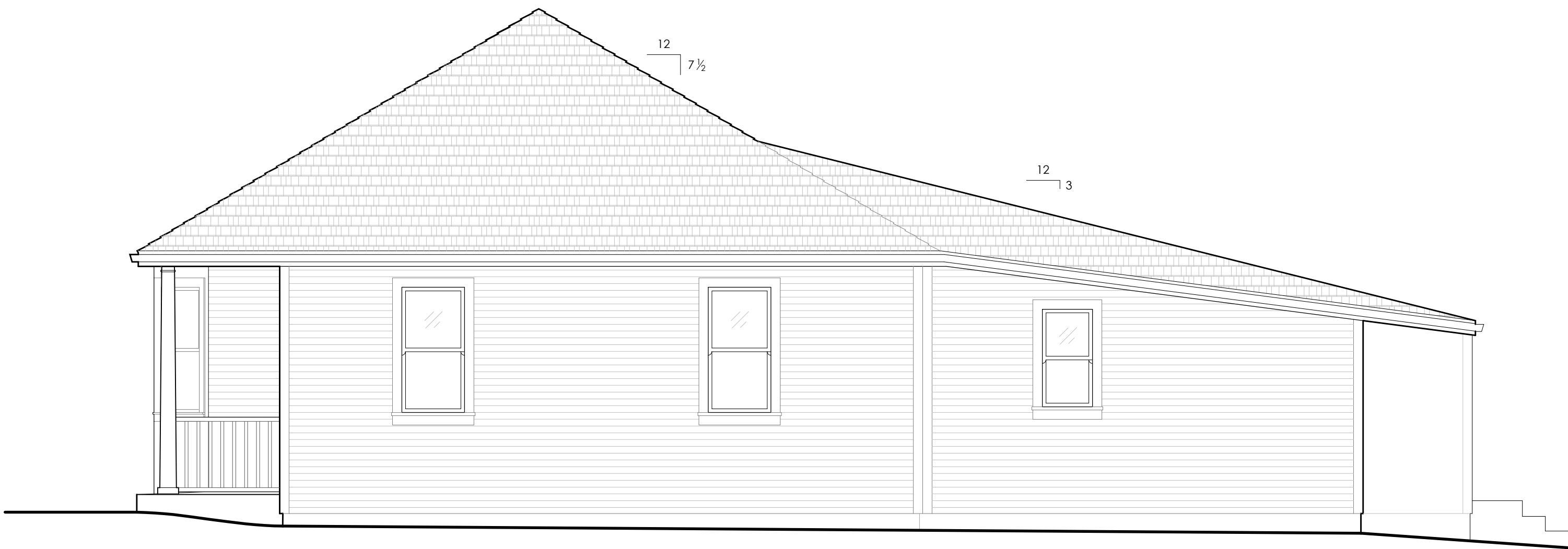
Exhibit D



SOUTH
SCALE: 1/4" = 1'-0"



WEST
SCALE: 1/4" = 1'-0"



EAST
SCALE: 1/4" = 1'-0"



NORTH
SCALE: 1/4" = 1'-0"

6005 LAGUNA ROAD
RESIDENTIAL REMODEL
6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

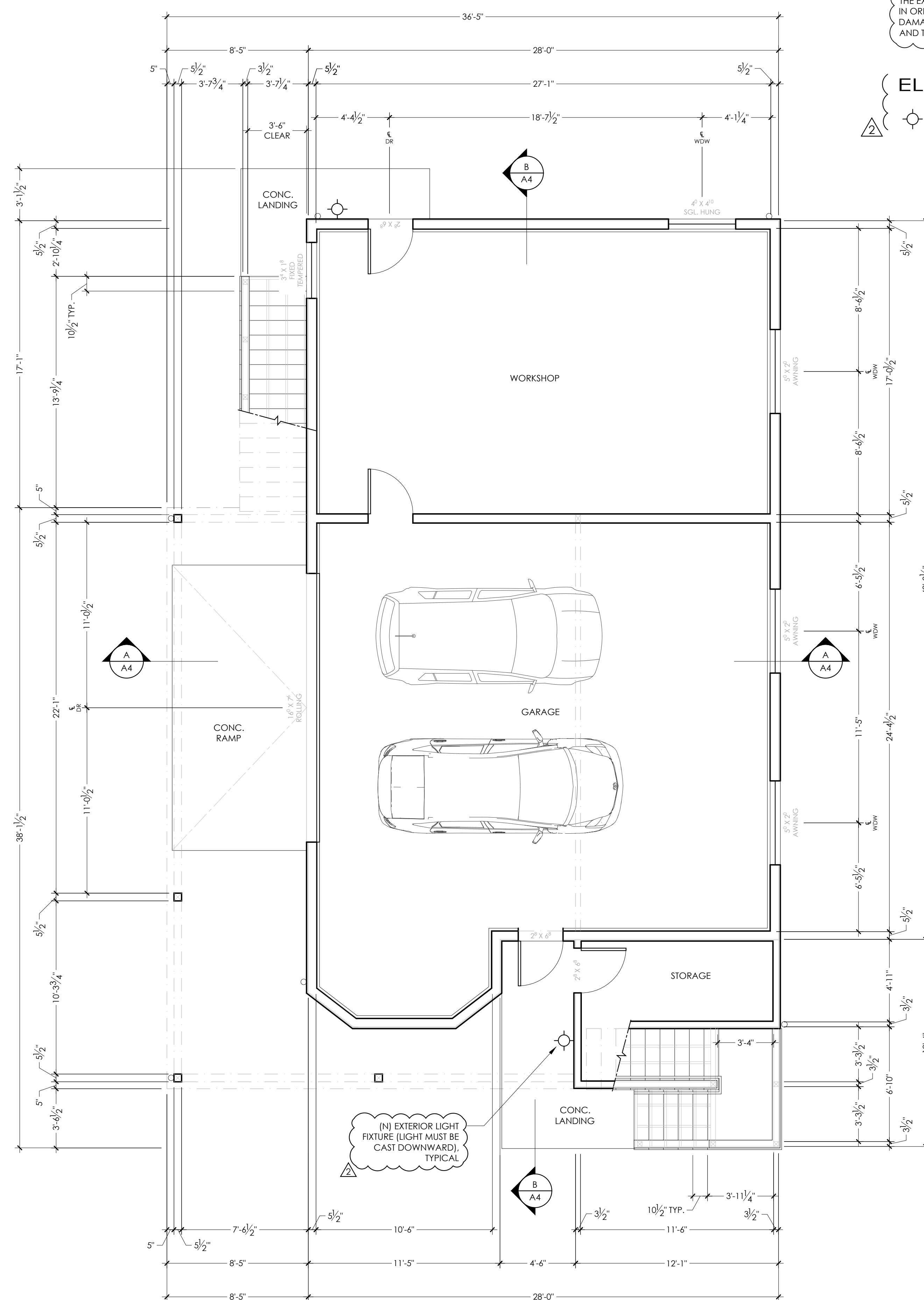
EXISTING
ELEVATIONS

SCALE 1/4" = 1'-0"
DATE 11. NOV. 2020

REVISIONS
1 25. SEP. 2023
2 14. DEC. 2023

COASTAL REVIEW
A2.3

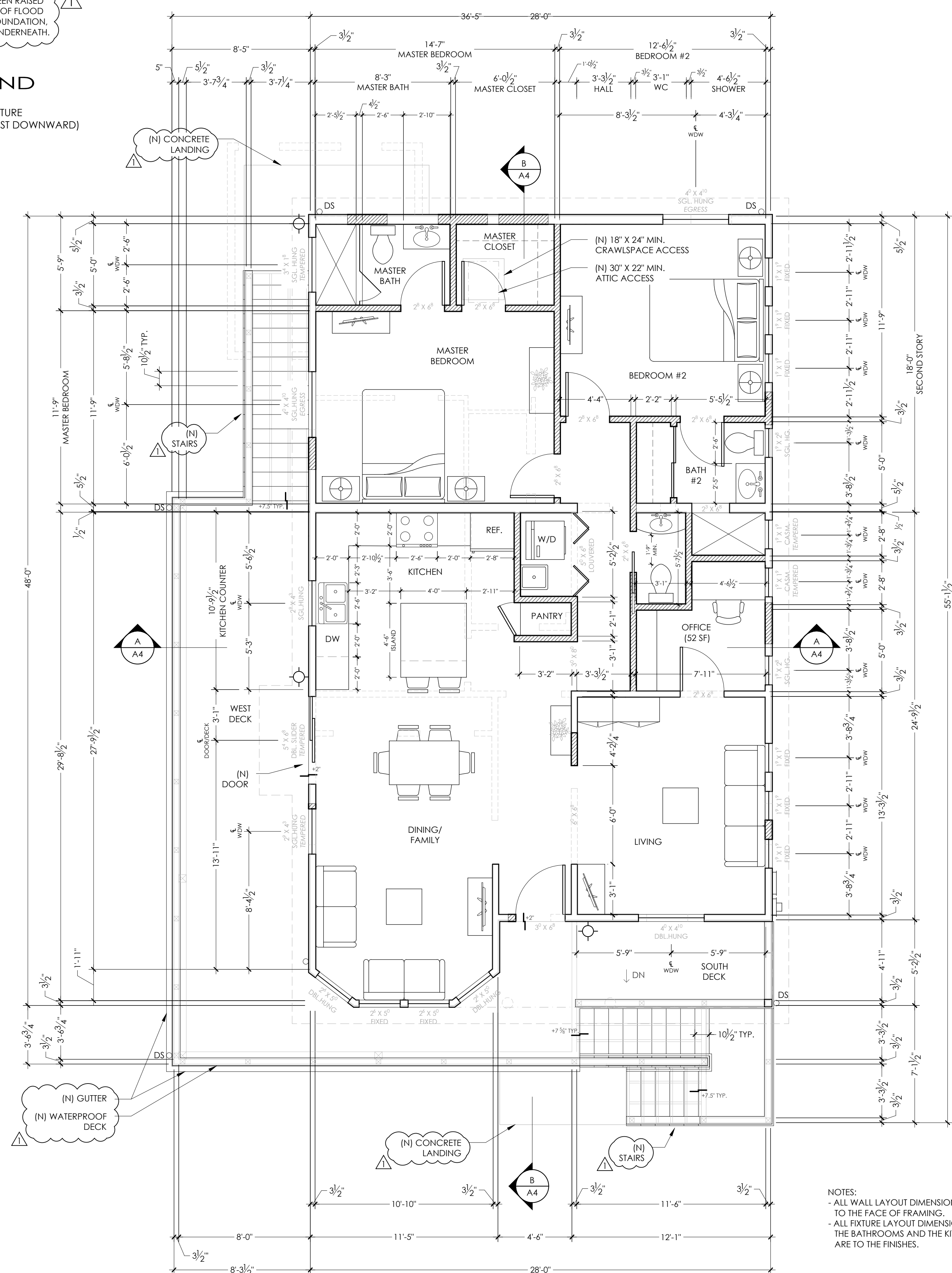
Exhibit D



THE EXISTING BUILDING SHALL BEEN RAISED IN ORDER TO MITIGATE THE RISK OF FLOOD DAMAGE, TO INSTALL A NEW FOUNDATION, AND TO PROVIDE A GARAGE UNDERNEATH.

ELEC LEGEND

EXTERIOR LIGHT FIXTURE
(LIGHT MUST BE CAST DOWNWARD)



NOTES:

- ALL WALL LAYOUT DIMENSIONS ARE TO THE FACE OF FRAMING.
- ALL FIXTURE LAYOUT DIMENSIONS IN THE BATHROOMS AND THE KITCHEN ARE TO THE FINISHES.

