



Staff Report to the Zoning Administrator

Application Number: **231493**

Applicant: Marty Fiorovich

Owner: Drmanac

APN: 052-321-26

Site Address: 115 Cormorant Way, Watsonville

Agenda Date: November 1, 2024

Agenda Item #:

Time: After 9:00 a.m.

Project Description: Proposal to construct a 781 square foot addition to an existing three story single family dwelling with a basement.

Location: Property located at 115 Cormorant Way in Pajaro Dunes

Permits Required: Coastal Development Permit

Supervisory District: 2nd District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231493, based on the attached findings and conditions.

Project Description & Setting

The subject property is located within the single family residential portion of Pajaro Dunes, a private beachside development located in the dunes beside the mouth of the Pajaro River. Homes in this area are accessed via private boardwalks from the access roadway (Cormorant Way). The predominant vegetative cover is dune grasses and associated vegetation, and the Pacific Ocean is located to the west of the development.

The structure is located on a sloped site with multiple levels within the building footprint. The project proposal consists of a remodel of the existing residence and an addition (total of approximately 781 square feet) to create a more functional living space within the dwelling.

A Coastal Development Permit is required because the project is located on a beach dune within the appeals jurisdiction of the coastal zone.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 6,490 square feet, located in the SU (Special Use) zone district, a designation which allows residential uses when paired with a residential

General Plan land use designation. The proposed residence is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation. The subject property is located within a portion of the Pajaro Dunes Planned Unit Development (PUD) that allows structures up to 35 feet in height; without limitation on the number of stories; and where lot coverage and Floor Area Ratio do not apply for structures built within the approved building envelopes.

Resident and guest parking is provided on Cormorant Way, below the project site, and access to the dwellings is via stairways and boardwalks within the Pajaro Dunes community.

Local Coastal Program Consistency

The proposed modifications to the existing residence are in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, with additional review and oversight by the Pajaro Dunes Homeowners Association, and the design submitted is consistent with the existing range of styles in the development. The subject property is not identified as a priority acquisition site in the County's Local Coastal Program. The project site is located between the shoreline and the first public road, with private beach access available on a boardwalk located one property to the north of the subject property, and public beach access available at Sunset State Beach (Palm Beach Day Use) to the north at West Beach Road. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review & Scenic Resources

The subject property is located within a mapped scenic beach viewshed. The proposed remodel and room addition at the existing residence complies with the requirements of the County Design Review Ordinance and General Plan/Local Coastal Program policies to protect designated scenic resources. The proposed project will retain the style, character, and general form of the existing residence that will blend with the surrounding development in Pajaro Dunes to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Biotic Resources

The project site has been evaluated in a biotic report which has been reviewed and accepted by Environmental Planning staff. The biotic report review includes conditions which are incorporated into the project proposal to ensure protection of sensitive biotic resources in the beach dune area of the subject property.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231493**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Biotic report review letter (REV231215)
- H. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231493

Assessor Parcel Number: 052-321-26

Project Location: 115 Cormorant Way, Watsonville

Project Description: Proposal to remodel and construct additions to an existing single family dwelling.

Person or Agency Proposing Project: Marty Fiorovich

Contact Phone Number: 831-212-2474

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301), Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a residential addition in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date:_____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned SU (Special Use), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the colors will be natural in appearance and complementary to the site; and the building will not increase in visual bulk, mass, or height.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Sunset State Beach (Palm Beach Day Use) to the north at West Beach Road.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the SU (Special Use) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles are reviewed by the Pajaro Dunes Homeowners Association, and the design submitted is consistent with the existing range of styles in the neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road, with public beach access available at Sunset State Beach (Palm Beach Day Use) to the north at West Beach Road. Consequently, the proposed project will not interfere with public

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Owner: Drmanac

access to the beach, ocean, or other nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the modifications to the existing residence and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district and residential General Plan land use designation, as the primary use of the property will be one residence that meets complies with the site standards and requirements for the Pajaro Dunes Planned Unit Development.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project. Conditions of approval of the accepted biotic report are included in the project plans; thus a CEQA exemption is appropriate.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the project consists of modifications to an existing residence.

The expected level of traffic generated by the proposed project is anticipated to remain at only one peak trip per day (1 peak trip per dwelling unit). The project will not overload utilities or adversely impact existing roads or intersections in the surrounding area.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The design of the proposed project has been evaluated and accepted by the Pajaro Dunes Homeowners Association.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

- (b) **Design.** The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed single family dwelling is in substantial conformance with the requirements of the County Design Review Ordinance. The design of the proposed project has been evaluated and accepted by the Pajaro Dunes Homeowners Association to ensure an appropriate scale and type of design within the surrounding community and natural landscape.

Conditions of Approval

Exhibit D: Project plans, prepared by Martha A. Fiorovich A.I.A., revised 1/28/24.

- I. This permit authorizes the remodel and construction of additions to a single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and

the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
6. A Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.
 - a. Any landscape plan submitted to comply with SCCC Ch. 13.13 shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
 1. All requirements of the approved Biotic Report Review (REV231215) shall be met.
- D. Meet all requirements and pay any applicable plan check fee of CalFire (County Fire Department).
- E. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- F. Pay the current fees for Parks mitigation. Currently, these fees are \$4.51 per new square foot for single family dwellings.
- G. Pay the current fees Child Care mitigation. Currently, these fees are \$0.74 per square foot for new single family dwellings.
- H. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling between 2,001 and 2,500 square feet is \$3 per new square foot.

- I. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
 - A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All requirements of the approved Biotic Report Review (REV231215) shall be installed/implemented.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - D. The project must comply with all recommendations of the approved soils reports.
 - E. A Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - F. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
 - A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the

applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 231493
APN: 052-321-26
Owner: Drmanac

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

Conditions of Approval – Biotic Report Review (REV231215)

In order to conduct development activities on APN 052-321-26, the Conditions of Approval I through XI below shall be adhered to. These Conditions shall be incorporated into all phases of development for this project (231493) and shall also apply to all future development activities proposed on the property.

Adherence to these conditions will ensure that proposed development is consistent with County policies and will avoid and minimize impacts to sensitive habitats and special-status species.

Environmental Planning Staff shall review all future development plans and building permit applications to ensure conformance with the Conditions below.

General Conditions

- I. To reduce potential impacts to sensitive habitats and special-status species that may result from artificial light, the following shall be adhered to:
 - A. The project shall avoid the installation of any non-essential artificial lighting. If artificial lighting is necessary, the project shall avoid or limit the use of artificial lights during the hours of dawn and dusk, when many wildlife species are most active.
 - B. All essential outdoor lighting shall be limited through the use of timers and/or motion sensors.
 - C. All essential outdoor lighting shall be shielded, cast downward, and directed such that it does not shine off the property into surrounding areas, other parcels, or the night sky.
- II. All temporary and permanent disturbance associated with the project shall be shown on the final project plans as the 'development footprint'. The development footprint shall be delineated on the final project plans with a thick bold solid line and must encompass all grading, buildings, retaining walls, utilities, landscaping, patios, vegetation removal, access routes, and deposition of refuse or debris associated with the project.
 - A. All areas outside of the development footprint shall be labeled on the development plans as sensitive habitat and fenced for avoidance during construction.
 - B. Within the development footprint, the area of permanent disturbance shall be clearly labeled and the final square footage of this area included on the plans.
- III. To compensate for impacts to Coastal Dune habitat, and habitat for special-status species, and to comply with the Santa Cruz County General Plan Policy ARC-3.2.1 and SCCC Section 16.32.090 (B)(3), the following shall be adhered to:
 - A. The project shall compensate for permanent impacts to dune habitat through native dune habitat restoration on site at a 3:1 ratio of restoration to permanent impacts.

Final permanent impact numbers and required area of compensatory restoration shall be verified during Environmental Planning Review of the building plans.

- B. All temporarily impacted areas must be restored at a 1:1 ratio.
- C. Habitat enhancement and/or restoration activities (i.e. removal and ongoing management of invasive species) commensurate with the proposed development shall occur on the remainder of the parcel.

Prior to Issuance of the Building Permit

- IV. A Habitat Restoration Plan prepared by a qualified biologist or restoration professional shall be included with the building permit application for review and approval by Environmental Planning Staff.

The Restoration Plan shall be focused on restoring the native plant structure and species composition of local Coastal Dune habitat on the subject parcel and must include the following minimum elements:

- A. A map of all designated restoration areas on the parcel including locations where temporary disturbance and re-establishment of native habitat shall occur and locations designated for restoration or establishment of native habitat intended to compensate for permanently impacted sensitive habitats at 3:1 ratio. This map shall delineate and label all restored areas as "Protected Habitat Area".
- B. A planting plan with species, size, and locations of all restoration plantings. These plantings shall occur at sizes and ratios determined by the restoration specialist to adequately restore native habitat while maximizing plant health and survivability of individual plants.
- C. Plan for removal of non-native species and a management strategy to control re-establishment of invasive non-native species on the entire parcel to help prevent the spread and continued encroachment of invasive species.
- D. Methods for establishment of local Coastal Dune habitat including specific restoration treatments to promote natural re-establishment of native species and active planting.
- E. Information regarding any seed collection and transplantation strategies that might be utilized for establishment or re-establishment of plant species.
- F. Information regarding the methods of irrigation for restoration plantings.
- G. Information regarding the placement and location of permanent protective signs used to delineate Protected Habitat Areas in the field.
- H. The Habitat Restoration Plan shall include a 5-year Management Plan for maintenance and monitoring of restored areas, including a proposed mechanism for

evaluating success.

- V. Annual reports outlining the progress and success of the restoration plantings and monitoring activities outlined in the 5-year Maintenance and Monitoring Plan shall be submitted to the County Restoration Coordinator:
restoration.coordinator@santacruzcounty.us by December 31 of each monitoring year.
- VI. In addition to the required 5-year annual monitoring and reporting, a 10-year monitoring report shall be prepared and submitted to the County Restoration Coordinator:
restoration.coordinator@santacruzcounty.us outlining the continued implementation and results of annual Coastal Dune Scrub Management over the 10-year period.
- VII. Any seed mix used for erosion control purposes on exposed soils shall be limited to seeds of native species common to the surrounding habitat and/or sterile seeds.
- VIII. The designated restoration areas on the parcel shall be preserved as Protected Habitat Areas through recording of a Declaration of Restriction on the parcel. The Declaration of Restriction shall be finalized and recorded as part of the Environmental Planning review of the final project plans. Once all reviewing agencies have reviewed and accepted the permit application, the Declaration of Biotic Restriction will be emailed to the owner with instructions. The Declaration of Restriction shall include the following:
 - A. Identification of a “Protected Habitat Areas” where development shall not occur in the future.
 - B. Specific management strategies to ensure that the Protected Habitat Areas are properly managed to maintain quality native dune habitat.
 - C. Specific restrictions regarding activities that are not allowed within the Protected Habitat Areas in the future.
- IX. Proof of recordation of the final Declaration of Restriction shall be required prior to issuance of the building permit.

Construction Conditions

- X. To protect sensitive habitats and special-status species during project related construction activities, the following shall be adhered to:
 - A. Prior to any site disturbance, a pre-construction meeting shall be conducted. The purpose of the meeting will be to ensure that the conditions set forth in the proposed project description and Conditions of Approval are communicated to the various parties responsible for constructing the project. The meeting shall involve all relevant parties including the project proponent, construction supervisor, Environmental Planning Staff, and the project biologist.
 - B. Recommended Avoidance and Minimization measures BIO-1 through BIO-7 and BIO -9 through BIO-12 of the attached Biotic Report dated May 20, 2024 prepared

by Biotic Resources Group and Bryan Mori Biological Consulting Services shall be adhered to.

- C. Every individual working on the Project must attend biological awareness training prior to working on the job site. The training shall be delivered by a qualified biologist and shall include information regarding the location and identification of sensitive habitats and all special-status species with potential to occur in the project area, the importance of avoiding impacts to special-status species and sensitive habitats, and the steps necessary if any special-status species is encountered at any time (see also BIO-4).
- D. Within 30 days prior to commencement of construction, the location and boundaries of existing special-status plant species identified on the property shall be re-confirmed by a qualified biologist. High visibility construction fencing and/or other protective measures shall be installed around these plants as indicated in Condition 7 below.
 - 1. If special-status plants cannot be entirely avoided during construction, seed collection and transplantation strategies for these species shall be incorporated into the project-specific Restoration Plan outlined in Condition 10 below.
- E. Prior to commencement of construction, high visibility fencing and/or flagging shall be installed with the assistance of a qualified biologist around the designated development footprint to indicate the limits of work and prevent inadvertent grading, equipment staging, vehicular access, or other disturbance within the adjacent sensitive habitat areas (see also BIO-1 & BIO-9).
 - 1. Intact native dune plants on the parcel shall be protected as sensitive habitat and avoided during construction to the maximum extent possible.
 - 2. No work-related activity including equipment staging, vehicular access, grading and/or vegetation removal shall be allowed outside the designated limits of work.
 - 3. Special-status plants located near or within the project impact area shall be identified and protected with high visibility fencing or flagging and through installation of any other protective barriers (such as silt fencing) identified as necessary by the biologist in the field.
 - 4. The fencing/flagging shall be inspected and maintained daily until project completion.
- F. If a special-status animal is identified at any time prior to or during construction, work shall cease immediately in the vicinity of the individual. The animal shall either be allowed to move out of harm's way on its own or a qualified biologist shall move the animal out of harm's way to a safe relocation site. All sightings of special-status species shall be reported to the County Environmental Coordinator

and submitted to the CNDDDB.

G. To avoid impacts to nesting birds, the following shall be adhered to (See also BIO-10 through BIO-12):

1. Schedule construction during the non-nesting season (September 1st-February 1st) if possible. If commencement of project activity begins outside of the February 1st to August 31st nesting season, there will be no need to conduct a preconstruction survey for active nests.
2. If project activities are to commence between February 1st and August 31st, a survey for active bird nests shall be conducted by a qualified biologist within two weeks prior to the start of such activity. The survey area shall include the project area, and a survey radius around the project area of 50 feet for MBTA birds, 250 feet for birds of prey.\
3. If no active bird nest is found, then no further avoidance and minimization measures are necessary.
4. If active nest(s) are found within the survey area the County Environmental Coordinator shall be notified immediately. The biologist shall establish an avoidance buffer that will provide adequate protection specific to the species, will monitor the nest as needed, and advise the applicant and the County when all young have fledged the nest. Commencement of work may begin only after fledging is complete.
5. If the biologist determines that a smaller avoidance buffer will provide adequate protection for nesting birds, a proposal for alternative avoidance/protective measures, potentially including a smaller avoidance buffer and construction monitoring, may be submitted to the County Environmental Coordinator for review and approval prior to removal of vegetation, use of heavy equipment, or other construction activities.
6. If construction activity stops for more than two weeks during the nesting season (February 1st - August 31st) a new survey shall be conducted prior to re-commencement of construction.

XI. Prior to final building inspection the following shall occur:

- A. Establishment and planting of all restoration areas as outlined in the final approved Habitat Restoration Plan and placement of protective signs around the Protected Habitat Areas shall be inspected and approved by Environmental Planning staff.

A copy of this biotic approval, including all attachments, should be submitted with any future permit applications.

DRMANAC RESIDENCE

115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

FIRE NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODE (2019 EDITION) AND AS AMENDED AUTHORITY HAVING JURISDICTION.
- OCCUPANCY CLASSIFICATION IS R-3 AND CONSTRUCTION TYPE VB AS NOTED ON PROJECT DATA.
- THE ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED. A CHIMNEY MUST HAVE AN APPROVED SPARK ARRESTOR ON THE TOP OF THE CHIMNEY, WIRE MESH NOT TO EXCEED 1/4".
- A 30-FOOT CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE WHICHEVER IS SHORTER. EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.
- A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
- JOB COPIES OF THE BUILDING PERMITS MUST BE ON SITE DURING INSPECTIONS.
- AS A CONDITION OF SUBMITTAL OF THESE PLANS, THE SUBMITTER, DESIGNER AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES, AGREE THAT THEY ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE SPECIFICATION 15, STANDARDS, CODES, AND ORDINANCES
- FIRE HYDRANT: MIN. 1000 GAL. FIRE FLOW.
- WHEN A FIRE ALARM SYSTEM IS PROPOSED IN LIEU OF 1 TO V BATTERY BACKUP SMOKE DETECTORS, A SEPARATE FIRE ALARM AND FEE IS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. THREE SETS OF THE FIRE ALARM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO COMMENCING WORK.
- SEE FLOOR PLANS FOR SMOKE ALARM LOCATIONS:
SMOKE ALARMS INSTALLED IN THE FOLLOWING LOCATIONS AND APPROVED BY THE FIRE AGENCY AS A MINIMUM REQUIREMENT:
ONE ALARM ADJ. TO EA. SLEEPING AREA (HALL, FOYER, BALCONY, OR ETC.)
ONE ALARM IN EA. SLEEPING ROOM.
ONE AT THE TOP OF EACH STAIRWAY OF 24" OR GREATER AND IN AN ACCESSIBLE LOCATION BY A LADDER.
THERE MUST BE AT LEAST ONE SMOKE ALARM ON EA. FLOOR REGARDLESS OF AREA USAGE. THERE MUST BE A MINIMUM OF ONE SMOKE ALARM IN EVERY BASEMENT AREA.
- CARBON MONOXIDE ALARMS TO BE INSTALLED ACCORDING TO THE FOLLOWING LOCATIONS AND APPROVED BY THE FIRE AGENCY AS A MINIMUM REQUIREMENT:
ONE ALARM ADJACENT TO EA. SLEEPING AREA (HALL, FOYER, BALCONY, OR ETC.)
ONE AT THE TOP OF EA. STAIRWAY OF 24" RISE OR GREATER AND IN AN ACCESSIBLE LOCATION BY A LADDER.
THERE MUST BE AT LEAST ONE CARBON MONOXIDE ALARM ON EA. FLOOR REGARDLESS OF AREA USAGE.

OUTSIDE USL: PAJARO DUNES IS OUTSIDE THE USL.

PROJECT DATA

PARAJO DUNES PLANNED UNIT DEVELOPMENT

APN NUMBER: 052-321-26 WATER DISTRICT: PV-WAT-A BUILDING ENVELOPE: 50 x 50 RECORDED

LOT SIZE: 6490 SQ. FT. SRA: LOW NO GRADING: CUT <30 CU YDS

OWNER/PROJECT ADDRESS: DRMANAC RESIDENCE 115 CORMORANT WAY WATSONVILLE, CA 95076 CONSTRUCTION TYPE: TYPE VB, NOT SPRINKLERED. HEIGHT LIMIT: 35' OFF GRADE

ZONING: SU, PUD NUMBER OF STORIES: (E) THREE STORY RESIDENCE

GENERAL PLAN: R-UL Urban Low Residential SCENIC CURRENT USE: SINGLE FAMILY RESIDENCE

COASTAL: YES, Not Exclusion Zone Coastal Zone Appeal Jurisdiction PROPOSED USE: SINGLE FAMILY RESIDENCE WITH TWO & THIRD STORY ADDITION & REMODEL

FLOODPLAIN: VE PER FEMA AND NAVD 88, VE BFE IS 22' DECKS: FIRST FLOOR FRONT DECK: 162 SQ. FT. SECOND FLOOR REAR ROOF DECK: 90 SQ. FT. FRONT DECK: 134 SQ. FT. FRONT DECK: 169 SQ. FT. DECKS: 393 SQ. FT. THIRD FLOOR ROOF DECK: 313 SQ. FT.

OCCUPANCY GROUP: R-3 HEATED: EXISTING 1625 SQ. FT. HEATED: 781 SQ. FT. PROPOSED ADDITION: 2406 SQ. FT. TOTAL: 483 SQ. FT. (868 SQ. FT. ARE ROOF DECKS 49% of TOTAL SQ. FT. ARE ROOF DECKS)

OUTSIDE USL: PAJARO DUNES IS OUTSIDE THE USL. SANITATION: SEWER

PROJECT DIRECTORY

OWNERS: ANA & RADA DRMANAC 115 CORMORANT WAY WATSONVILLE, CA

ARCHITECT: MARTHA FIOROVICH 11 ASPEN WAY WATSONVILLE, CA 95076 (831) 212-2474

LAND SURVEYOR: HANNAGAN LAND SURVEYING 305-C SOQUEL AVE SANTA CRUZ, CA 95062 (831) 469-3428

GEOTECHNICAL ENGINEER: ROCK SOLID ENGINEERING, INC. 1100 MAIN STREET, SUITE A WATSONVILLE, CA 95076 (831) 724-5868

PROFESSIONAL ENGINEER: ROBERT PATTERSON, P.E. 17953 BERTA CYN. RD SALINAS, CA 93907 (831) 235-2253

BIOLOGIST: KATHLEEN LYONS BIOTIC RESOURCES GROUP 2351 S. RODEO GULCH RD. #12 SOQUEL, CA 95076 (831) 476-4803

SHEET INDEX

- T1.0 TITLE SHEET, VICINITY MAP, PARCEL MAP, PLOT MAP, PROJECT DATA
- SU-1 SURVEY MAP
- T1.1 SITE PLAN W/PROPOSED ADDITION
- T1.2 SITE DRAINAGE & DUNE PROTECTION STORMWATER MAINTENANCE AND SCHEDULE
- A1.0 EXISTING FIRST FLOOR PLANS
- A1.1 EXISTING EXTERIOR ELEVATIONS
- A1.2 EXISTING EXTERIOR ELEVATIONS
- A1.3 EXISTING SECTIONS
- A2.0 REMODELED FLOOR PLANS
- A2.1 REMODELED FLOOR PLANS
- A2.1a SCHEDULES
- A2.2 REMODELED EXTERIOR ELEVATIONS - EXTERIOR MATERIALS
- A2.3 REMODELED EXTERIOR ELEVATIONS - EXTERIOR MATERIALS
- A2.4 REMODELED SECTIONS
- A3.0 FOUNDATION PLAN & DETAILS
- A3.1 FRAMING PLANS: BASEMENT & FIRST FLOOR FRAMING PLANS
- A3.2 FRAMING PLANS: SECOND FLOOR & ROOF FRAMING PLANS
- A3.3 STRUCTURAL SECTIONS
- A3.4 WALL ELEVATIONS: FRONT (NORTH) REAR (SOUTH)
- A3.5 WALL ELEVATIONS: RIGHT (WEST) LEFT (EAST)
- A3.6 SHEAR PLANS
- A3.7 SHEAR PLANS

APPROVAL LETTER



PAJARO DUNES ASSOCIATION

3/21/23

Rada and Ana Drmanac
27635 Red Rock Road
Los Altos Hills, CA 94022

Dear Rada and Ana Drmanac:

The Pajaro Dunes Association Design Committee (PDADC) has granted preliminary approval of your design submission (dated January 2023 and noted as revision #4) that was presented at their March 14th, 2023 meeting. This plan presents a deck that is flush with the proposed building on the ocean side.

After obtaining permits from Santa Cruz County please return to the PDADC for final approval and include any modifications to the present plans and final materials and colors selections.

The Design Committee reviews the design and aesthetics of submitted plans. Permitting, engineering and other hazard mitigations are the responsibility of the homeowner. We thank you for working with us through this process and hope that you enjoy the updates to your home.

Sincerely,

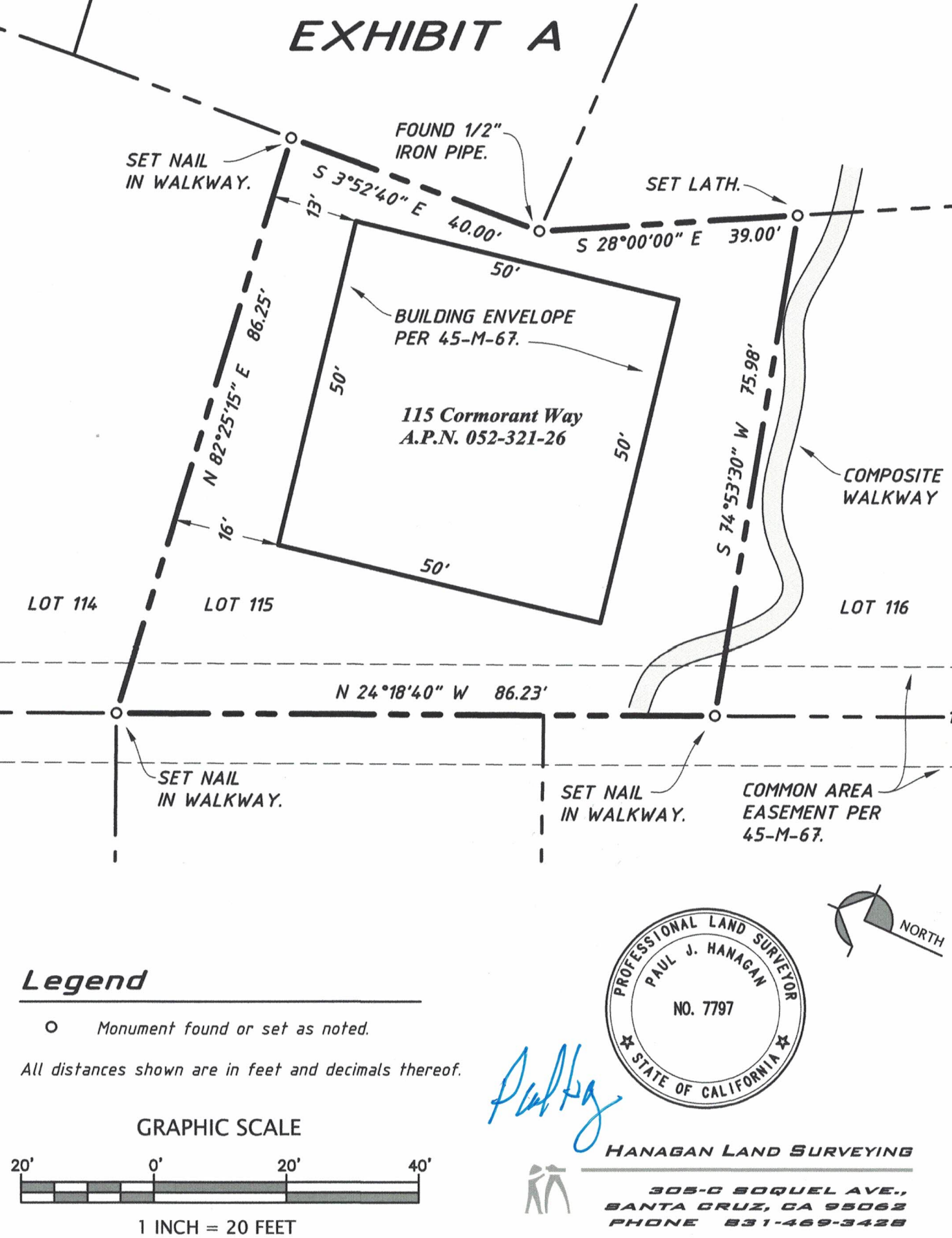
FOR THE DESIGN COMMITTEE:

Sarah Mansergh

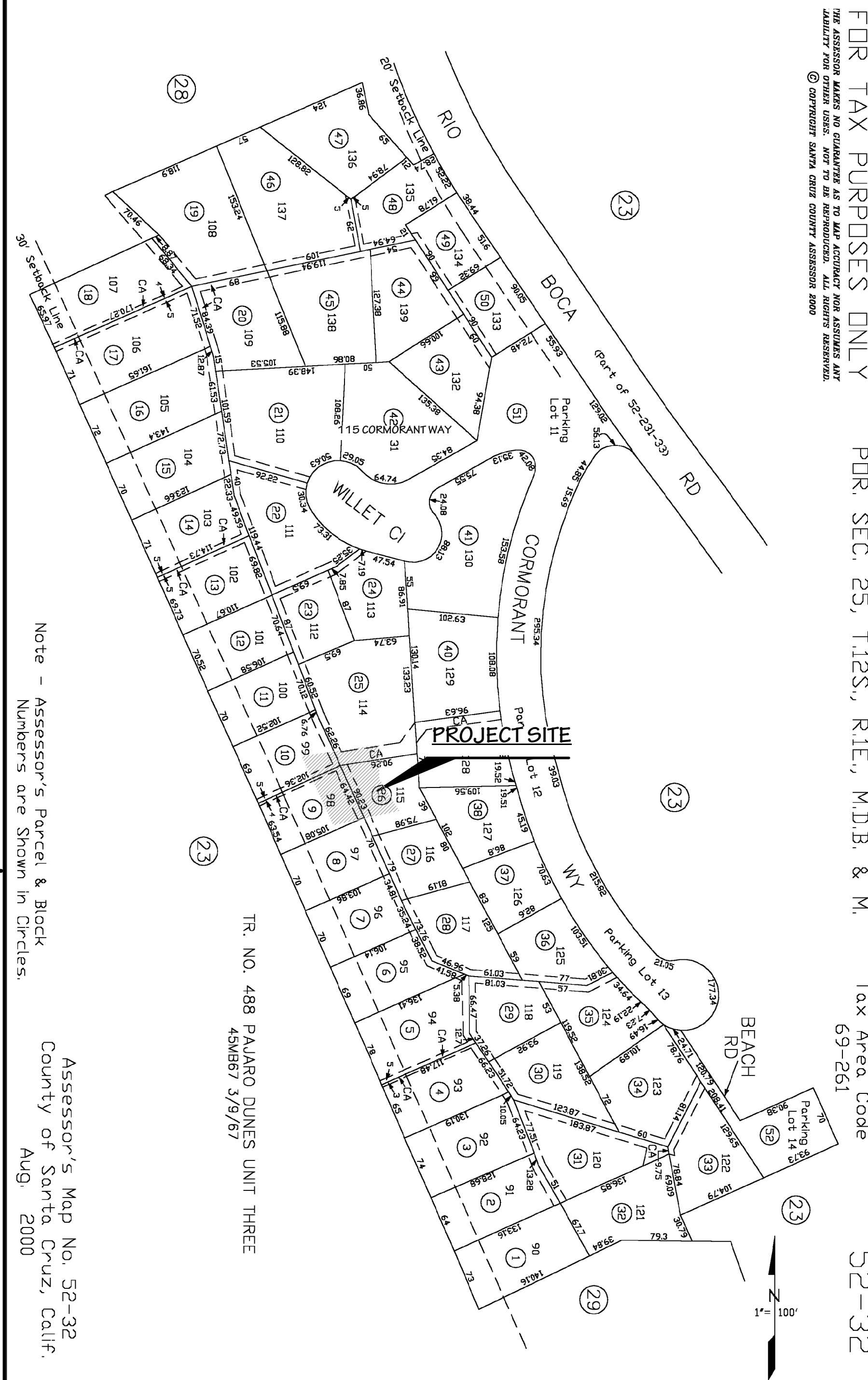
Sarah Mansergh
Secretary
Pajaro Dunes Association Design Committee
dc.pajarodunes@gmail.com
831-818-9253

2661 BEACH ROAD BLDG 1, WATSONVILLE, CA 95076 * 831 761-7744 FAX 831 728-0235
gatchouse.pajarodunes@gmail.com

PLOT PLAN SCALE 1"=10'-0"



PARCEL MAP



PROJECT DESCRIPTION

TWO STORY ADDITION AND REMODEL TO EXISTING THREE STORY RESIDENCE. ADDITION INCLUDES 2 ROOMS AND DECKS. RELOCATE & REFRAME ENTRY STAIRS TO CURRENT CODE AND CONFIGURATION. ADDITION TO EXISTING SECOND & THIRD LEVEL ROOMS.

NOTES

NO GRADING IS PROPOSED, WITH LESS THAN 30 CU YDS OF SAND REMOVAL and/or REDISTRIBUTED EXISTING GRADES AND PLANTING TO REMAIN, PROTECTED DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AND PER BIOTIC REPORT.

CODE COMPLIANCE: JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON SITE DURING ALL INSPECTIONS.

AND ALL CURRENT LOCAL ORDINANCES AND DISTRICT AMENDMENTS per the COUNTY OF SANTA CRUZ

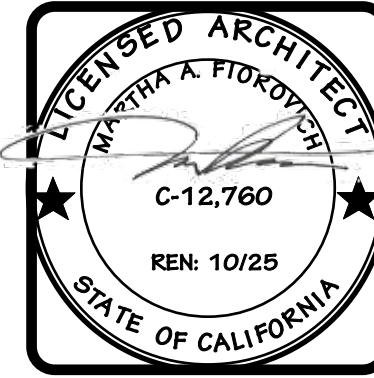
ALL (N) CONSTRUCTION TO CONFORM WITH:
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CAL GREEN BUILDING STANDARDS
2022 CAL ENERGY CODE.
AND ALL CURRENT LOCAL ORDINANCES AND DISTRICT AMENDMENTS.

VICINITY MAP

N.T.S.



REVISIONS	BY
1	MF
2/28/2024	



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Architect
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Watsonville, CA 95076
831-212-2474

DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

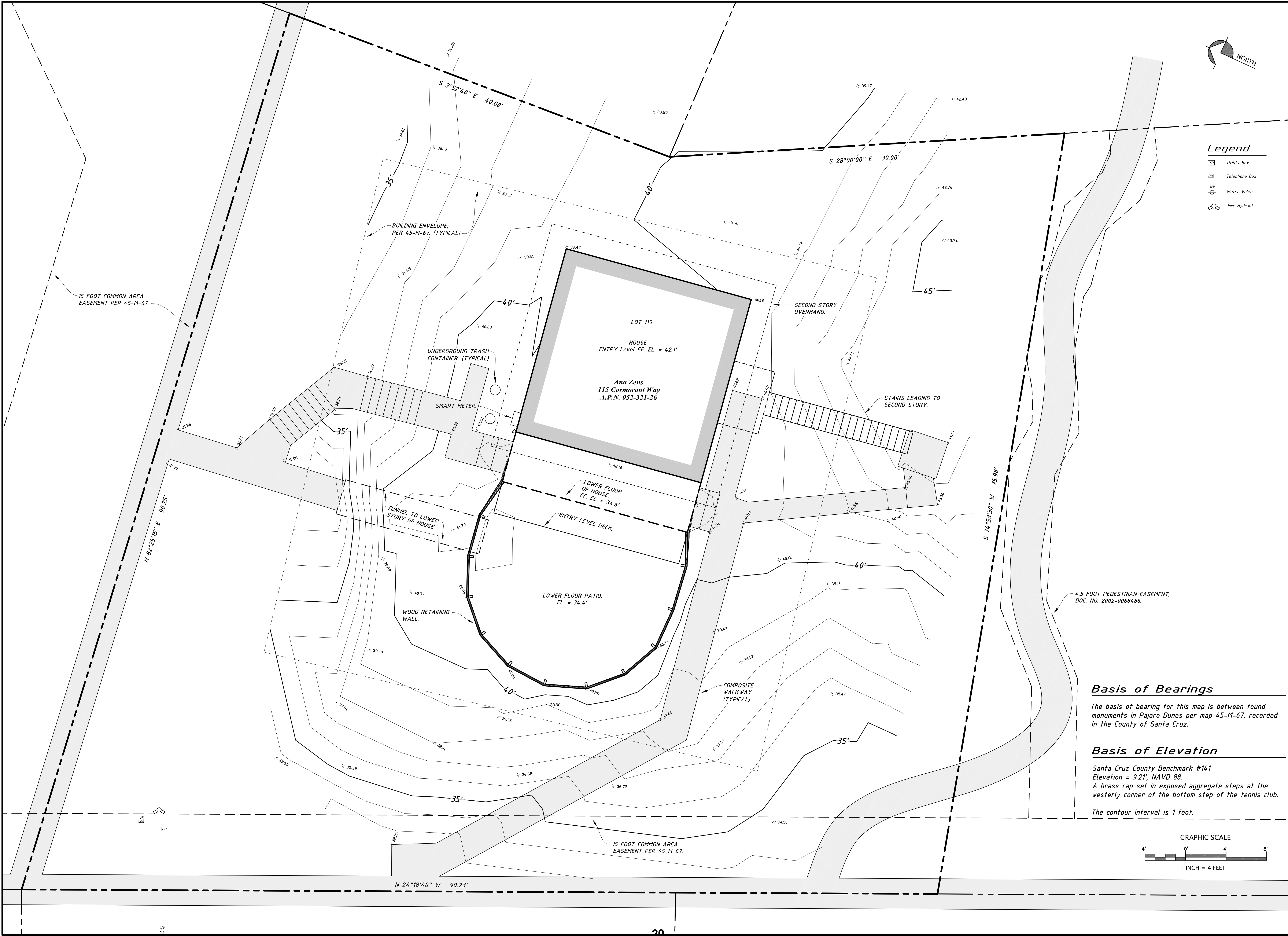
TITLE SHEET: PLOT PLAN, DATA
VICINITY MAP

DRAWN	MF
OCT 2023	
SCALE	AS NOTED

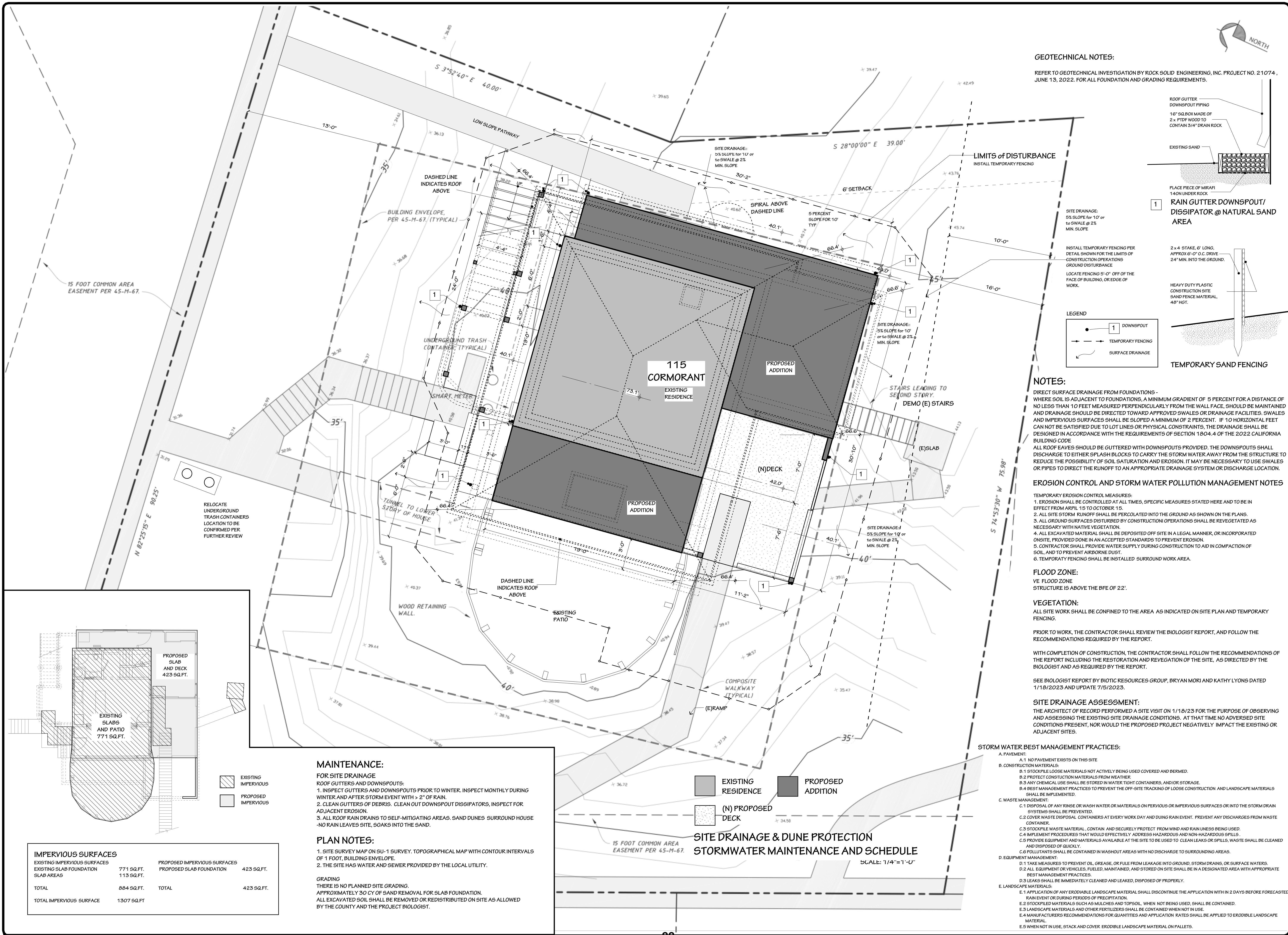
SHEET	T1.0
OF SHEETS	

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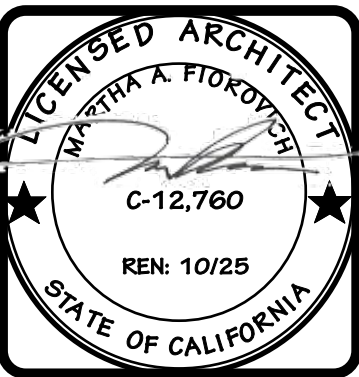
S:\PROJECTS\2020\2010 115 Cormorant Way, Pajaro Dunes\dwg\115 Cormorant Way.dwg, Plotted By: paul, Plotted: Mar 30, 2022 - 3:56pm



PROFESSIONAL LAND SURVEYOR PAUL J. HANAGAN NO. 7797 STATE OF CALIFORNIA	
REVISION	APPROVED <i>Paul Hanagan</i> Paul Hanagan LS 7797
HANAGAN LAND SURVEYING 905-C SOQUEL AVE., SANTA CRUZ, CA 95062 PHONE (831) 469-3428	
Topographic Map, The Lands Of: Ana Zens 115 Cormorant Way, Watsonville, CA 95076	
Santa Cruz County A.P.N. 052-321-26	DESIGN DATE 1-8-2021 SCALE 1" = 4'
DRAWN J. Hanagan	
SHEET SU-1	
OF 1 SHEETS	
20110	
JOB NO.	



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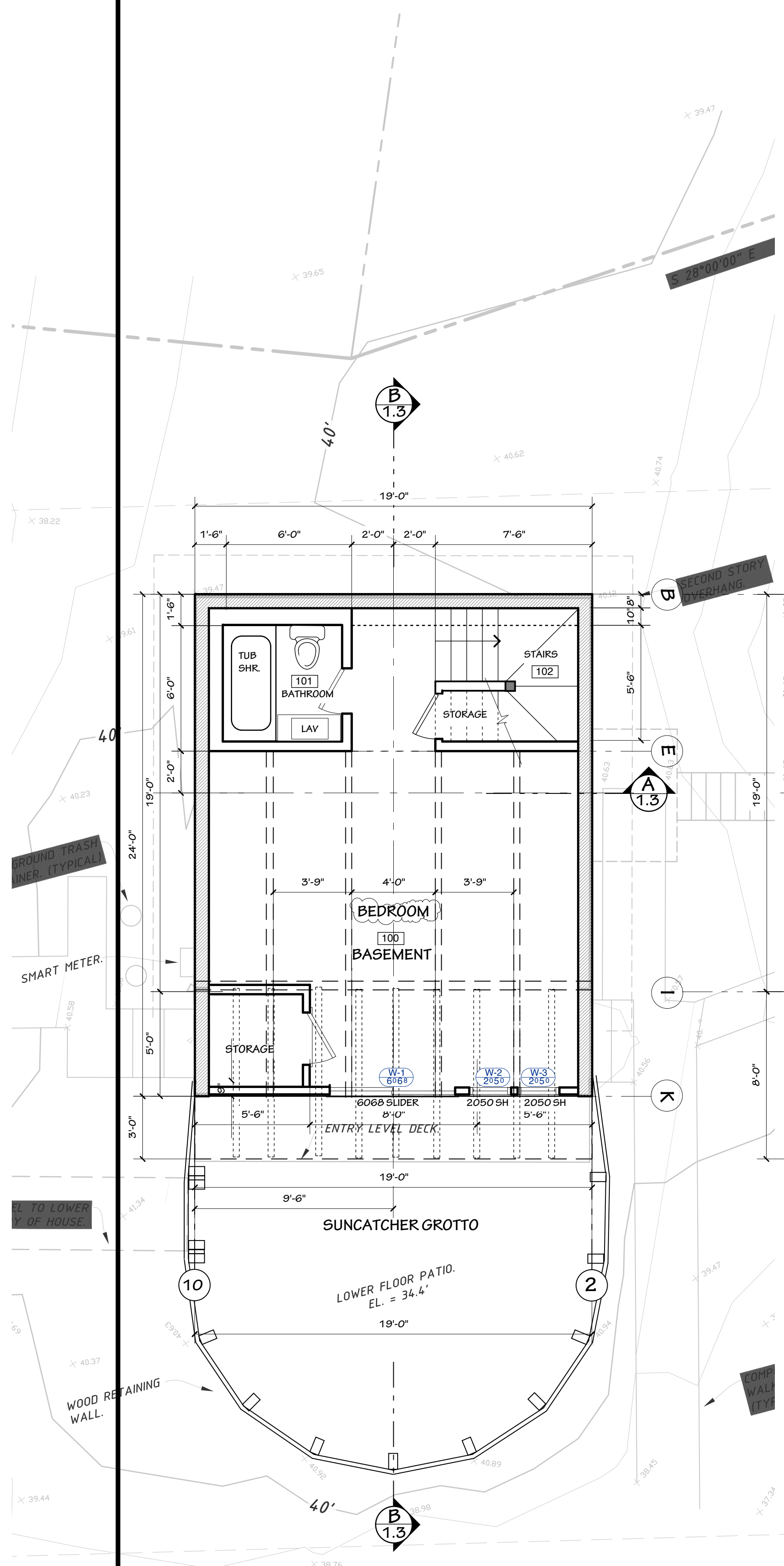
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APN: 052-321-26

SITE DRAINAGE & DUNE PROTECTION
STORMWATER MAINTENANCE AND
SCHEDULE

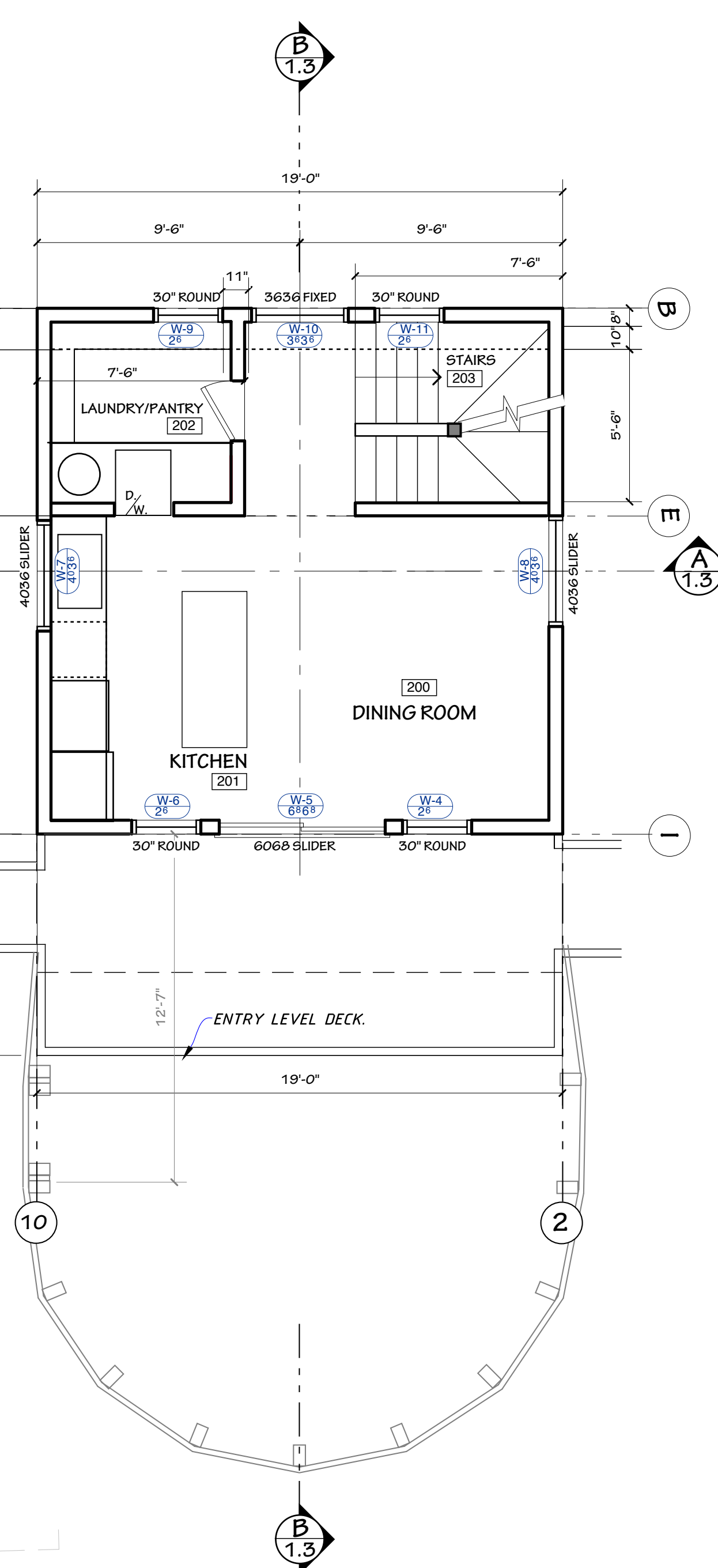
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MF
OCT 2023
SCALE
AS NOTED