Torain Noel McKinney

6005 LAGUNA ROAD
RESIDENTIAL REMODEL

SANTA CRUZ, CA 95060
APN: 059-111-01

PROPOSED FLOOR PLANS

SCALE AS NOTED
DATE 11. NOV. 2020

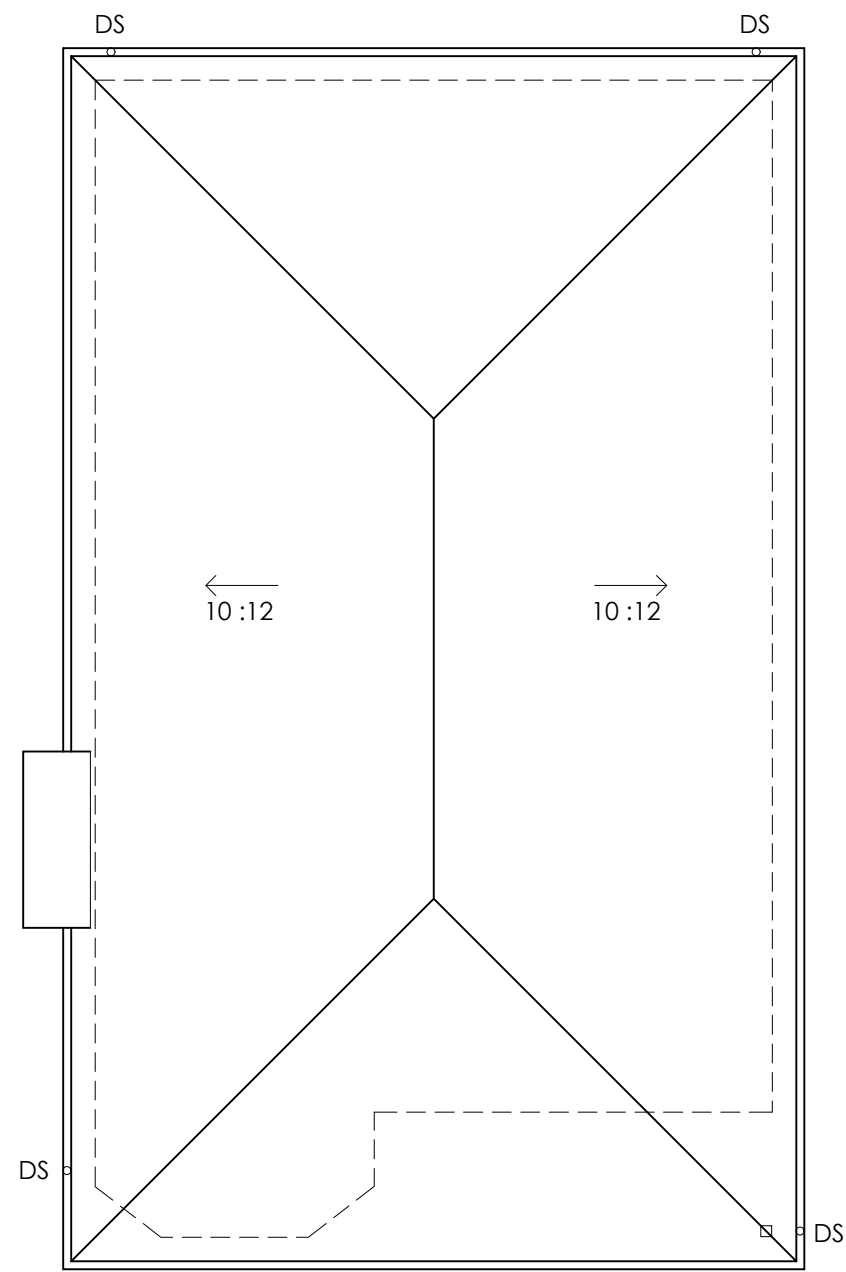
REVISIONS

1	25. SEP. 2023
2	14. DEC. 2023

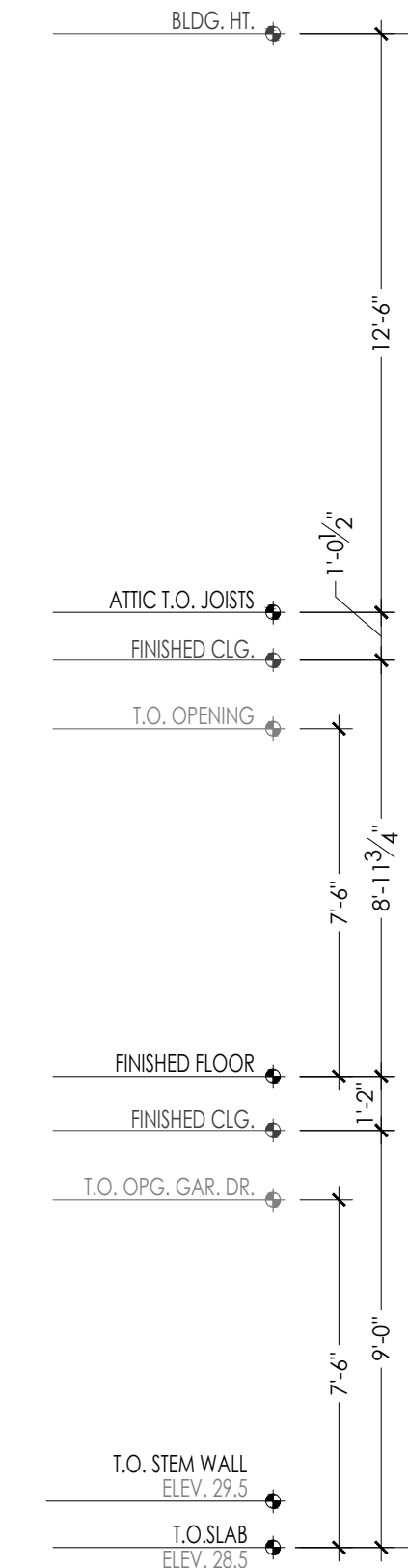
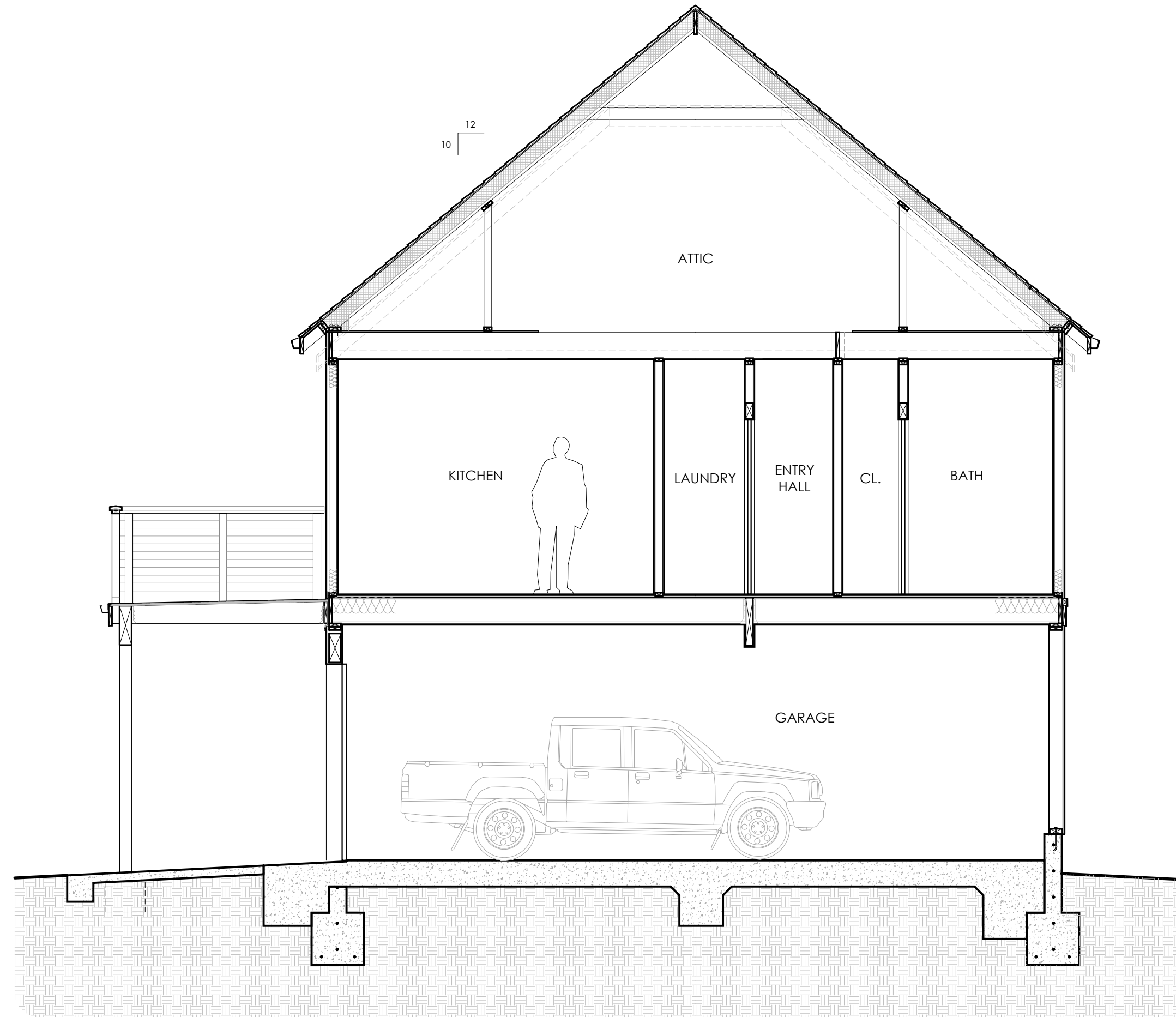
COASTAL REVIEW

A3

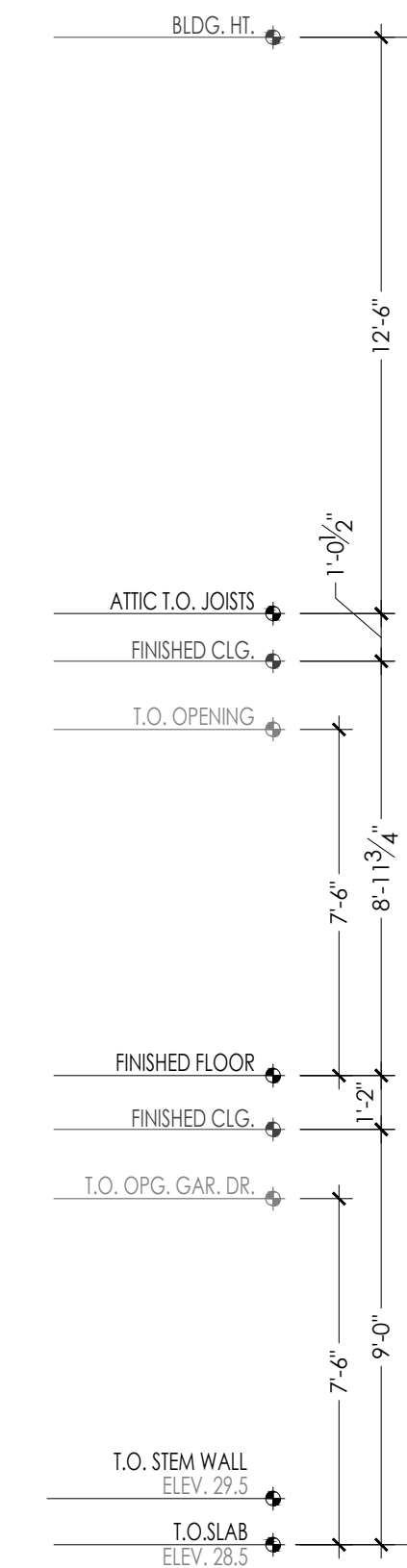
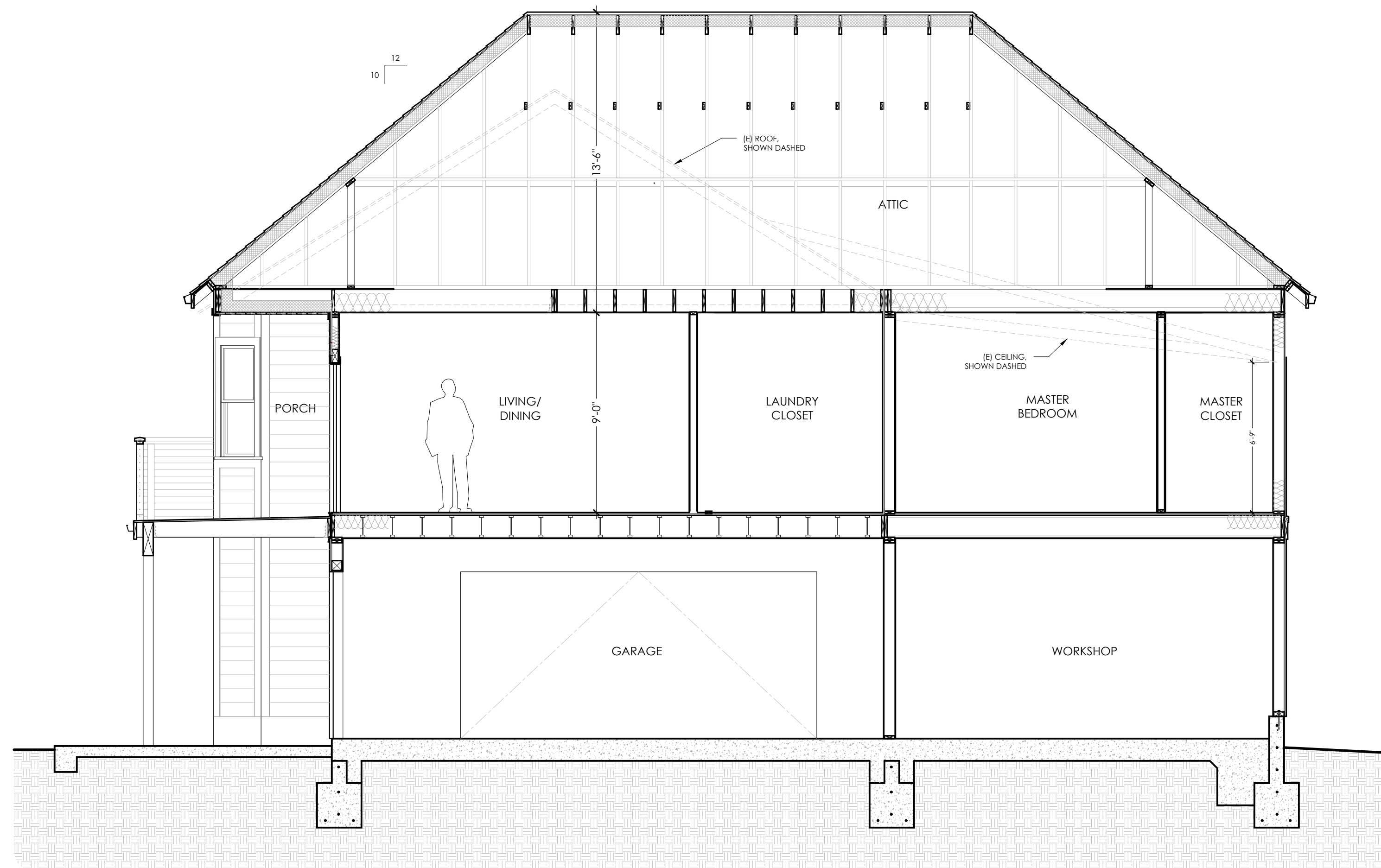
Exhibit D



ROOF
SCALE: $\frac{1}{8}" = 1'-0"$



SECTION A
SCALE: $\frac{1}{4}" = 1'-0"$



THE EXISTING BUILDING SHALL BE RAISED IN ORDER TO MITIGATE THE RISK OF FLOOD DAMAGE. TO INSTALL A NEW FOUNDATION, AND TO PROVIDE A GARAGE UNDERNEATH.