SHEET
T1.2
OF SHEETS

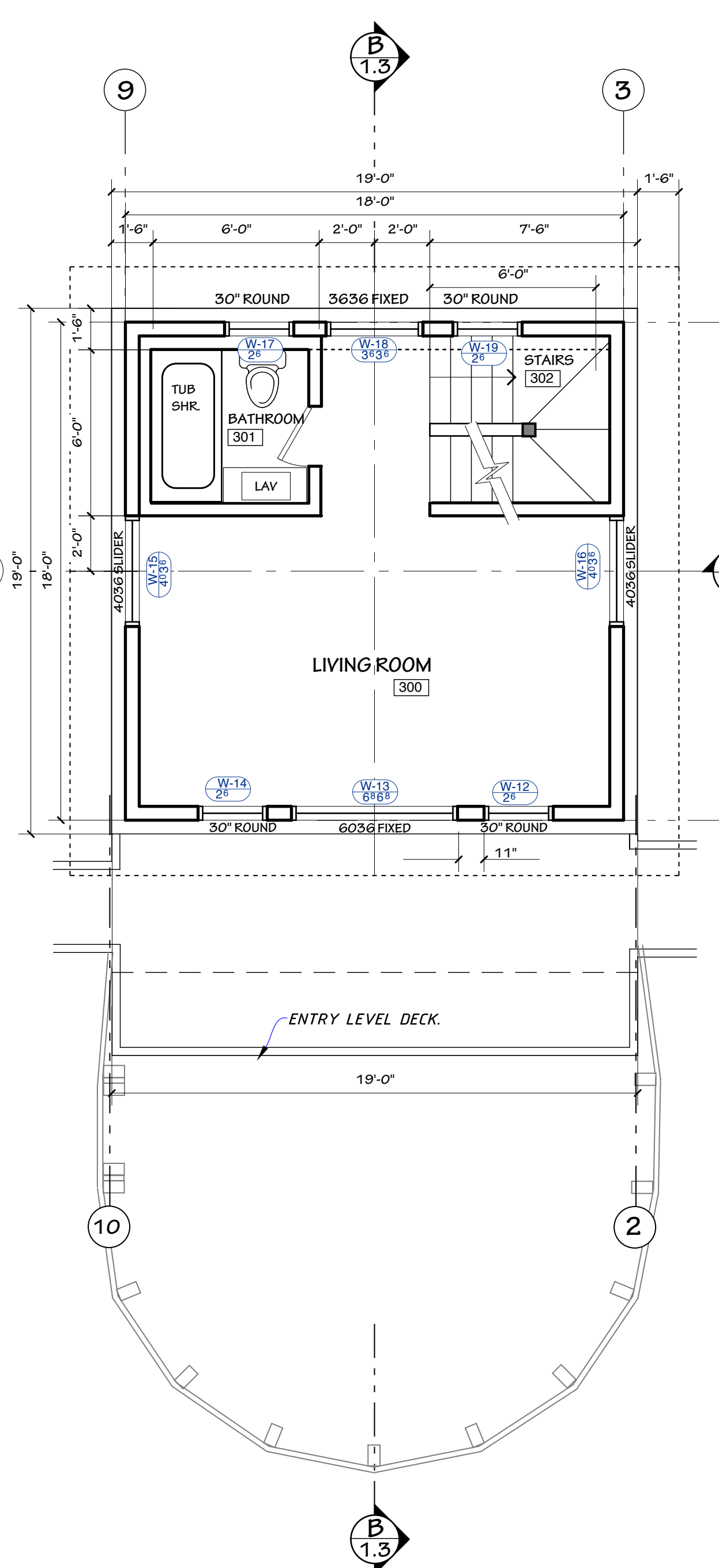
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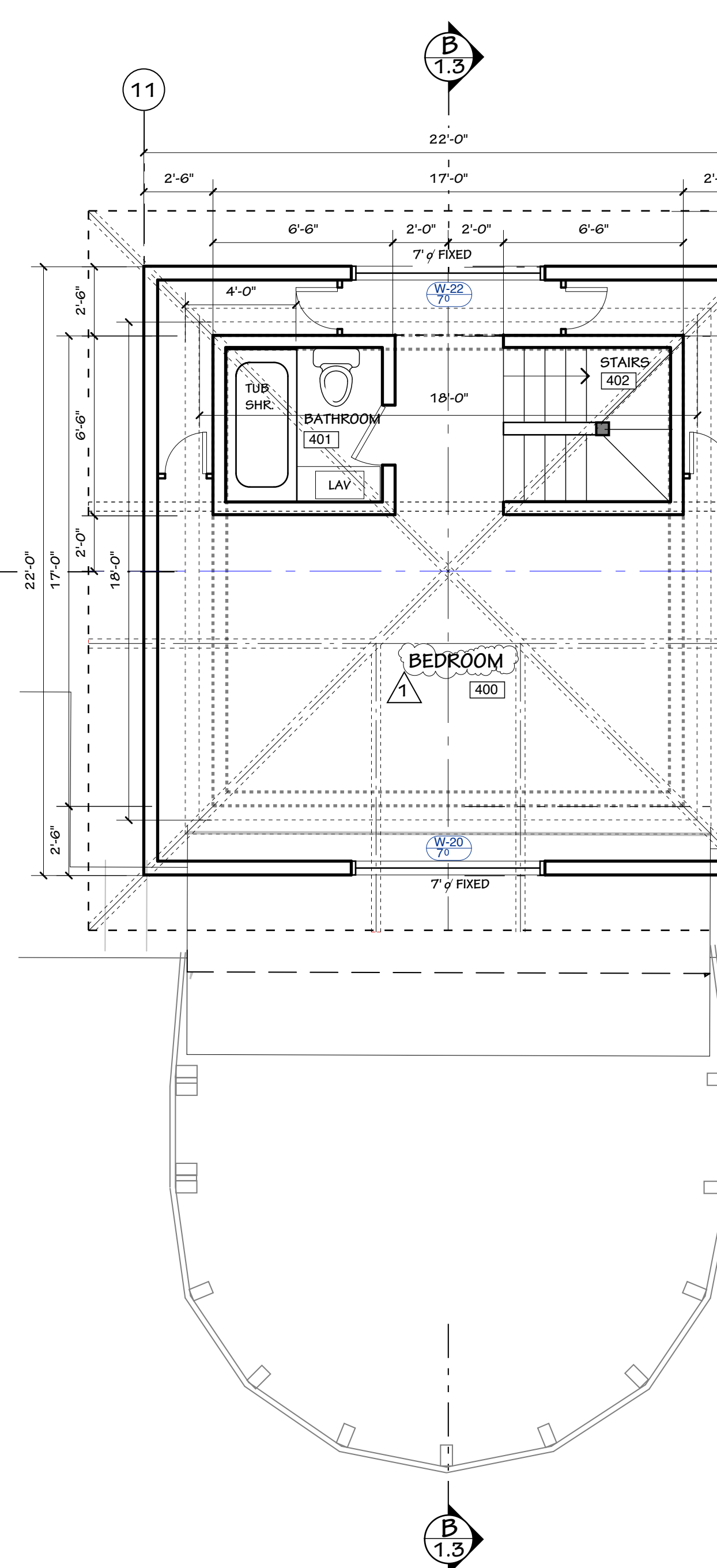
BASEMENT
24 x 19 = 456 SQ.FT.



FIRST FLOOR
19 x 19 = 361 SQ.FT.

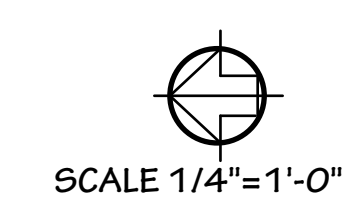


SECOND FLOOR
18 x 18 = 324 SQ.FT.

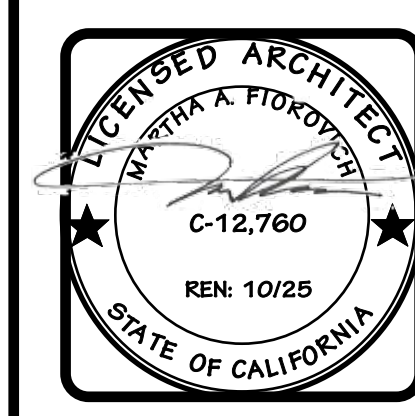


THIRD FLOOR
22 x 22 = 484 SQ.FT.

TOTAL EXISTING SQ. FT. = 1625 SQ.FT.



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APN: 052-321-26

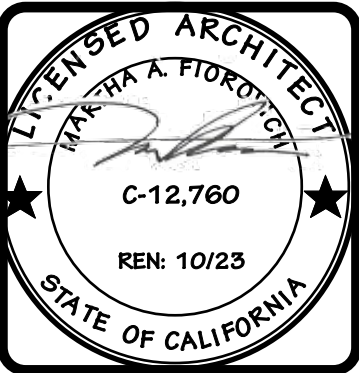
EXISTING FLOOR PLANS
SCALE 1/4"=1'-0"

DRAWN	MF
OCT 2023	
SCALE	AS NOTED

SHEET
A1.0
OF SHEETS

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REVISIONS	BY



Martha A. Fiorovich A.I.A.

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DRMANAC RESIDENCE

1 15 CORMORANT WAY

WATSONVILLE, CA

APN: 052-321-26

EXISTING ELEVATIONS

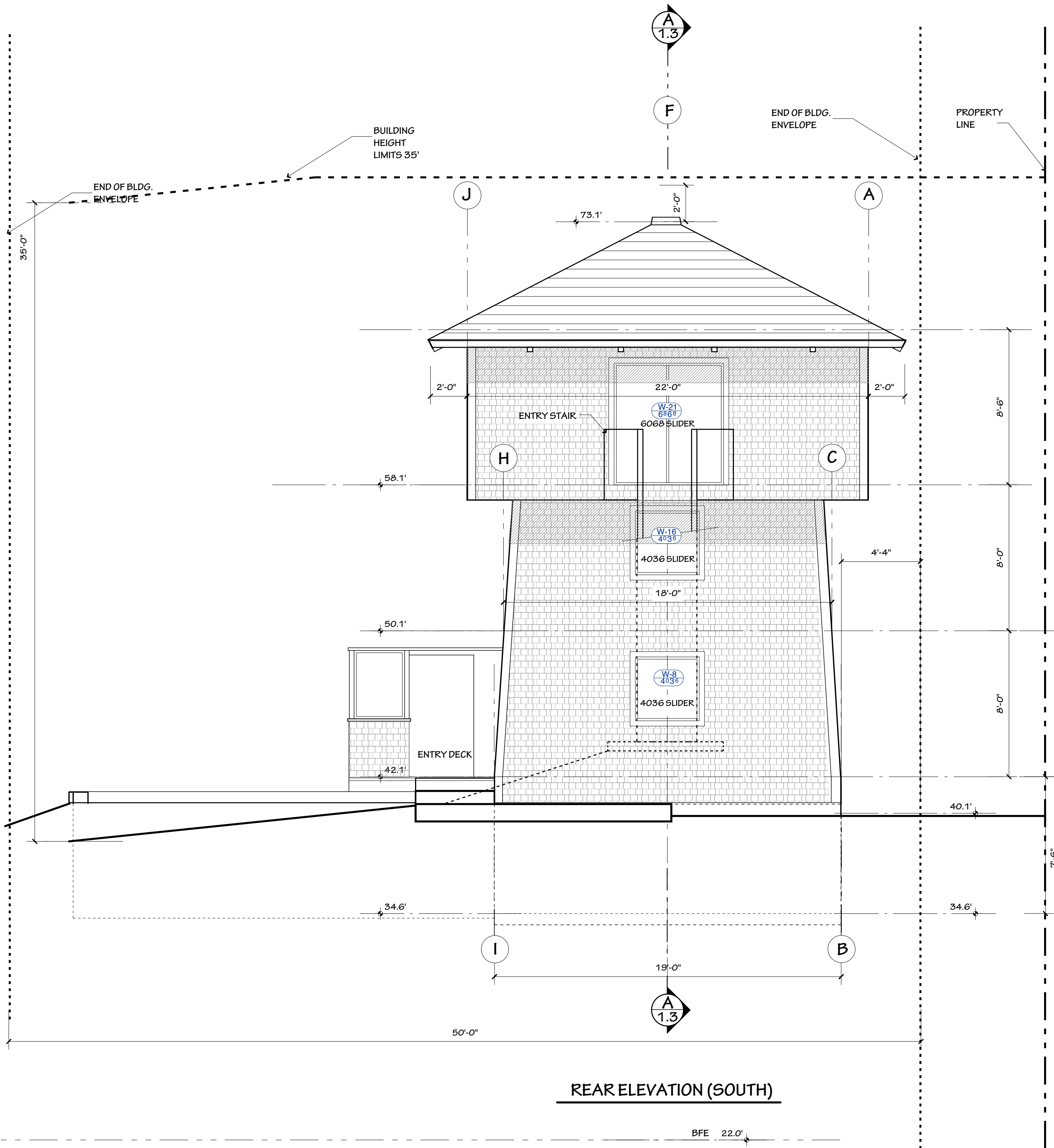
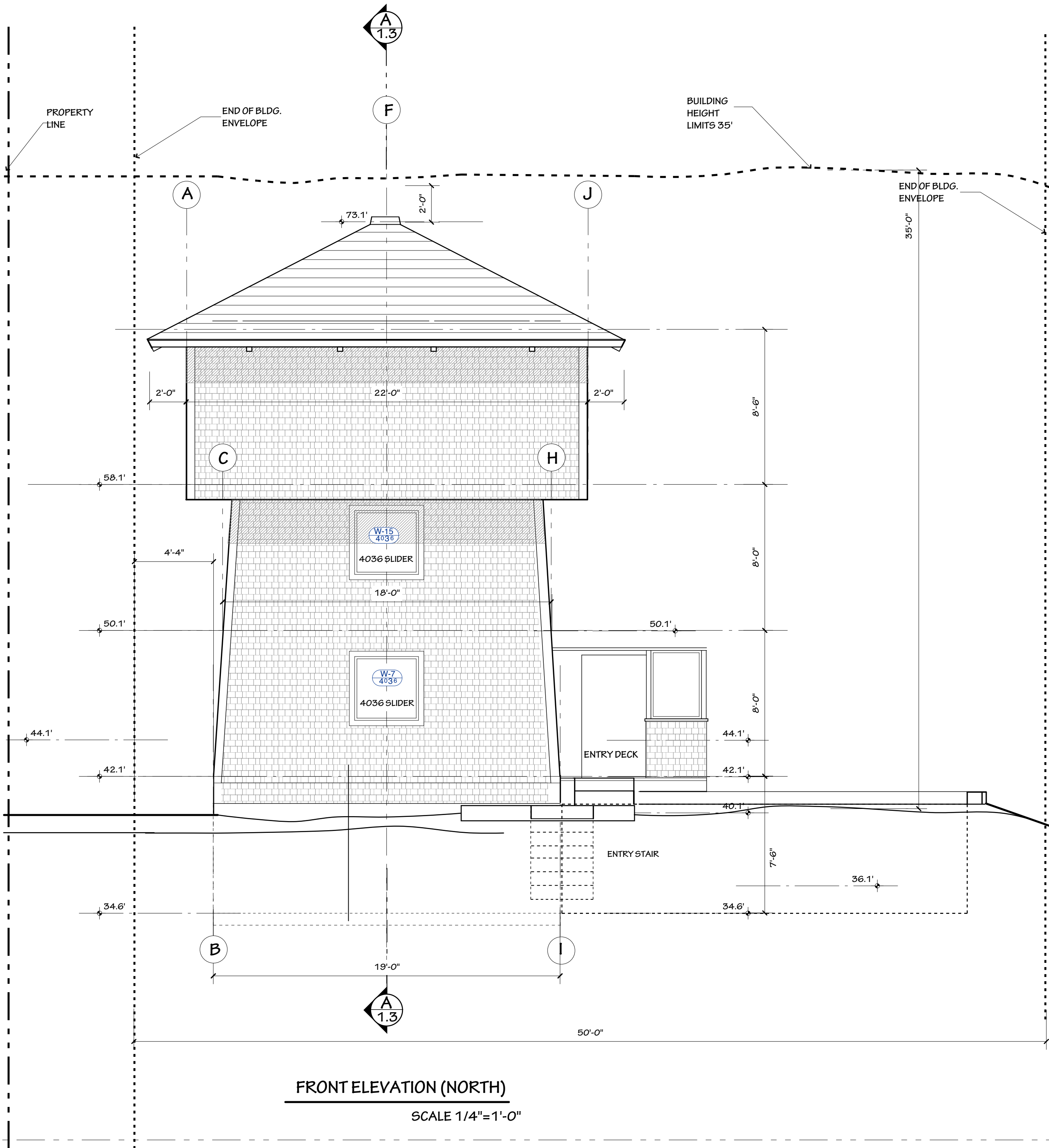
FRONT (NORTH) REAR (SOUTH)

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET

A1.1

OF SHEETS

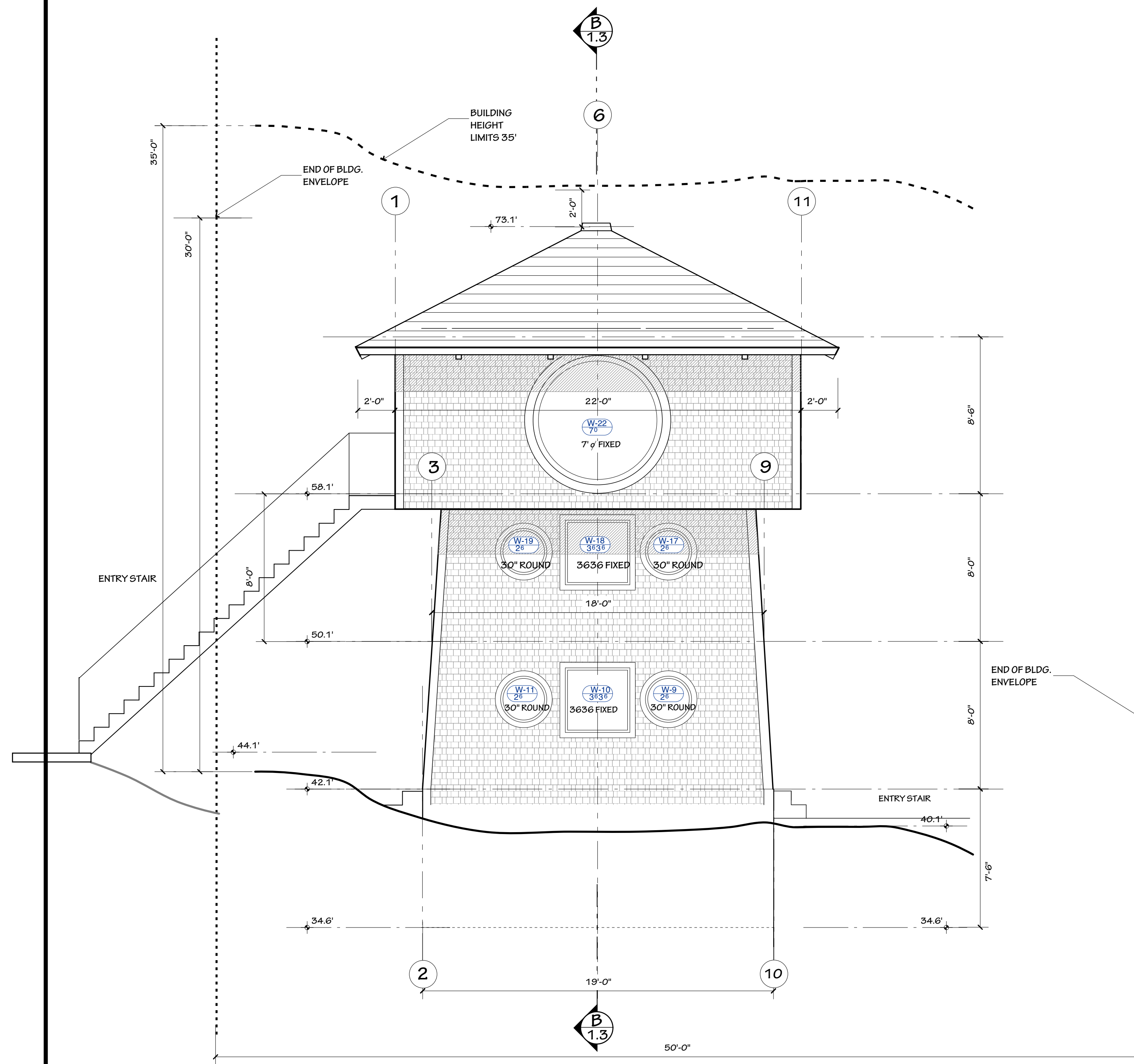


EXTERIOR FINISHES:

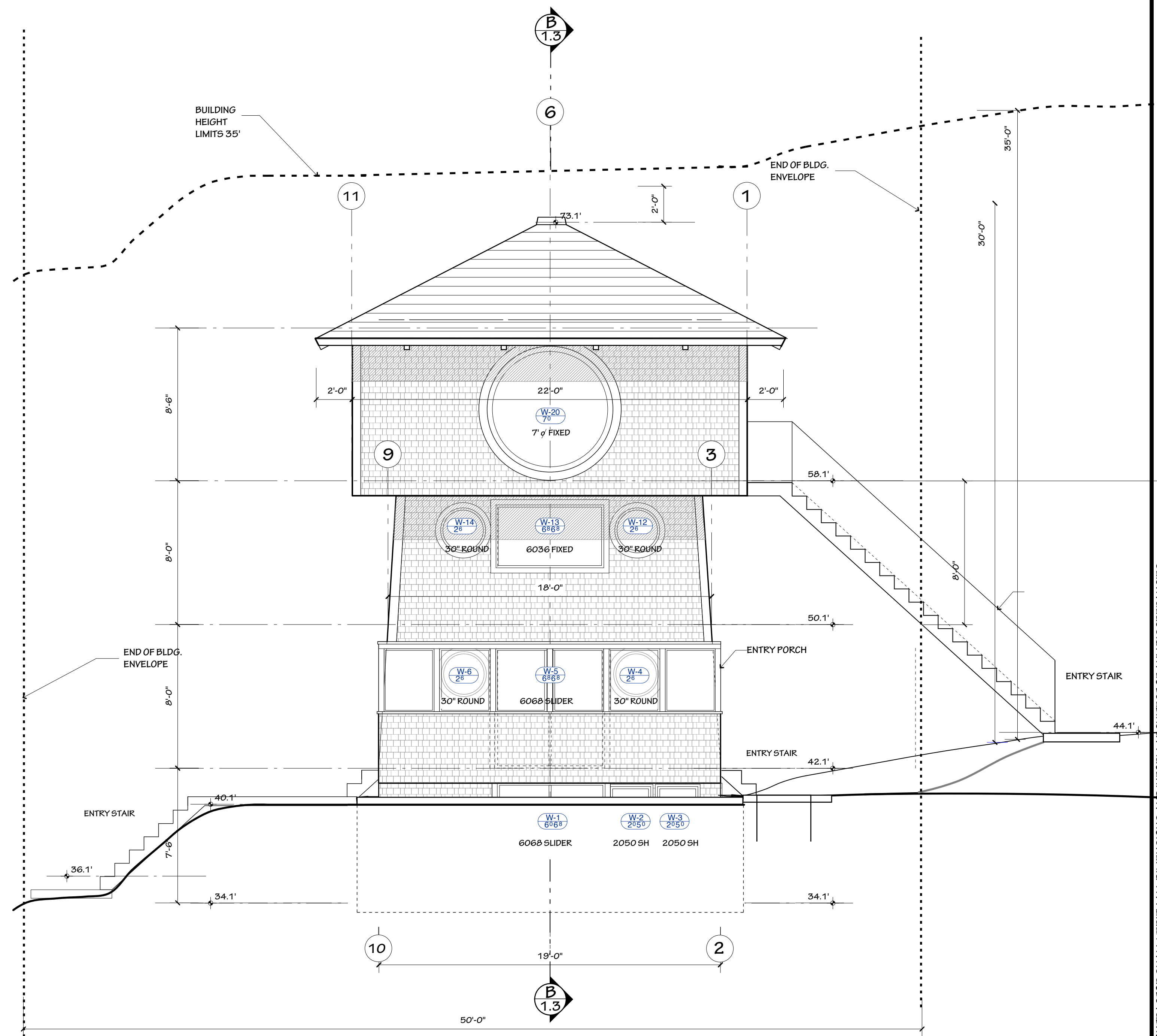
SIDING: WOOD SHINGLES

ROOFING: WOOD SHINGLES

STAIRS: WOOD STEP & RAILINGS



LEFT ELEVATION (EAST)



RIGHT ELEVATION (WEST)

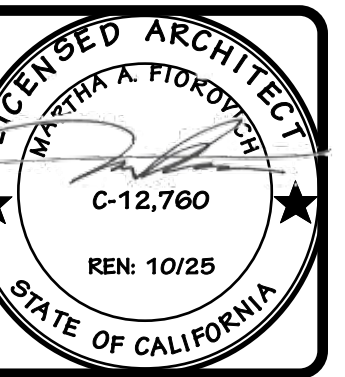
SCALE 1/4"=1'-0"

BPE 22'-0"

EXTERIOR FINISHES:

SIDING: WOOD SHINGLES
ROOFING: WOOD SHINGLES
STAIRS: WOOD STEP & RAILINGS

REVISIONS	BY



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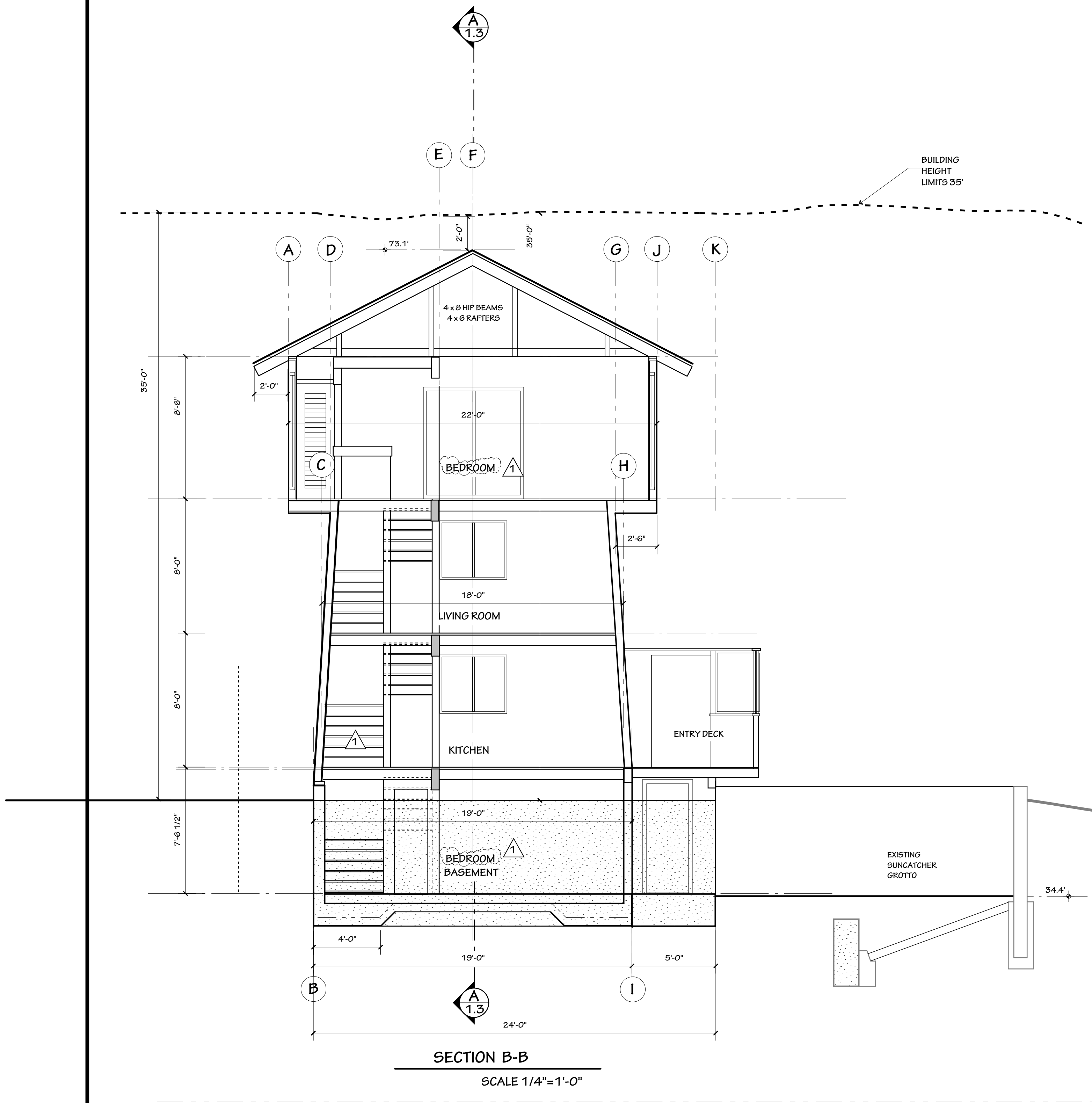
DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

EXISTING ELEVATIONS
LEFT(EAST) RIGHT (WEST)

DRAWN MF
OCT 2023
SCALE AS NOTED

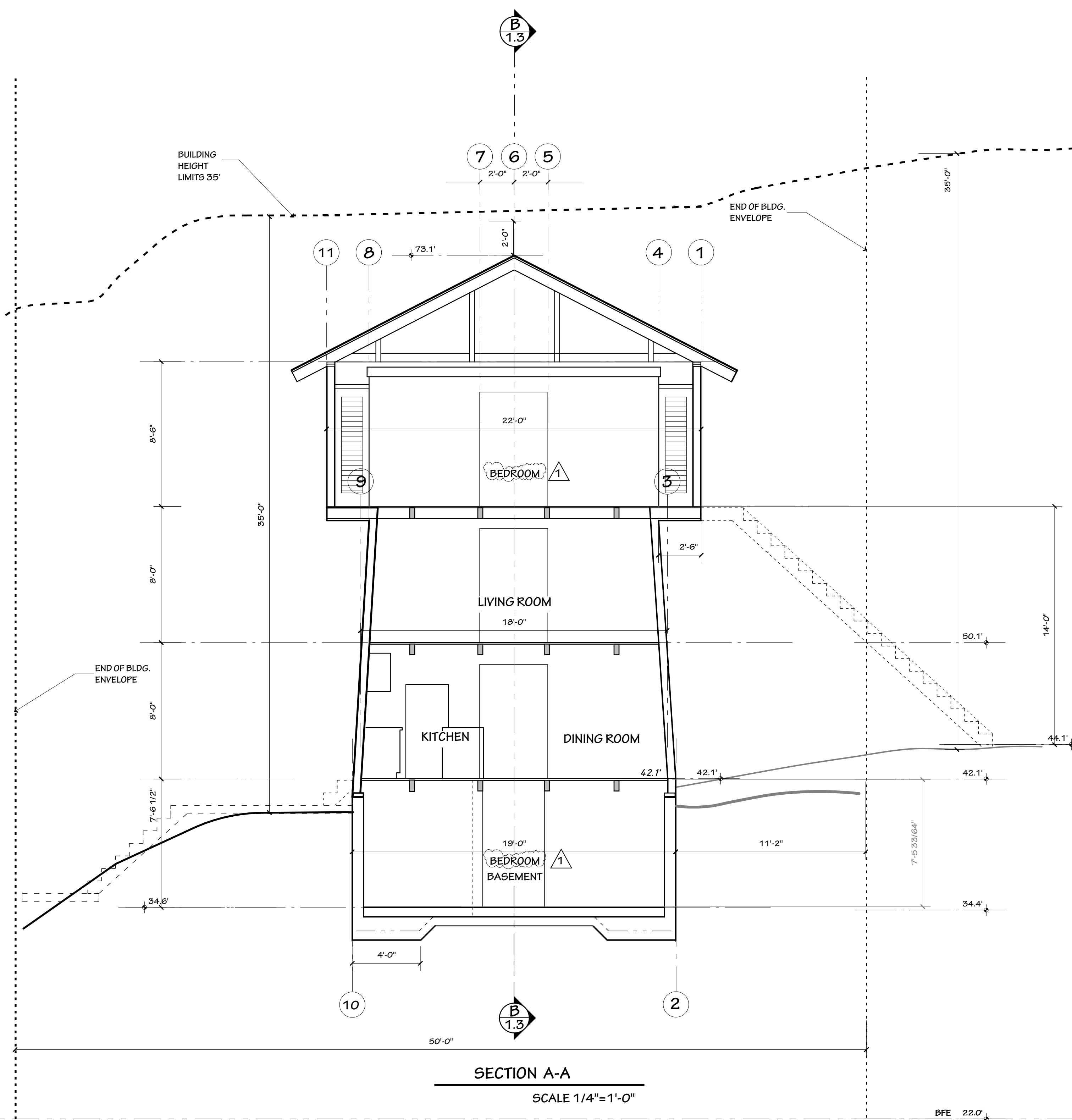
SHEET
A1.2
OF SHEETS

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SECTION B-B

SCALE 1/4"=1'-0"

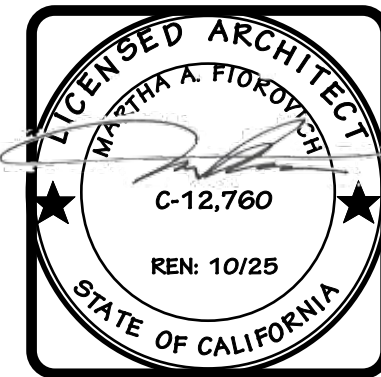


SECTION A-A

SCALE 1/4"=1'-0"

NOTE: DO NOT SCALE ANY DRAWINGS. USE DIMENSIONS GIVEN. BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES.

REVISIONS	BY
1	MF



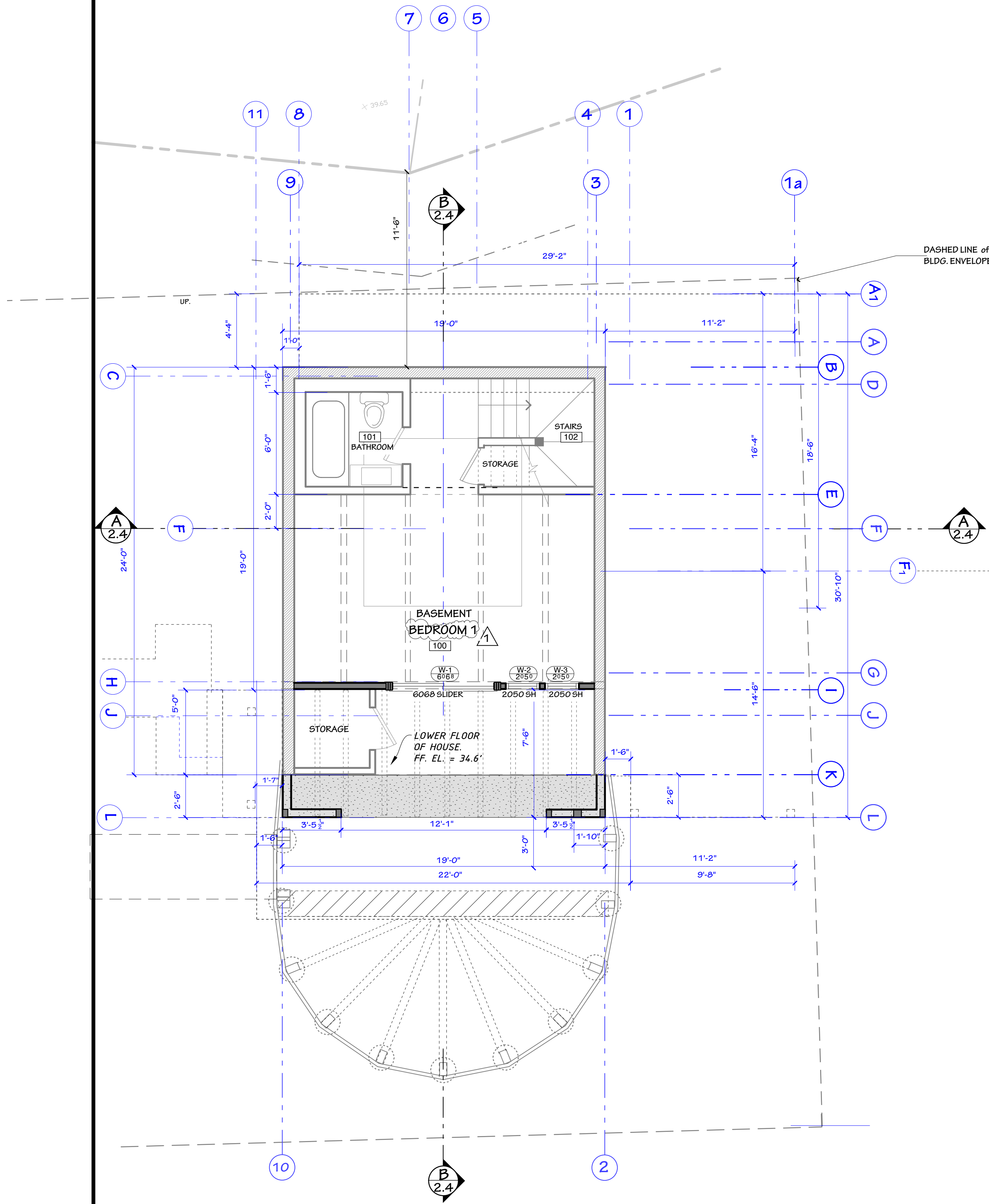
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DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

EXISTING SECTIONS

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A1.3
OF SHEETS

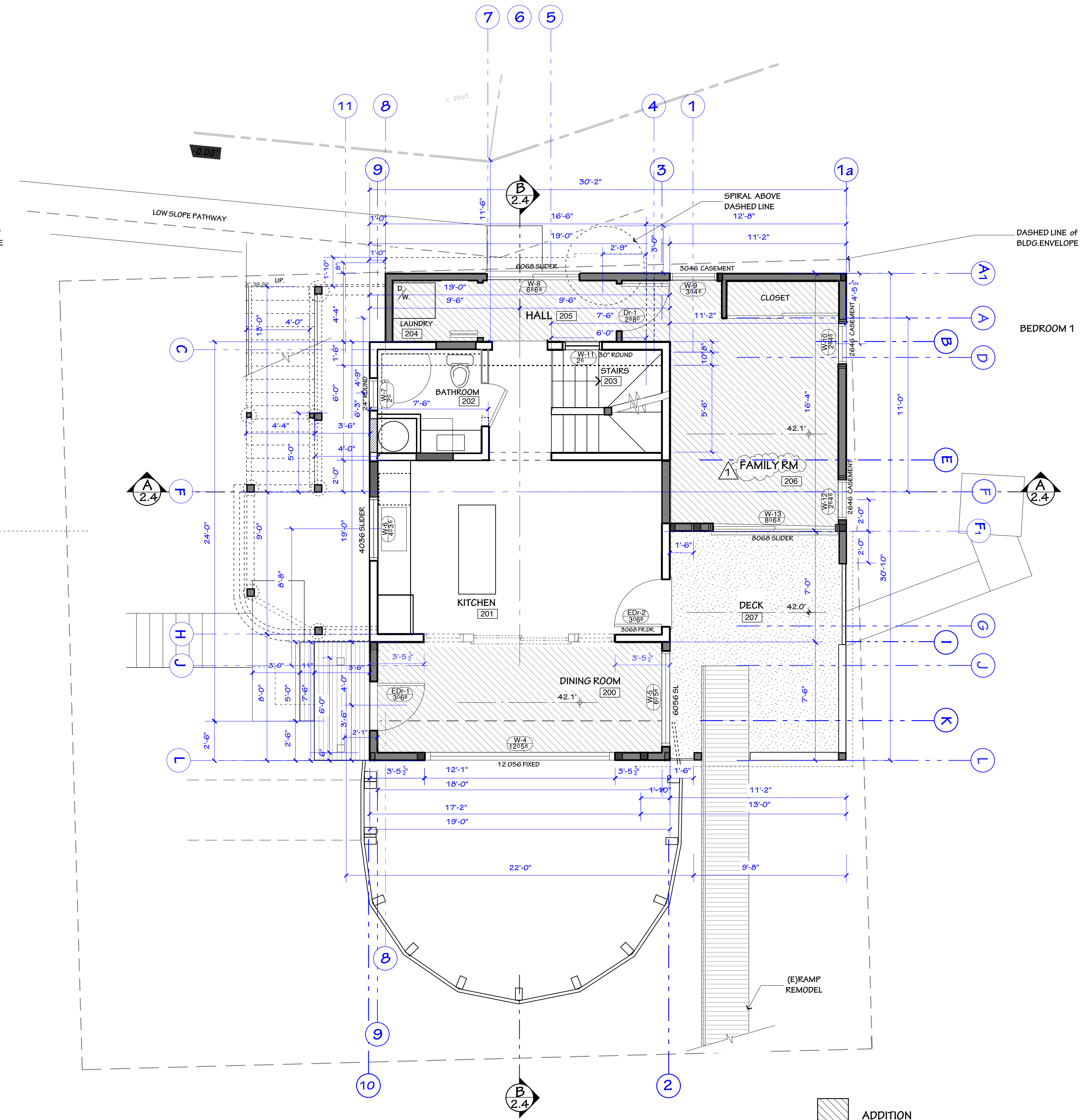


LOWER LEVEL/BASEMENT

SCALE 1/4"=1'-0"

TOTAL: 361 SQ.FT.
EXISTING SQ.FT.= 456 SQ.FT.
REMOVED SQ.FT. -95 SQ.FT.
361 SQ.FT.

DECKS:	
FIRST FLOOR	FRONT DECK: 162 SQ.FT.
SECOND FLOOR	REAR ROOF DECK: 90 SQ.FT. ENTRY DECK: 134 SQ.FT. FRONT DECK: 169 SQ.FT. 169 SQ.FT.
	DECKS: 393 SQ.FT.
THIRD FLOOR	ROOF DECK: 313 SQ.FT.
	868 SQ.FT.
	485 SQ.FT./868 SQ.FT. ARE ROOF DECKS 56% OF TOTAL SQ.FT. ARE ROOF DECKS



TOTAL: 762.7 SQ.FT.

EXISTING SQ.FT.: 361.0 SQ.FT.
ADDED SQ.FT.: 401.7 SQ.FT.
762.7 SQ.FT.

FIRST FLOOR PLAN

ADDED SQ.FT.: 401.7 SQ.FT.
FRONT DECK: 162 SQ.FT.

SCALE 1/4"=1'-0"

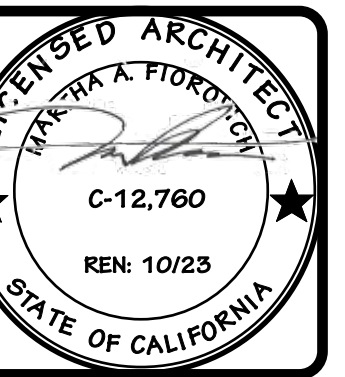
	ADDITION		(N) 2 x 4 WALLS
	DECK		(N) 2 x 6 WALLS

SQ.FOOTAGE

TOTAL EXISTING SQ. FT. = 1625 SQ.FT.
ADDED SQ.FT. = 781 SQ.FT.

TOTAL SQ. FT. = 2406 SQ.FT.

REVISIONS	BY
1/28/2024	MF



Martha A. Fiorovich A.I.A.
Architect

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DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

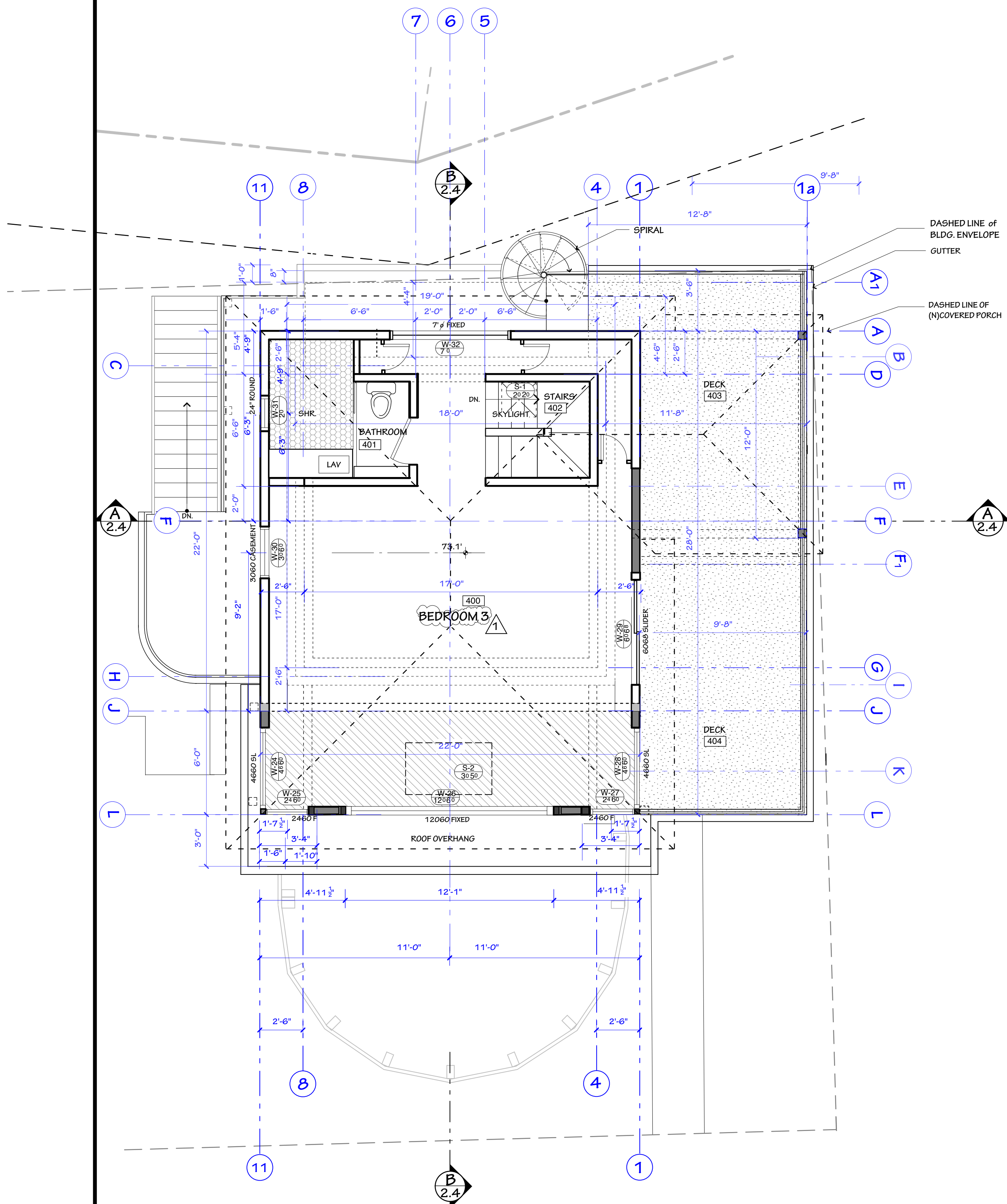
EXISTING FLOOR PLANS
W/AREAS of REMODEL
BASEMENT PLAN
FIRST FLOOR PLAN

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET

A2.0

OF SHEETS



SCALE 1/4"=1'-0" **THIRD FLOOR PLAN**

TOTAL: 616 SQ.FT.

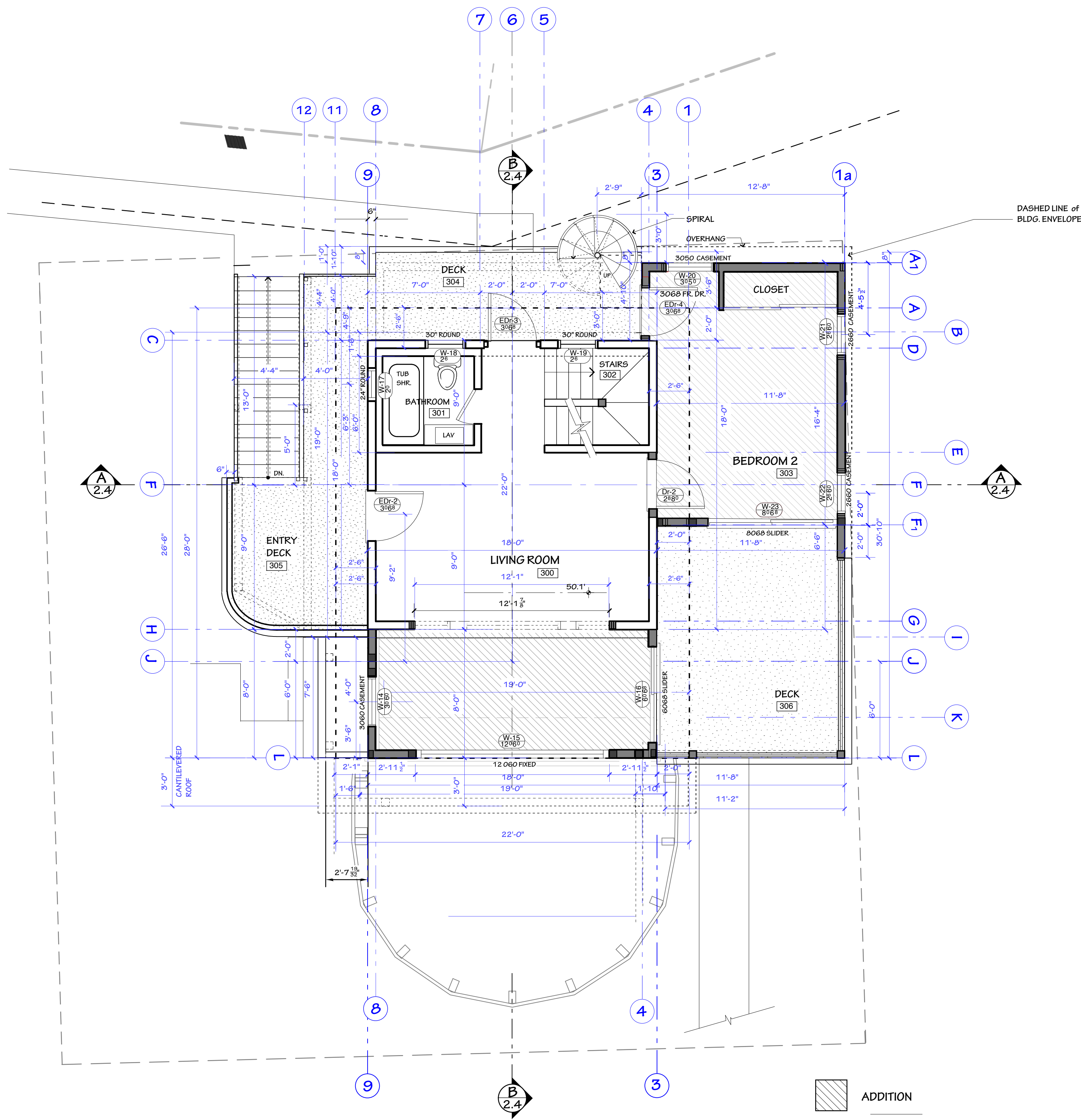
ADDED SQ.FT.: 132 SQ.FT.

EXISTING SQ.FT. = 484 SQ.FT.

TOTAL: ROOF DECK: 313 SQ.FT. ADDED SQ.FT.: 132 SQ.FT.

616 SQ.FT.

DECKS:	
FIRST FLOOR	FRONT DECK: 162 SQ.FT.
SECOND FLOOR	REAR ROOF DECK: 90 SQ.FT.
	ENTRY DECK: 134 SQ.FT.
	FRONT DECK: 169 SQ.FT.
	169 SQ.FT.
	DECKS: 393 SQ.FT.
THIRD FLOOR	ROOF DECK: 313 SQ.FT.
	868 SQ.FT.
	483 SQ.FT. / 868 SQ.FT. ARE ROOF DECKS
	565 # TOTAL SQ.FT. ARE ROOF DECKS



TOTAL: 666.0 SQ.FT.

EXISTING SQ.FT. = 324.0 SQ.FT.

ADDED SQ.FT.: 342.0 SQ.FT.

666.0 SQ.FT.

SECOND FLOOR PLAN SCALE 1/4"=1'-0"

ADDED SQ.FT.: 342 SQ.FT.

REAR DECK: 90 SQ.FT. (ROOF DECK)

ENTRY DECK: 134 SQ.FT.

FRONT DECK: 169 SQ.FT.

PROPOSED FRONT DECK: 224 SQ.FT.

ADDITION

(N) DECK

(N) 2 x 4 WALLS

(N) 2 x 6 WALLS

SQ.FOOTAGE

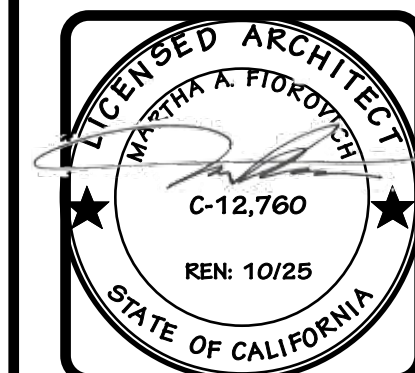
TOTAL EXISTING SQ. FT. = 1625 SQ.FT.

ADDED SQ. FT. = 781 SQ.FT.

TOTAL SQ. FT. = 2406 SQ.FT.

NOTE: DO NOT SCALE ANY DRAWINGS. USE DIMENSIONS GIVEN. BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES.

REVISIONS	BY
1	MF
2	
3	
4	
5	



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DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

EXISTING FLOOR PLANS
W/AREAS of REMODEL
SECOND FLOOR PLAN
THIRD FLOOR PLAN

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A2.1
OF SHEETS

WINDOW SCHEDULE EXISTING							WINDOW SCHEDULE							MARVIN ESSENTIALS BRONZE		MANUFACTURER
WINDOW	#	TYPE	SIZE	RO	LOCATION	DESCRIPTION	WINDOW	#	TYPE	SIZE	RO	LOCATION	DESCRIPTION			
W-1		SL GLDR	6-0 x 6-8		[100] BASEMENT/BEDRM		BASEMENT	W-1	SL GLDR	6-0 x 6-8	TEMPERED		[100] BASEMENT/BEDRM			
W-2		SH	2-0 x 5-0		[100] BASEMENT/BEDRM	1	W-2	SH	2-0 x 5-0	TEMPERED		[100] BASEMENT/BEDRM	1			
W-3		SH	2-0 x 5-0		[100] BASEMENT/BEDRM		W-3	SH	2-0 x 5-0	TEMPERED		[100] BASEMENT/BEDRM	1			
W-4		FIXED	2-6 ROUND		[201] KITCHEN		W-4	FIXED	12-0 x 5-6	TEMPERED		[200] DINING RM				
W-5		SLIDING GL DR	6-0 x 8-0		[201] KITCHEN		W-5	SLIDING	6-0 x 5-6	TEMPERED		[200] DINING RM				
W-6		FIXED	2-6 ROUND		[201] KITCHEN		W-6	SLIDING	4-0 x 3-6	TEMPERED		[201] KITCHEN				
W-7		SLIDING	4-0 x 3-6		[201] KITCHEN		W-7	FIXED	2-0 ROUND	TEMPERED		[202] BATHROOM				
W-8		SLIDING	4-0 x 3-6		[200] DINING RM		W-8	SLIDING	6-0 x 6-8	TEMPERED		[205] HALL				
W-9		FIXED	2-6 ROUND		[202] LAUNDRY/PANTRY		W-9	CASEMENT	3-0 x 4-6	TEMPERED		[206] FAMILY RM				
W-10		FIXED	3-6 x 3-6		[203] STAIRS		W-10	CASEMENT	2-6 x 4-6	TEMPERED		[206] FAMILY RM	1			
W-11		FIXED	2-6 ROUND		[203] STAIRS		W-11	FIXED	2-6 ROUND	TEMPERED		[203] STAIRS			INTERIOR WINDOW	
W-12		FIXED	2-6 ROUND		[300] LIVING RM		W-12	CASEMENT	2-6 x 4-6	TEMPERED		[206] FAMILY RM	1			
W-13		FIXED	6-0 x 3-6		[300] LIVING RM		W-13	SLIDING GL DR	8-0 x 6-8	TEMPERED		[206] FAMILY RM				
W-14		FIXED	2-6 ROUND		[300] LIVING RM		W-14	CASEMENT	3-0 x 6-0	TEMPERED		[300] LIVING RM				
W-15		SLIDING	4-0 x 3-6		[300] LIVING RM		W-15	FIXED	12-0 x 5-6	TEMPERED		[300] LIVING RM				
W-16		SLIDING	4-0 x 3-6		[300] LIVING RM		W-16	SLIDING	6-0 x 6-8	TEMPERED		[300] LIVING RM				
W-17		FIXED	2-6 ROUND		[302] STAIRS		W-17	FIXED	2-0 ROUND	TEMPERED		[301] BATHROOM				
W-18		FIXED	3-6 x 3-6		[302] STAIRS		W-18	FIXED	2-6 ROUND	TEMPERED		[301] BATHROOM				
W-19		FIXED	2-6 ROUND		[302] STAIRS		W-19	FIXED	2-6 ROUND	TEMPERED		[302] STAIRS				
W-20		FIXED	7-0 ROUND		[400] BEDROOM	1	W-20	CASEMENT	3-0 x 5-0	TEMPERED		[303] BEDROOM 2				
W-21		SLIDING GL DR	6-0 x 6-8		[400] BEDROOM		W-21	CASEMENT	2-6 x 6-0	TEMPERED		[303] BEDROOM 2				
W-22		FIXED	7-0 ROUND		[400] BEDROOM		W-22	CASEMENT	2-6 x 6-0	TEMPERED		[303] BEDROOM 2				
							W-23	SLIDING GL DR	8-0 x 6-8	TEMPERED		[303] BEDROOM 2				
							W-24	SLIDING	4-6 x 6-0	TEMPERED		[400] BEDROOM 3				
							W-25	FIXED	2-4 x 6-0	TEMPERED		[400] BEDROOM 3				
							W-26	FIXED	12-0 x 5-6	TEMPERED		[400] BEDROOM 3				
							W-27	FIXED	2-4 x 6-0	TEMPERED		[400] BEDROOM 3	1			
							W-28	SLIDING	4-6 x 6-0	TEMPERED		[400] BEDROOM 3				
							W-29	SLIDING GL DR	6-0 x 6-8	TEMPERED		[400] BEDROOM 3				
							W-30	CASEMENT	3-0 x 6-0	TEMPERED		[400] BEDROOM 3				
							W-31	FIXED	2-0 ROUND	TEMPERED		[401] BATHROOM				
							W-32	FIXED	7-0 ROUND	TEMPERED		[400] BEDROOM 3				

[illegible]

WINDOW AND DOOR NOTES:

1. ALL WINDOWS AND DOORS TO BE DUAL GLAZED, SEE TITLE 24 ENERGY REPORT FOR ALL DOOR AND WINDOW INFORMATION INCLUDING SHADING COEFFICIENTS, U-FACTORS, ETC.
2. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC FOR RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA, AND MAY NOT BE REMOVED BEFORE INSTALLATION & INSPECTION.
3. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHERSTRIPPING, PROVIDE ALL EXTERIOR DOORS WITH METAL THRESHOLD IN BED OF SEALANT. INSTALL ALL WINDOWS ACCORDING TO MANUFACTURER'S SPECS. PROVIDE FLASHINGS, SEALANTS, AND METAL DRIP EDGES @ HEAD CASINGS AS REQUIRED, CONTINUOUS FLASHING REQUIRED OVER PROJECTING PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHERSTRIPPING, PROVIDE ALL EXTERIOR DOORS WITH METAL THRESHOLD IN BED OF SEALANT.
4. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS FOR VENTILATION.
5. VERIFY ALL DOOR IN-OUT, RIGHT-LEFT HAND SWINGS, AND WINDOW OPERATIONS.
6. VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.

TESTED AND LABELED TO COMPLY WITH THE AAMA STANDARDS PER CEN 1709.5.1
SAFETY GLAZING TESTING AND LABELING PER CEN. SECTIONS 308.1 & 308.4
ENERGY TESTING AND CERTIFICATION PER CEN. SEC. 110.6

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND SHALL BEAR
A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING, AND APPROVED INSPECTION
AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 1011.5.2/4440.
[6 R308.6.9 CRC].

" THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1 "

REVISIONS	BY
1 REVISIONS 1/28/2024	MF



Martha A. Fiorovich A.I.A.

Architect

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DRMANAC RESIDENCE
115 CORMORANT WAY
WATSONVILLE, CA
APN: 052-321-26

SCHEDULES

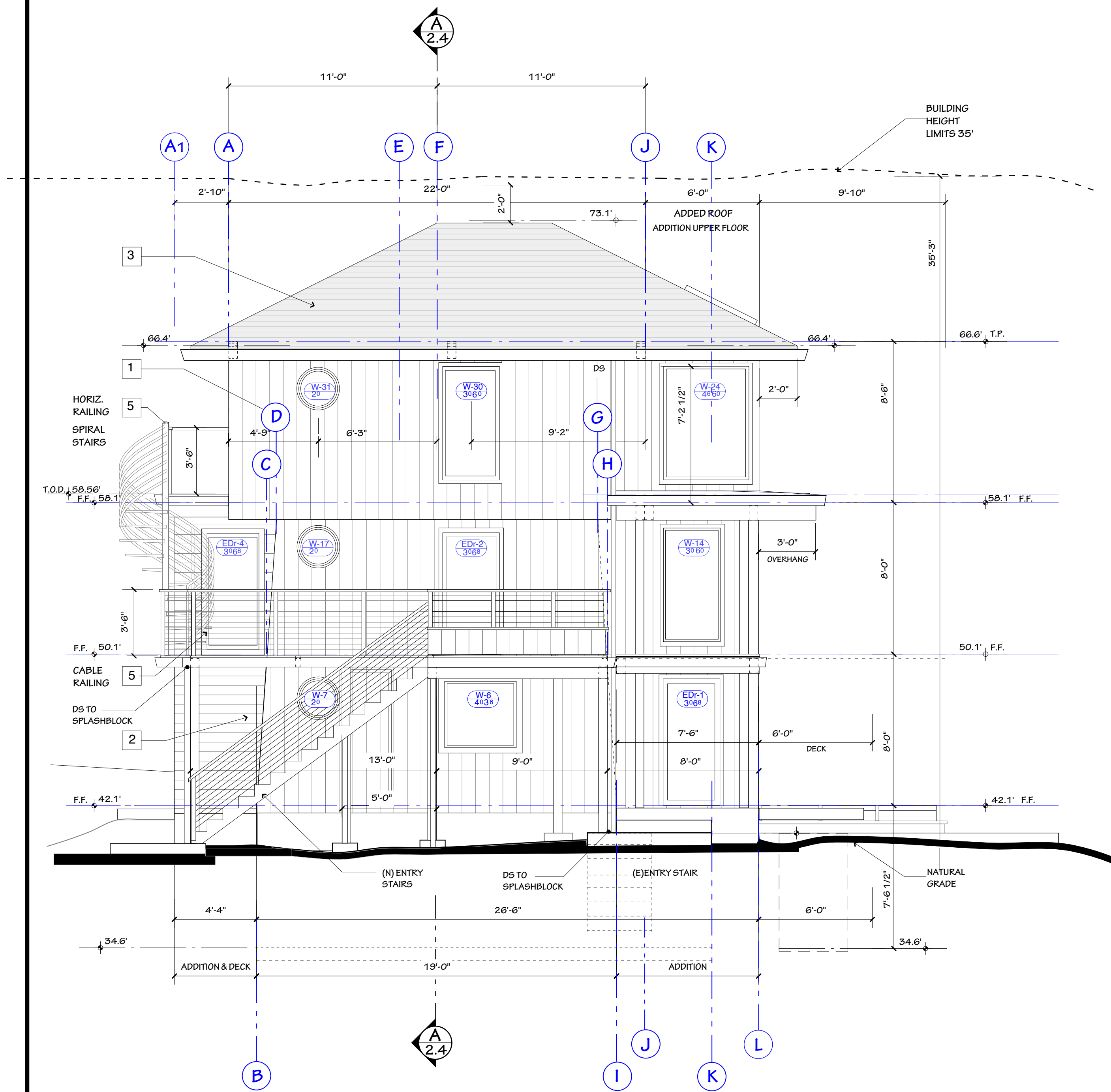
DRAWN MF
OCT 2023
SCALE AS NOTED

SHEET

A2.1a

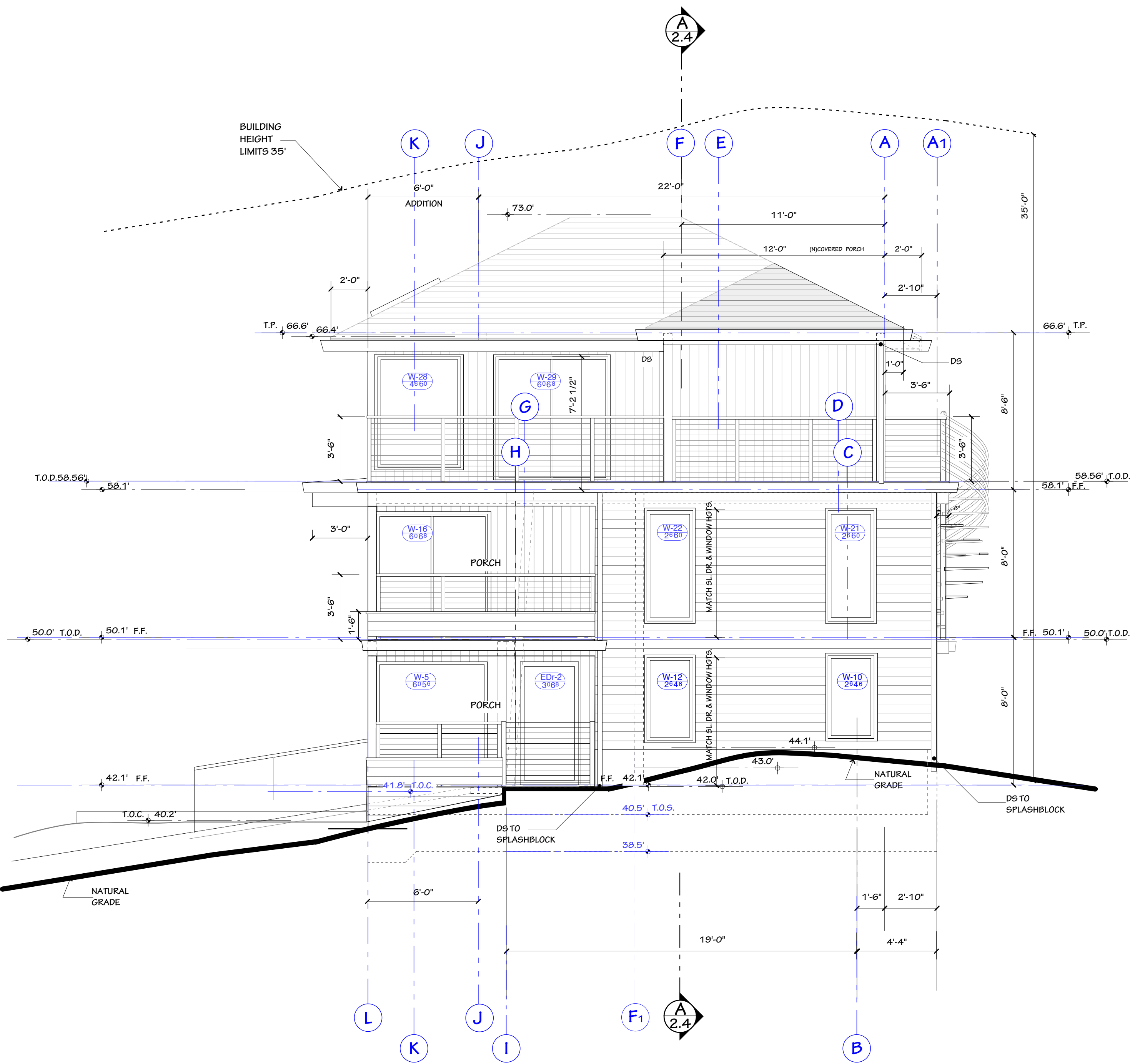
OF SHEETS

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FRONT ELEVATION (NORTH)

SCALE 1/4"=1'-0"



REAR ELEVATION (SOUTH)

SCALE 1/4"=1'-0"

SIDING

SIDING:
JAMES HARDIE
ASPYRE COLLECTION
SQ. CHANNEL SIDING

ROOFING

COMPOSITION:
WEATHERWOOD (or
APPROVED COLOR)



WINDOWS

WINDOWS:
MARVIN ESSENTIAL BRONZE WINDOWS
BRONZE:

DECKS & RAILINGS

HORIZ. ROD OR CABLE RAILINGS

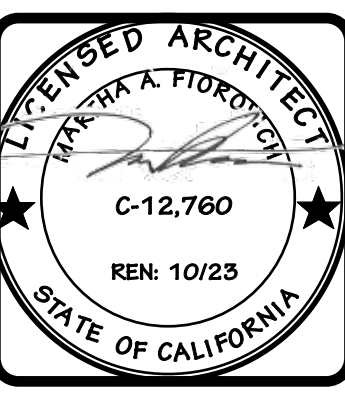


EXTERIOR MATERIALS

- 1 SIDING ONE
- 2 SIDING TWO
- 3 COMPOSITION SHINGLES
- 4 WINDOWS:
MARVIN ESSENTIAL
BRONZE WINDOWS
- 5 RAILING ONE - CABLE RAIL or
HORIZ. ROD

MATERIALS

REVISIONS	BY



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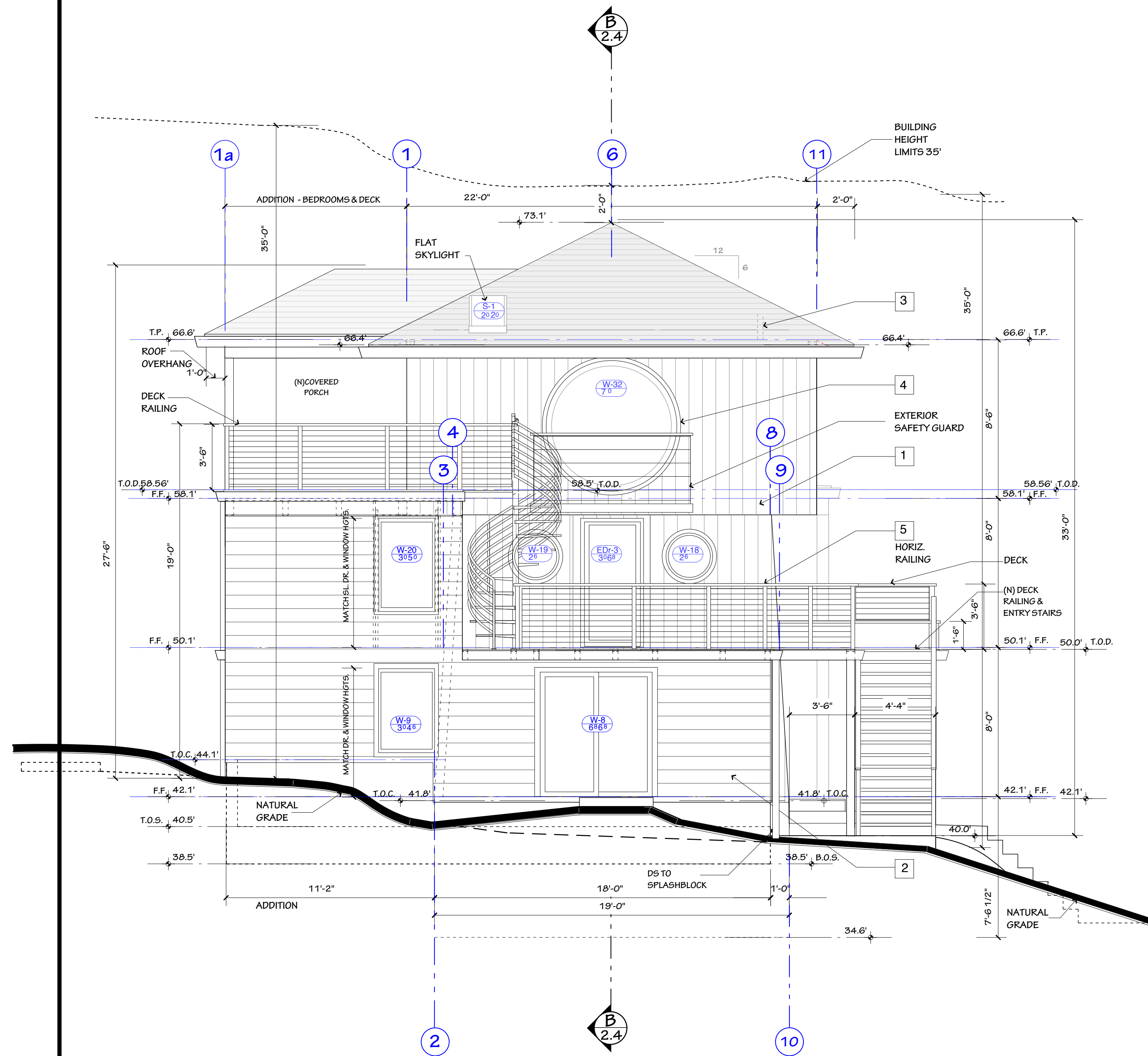
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REMODELED ELEVATIONS
FRONT(NORTH) REAR (SOUTH)

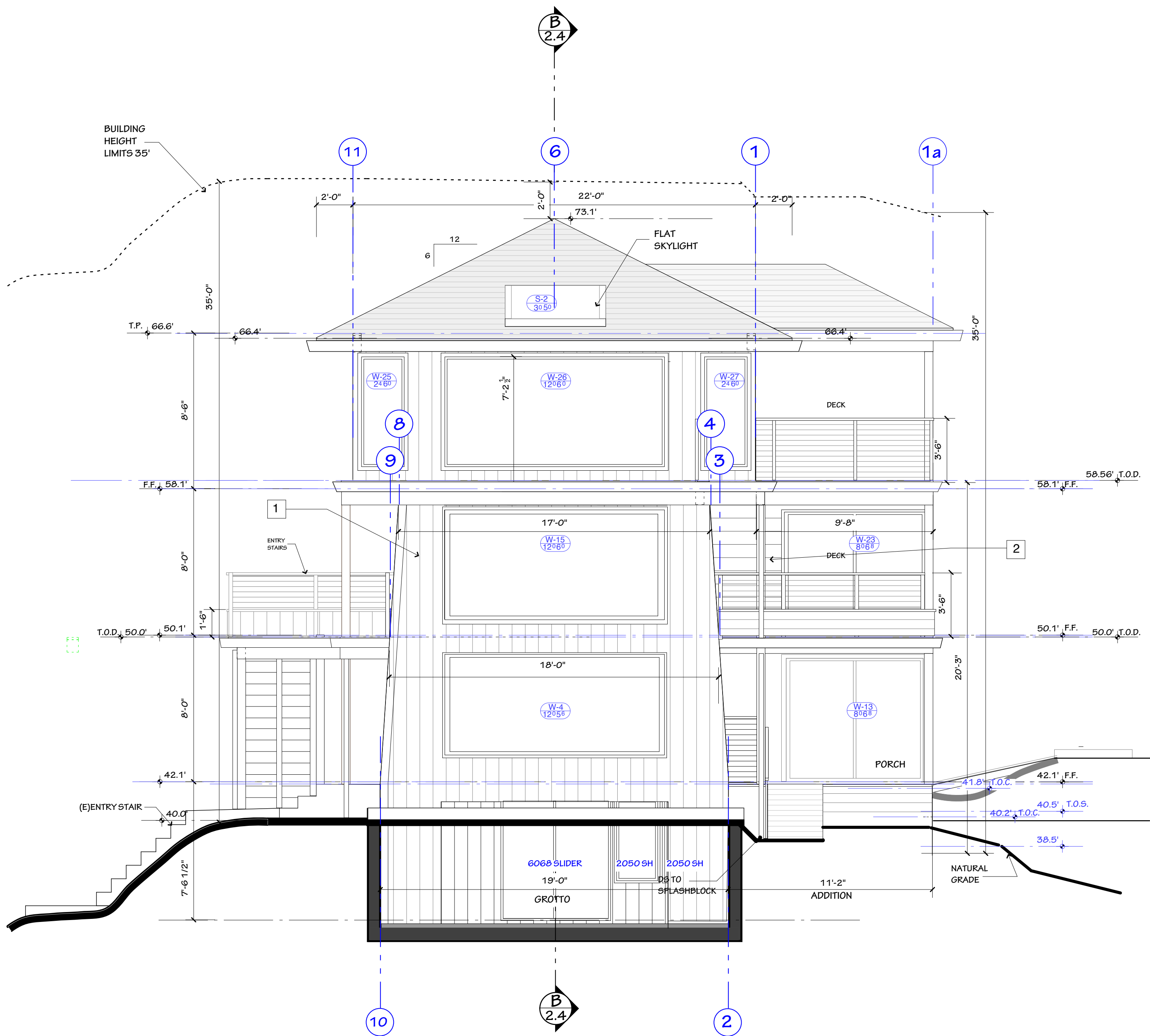
DRAWN MF
OCT 2023
SCALE AS NOTED

SHEET A2.2 OF SHEETS



LEFT ELEVATION (EAST)

SCALE 1/4"=1'-0"



RIGHT ELEVATION (WEST)

SCALE 1/4"=1'-0"

SIDING
SIDING:
JAMES HARDIE
ASPYRE COLLECTION
SQ. CHANNEL SIDING

ROOFING
COMPOSITION:
WEATHERWOOD (or
APPROVED COLOR)

WINDOWS
WINDOWS:
MARVIN ESSENTIAL BRONZE WINDOWS
BRONZE:

DECKS & RAILINGS
HORIZ ROD or CABLE RAILINGS

MATERIALS

EXTERIOR MATERIALS

1 SIDING ONE

2 SIDING TWO

3 COMPOSITION SHINGLES

4 WINDOWS:
MARVIN ESSENTIAL
BRONZE WINDOWS

5 RAILING ONE - CABLE RAIL or
HORIZ. ROD

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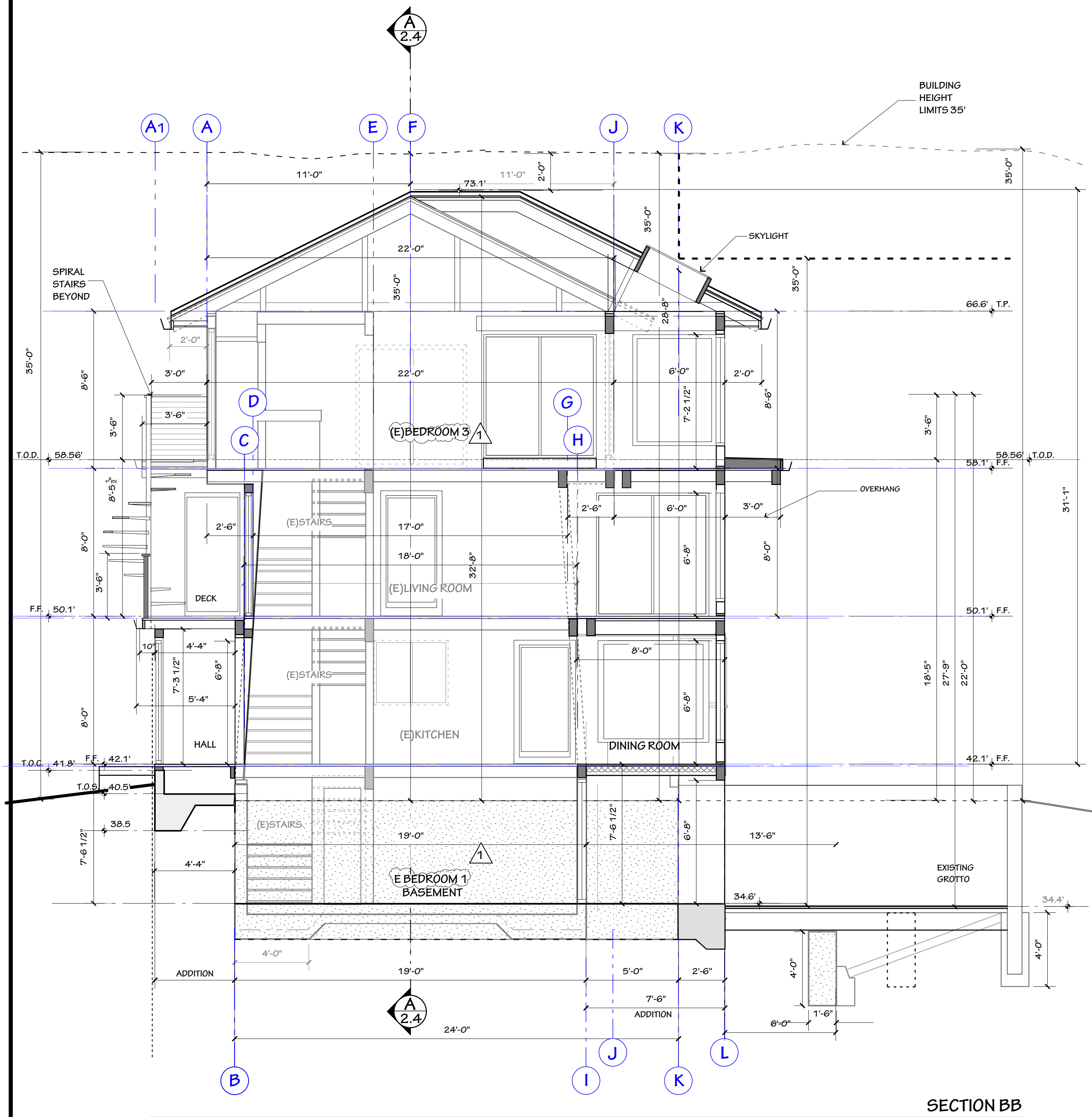
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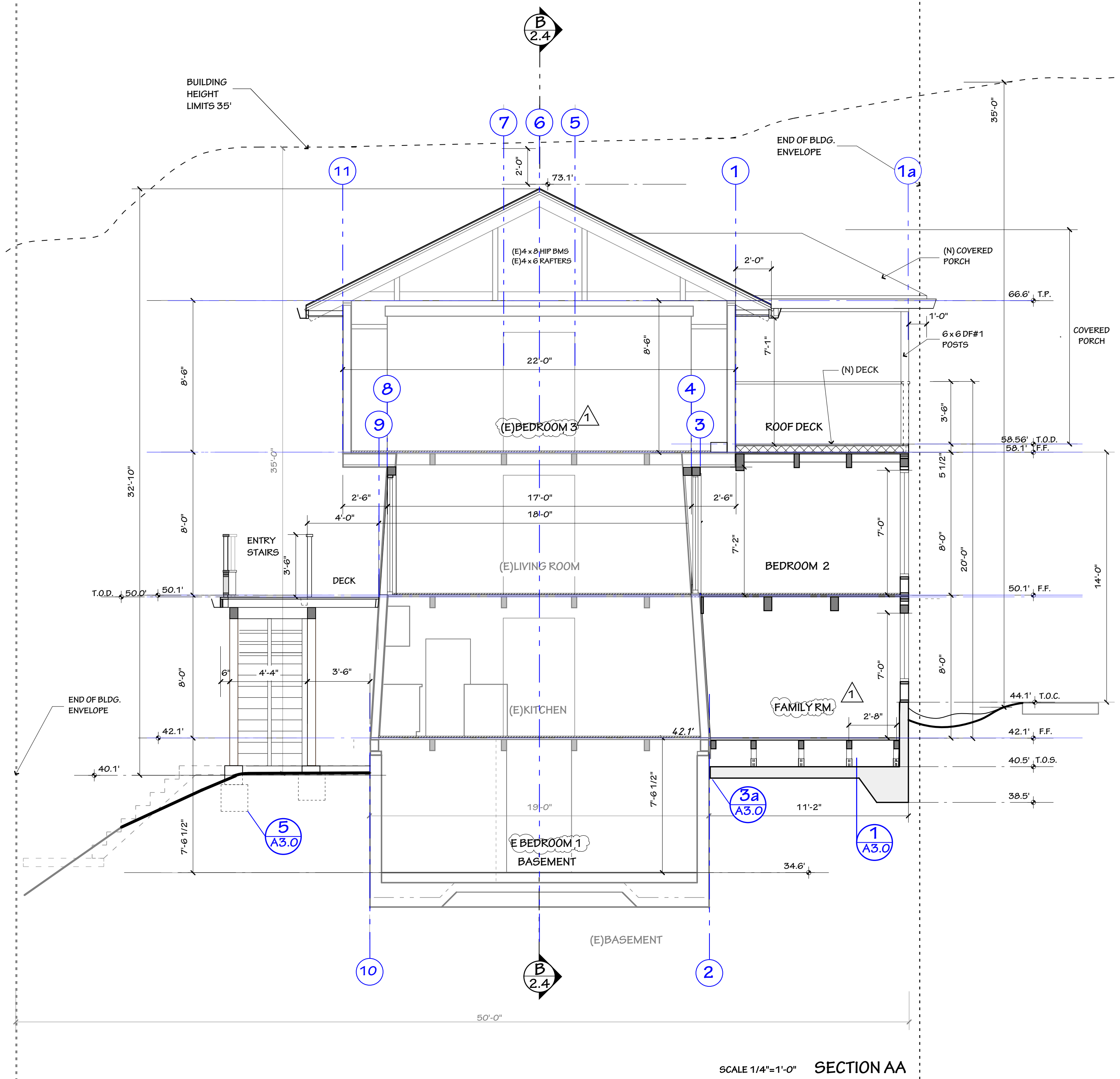
REMODELED ELEVATIONS
RIGHT (WEST) LEFT (EAST)

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A2.3
OF SHEETS



SECTION BB



SCALE 1/4"=1'-0" SECTION AA

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REVISIONS	BY
1	MF
2/28/2024	



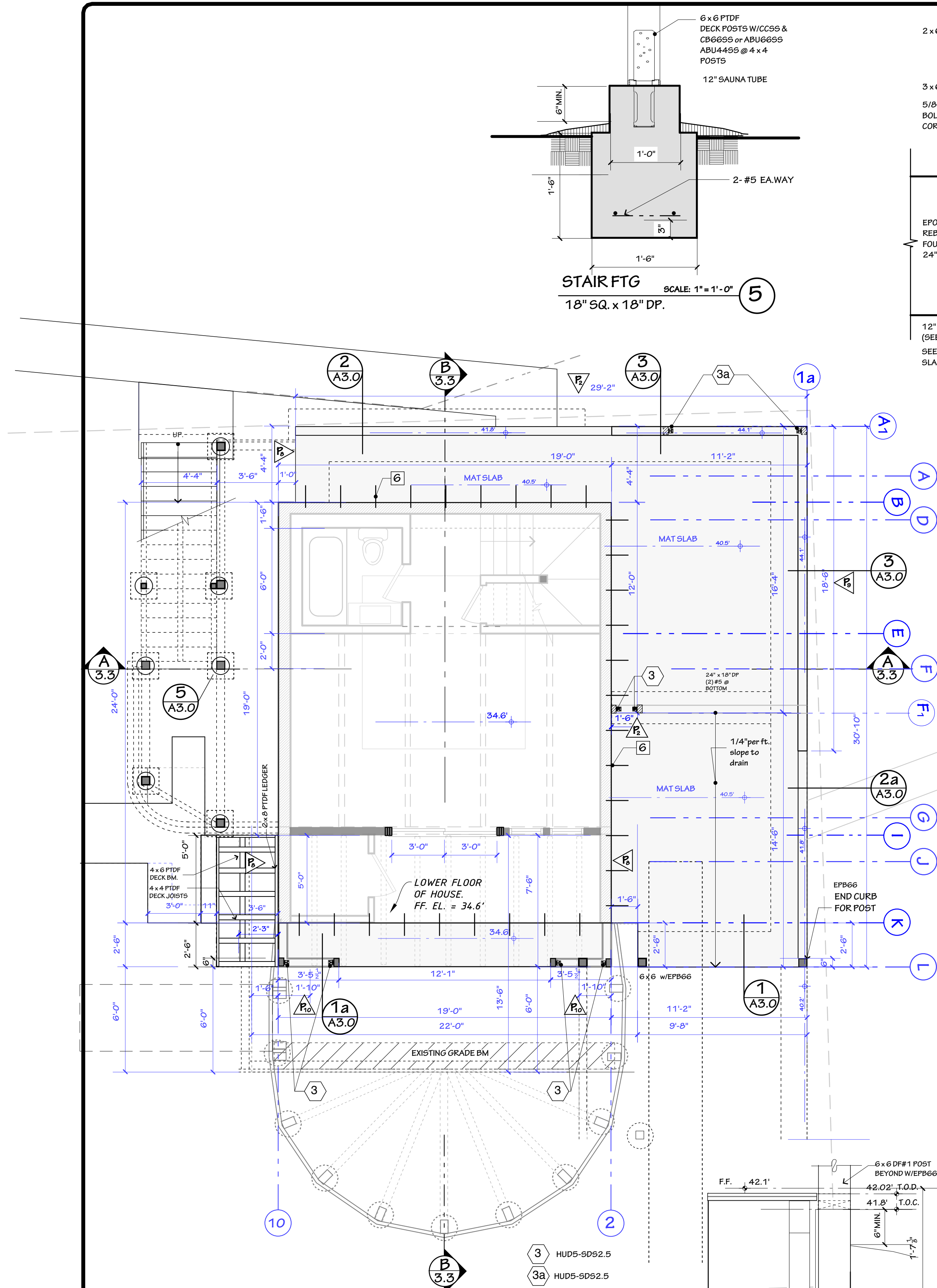
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REMODELED SECTIONS

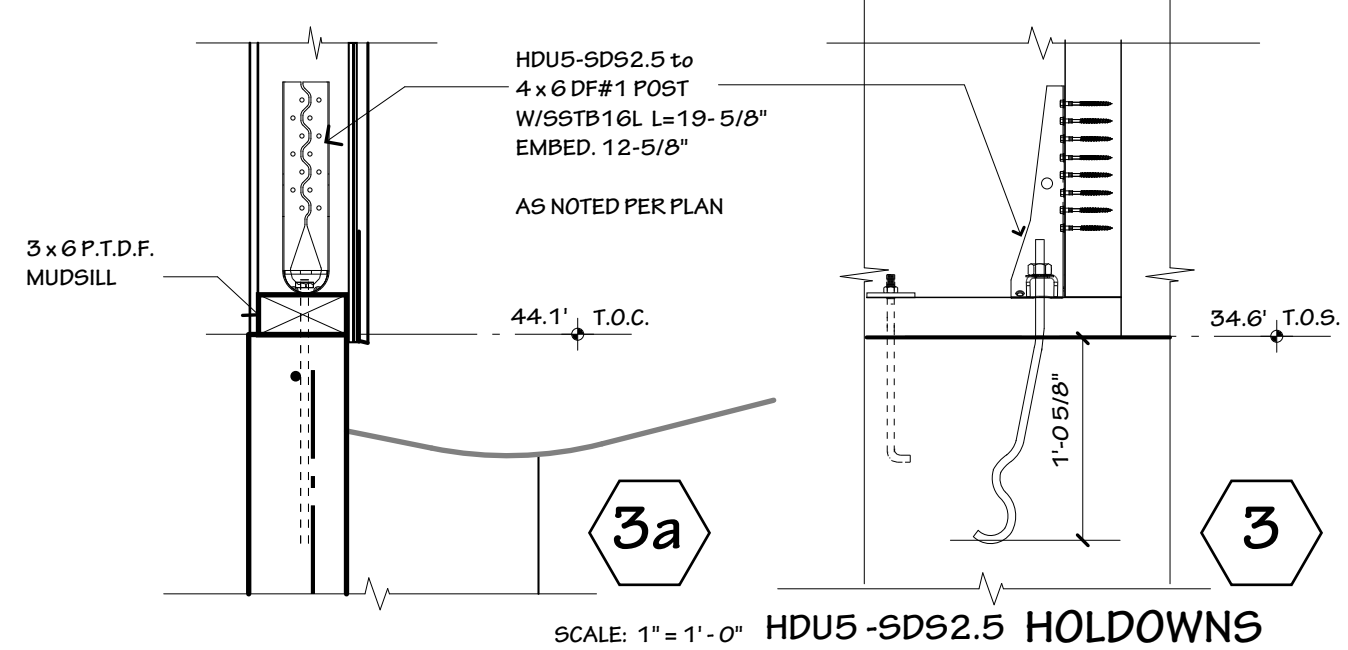
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MF
OCT 2023
SCALE
AS NOTED

SHEET
A2.4
OF SHEETS



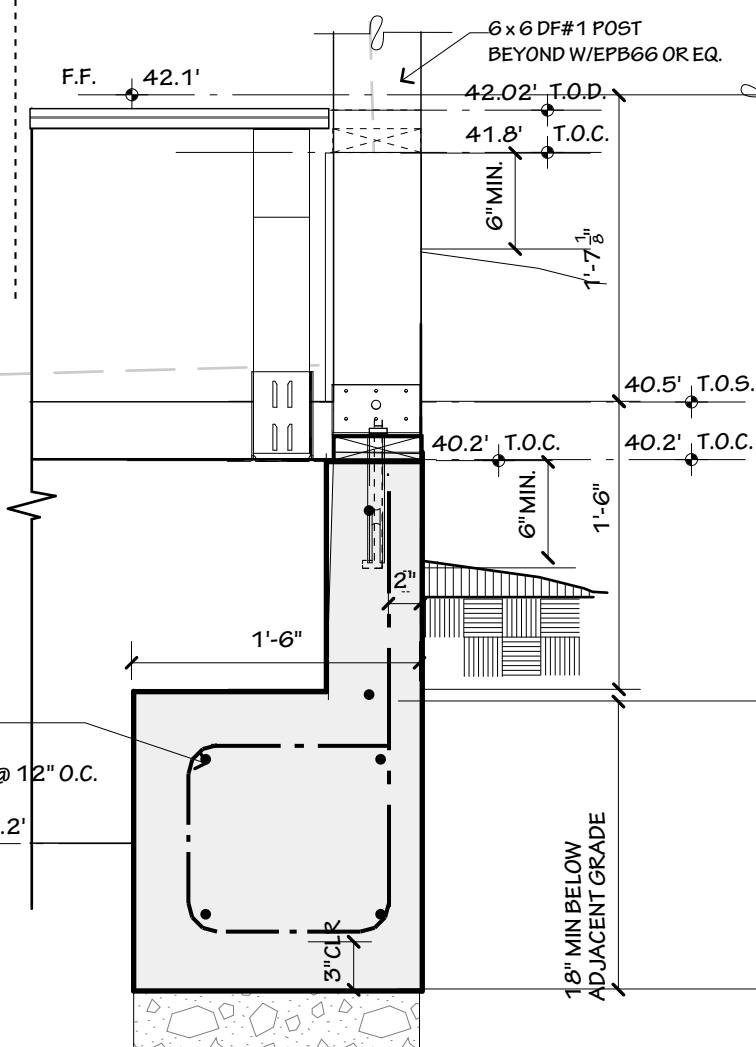
FOUNDATION PLAN

SCALE 1/4"=1'-0"



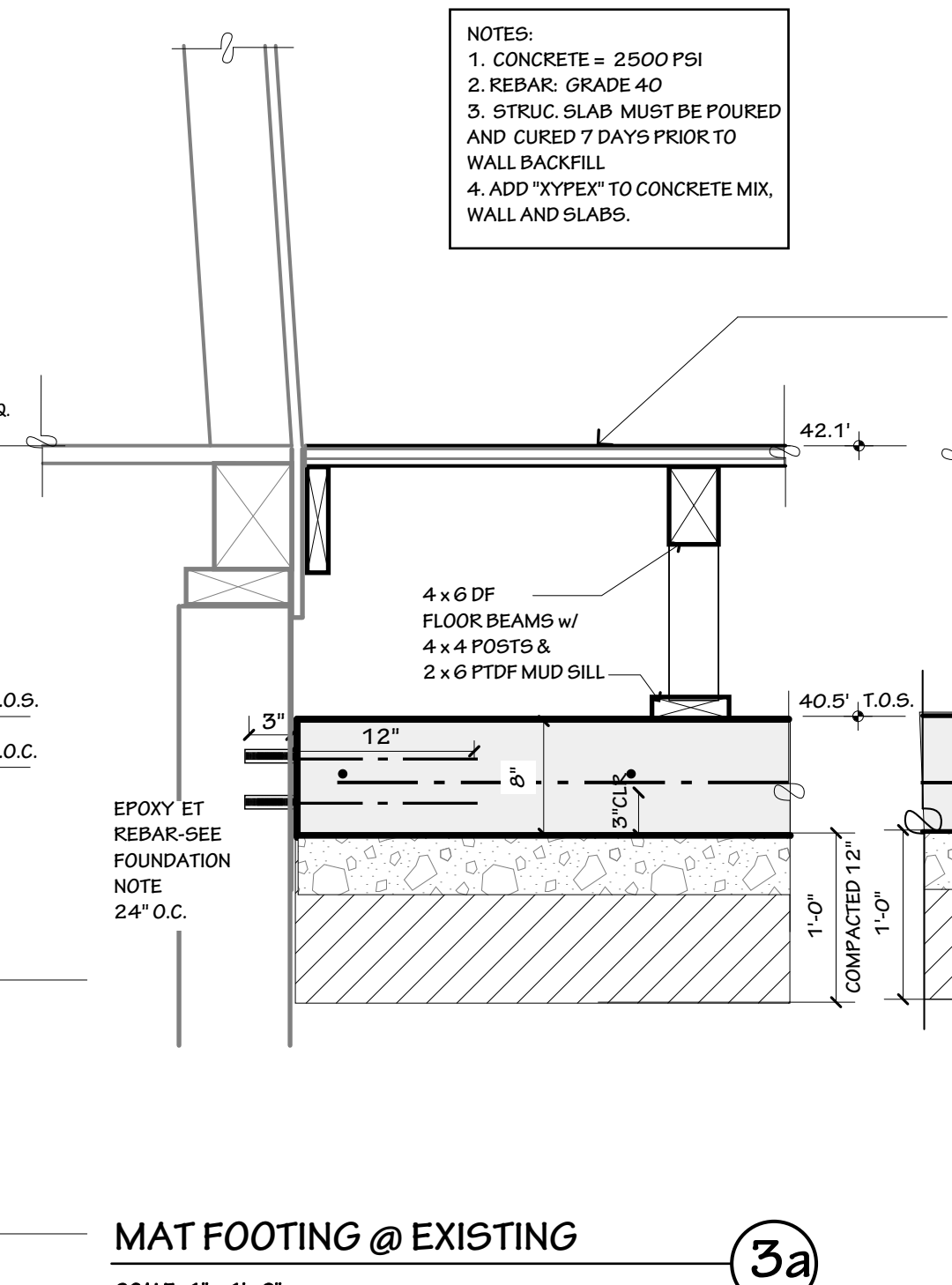
FOOTING @ LANDSCAPE WALL

SCALE: 1"=1'-0"



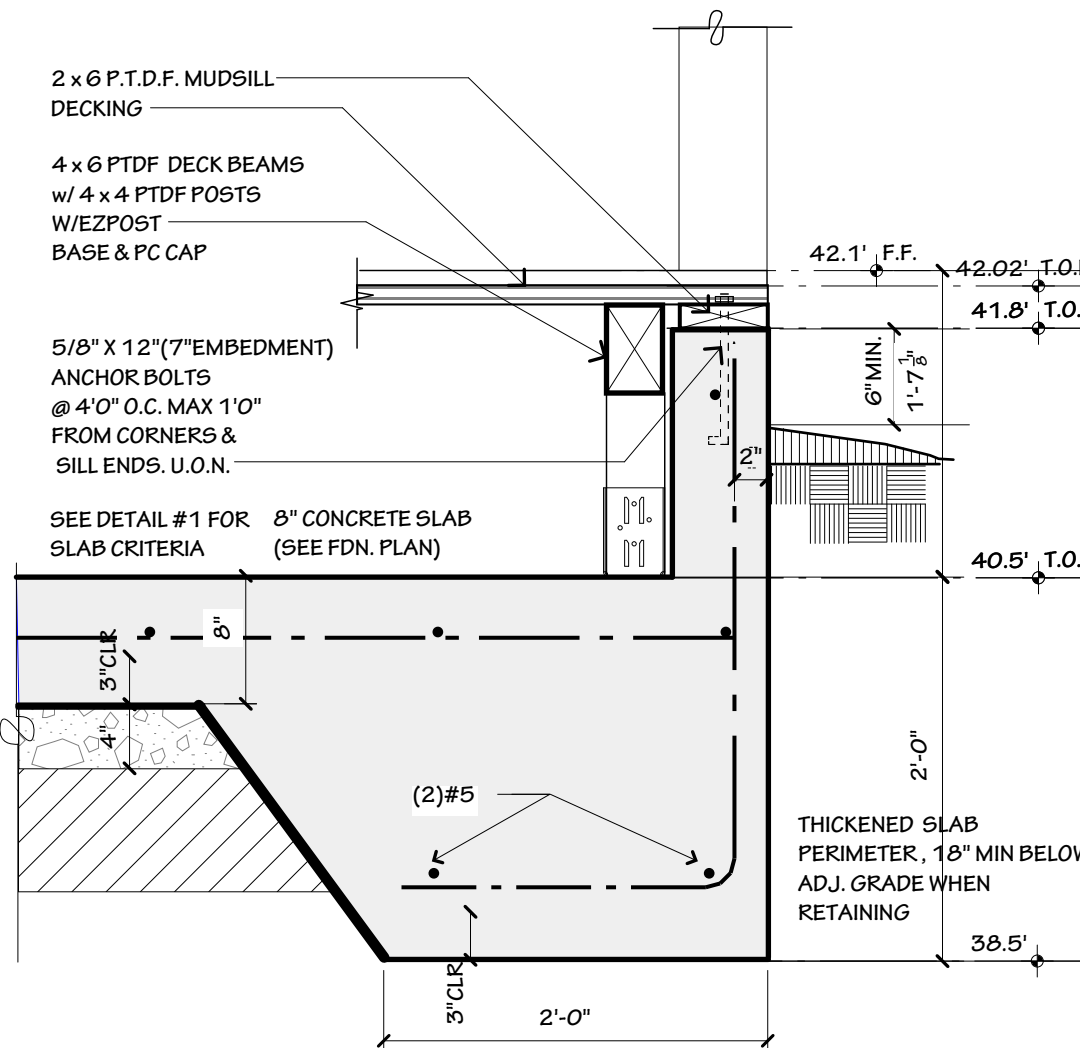
MAT FOOTING @ EXISTING

SCALE: 1"=1'-0"