SECTION B
SCALE: $\frac{1}{4}" = 1'-0"$

Torain Noel McKinney
Torain Noel McKinney
P.E.
For Seal

6005 LAGUNA ROAD
RESIDENTIAL REMODEL
6005 LAGUNA ROAD
SANTA CRUZ, CA 95060
APN: 059-111-01

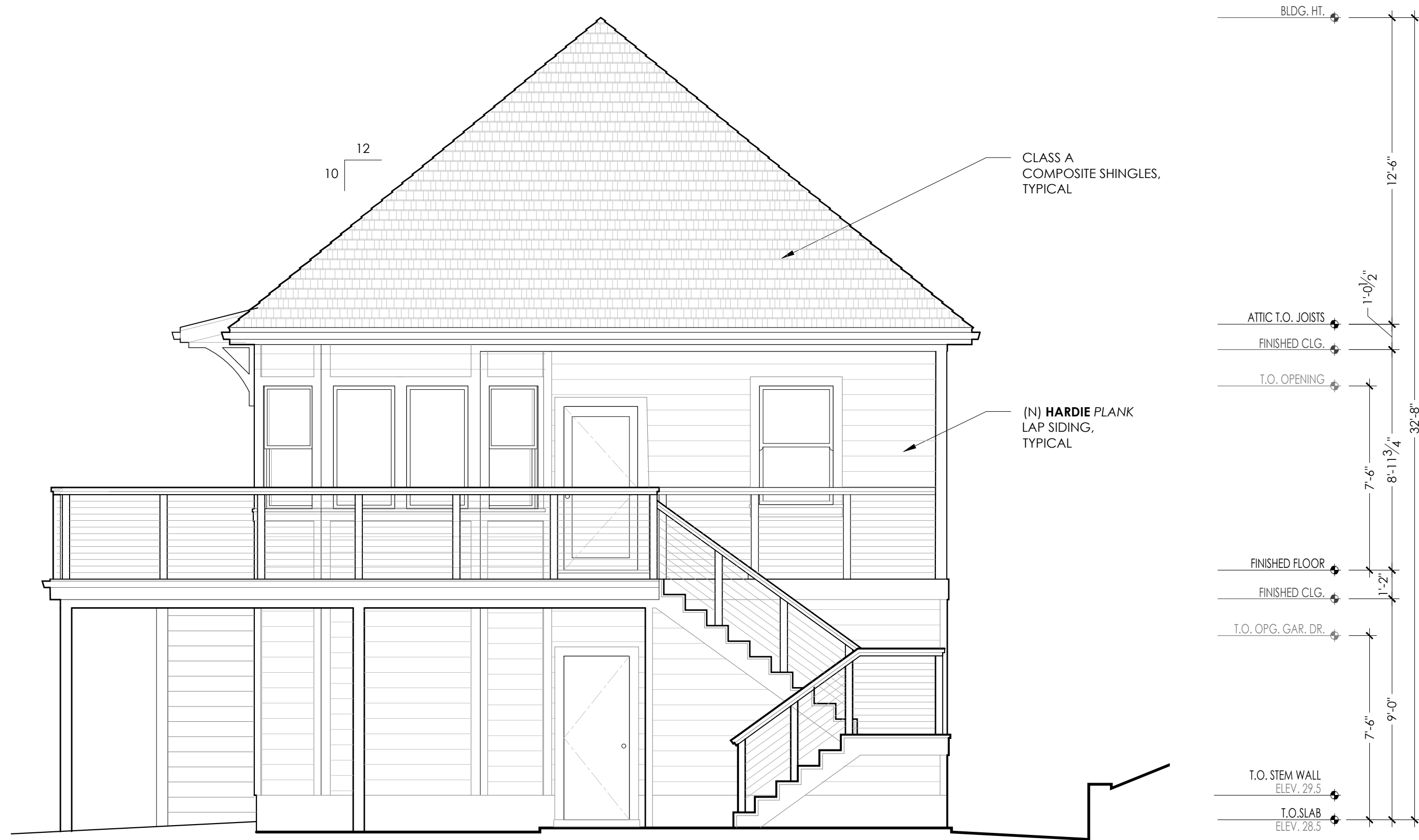
ROOF PLAN & SECTIONS

SCALE $\frac{1}{4}" = 1'-0"$
DATE 11. NOV. 2020

REVISIONS
1 25. SEP. 2023
2 14. DEC. 2023

COASTAL REVIEW
A4

Exhibit D



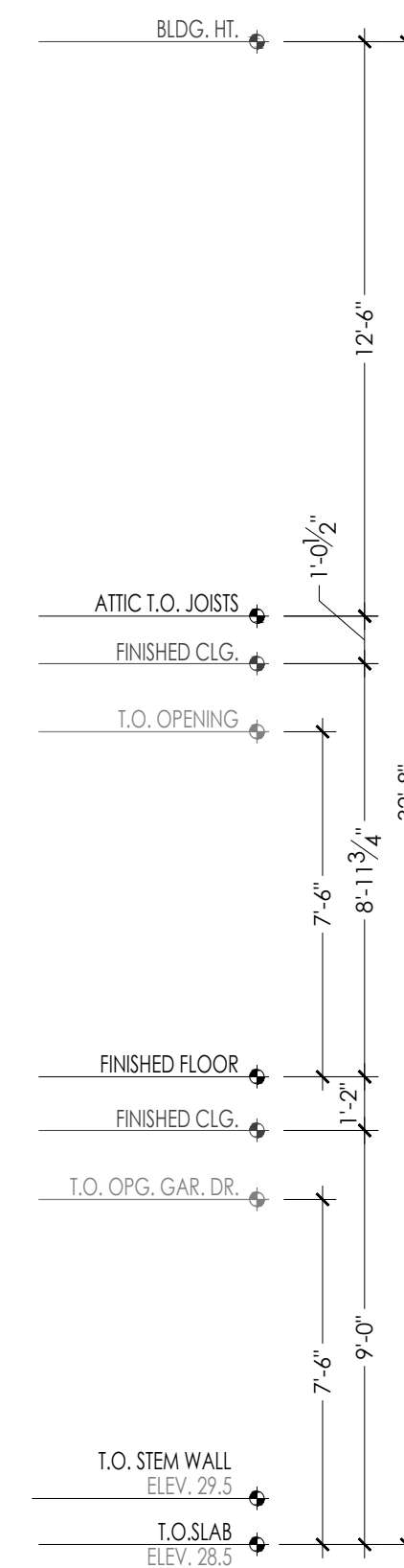
SOUTH
SCALE: 1/4" = 1'-0"



WEST
SCALE: 1/4" = 1'-0"



EAST
SCALE: 1/4" = 1'-0"



NORTH
SCALE: 1/4" = 1'-0"



THE EXISTING BUILDING SHALL BEEN RAISED IN ORDER TO MITIGATE THE RISK OF FLOOD DAMAGE, TO INSTALL A NEW FOUNDATION, AND TO PROVIDE A GARAGE UNDERNEATH.

Exhibit D

PROPOSED ELEVATIONS

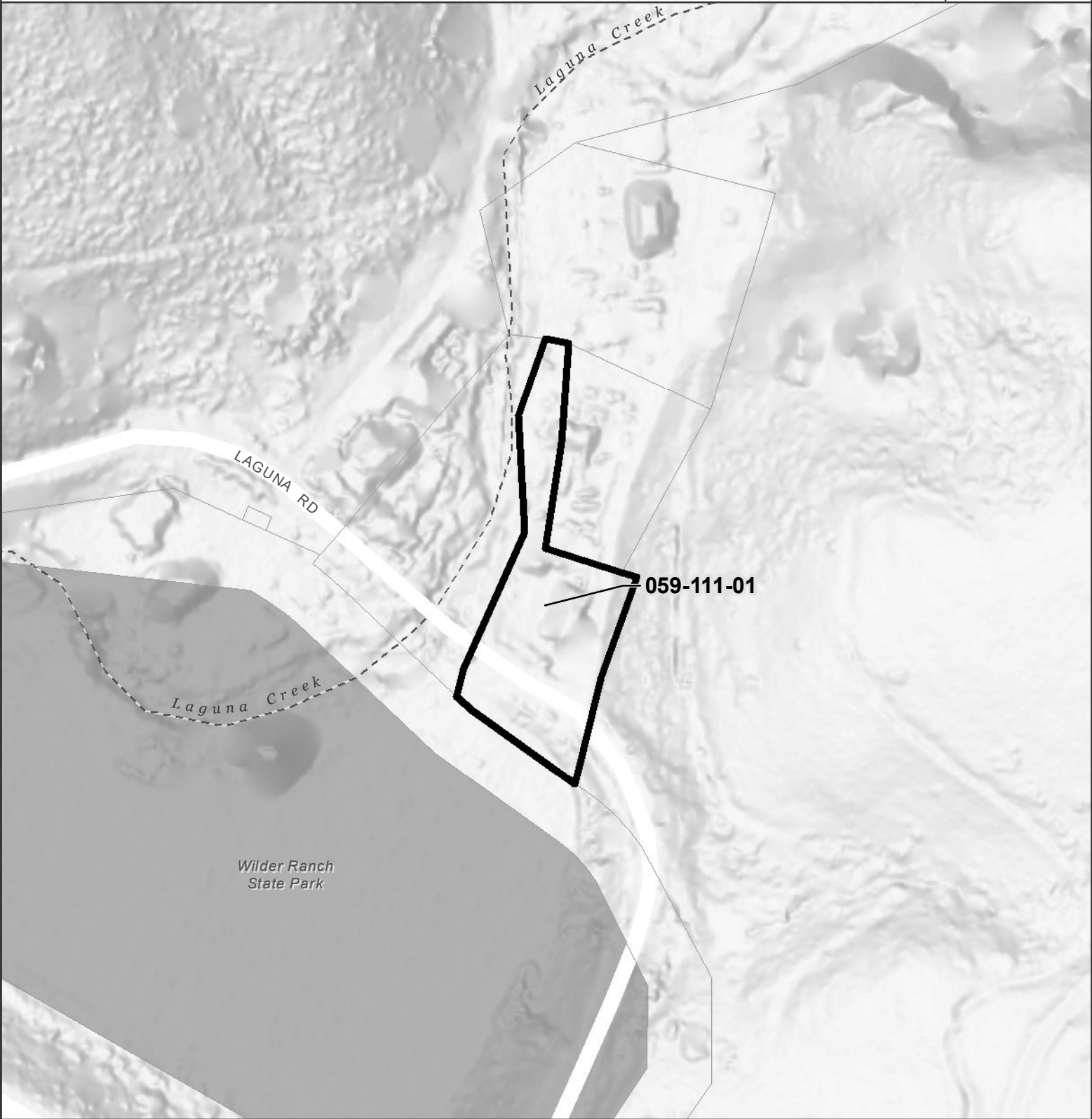
SCALE 1/4" = 1'-0"
DATE 11. NOV. 2020

REVISIONS




25. SEP. 2023
14. DEC. 2023



Parcel Location Map

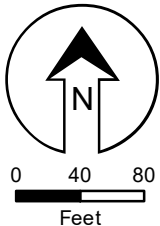


Parcel: 05911101

-  Study Parcel
-  Assessor Parcel Boundary
-  Existing Park

Map printed: 22 Apr. 2024

Exhibit E

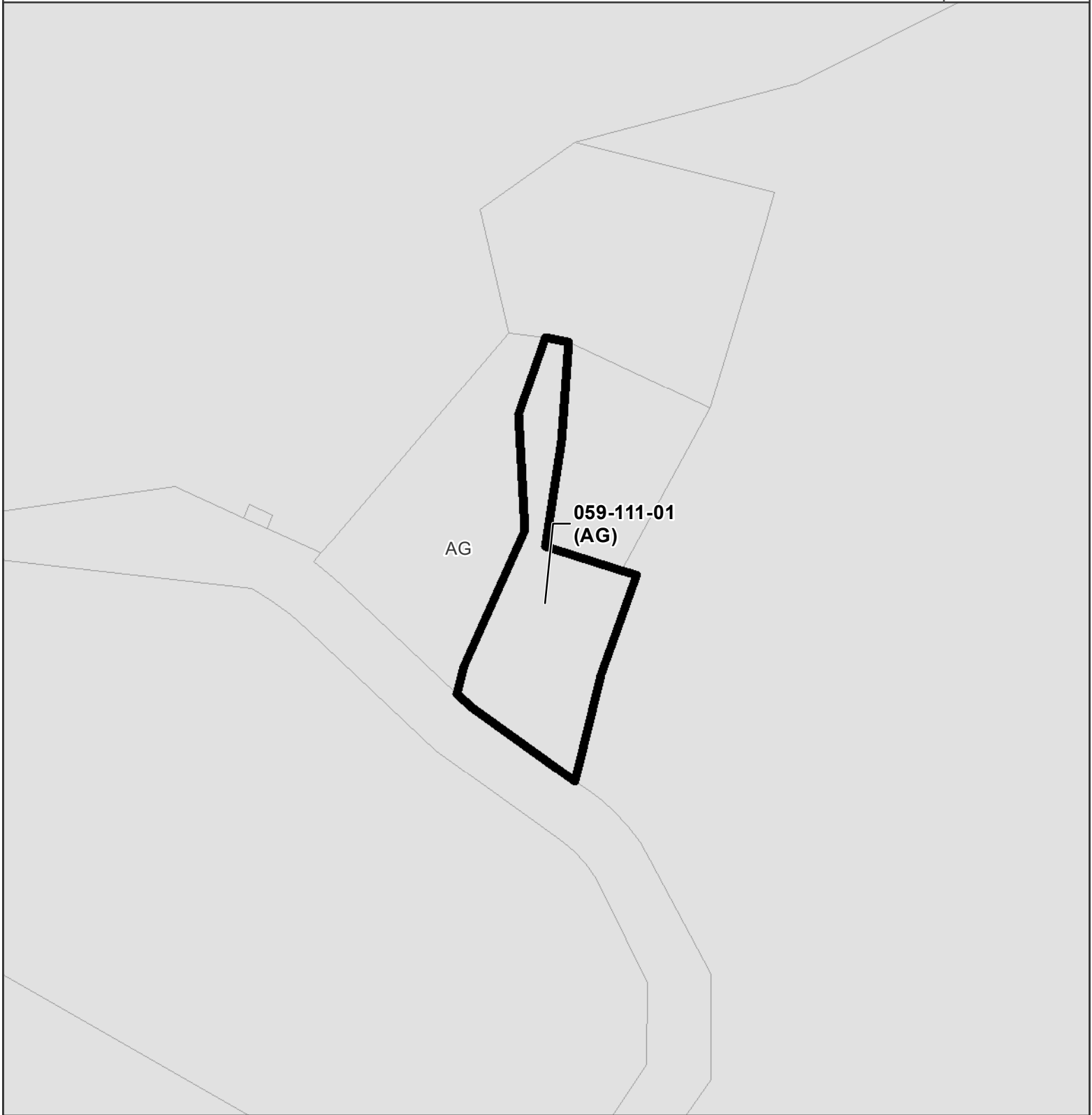




Parcel General Plan Map

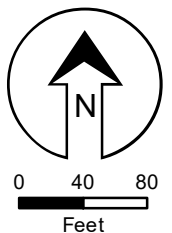


Mapped
Area



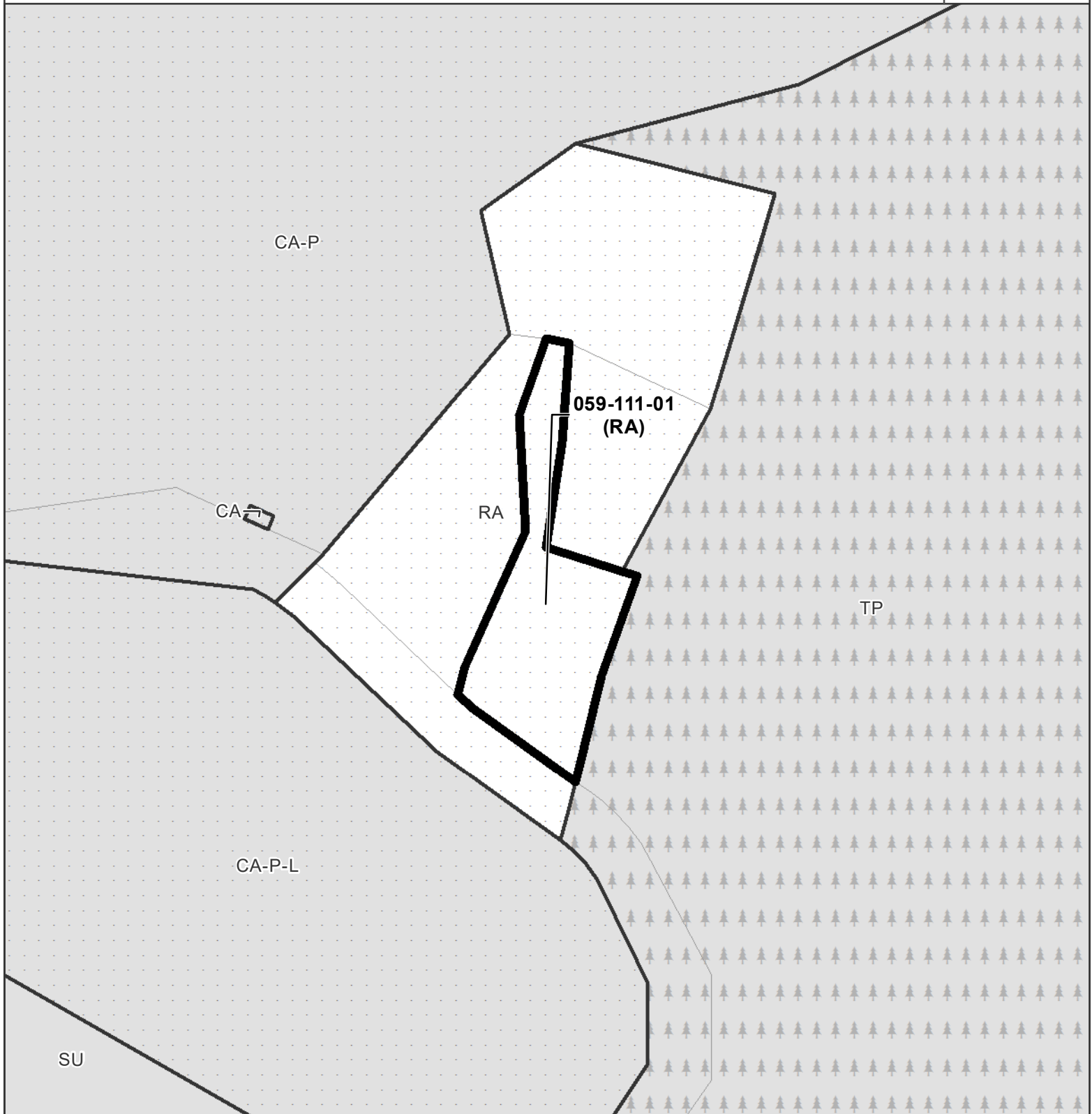
AG Agricultural

Exhibit E



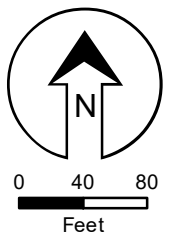


Parcel Zoning Map



- CA Commercial Agriculture
- RA Residential Agricultural
- SU Special Use
- TP Timber Production

Exhibit E



Parcel Information

Services Information

Urban/Rural Services Line: ___ Inside X Outside
Water Supply: Domestic Well
Sewage Disposal: Septic
Fire District: County Fire
Drainage District: N/A

Parcel Information

Parcel Size: 25,439 square feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential, Commercial Agriculture, Timber Production
Project Access: Public, via Laguna Road and Highway 1
Planning Area: Bonny Doon
Land Use Designation: AG (Agricultural)
Zone District: RA (Residential Agricultural)
Coastal Zone: X Inside ___ Outside
Appealable to Calif. Coastal X Yes ___ No
Comm.