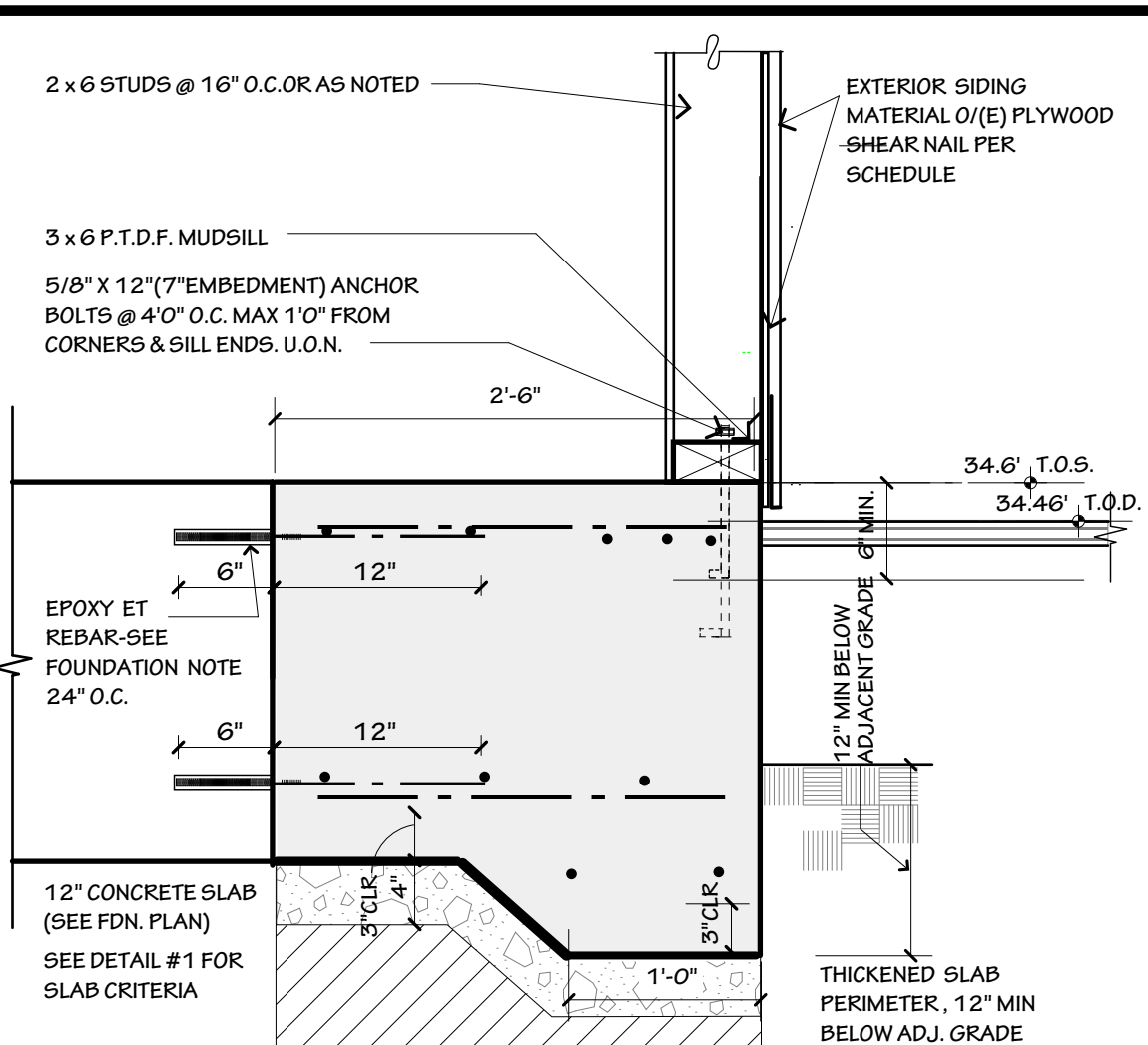
EXTERIOR BEARING MAT FOOTING w/CURB@ DECK

SCALE: 1"=1'-0"



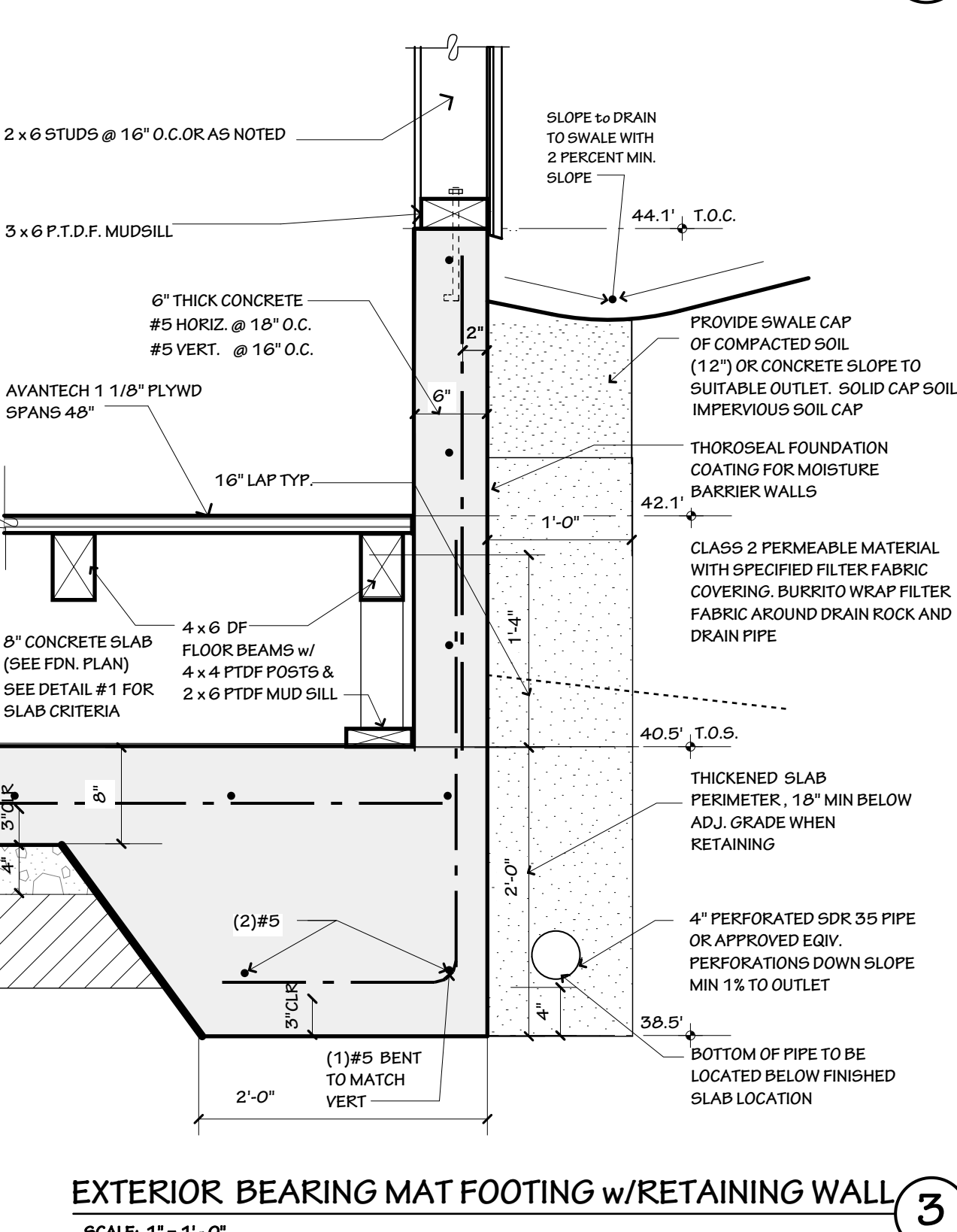
EXTERIOR BEARING MAT FOOTING @ BASEMENT

SCALE: 1"=1'-0"



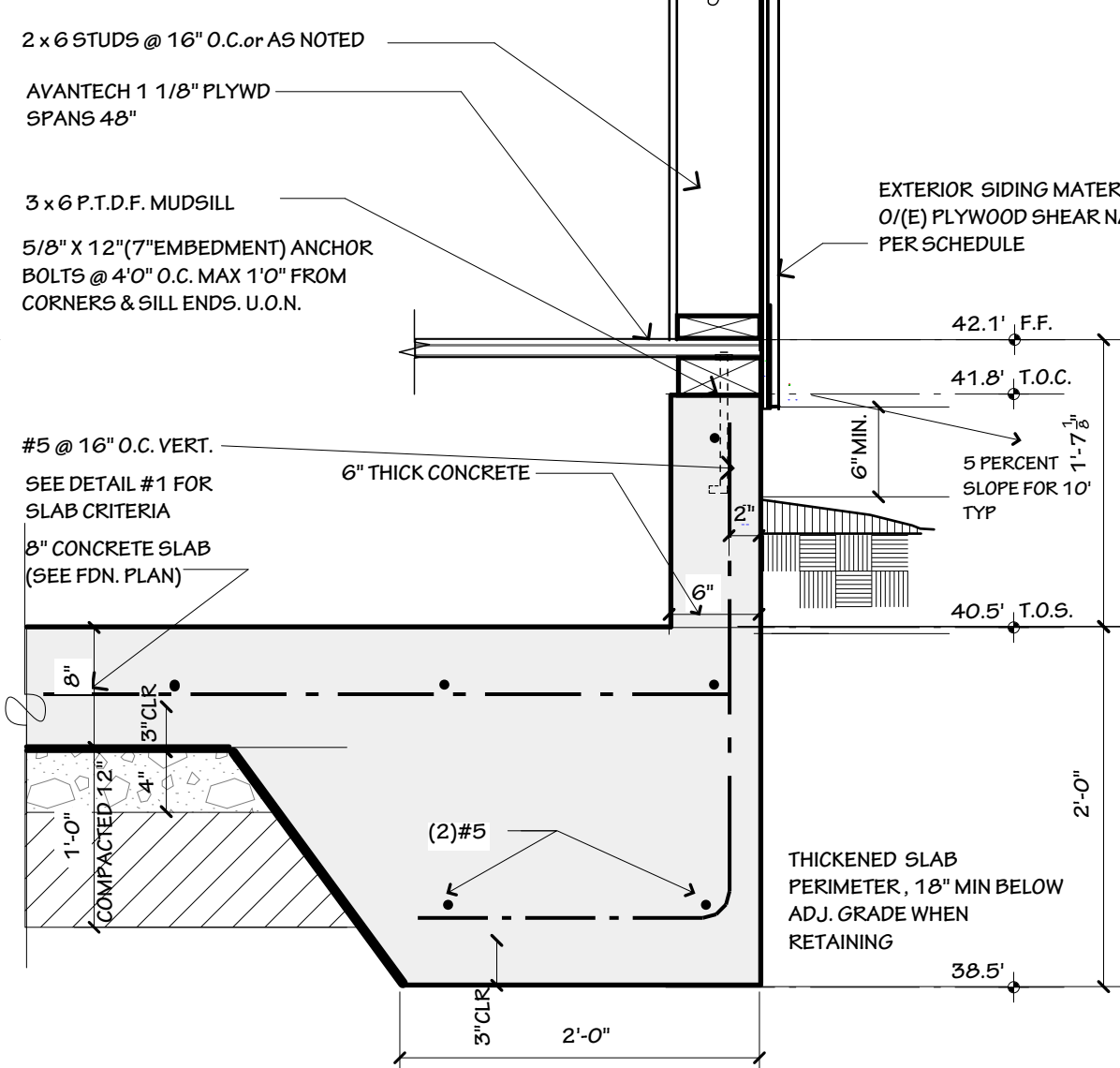
EXTERIOR BEARING MAT FOOTING w/RETAINING WALL

SCALE: 1"=1'-0"



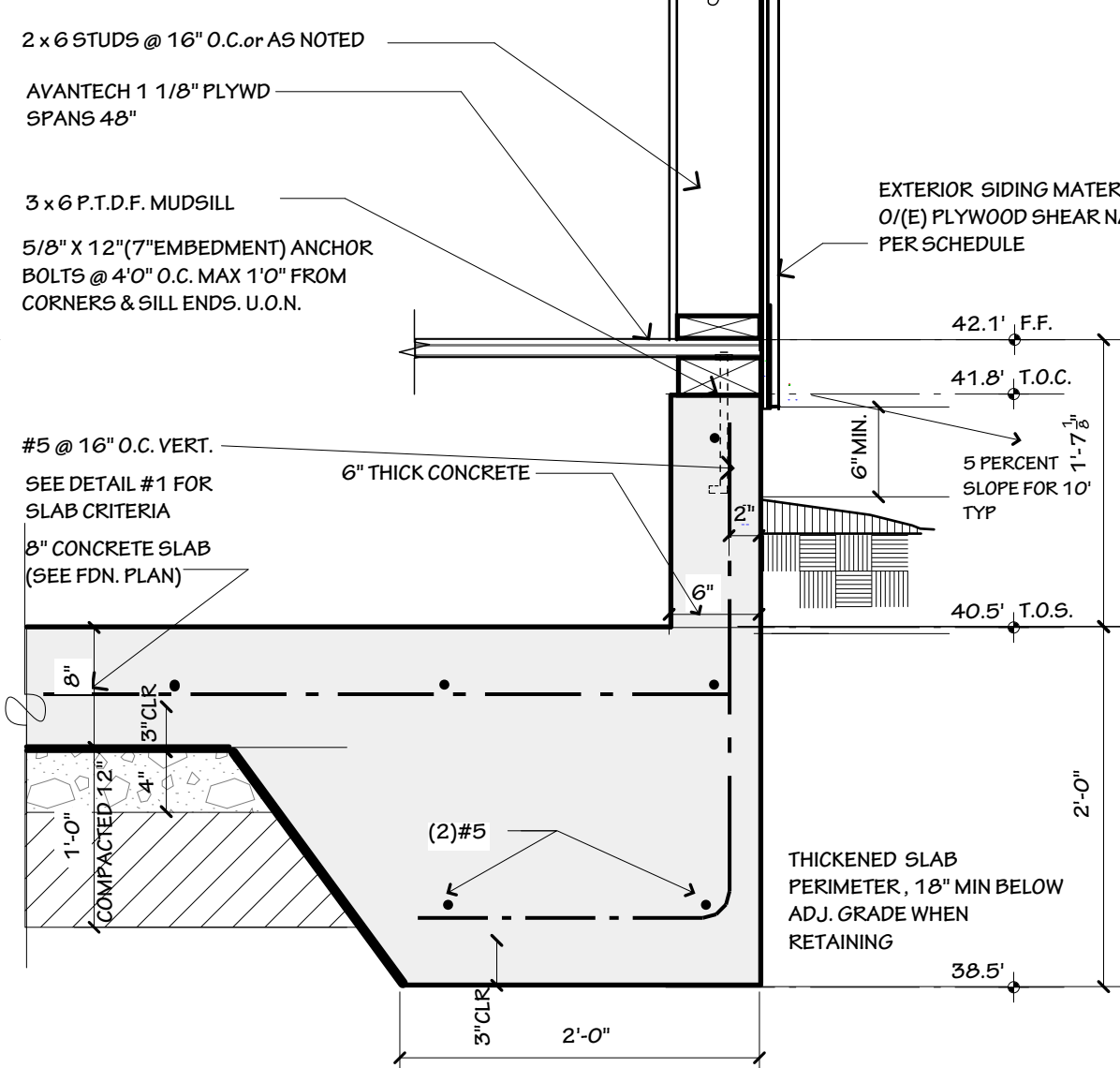
EXTERIOR BEARING MAT FOOTING

SCALE: 1"=1'-0"



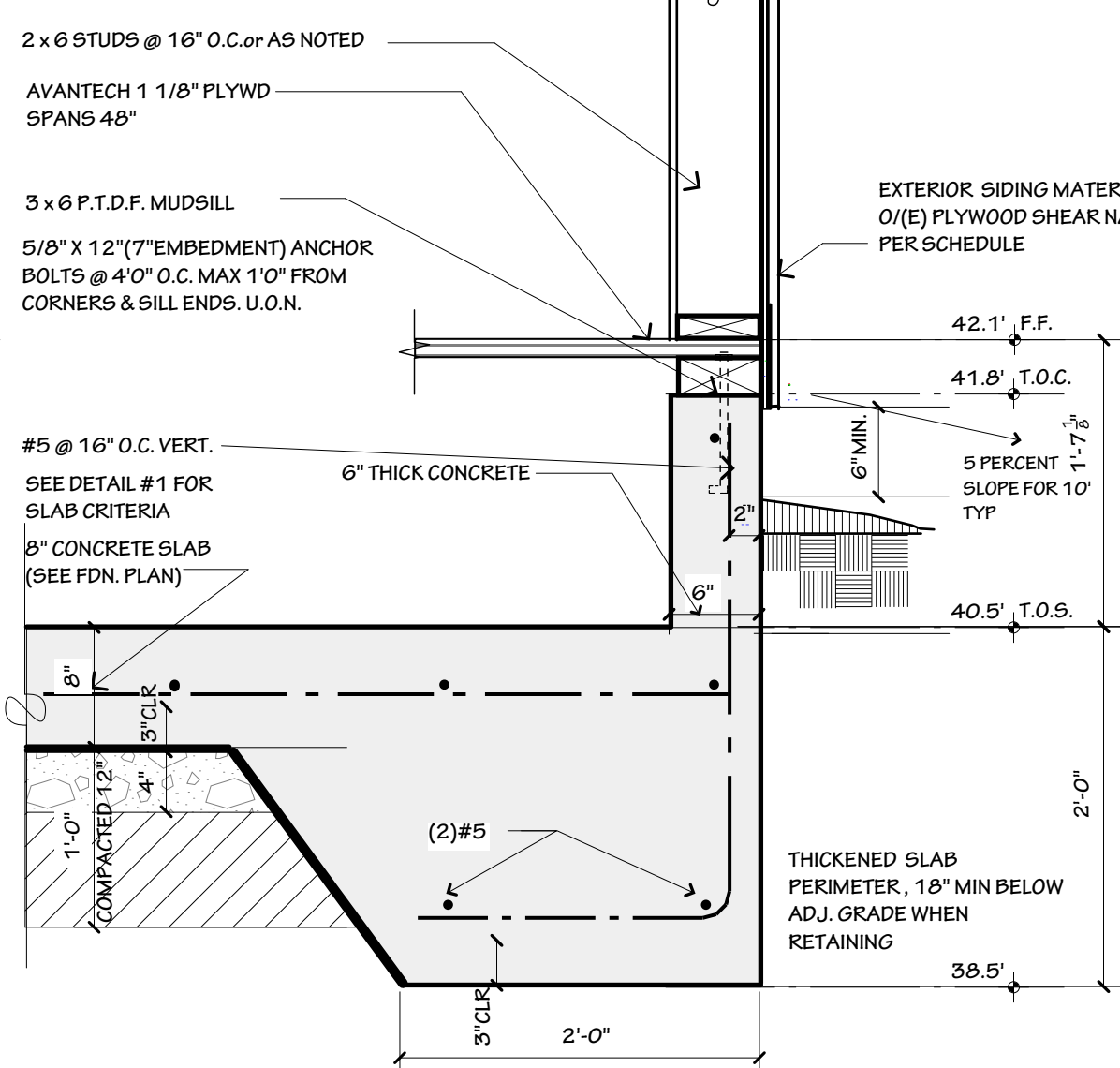
EXTERIOR BEARING MAT FOOTING

SCALE: 1"=1'-0"



EXTERIOR BEARING MAT FOOTING

SCALE: 1"=1'-0"



FOUNDATION NOTES:

PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY BUILDING ADDITION LOCATION.

FOUNDATION/FLOOR FRAMING PLAN NOTES

- 3/4" TAG APA 40/20 PLYWOOD W/ 10d NAILS @ 6" O.C. EDGE/ 10" O.C. FIELD. AVANTECH 1 1/8" PLYWD SPANS 48" OR DECKING AS NOTED.
- ALL NEW FLOOR & DECK JOISTS & BEAMS SHALL BE AS NOTED.
- FOR ALL FOOTINGS PROVIDE 5/8" X 12" MIN. ANCHOR BOLTS (7" EMBED) THROUGH MUD SILL @ 3 X MUD SILL @ 4' O.C. MIN/ MAX. 12" FROM CORNERS AND SPLICES U.O.N. WITH 2" X 2" X 3/16" SQUARE PLATE WASHERS ON EACH ANCHOR BOLT PER CBC.
- SEE SHEAR WALL DESIGNATIONS FOR ANCHOR BOLT SPACING AT SHEAR WALLS.
- ALL HOLDOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO CALLING FOUNDATION INSPECTION. REFER TO FLOOR AND ROOF PLANS FOR WALL LOCATIONS. VERIFY ALL SIMPSON CONNECTIONS FOR LOCATION. ALL HOLDOWNS TO BE INSTALLED TO 4 X STUDS, UNO. USE HOLDOWN ANCHOR BOLTS AS NOTED. USE 7/8" X 1 1/4" (9" EMBEDMENT) ANCHOR BOLTS W/ NUT & WASHER @ HOLDOWNS OR AS NOTED.
- DOWEL AND EPOXY #5 BARS MINIMUM OF 6" INTO EXISTING FOOTING AND MINIMUM OF 3" INTO EXISTING STEMWALL USING "SIMPSON ET EPOXY THE ADHESIVE" SYSTEM OR APPROVED EQUIVALENT. IF NEW FOUNDATION IS PERPENDICULAR TO EXISTING, MIN. 2 BARS INTO FOOTING AND MIN 1 BAR INTO STEMWALL. LAP 12" W/ REBAR IN (N) FOOTING. IF NEW FOUNDATION IS PARALLEL, DOWEL BARS @ 24" O.C. MINIMUM INTO FOOTING AND STEMWALL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 8" THK. MIN. SLAB. #4 BAR TOP&BOT @ 18" O.C. EA WAY

GEOTECHNICAL NOTES:

REFER TO GEOTECHNICAL INVESTIGATION BY ROCK SOLID ENGINEERING, INC. PROJECT NO. 21074, JUNE 13, 2022. FOR ALL FOUNDATION AND GRADING REQUIREMENTS.

THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PAD AND FOUNDATION EXCAVATIONS, WITHOUT REINFORCING STEEL AND SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION.

THE GEOTECHNICAL CONSULTANT SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR OTHER EARTHWORK OPERATIONS ON THE SUBJECT PROJECT IN ORDER TO OBSERVE THE STRIPPING AND DISPOSAL OF UNSUITABLE MATERIALS AND TO ENSURE COORDINATION WITH THE GRADING CONTRACTOR. DURING THIS PERIOD, A PRECONSTRUCTION CONFERENCE SHOULD BE HELD ON THE SITE TO DISCUSS PROJECT SPECIFICATIONS, OBSERVATION/TESTING REQUIREMENTS AND RESPONSIBILITIES, AND SCHEDULING. THIS CONFERENCE SHOULD INCLUDE AT LEAST THE GRADING CONTRACTOR, THE ARCHITECT, AND THE GEOTECHNICAL CONSULTANT.

DIRECT SURFACE DRAINAGE FROM FOUNDATIONS - WHERE SOIL IS ADJACENT TO FOUNDATIONS, A MINIMUM GRADIENT OF 5 PERCENT FOR A DISTANCE OF NO LESS THAN 10 FEET MEASURED PERPENDICULARLY FROM THE WALL FACE, SHOULD BE MAINTAINED AND DRAINAGE SHOULD BE DIRECTED TOWARD APPROVED SWALES OR DRAINAGE FACILITIES. SWALES AND IMPERVIOUS SURFACES SHALL BE SLOPED A MINIMUM OF 2 PERCENT. IF 10 HORIZONTAL FEET CAN NOT BE SATISFIED DUE TO LOT LINES OR PHYSICAL CONSTRAINTS, THE DRAINAGE SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1804.4 OF THE 2022 CALIFORNIA BUILDING CODE. ALL ROOF EAVES SHOULD BE GUTTERED WITH DOWNSPOUTS PROVIDED. THE DOWNSPOUTS SHALL DISCHARGE TO EITHER SPLASH BLOCKS TO CARRY THE STORM WATER AWAY FROM THE STRUCTURE TO REDUCE THE POSSIBILITY OF SOIL SATURATION AND EROSION. IT MAY BE NECESSARY TO USE SWALES OR PIPES TO DIRECT THE RUNOFF TO AN APPROPRIATE DRAINAGE SYSTEM OR DISCHARGE LOCATION.

MATERIAL TO BE COMPACTED OR REWORKED SHOULD BE MOISTURE-CONDITIONED OR DRIED TO ACHIEVE NEAR-OPTIMUM CONDITIONS, AND COMPACTED TO ACHIEVE THE FOLLOWING MINIMUM RELATIVE COMPACTION:
(A) ALL FILL AND COMPACTED BUILDING SUBGRADE: 90%
(B) UPPER 6 INCHES OF SUBGRADE IN PAVEMENT/DRIVE AREAS: 95%
(C) BASE/ROCK AND SUBBASE: 95%.

MAT SLAB: IF A THICKENED EDGE IS REQUIRED FOR THE MAT SLAB, THE MINIMUM EMBEDMENT SHALL BE SPECIFIED BY THE ENGINEER, OR 12" BELOW LOWEST EXTERIOR GRADE. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PAD AND FOUNDATION EXCAVATIONS, WITHOUT REINFORCING STEEL AND SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION.

FOR RIGID MAT FOUNDATIONS, FOR RIGID MAT FOUNDATIONS, IT IS IMPORTANT THAT THE SUBGRADE SOILS BE THOROUGHLY SATURATED FOR 24 TO 48 HOURS PRIOR TO THE TIME THE CONCRETE IS POURED. FOR NEAR-SURFACE SOILS WITH A LOW EXPANSION POTENTIAL, THE SUBGRADE SHOULD BE PRESATURATED 4 PERCENTAGE POINTS ABOVE OPTIMUM, OR 120% OF OPTIMUM, WHICHEVER IS GREATER, TO A DEPTH OF 1.0 FEET.