Technical Reviews: Soils Report Review (REV231220), Hydrology Report Review (REV231219), Archaeological Report Review (REV231218)

Environmental Information

Geologic Hazards: Mapped geologic hazard screening area, very high liquefaction area
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Mapped biotic resource (no evidence on-site)
 Riparian (Laguna Creek)
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Mapped Scenic Resource
Archeology: Mapped archaeological resource (portion), report prepared with
 negative findings



Ecological Restoration Design ~ Civil Engineering ~ Natural Resource Management

TECHNICAL MEMORANDUM

To: William Sutherland

From: Waterways Consulting Inc.

Date: March 2, 2015

Re: Hydraulic Analysis to Determine Base Flood Elevation at APN 05-111-03, Santa Cruz, CA



Introduction

Waterways Consulting, Inc. (Waterways) has been retained by William Sutherland to conduct a hydraulic analysis to determine the base flood elevation (BFE) on a residential parcel (APN 05-111-03) in Santa Cruz County, California.

The subject property is located upstream of the designated Zone A special flood hazard area depicted on the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (Attachment A). Base flood elevations have not previously been determined at the project site.

Our approach utilized modeling techniques accepted by Santa Cruz County to estimate the 100-year flood discharge and associated BFE at the project site. This Technical Memorandum documents our methods and results.

Project Setting

The subject property is located along Laguna Creek, approximately 1/4 mile upstream of the Highway 1 culvert crossing (Figure 1). The watershed area contributing runoff to the property is 7.9 square miles and experiences a Mediterranean climate with the majority of rainfall occurring from December through February. The watershed is located in the lightly developed Bonny Doon area and forested primarily with redwood and mixed evergreen species.

The subject property is located in a narrow canyon upstream of an abandoned bridge. The creek banks adjacent to the parcel are incised and relatively steep with bed material comprised of sand and gravels. The channel downstream of the abandoned bridge is located adjacent to a large agriculture field with channel banks that are heavily vegetated with riparian vegetation.

Hydrologic Analysis

The 100-year flood discharge was estimated from Regional Regression equations developed by the United States Geological Survey (USGS) for the Central Coast Region (Gotvald et al., 2012). Parameters used in the equations include:

1. Drainage area;
2. Mean annual precipitation.

Exhibit G

The County of Santa Cruz Design Criteria (March 2012) specifies that a 25% safety factor must be applied to results obtained using this approach. The calculated 100-year discharge (including the 25% safety factor) at the property is 2,674 cubic feet per second (cfs). Detailed calculations and results are provided in Attachment B.

Hydraulic Analysis

Hydraulic modeling was conducted using HEC-RAS 4.0 river analysis software, developed by the United States Army Corps of Engineers (USACE). The model geometry was developed using topographic data collected by Robert Dewitt and Associates (Dewitt) Inc., cross-section survey data collected by Waterways in February of 2015, and LiDAR data acquired from the Association of Monterey Bay Area Governments (AMBAG). The survey data and resulting BFEs are referenced to NAVD 1988, as determined from field ties to Santa Cruz County Benchmark No. 194.

A total of ten cross sections were used to develop the hydraulic model. The cross sections extend along approximately 1,600 feet of Laguna Creek, beginning at the upstream end of the concrete box culvert below Highway 1. Cross sections were located at significant changes in channel geometry and immediately upstream and downstream of the abandoned bridge crossing on Laguna Road (Figure 2).

Roughness values (Manning's n) were chosen from field-based observations of the channel and floodplains. Selections were based on channel substrate, vegetation density, over-bank conditions, and depth of flow under high flow conditions. Roughness values were set to 0.03 for the channel, 0.05 for the sparsely vegetated floodplains, and 0.09 for the densely vegetated overbank areas. The downstream boundary condition was set to a known water surface elevation determined by calculating the headwater condition for the culvert beneath Highway 1. Culvert calculations for the 100-year flood event determined that the culvert flows under inlet control conditions. A sensitivity analysis was conducted for the culvert by increasing the downstream tailwater condition. The results of the sensitivity analysis indicate that tidal variations or backwatering by a natural sand berm would not result in a change to the inlet controlled condition of the culvert. Culvert calculations are included in Attachment C.

The model used a subcritical flow regime to calculate water surface profiles for the project site. Subcritical analysis calculates conservative water surface elevations when there is the potential for supercritical flow. However, when the analysis was reviewed with a mixed flow regime, there were no locations of critical or supercritical flow. These results confirm that the modeled reach does flow within the subcritical regime.

The hydraulic analysis was based on unobstructed flow beneath the bridge and culvert. Therefore, the calculated flood elevations are valid only if the bridge and culvert crossing remains unobstructed.

Hydraulic Results

The results of the hydraulic analysis are presented in Attachment B. The Base Flood Elevation varies between elevation 32.73 feet and 32.74 feet through the parcel. Results of the analysis are summarized below in Table 1. The flood hazard boundary, or extent of the BFE, would cover the entire parcel and extend into the right-of-way to the east of the parcel.

Table 1. Summary of Base Flood Elevations

River Station/Cross Section ID	Location	Base Flood Elevation (NAVD88)
13+09	Downstream end of parcel	32.73
13+77	Middle of parcel	32.73
14+65	Upstream end of parcel	32.74

References

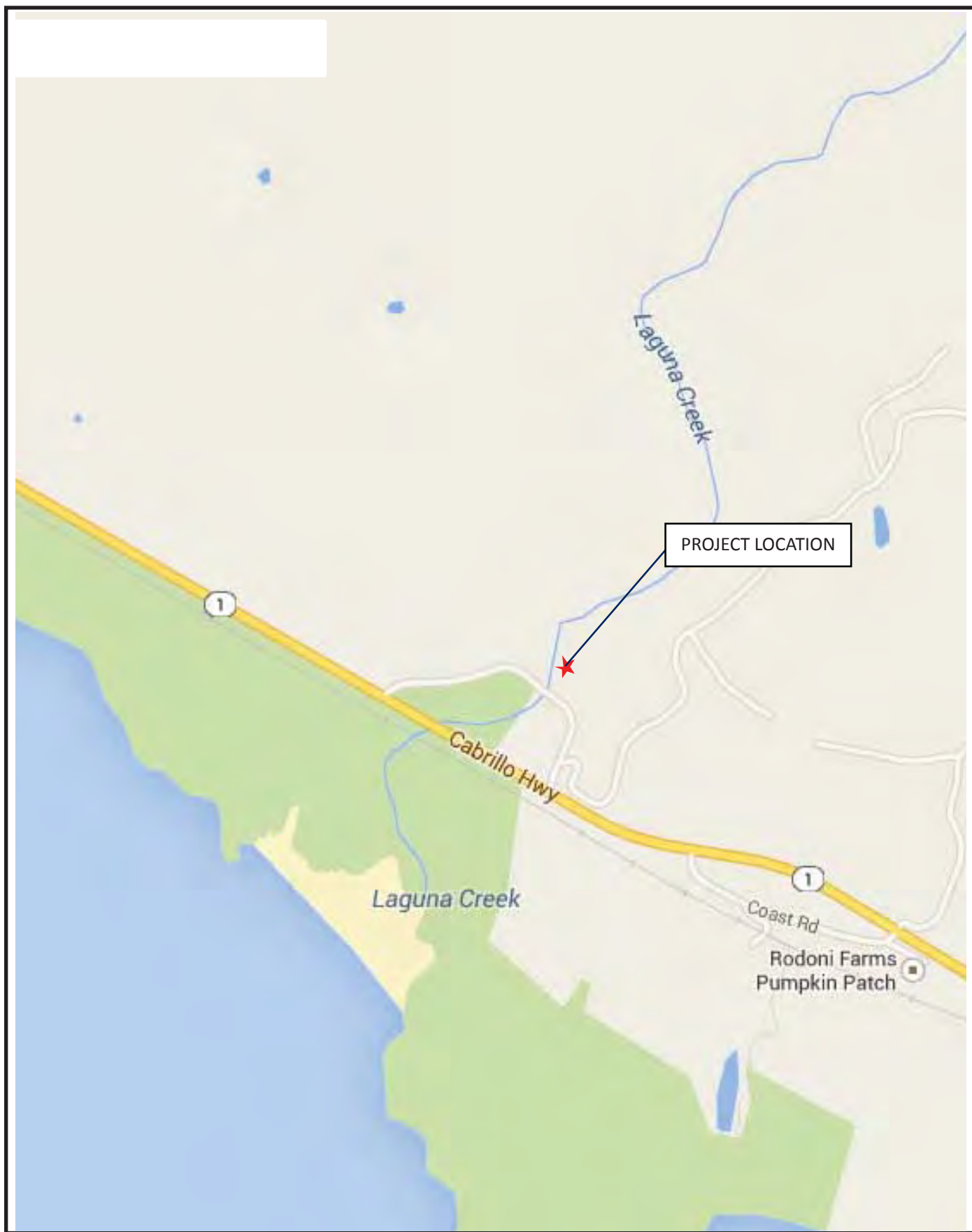
County of Santa Cruz. March, 2012. Design Criteria Containing Standards for the Construction of Streets Storm Drains Sanitary Sewers Water Systems Driveways Within the Unincorporated Portion of Santa Cruz County. March 2012 Edition.

Federal Emergency Management Agency. May 16, 2012. Flood Insurance Rate Map, Santa Cruz County California and Incorporated Areas. Panel 332 of 470. Map Number 06087C0332E.

Gotvald, A.J., N. Barth, A. Veilleux, and C. Parrett, 2012. Methods for Determining Magnitude and Frequency of Floods in California, Based on Data through Water Year 2006. U.S. Department of the Interior, U.S. Geological Survey. Scientific Investigations Report 2012-5113.

U.S. Army Corps of Engineers. 2008, Hydrologic Engineering Center. Computer Program HEC-RAS Version 4.0.0. Davis, California.

U.S. Army Corps of Engineers. 2002, Hydrologic Engineering Center. Hydraulic Reference Manual. Version 3.1. Davis, California.



Vicinity Map

LAGUNA CREEK
(APN 05-111-03)

HYDRAULIC ANALYSIS



WATERWAYS
CONSULTING, INC.

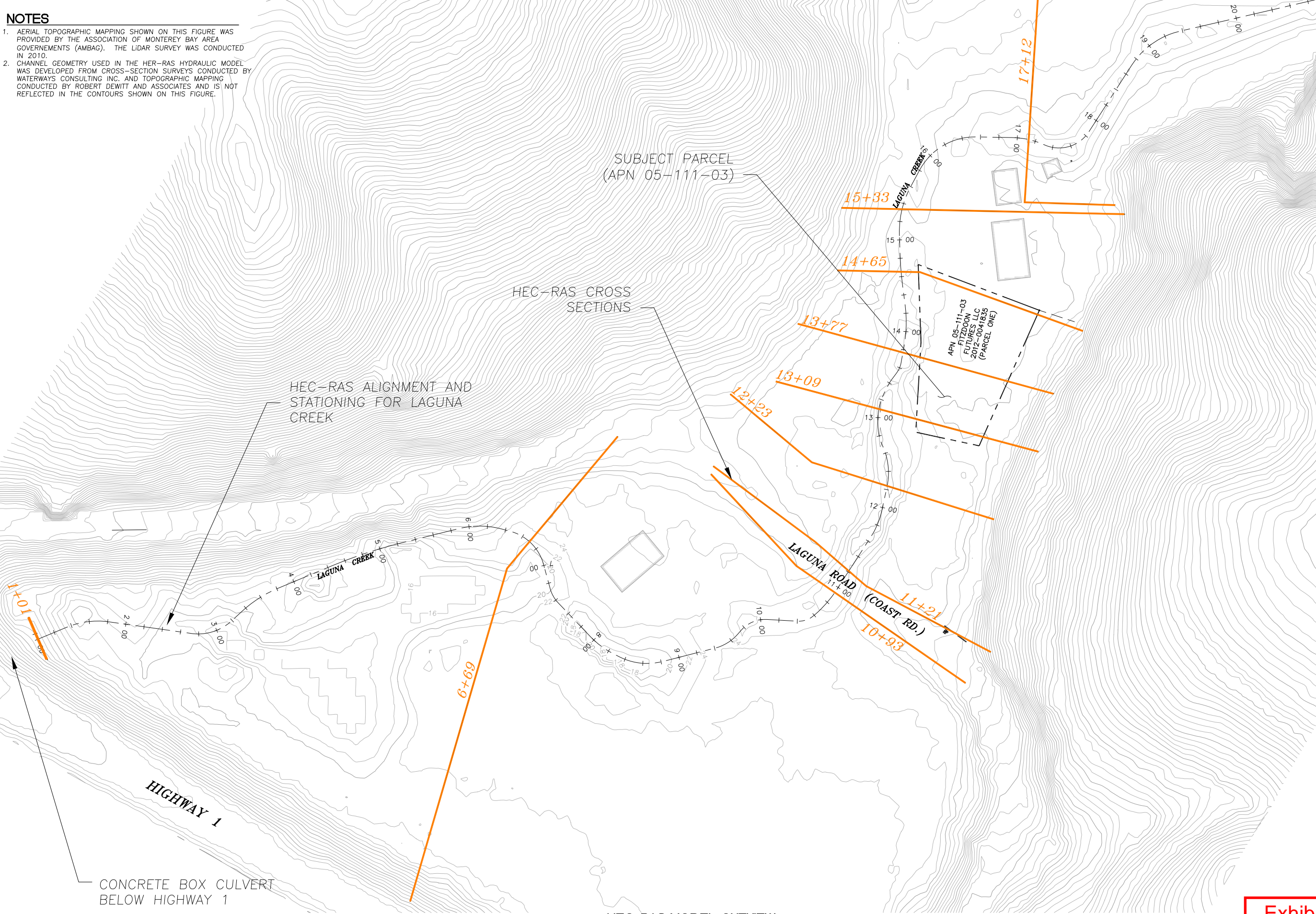
Santa Cruz, CA | watways.com | Portland, OR

FIGURE

1

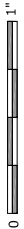
NOTES

1. AERIAL TOPOGRAPHIC MAPPING SHOWN ON THIS FIGURE WAS PROVIDED BY THE ASSOCIATION OF MONTEREY BAY AREA GOVERNMENTS (AMBAG). THE LIDAR SURVEY WAS CONDUCTED IN 2010.
2. CHANNEL GEOMETRY USED IN THE HER-RAS HYDRAULIC MODEL WAS DEVELOPED FROM CROSS-SECTION SURVEYS CONDUCTED BY WATERWAYS CONSULTING INC. AND TOPOGRAPHIC MAPPING CONDUCTED BY ROBERT DEWITT AND ASSOCIATES AND IS NOT REFLECTED IN THE CONTOURS SHOWN ON THIS FIGURE.



HEC-RAS MODEL OVERVIEW FOR APN (05-111-03)

BAR IS ONE INCH ON ORIGINAL
DRAWING. ADJUST SCALES FOR
REDUCED PLOTS



FIGURE

Attachment A

FEMA FIS



ance Program at 1-800-638-6620.

MAP SCALE 1" = 1000'

0 500 1,000 1,500 2,000 FEET

NFIP
NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0310E

FIRM

FLOOD INSURANCE RATE MAP

SANTA CRUZ COUNTY, CALIFORNIA

AND INCORPORATED AREAS

PANEL 310 OF 470

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
SANTA CRUZ COUNTY	060353	0310	E

Notice to User: The Map Number shown below should be used when placing map orders, the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
06087C0310E

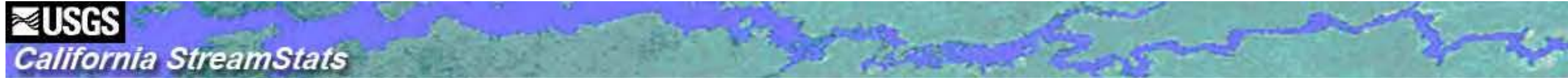
MAP REVISED
MAY 16, 2012

Federal Emergency Management Agency

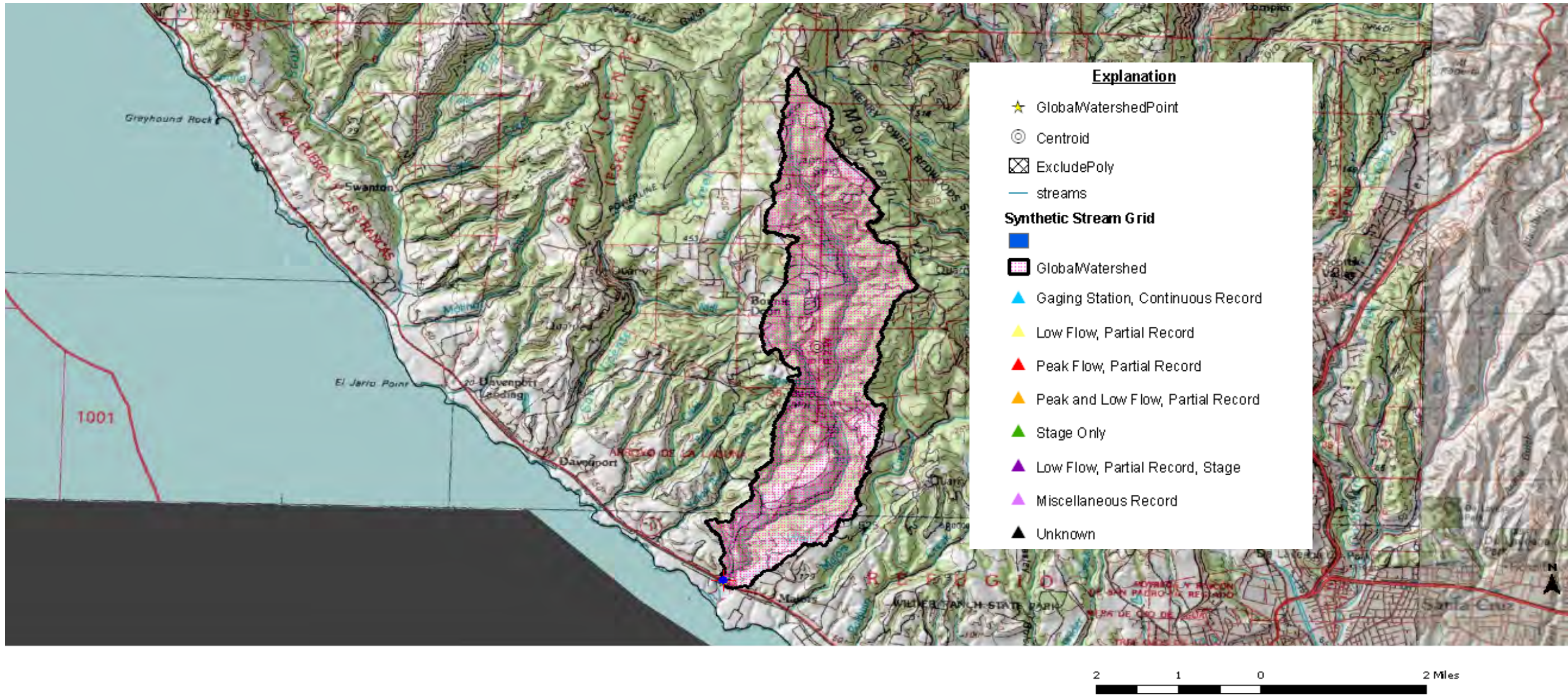
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Attachment B

Hydrologic Calculations



Downstream Culvert Site



2/10/2015 10:06:24 AM

Project: Laguna Creek
 Project #: 14-073
 Date: 2/10/2015
 Calculated by: GKG
 Checked by: B.M.S.

U.S. Geological Survey Scientific Investigations Report 2012-5113

Central Coast Region					
Q2 =	0.0046	A^	0.856	P^	2.58
Q10 =	0.46	A^	0.846	P^	1.66
Q50 =	5.32	A^	0.84	P^	1.15
Q100 =	11	A^	0.84	P^	0.994

where: Q = Peak discharge (cfs)

A = Area (sq. mi)

P = Mean annual precipitation (Rantz, 1969)

At Highway 1 Culvert

Parameter	Value	Units	Reference
Area =	7.90	sq. mi.	Figure 1
P value =	35	in	Rantz, 1969

Results

Q2 =	259	cfs
Q10 =	967	cfs
Q50 =	1801	cfs
Q100 =	2139	cfs
Q100+25% =	2674	cfs

Attachment C

Hydraulic Calculations

Culvert Report

Hydraflow Express Extension for AutoCAD® Civil 3D® 2013 by Autodesk, Inc.

Wednesday, Feb 18 2015

Highway 1 Culvert

Invert Elev Dn (ft) = 10.17
Pipe Length (ft) = 190.00
Slope (%) = 0.50
Invert Elev Up (ft) = 11.12
Rise (in) = 155.4
Shape = Box
Span (in) = 139.7
No. Barrels = 1
n-Value = 0.012
Culvert Type = Flared Wingwalls,
Top Edge Bevel
Culvert Entrance = 18D to 33.7D wingwall flare,
d=0.083D
Coeff. K,M,c,Y,k = 0.486, 0.667, 0.0249, 0.83, 0.2

Embankment

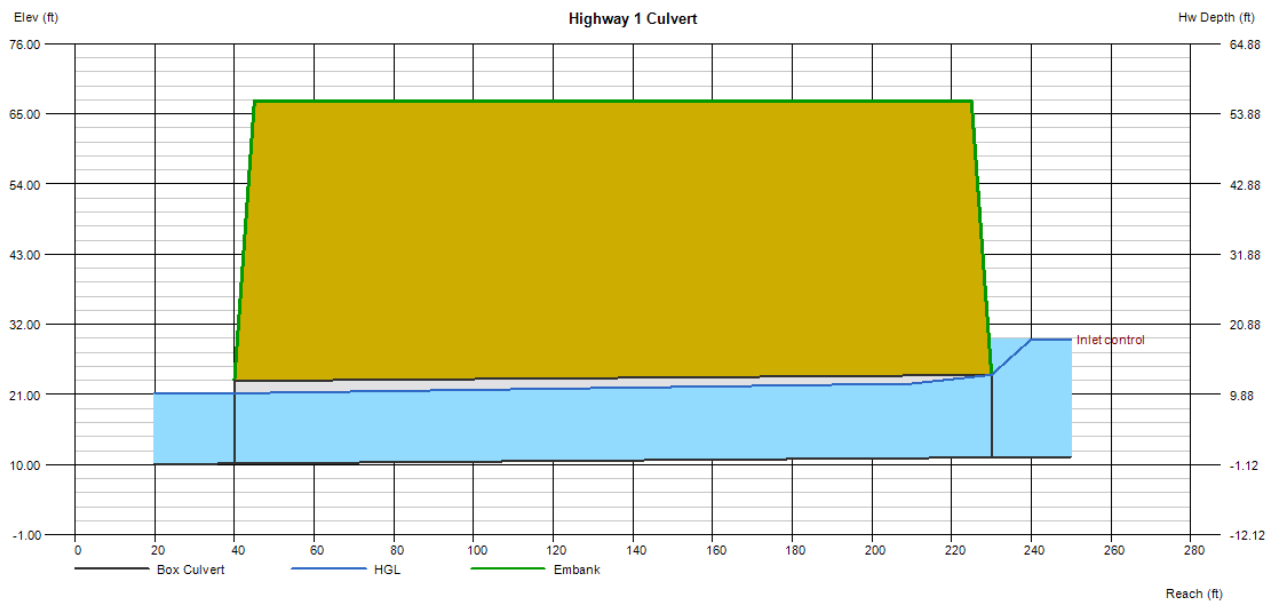
Top Elevation (ft) = 67.00
Top Width (ft) = 180.00
Crest Width (ft) = 1100.00

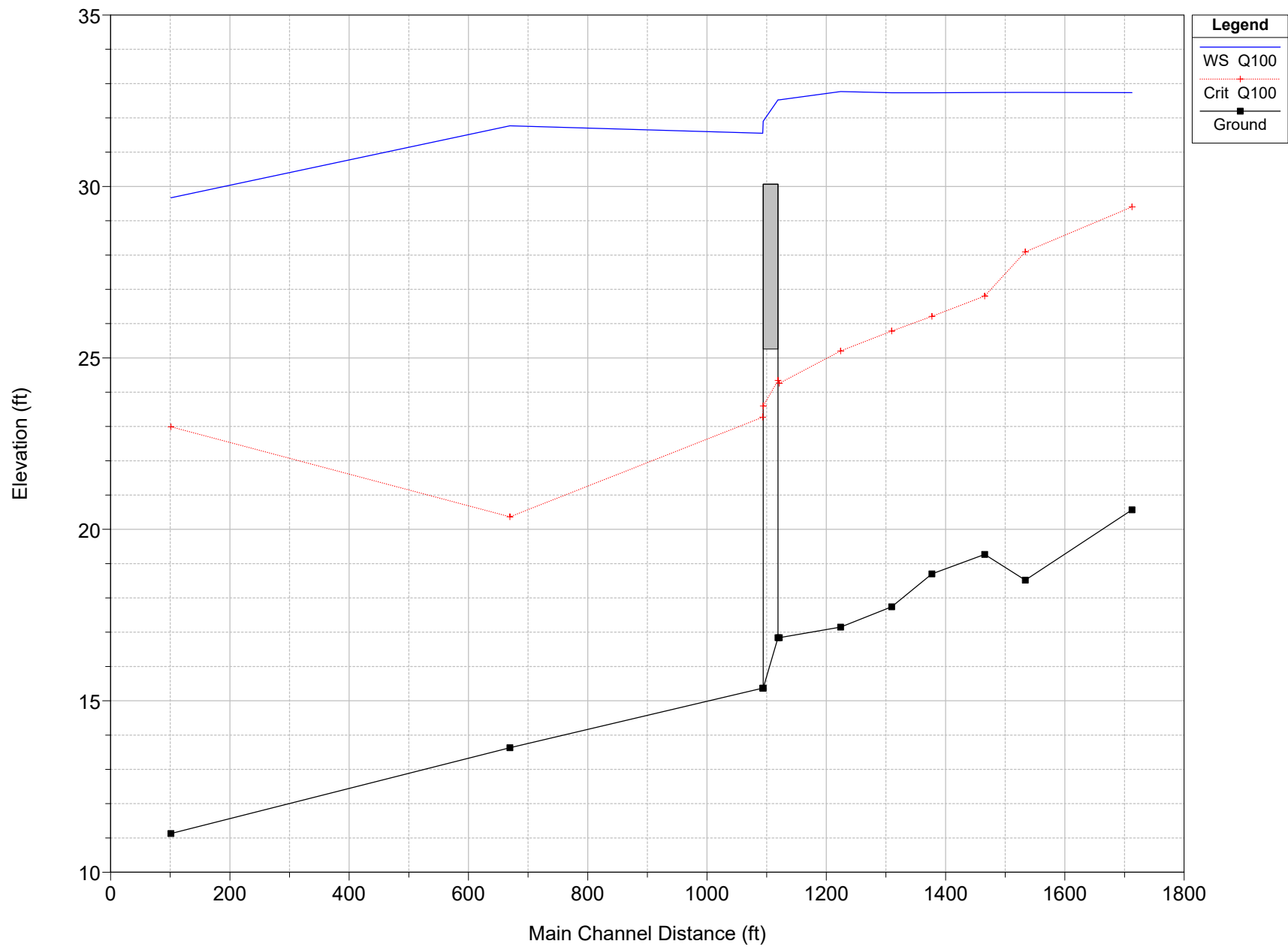
Calculations

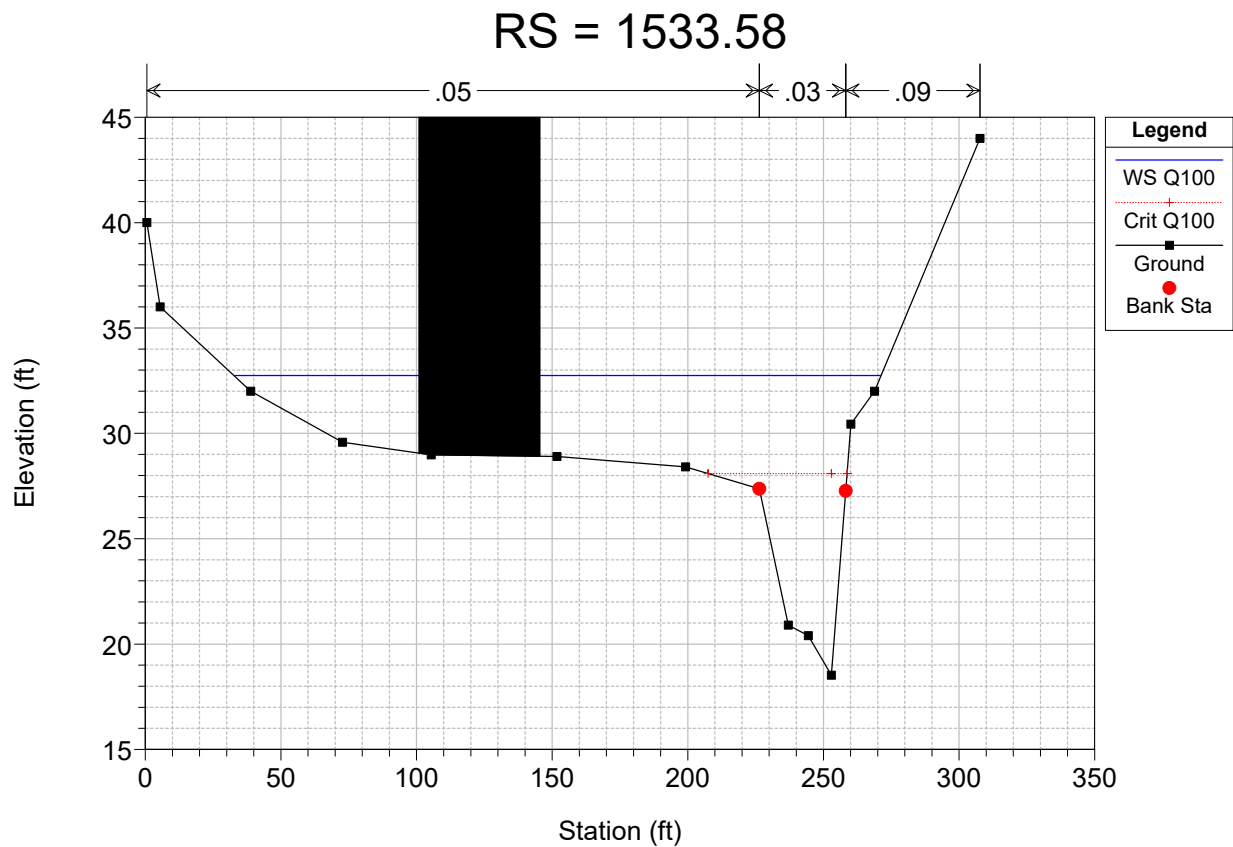
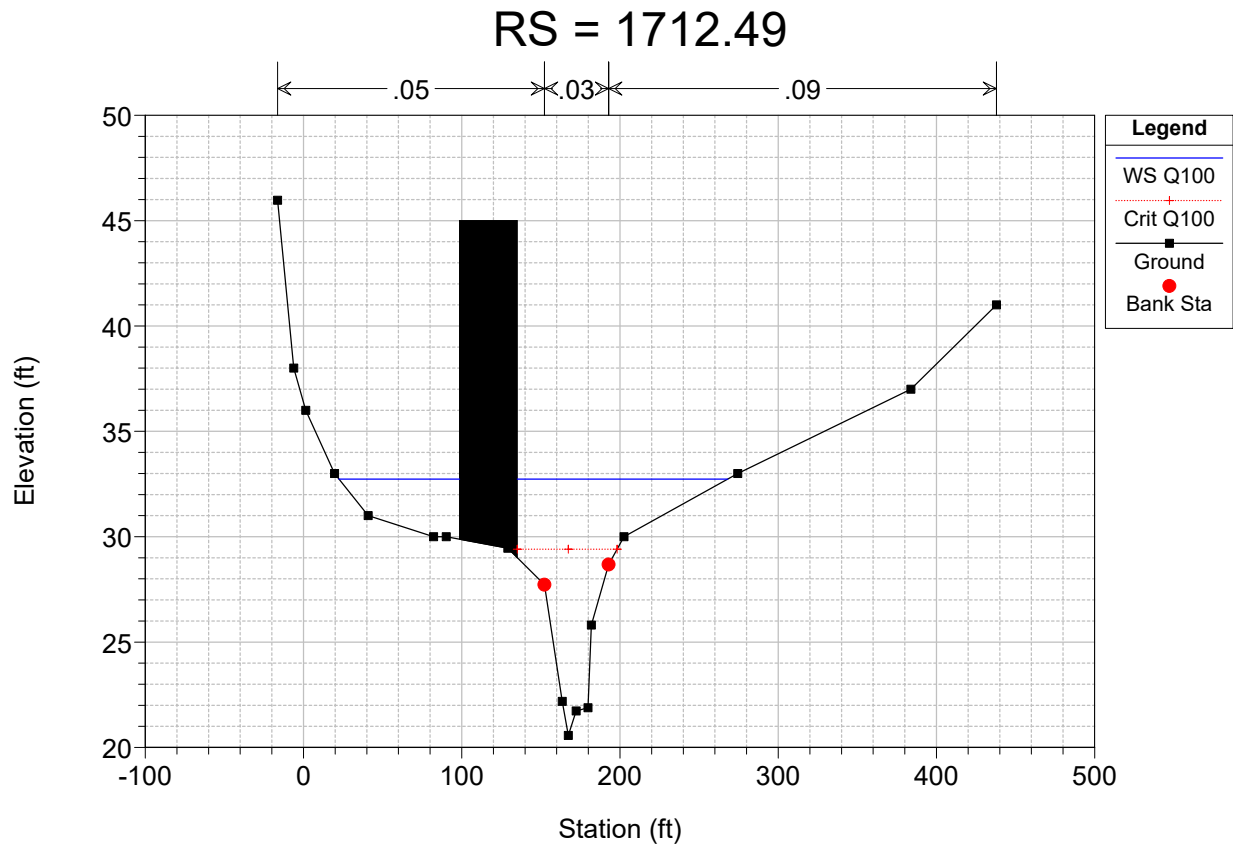
Qmin (cfs) = 2674.00
Qmax (cfs) = 2674.00
Tailwater Elev (ft) = Normal

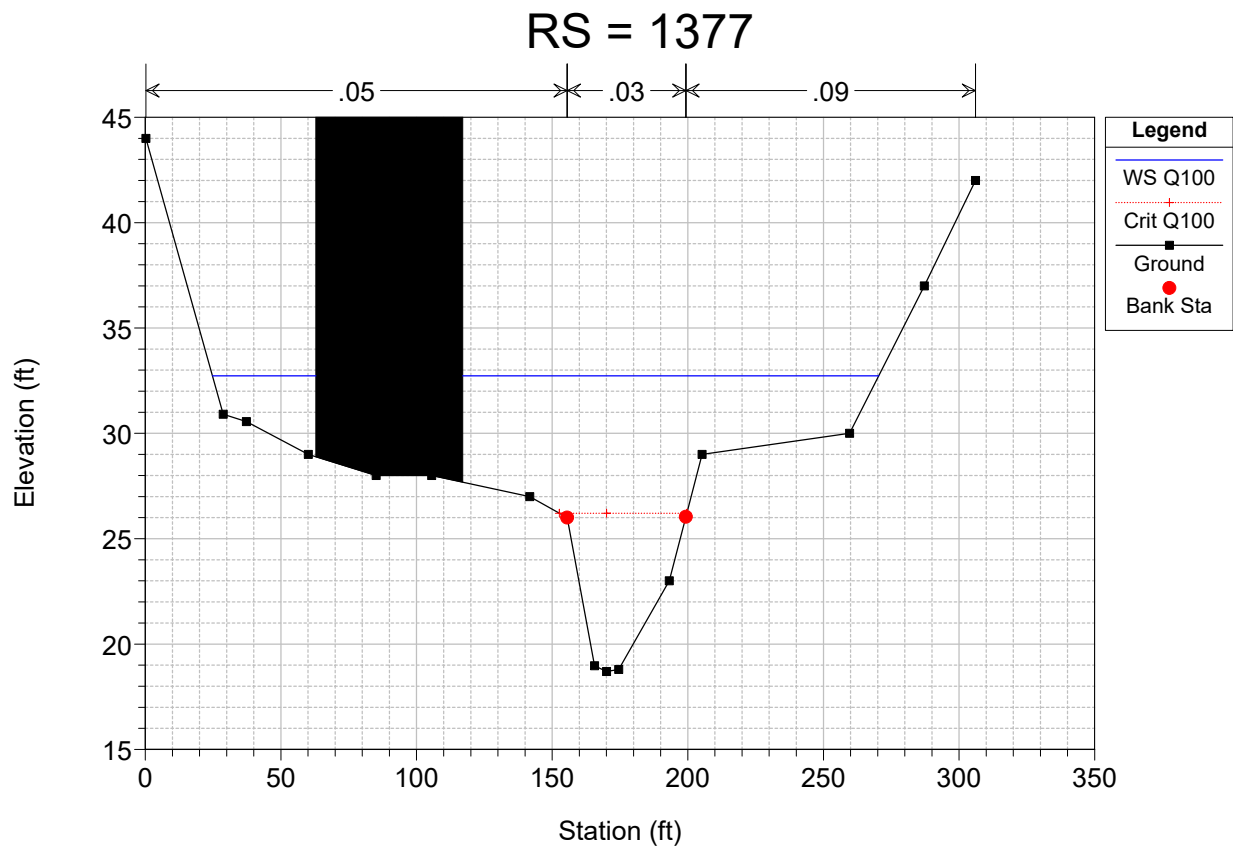
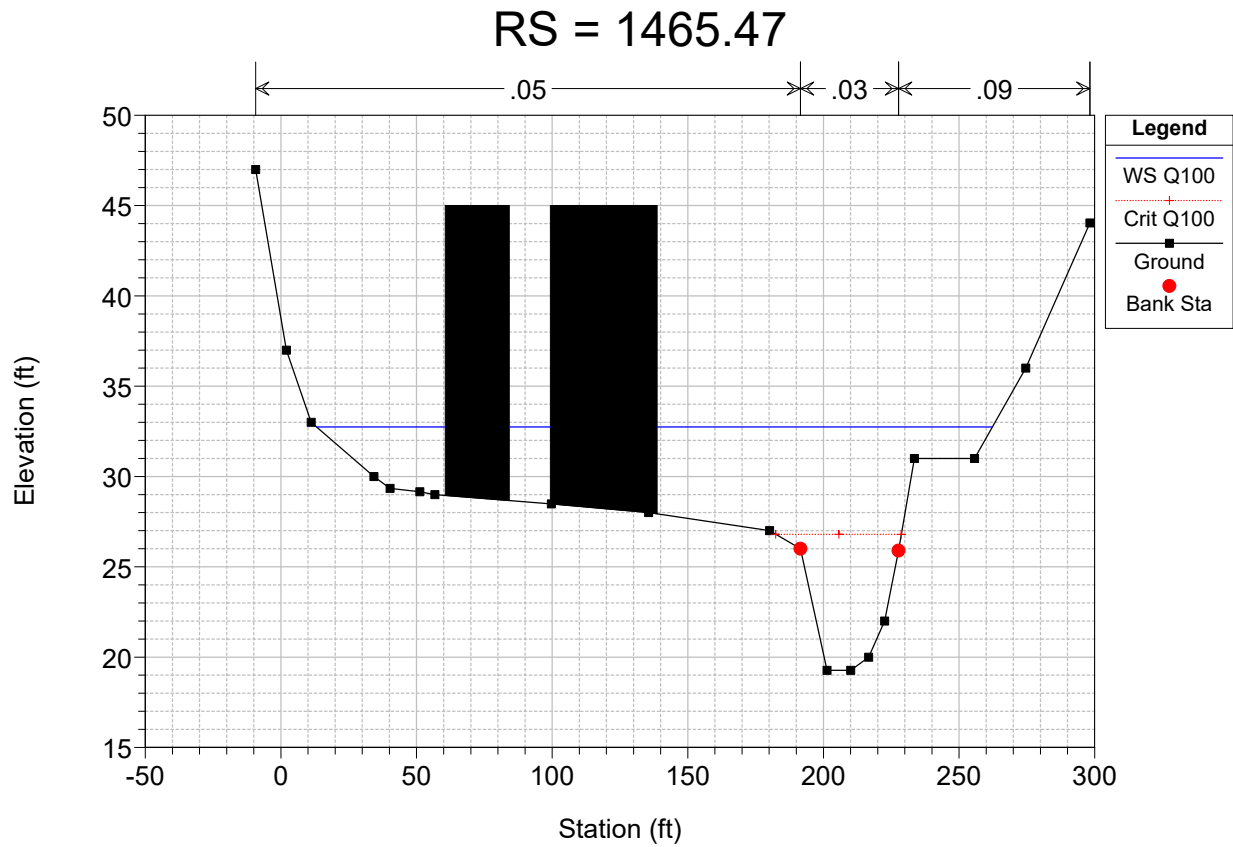
Highlighted

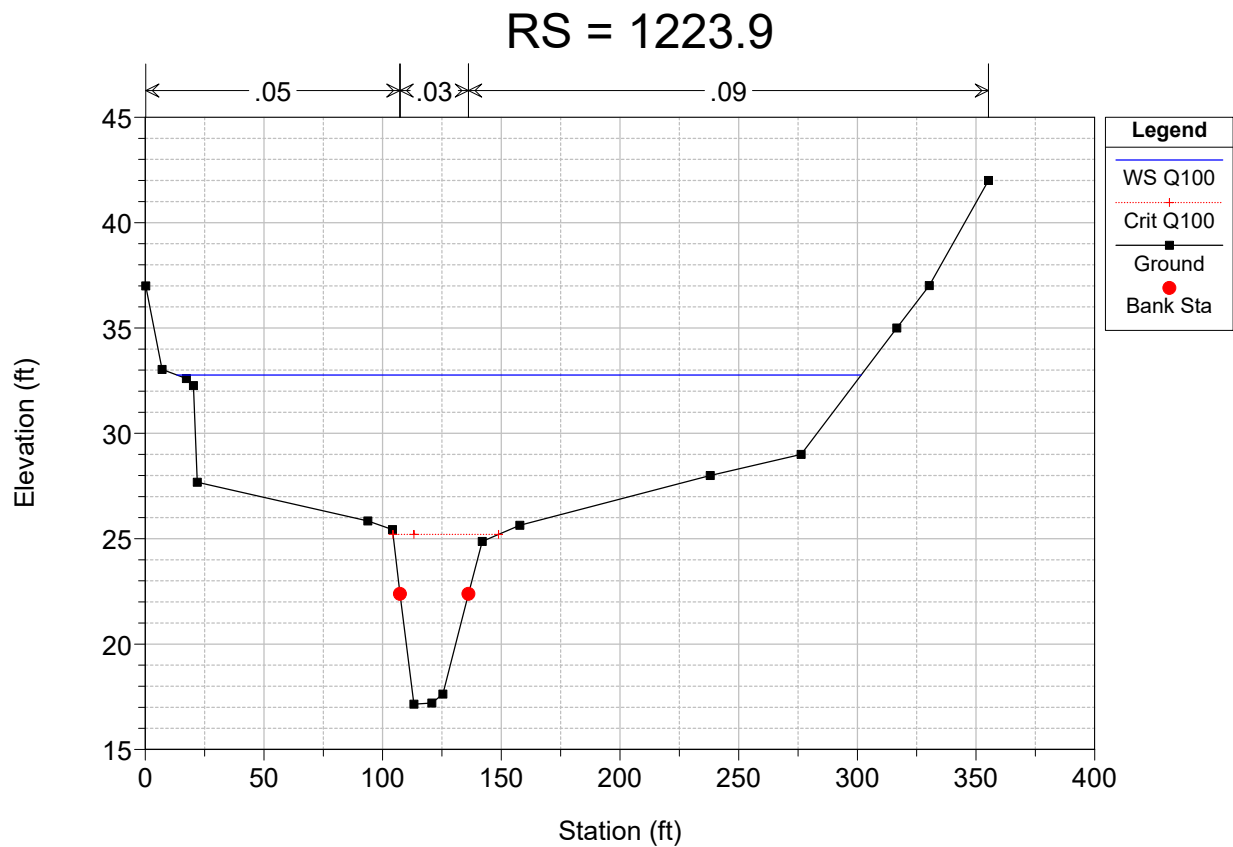
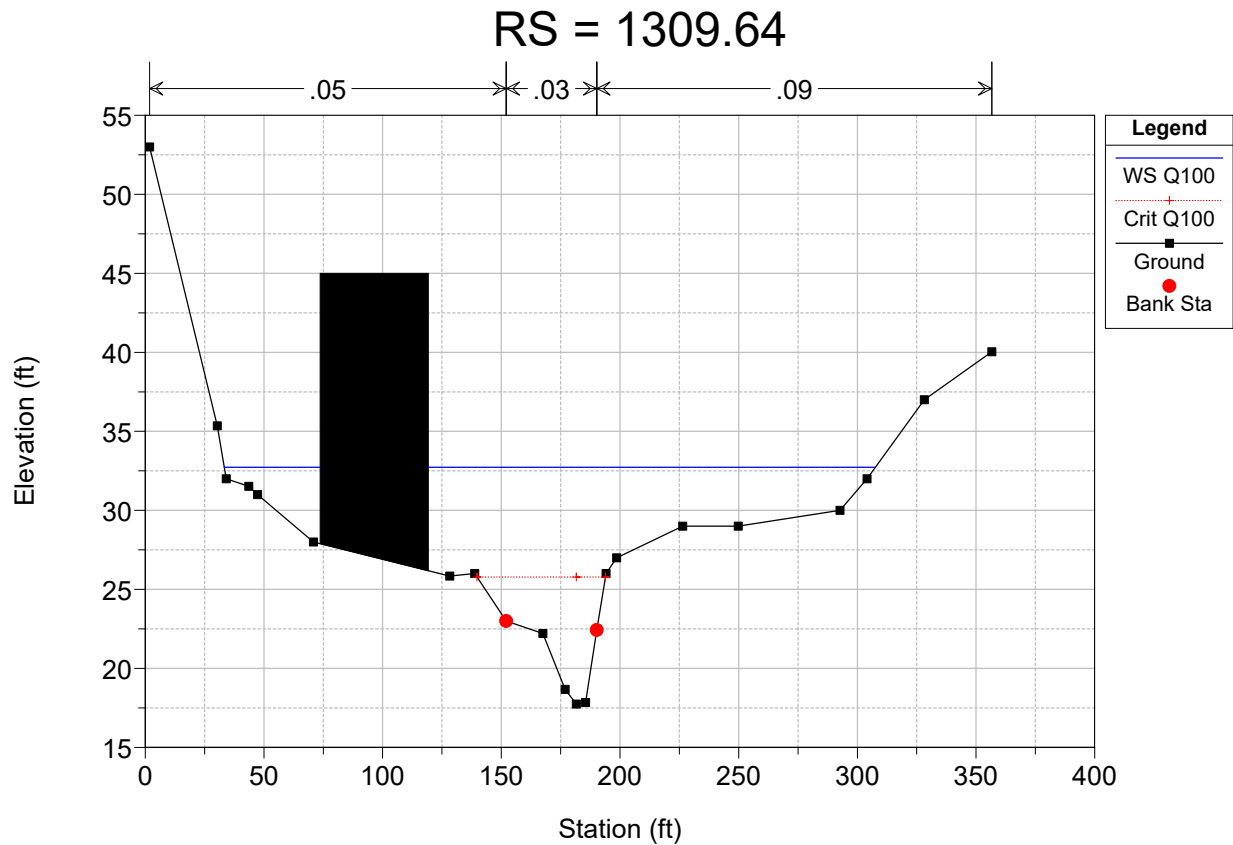
Qtotal (cfs) = 2674.00
Qpipe (cfs) = 2674.00
Qovertop (cfs) = 0.00
Veloc Dn (ft/s) = 20.84
Veloc Up (ft/s) = 19.52
HGL Dn (ft) = 21.19
HGL Up (ft) = 22.88
Hw Elev (ft) = 29.67
Hw/D (ft) = 1.43
Flow Regime = Inlet Control

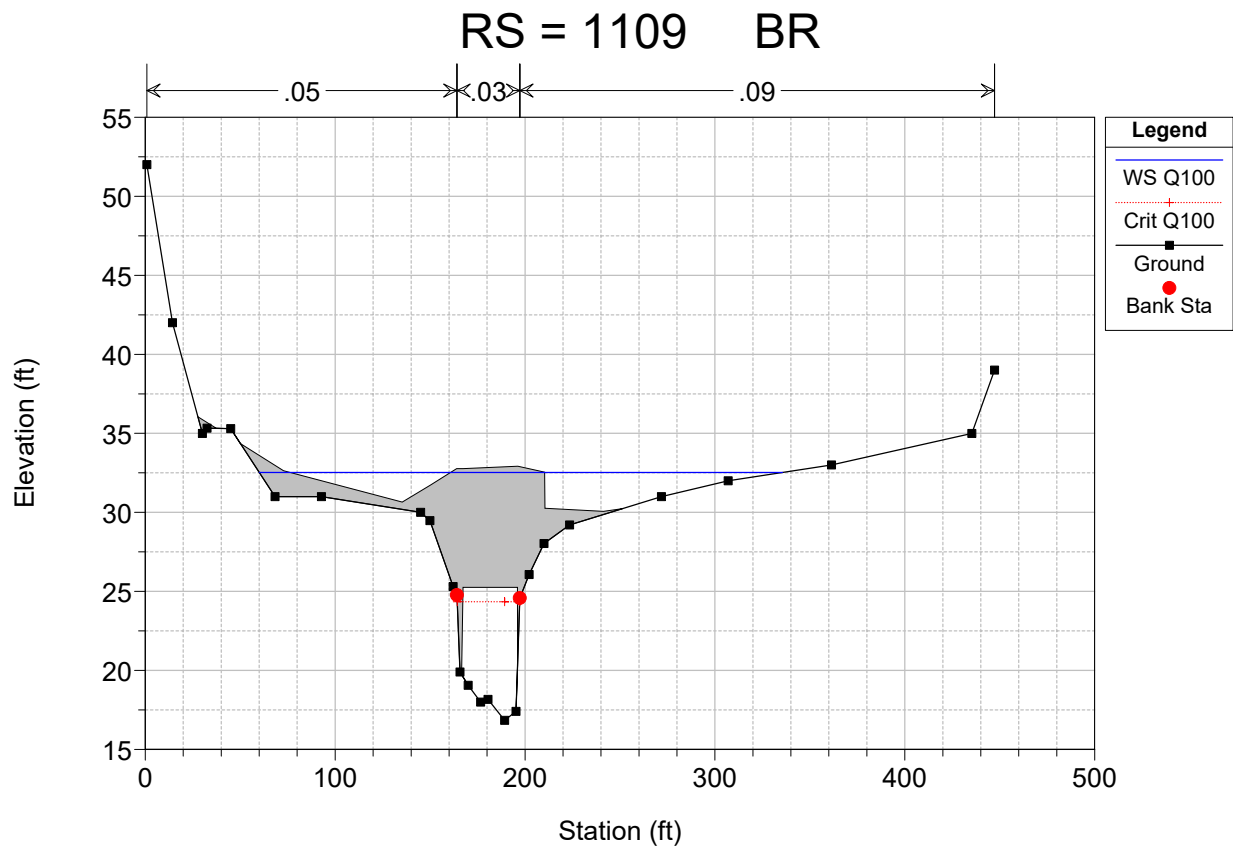
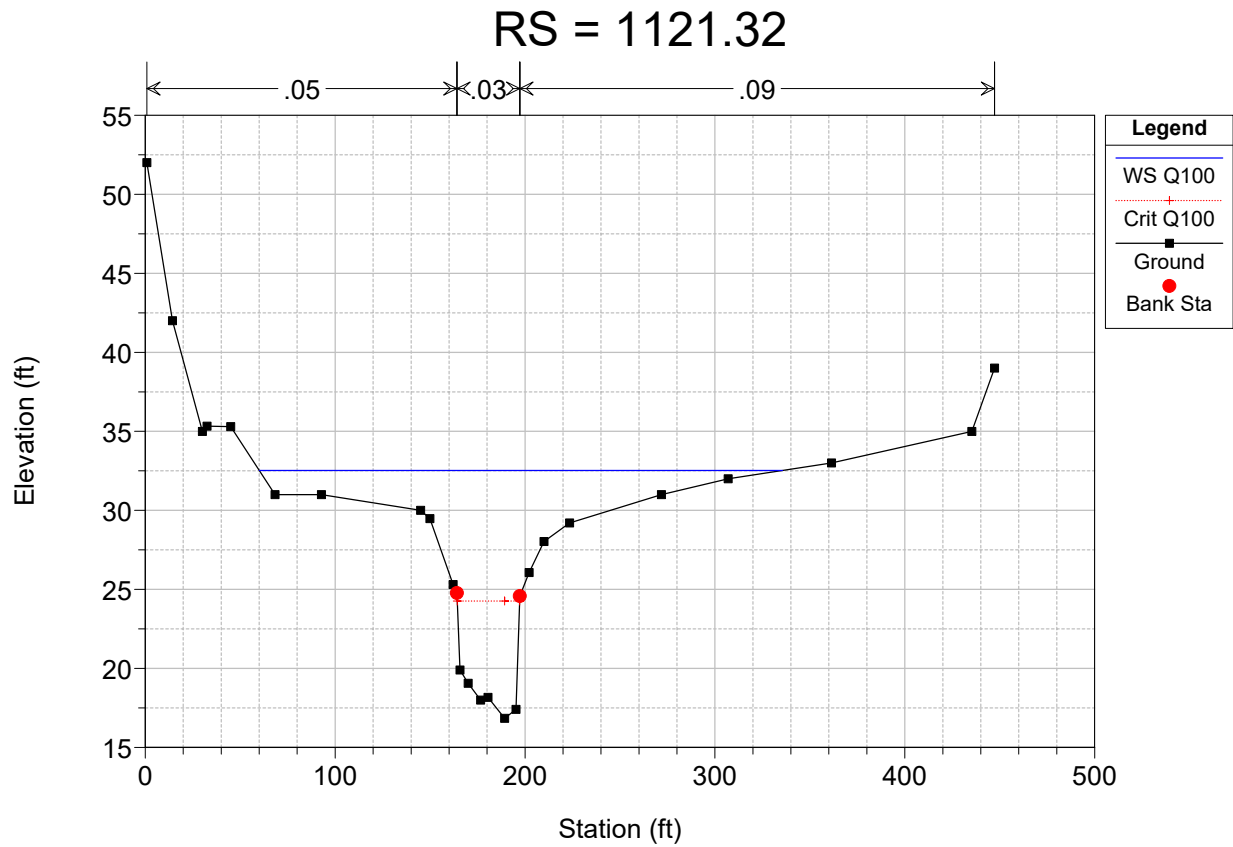


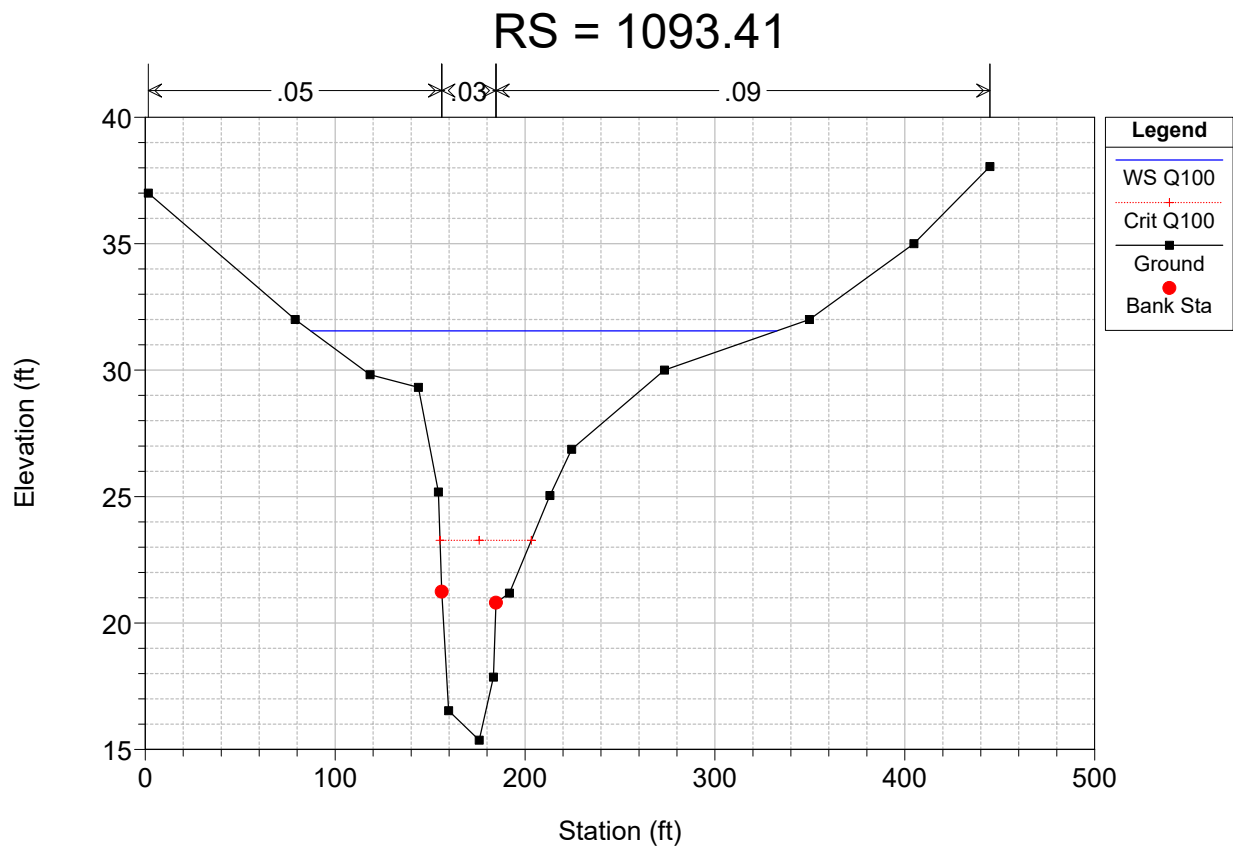
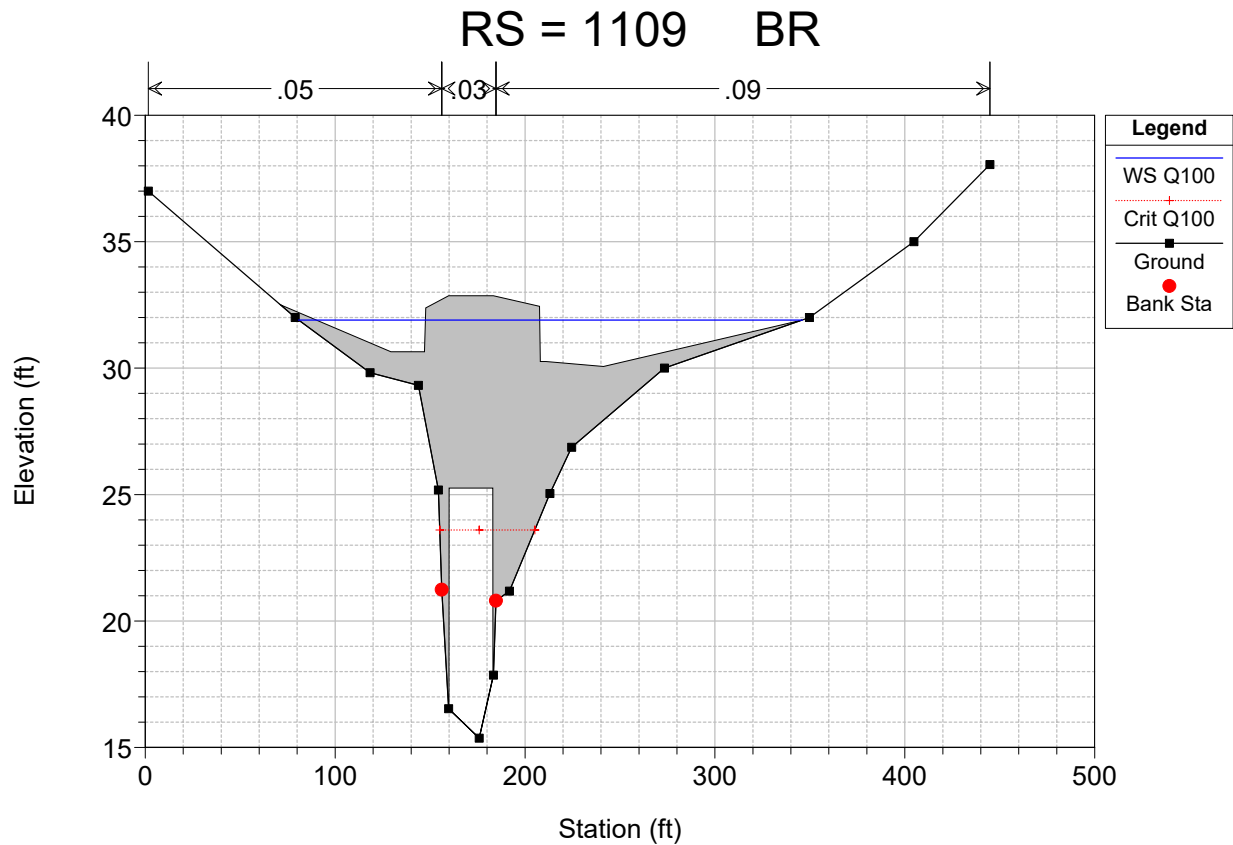


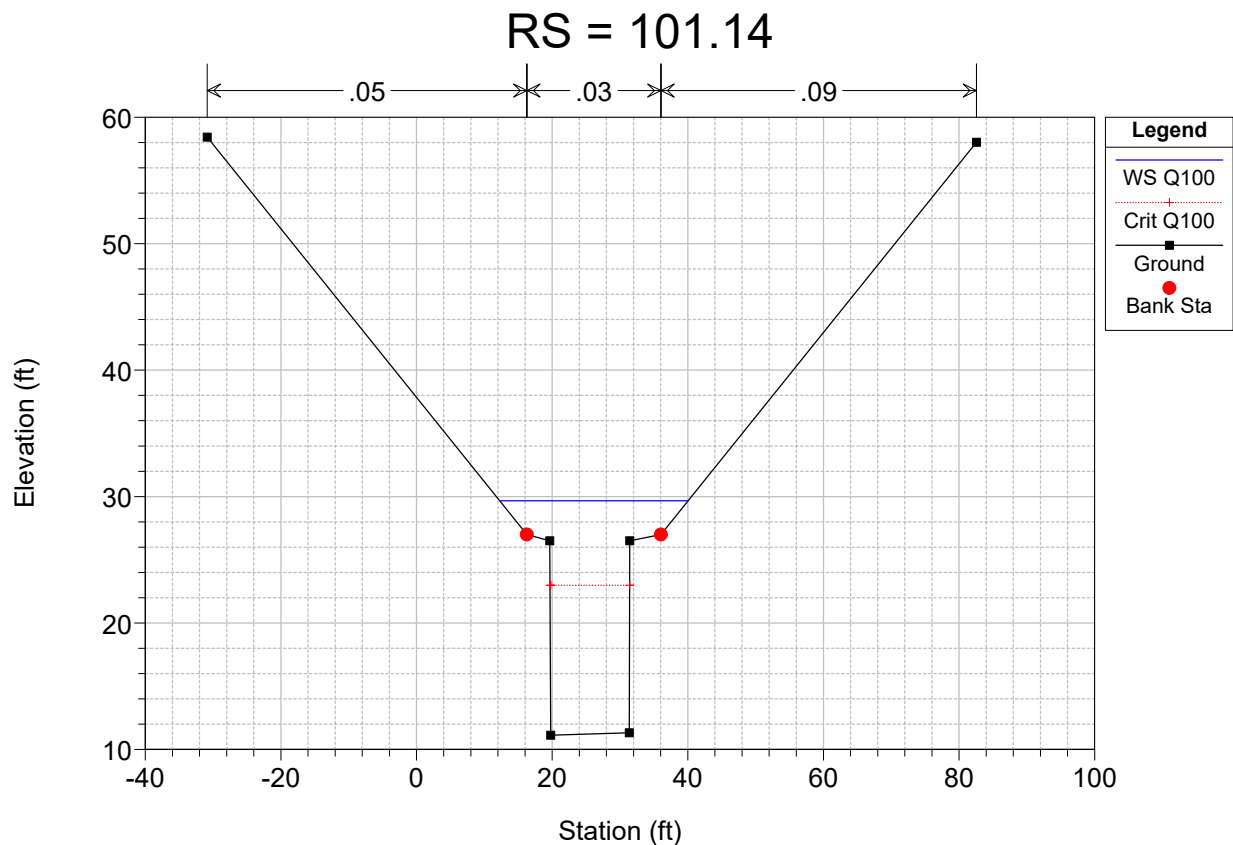
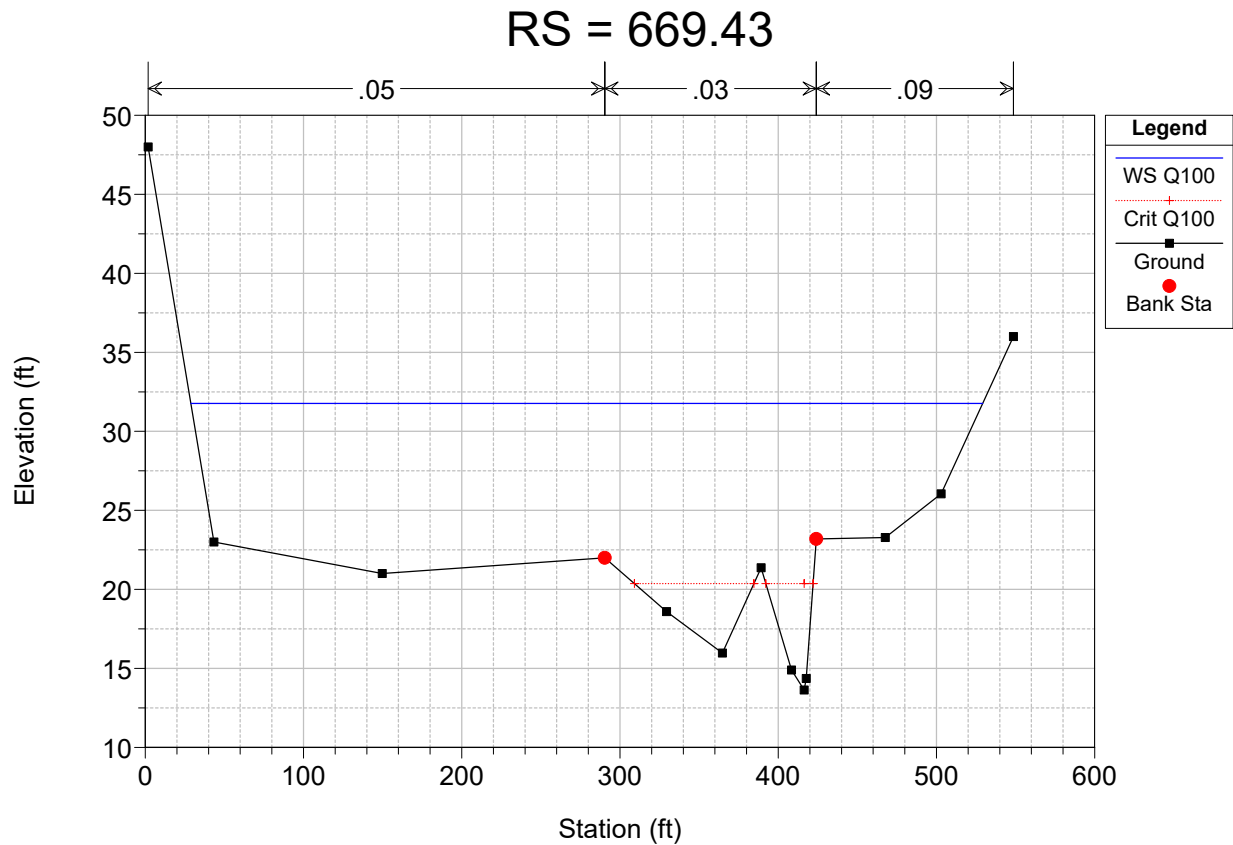












HEC-RAS Plan: Existing Cond. River: Laguna Creek Reach: HEC-RAS ALIGNMEN Profile: Q100

Reach	River Sta	Profile	Min Ch El (ft)	W.S. Elev (ft)	Shear Chan (lb/sq ft)	Vel Chnl (ft/s)	E.G. Slope (ft/ft)
HEC-RAS ALIGNMEN	1712.49	Q100	20.57	32.74	0.50	6.27	0.001043
HEC-RAS ALIGNMEN	1533.58	Q100	18.52	32.74	0.33	5.20	0.000596
HEC-RAS ALIGNMEN	1465.47	Q100	19.27	32.74	0.25	4.66	0.000388
HEC-RAS ALIGNMEN	1377	Q100	18.70	32.73	0.21	4.23	0.000314
HEC-RAS ALIGNMEN	1309.64	Q100	17.74	32.73	0.19	4.14	0.000278
HEC-RAS ALIGNMEN	1223.9	Q100	17.15	32.77	0.14	3.58	0.000178
HEC-RAS ALIGNMEN	1121.32	Q100	16.84	32.52	0.27	4.86	0.000391
HEC-RAS ALIGNMEN	1109		Bridge				
HEC-RAS ALIGNMEN	1093.41	Q100	15.37	31.55	0.29	5.13	0.000359
HEC-RAS ALIGNMEN	669.43	Q100	13.63	31.77	0.01	0.83	0.000010
HEC-RAS ALIGNMEN	101.14	Q100	11.13	29.67	1.86	11.09	0.006246



County of Santa Cruz

Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060
Planning (831) 454-2580 Public Works (831) 454-2160
sccoplanning.com dpw.co.santa-cruz.ca.us

13 December 2023

Touran McKinney toraun@gmail.com
6005 Laguna Road
Santa Cruz, CA 95065

Subject: Review of the Hydraulic Analysis to Determine Base Flood Elevation at APN 059-111-03, Santa Cruz, CA report dated 2 March 2015 by Waterways Consulting, Inc.; and the Topographic Survey Map of APN 059-111-01 with BFE Depicted dated 2 July 2021 by Edmundson & Associates Land Surveying

Project Site: 6005 Laguna Road
APN 059-111-01
Application No. REV231219

Dear Applicant:

The Planning Division has accepted the subject hydraulic analysis report for the proposed lower story addition to the existing residence at 6005 Laguna Road in Santa Cruz County, California. It is our understanding that the proposed new lower story will be non-habitable space.

Proposed project details are as follows:

- Lowest Adjacent Grade = approx. 26.1 ft NAVD88;
- Existing Finish Floor Elevation = 30.2 ft NAVD88;
- Proposed 2nd Story Finish Floor Elevation = approx. 43 ft NAVD88;
- Waterways Base Flood Elevation = 32.79 feet NAVD88

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: <https://www.sccoplanning.com/PlanningHome/ZoningDevelopment/Appeals/PlanningAppealsforDiscretionaryPermits.aspx>

REV231219
APN 059-111-01
13 December 2023
Page 2

If we may be of any assistance, please contact the undersigned at: 831.454.3168 or rick.parks@santacruzcountyca.gov

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz Planning Division

Cc: Environmental Planning, Attn: Leah MacCarter, FEMA Floodplain Manager
Waterways Consulting, Inc.: Matt Weld, PE <mattw@watways.com>



County of Santa Cruz

Department of Community Development and Infrastructure

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sccoplanning.com dpw.co.santa-cruz.ca.us

8 December 2023

Toraun McKinney <toraun@gmail.com>
6005 Laguna Road
Santa Cruz, CA 95065

Subject: Review of the Geotechnical Investigation, Existing Unpermitted Foundation, APN 059-111-01, 6005 Laguna Road, Santa Cruz, CA dated 23 September 2023 by Haro, Kasunich and Associates, Inc.- Project No. SC12002 and the Transfer of Responsibility form dated 6 December 2023

Project Site: 6005 Laguna Road
 APN 059-111-01
 Application No. REV231220

Dear Applicant:

The Planning Division has accepted the project site geotechnical investigation report prepared by Haro, Kasunich and Associates, Inc.; and the Transfer of Responsibility form regarding the previous project site geotechnical investigation report by Butano Geotechnical Engineering. The following items shall be required:

1. All project design and construction shall comply with the recommendations of the subject geotechnical investigation report;
2. Final plans shall reference the report by title, author, and date. Final Plans should also include a statement that the project shall conform to the report's recommendations; and
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The Consultants Plan Review Form (Form PLG-300) is available on the Planning Department's web page. The author of the soils reports shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by the last revision date.

The Consultants Plan Review Form (Form PLG-300) is available on the Planning Department's web page. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by the last revision date.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and - "Assistance & Forms".

Exhibit I

REV231220
APN 059-111-01
8 December 2023
Page 2

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic, or sewer approval, etc. may require resolution by other agencies.

If we may be of any further assistance, please contact the undersigned at: 831.454.3168 or rick.parks@santacruzcounty.us

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz CDI Planning Division

Cc: Leah MacCarter
John Kasunich, GE

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and/or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.



County of Santa Cruz

Department of Community Development and Infrastructure

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sccoplanning.com dpw.co.santa-cruz.ca.us

Matt Machado - Deputy CAO / Director

Jocelyn Drake
Assistant Director
Permit Division

Stephanie Hansen
Assistant Director
Housing & Policy

Kent Edler
Assistant Director
Special Services

Steve Wiesner
Assistant Director
Transportation

Travis Cary
Director
Capital Projects

Kim Moore
Assistant Director
Administration

Toraun Mckinney
6005 Laguna Rd
Santa Cruz, CA 95060

November 21, 2023

Subject: Archaeological Report Review for reconstruction of an existing single-family dwelling.
APN 059-111-01 , Application REV231218

Dear Ms. Mckinney,

The County of Santa Cruz Planning Department received and reviewed the Archaeological Report prepared by Patricia Paramoure, dated August 20, 2023, for reconstruction of a new single-family dwelling. This report was required due to the potential presence of archaeological resources within the proposed project area. Based on the submitted report findings the project site is unlikely to contain either precontact or historic resources, as no indications of significant cultural resources were found during the site reconnaissance pedestrian survey or records search. The following conditions will be included in the Coastal Development Permit 201399.

- A. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080 shall be observed.
- B. The building permit application shall include condition A, above, and shall provide the contact information for the archaeologist of record.

If you have any questions regarding this letter, please call me at (831) 454-3164.

Sincerely,

Leah MacCarter

Leah MacCarter
Resource Planner