THE RIGID MAT FOUNDATION SHALL INCORPORATE A MINIMUM 4" CAPILLARY BREAK CONSISTING OF 3/4" CLEAN, CRUSHED ROCK, OR APPROVED EQUIVALENT, (CLASS II BASE/ROCK IS NOT RECOMMENDED) PROVIDE A MINIMUM 15 MIL WATERPROOF MEMBRANE BETWEEN THE FLOOR SLAB AND THE CAPILLARY BREAK.

THE NATIVE SUBGRADE BENEATH RIGID MAT FOUNDATION SYSTEMS SHOULD BE REWORKED TO A DEPTH SUFFICIENT TO PROVIDE A ZONE OF COMPACTED FILL EXTENDING A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE CAPILLARY BREAK. SHOULD THE DESIGN OF THE RIGID MAT FOUNDATION REQUIRE THICKENED EDGES, PREPARATION OF THE NATIVE SUBGRADE BENEATH THE THICKENED EDGES WILL NOT BE REQUIRED.

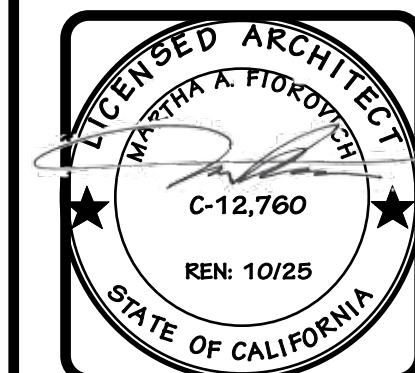
SHOULD THICKENED EDGE SECTIONS BE REQUIRED FOR THE MAT SLAB, THE MINIMUM EMBEDMENT DEPTH FOR THICKENED EDGE SECTIONS SHALL BE AS SPECIFIED BY THE STRUCTURAL ENGINEER OR 12 INCHES BELOW LOWEST ADJACENT GRADE.

RETAINING STRUCTURES: FOOTING WIDTHS ARE BASED ON THE ALLOWABLE BEARING VALUES AND THE MINIMUM DEPTH OF EMBEDMENT IS 18" INCHES FOR RETAINING WALLS. FOOTING EXCAVATIONS MUST BE CHECKED BY THE GEOTECHNICAL CONSULTANT BEFORE STEEL IS PLACED AND CONCRETE IS POURED TO INSURE BEDDING INTO PROPER MATERIAL. EXCAVATIONS SHOULD BE THOROUGHLY WETTED DOWN JUST PRIOR TO POURING CONCRETE.

BACKFILL DRAINAGE: BACKDRAINS SHOULD CONSIST OF A MINIMUM 4-INCH DIAMETER, PERFORATED, SDR 35 PIPE OR EQUIVALENT, EMBEDDED IN PERMEABLE MATERIAL MEETING THE STATE OF CALIFORNIA STANDARD SPECIFICATION SECTION 608-2.02F(3), CLASS 2, OR EQUIVALENT. A LAYER OF MIRAFI 140N FILTER FABRIC, OR EQUIVALENT, SHALL BE PLACED OVER THE PERMEABLE MATERIAL AND THE REMAINING 12 INCHES SHALL BE CAPPED WITH COMPACTED NATIVE SOIL. THE PIPE SHOULD BE APPROXIMATELY 4 INCHES ABOVE THE TRENCH BOTTOM WITH A GRADIENT OF AT LEAST 1% BEING PROVIDED TO THE PIPE AND TRENCH BOTTOM, DISCHARGING TO AN APPROVED LOCATION. SEE DETAIL FOR RETAINING WALL BACKDRAIN CONFIGURATION. B. SHOULD THE PROPOSED WALL CONSTRUCTION CONSIST OF STEEL I-BEAMS WITH WOOD OR CONCRETE LAGGING AND SPACERS ARE UTILIZED BETWEEN LAGGING COURSES, THE FILTER FABRIC SHALL ALSO BE PLACED BETWEEN THE WALL AND PERMEABLE MATERIAL. C. PERFORATIONS IN BACKDRAINS ARE RECOMMENDED AS FOLLOWS: 3/8-INCH DIAMETER, IN 2 ROWS AT THE ENDS OF A 120 DEGREE ARC, AT 3-INCH CENTERS IN EACH ROW, STAGGERED BETWEEN ROWS, PLACED DOWNWARD. D. BACKDRAINS PLACED BEHIND RETAINING WALLS SHOULD BE APPROVED BY THE GEOTECHNICAL CONSULTANT PRIOR TO THE PLACEMENT OF BACKFILL.

NOTE: DO NOT SCALE ANY DRAWINGS. USE DIMENSIONS GIVEN. BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES.

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APN: 052-321-26

FOUNDATION PLAN & DETAILS

DRAWN MF
OCT 2023
SCALE AS NOTED

SHEET

A3.0

OF SHEETS

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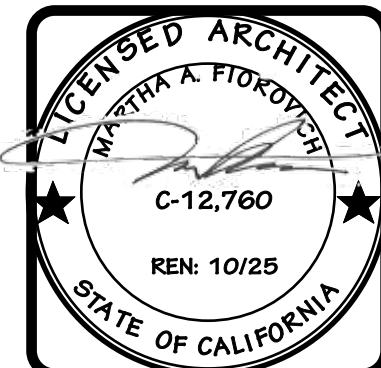
SECOND FLOOR
FOUNDATION & FDN

NOTE

SHE



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1	MF



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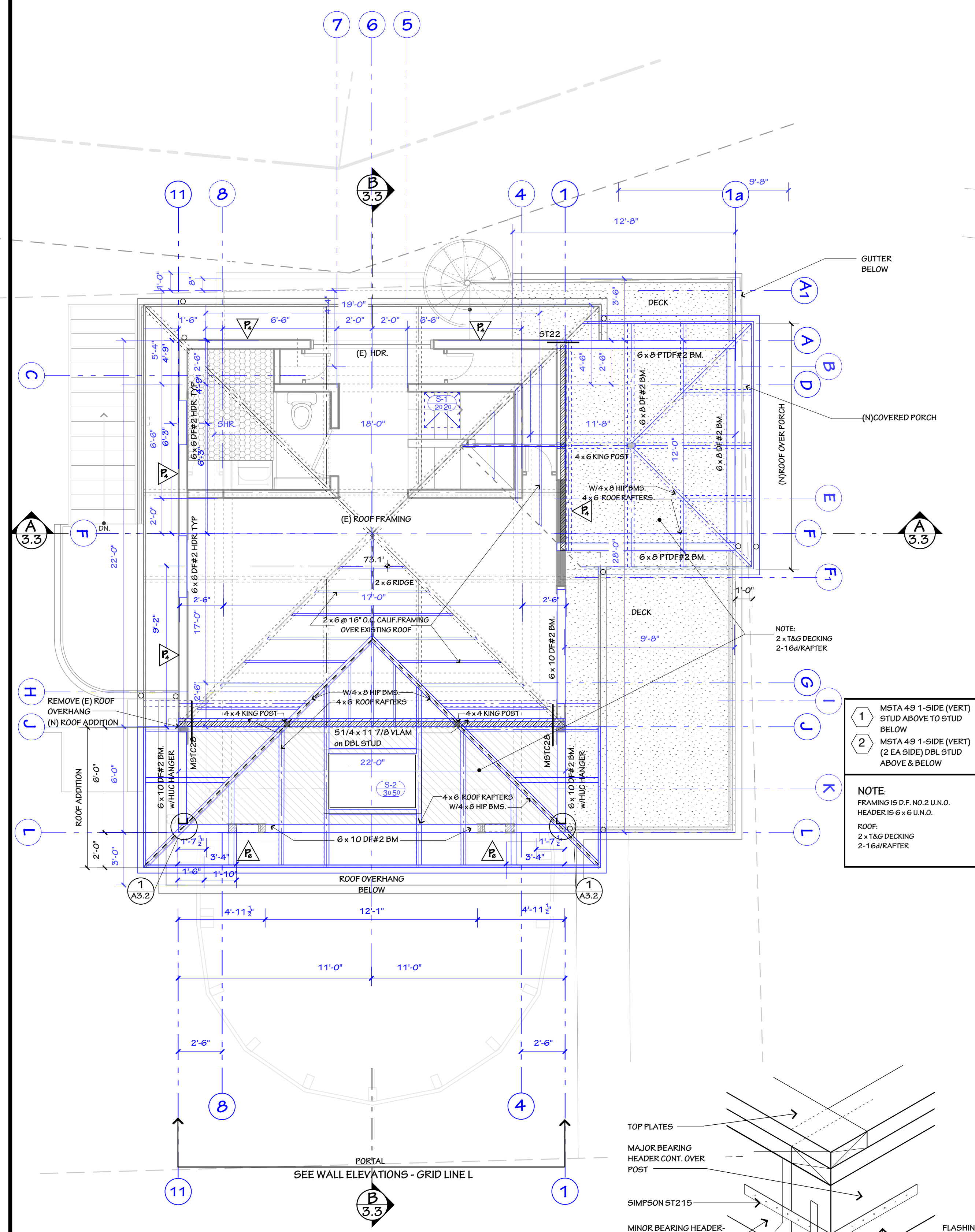
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WATSONVILLE, CA
APN: 052-321-26

FLOOR FRAMING PLANS
THIRD FLOOR
ROOF FRAMING

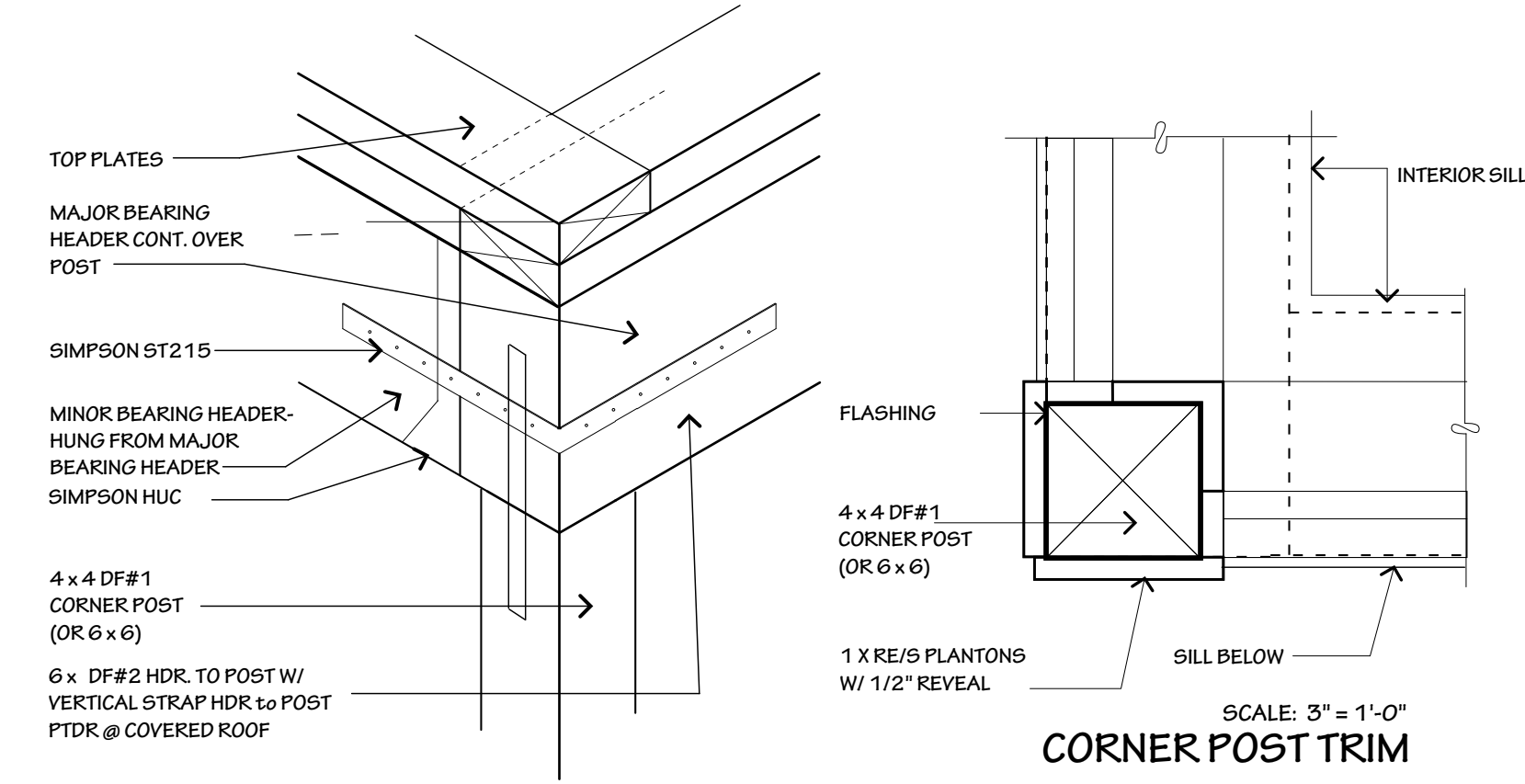
DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A3.2
OF SHEETS

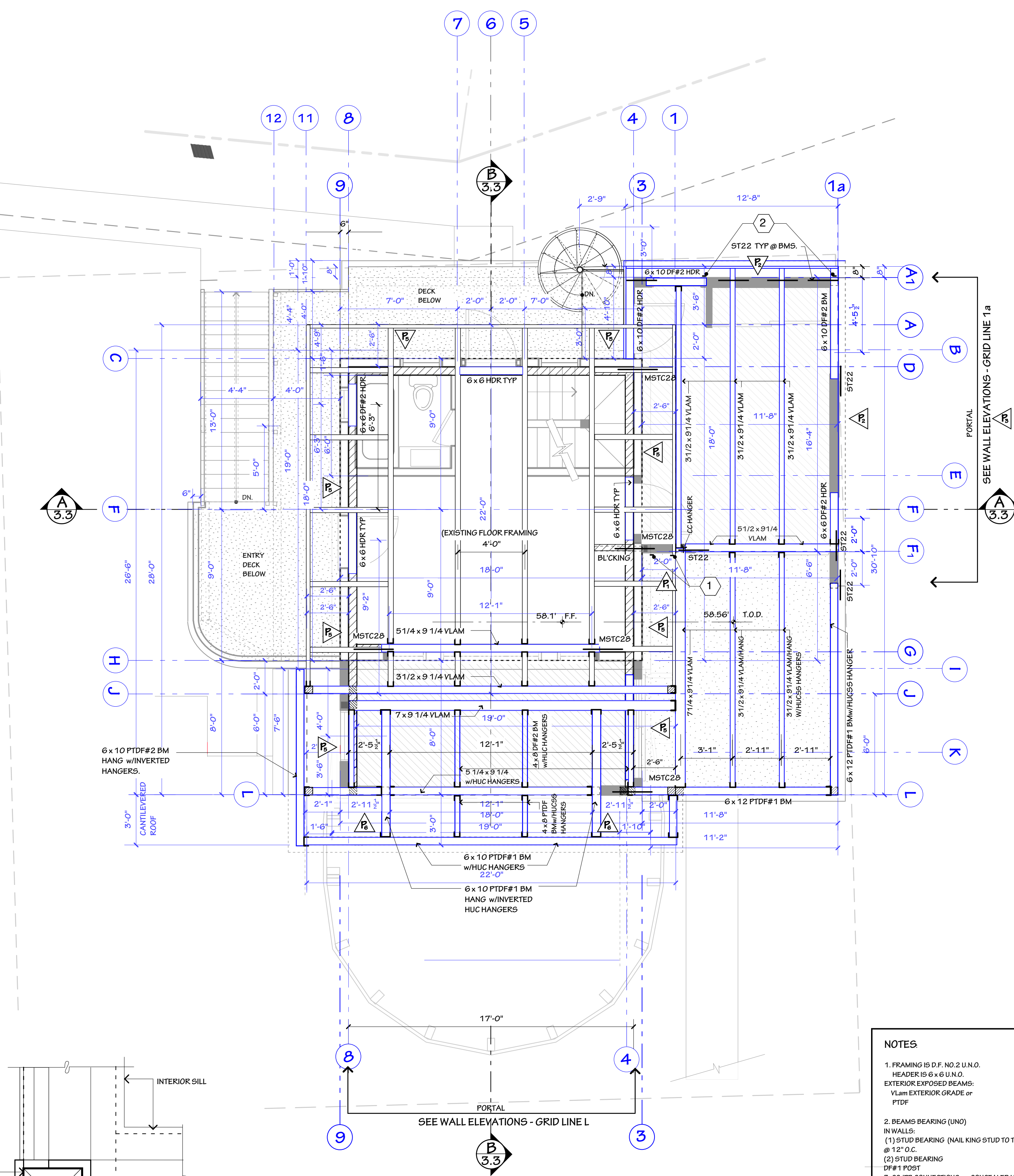
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ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

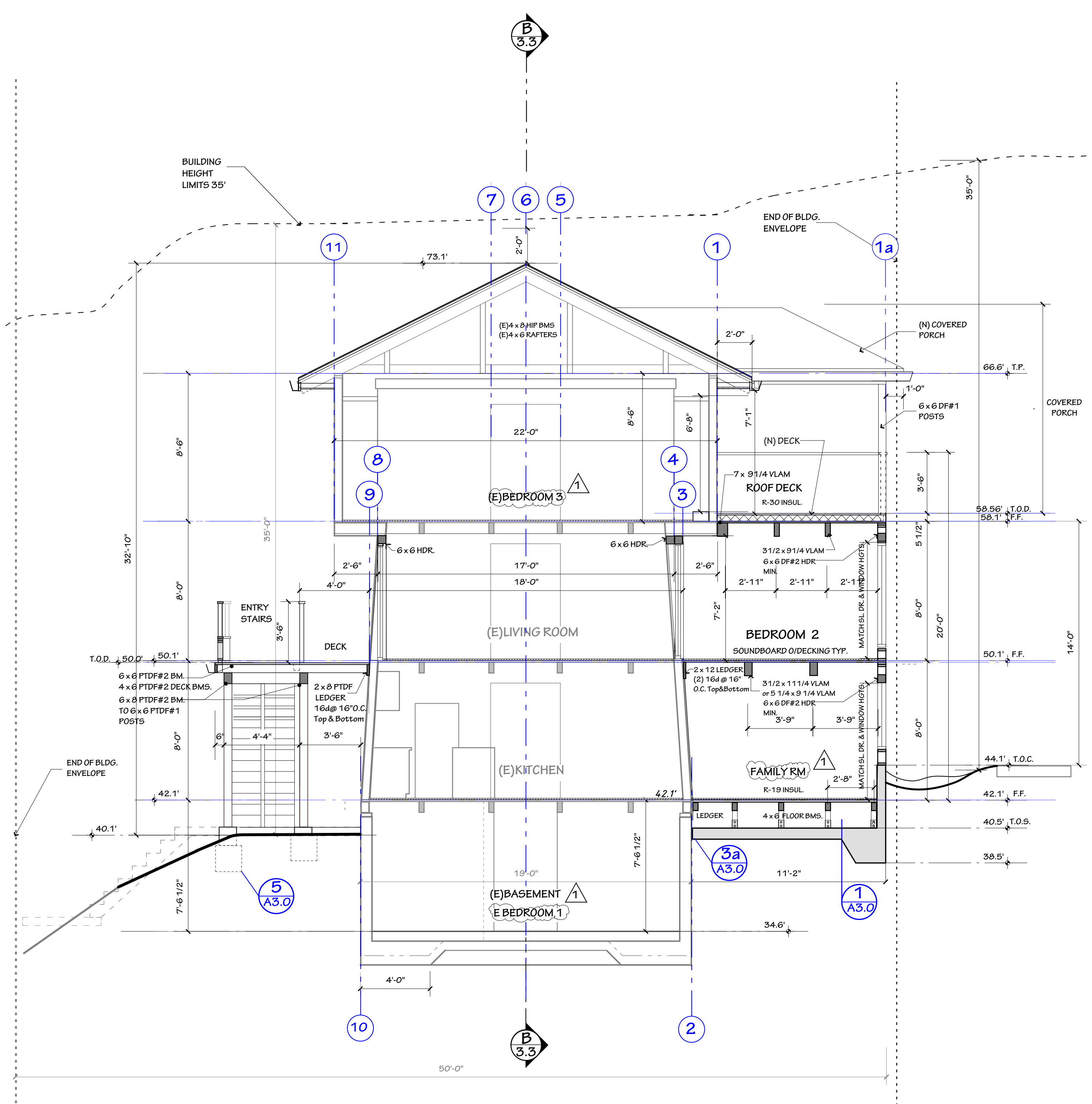
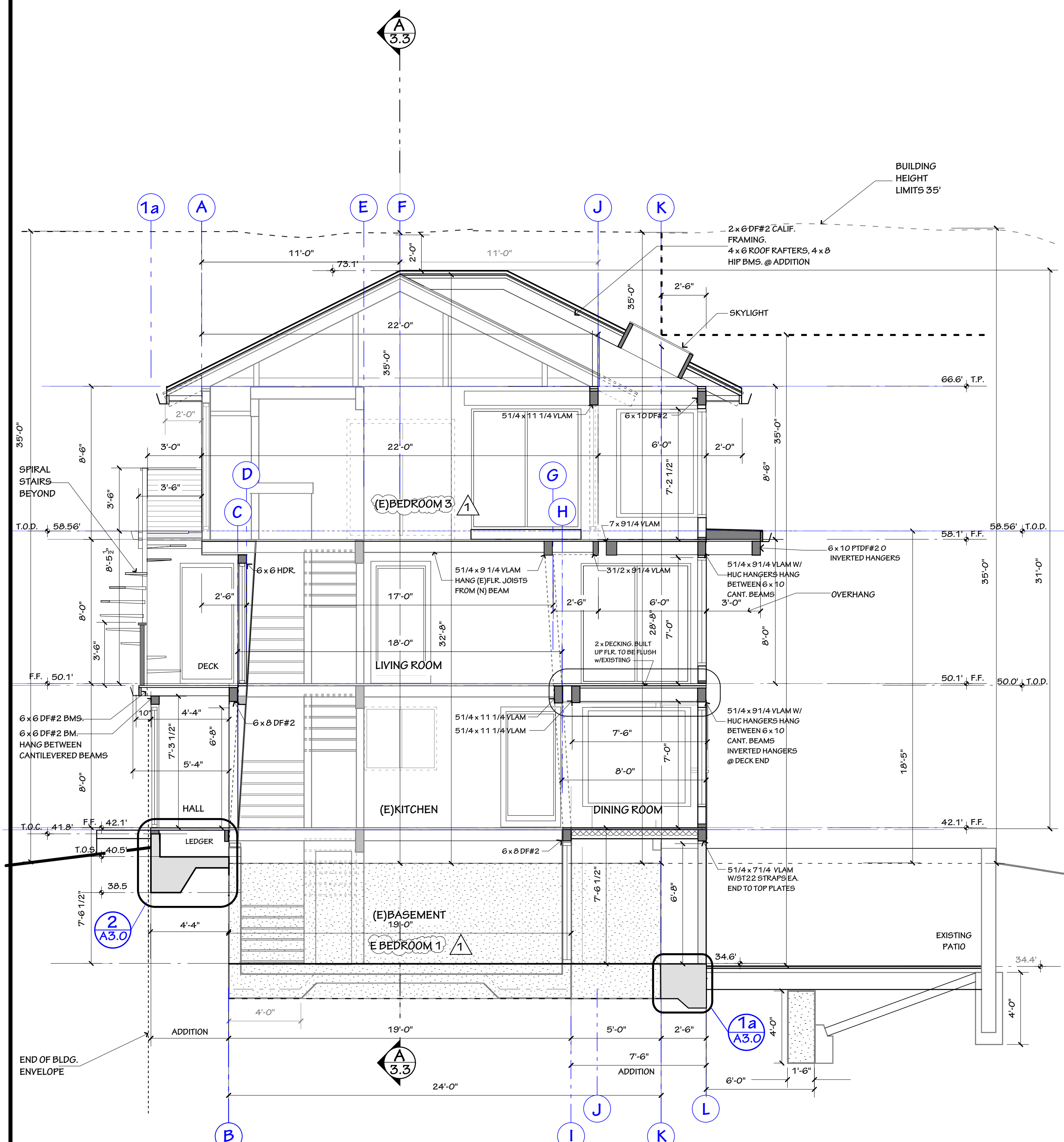


CORNER POST & HEADER N.T.S.

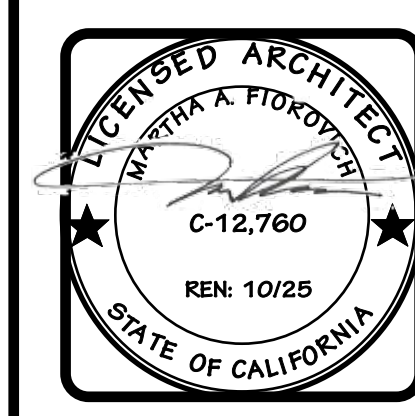


THIRD FLOOR FRAMING PLAN
SCALE 1/4"=1'-0"

- NOTES**
1. FRAMING IS D.F. NO. 2 U.N.O.
HEADER IS 6" x 6" U.N.O.
EXTERIOR EXPOSED BEAMS:
VLAM EXTERIOR GRADE or
PTDF
 2. BEAMS BEARING (U.N.O)
IN WALLS:
(1) STUD BEARING (NAIL KING STUD TO TRIMMER W/ 16d @ 12" O.C.
(2) STUD BEARING
OF #1 POST
3. CC / PB CONNECTIONS, or CONCEALED HANGERS.
CCQ, ABU, ETC.



REVISIONS	BY
1	MF
2/28/2024	



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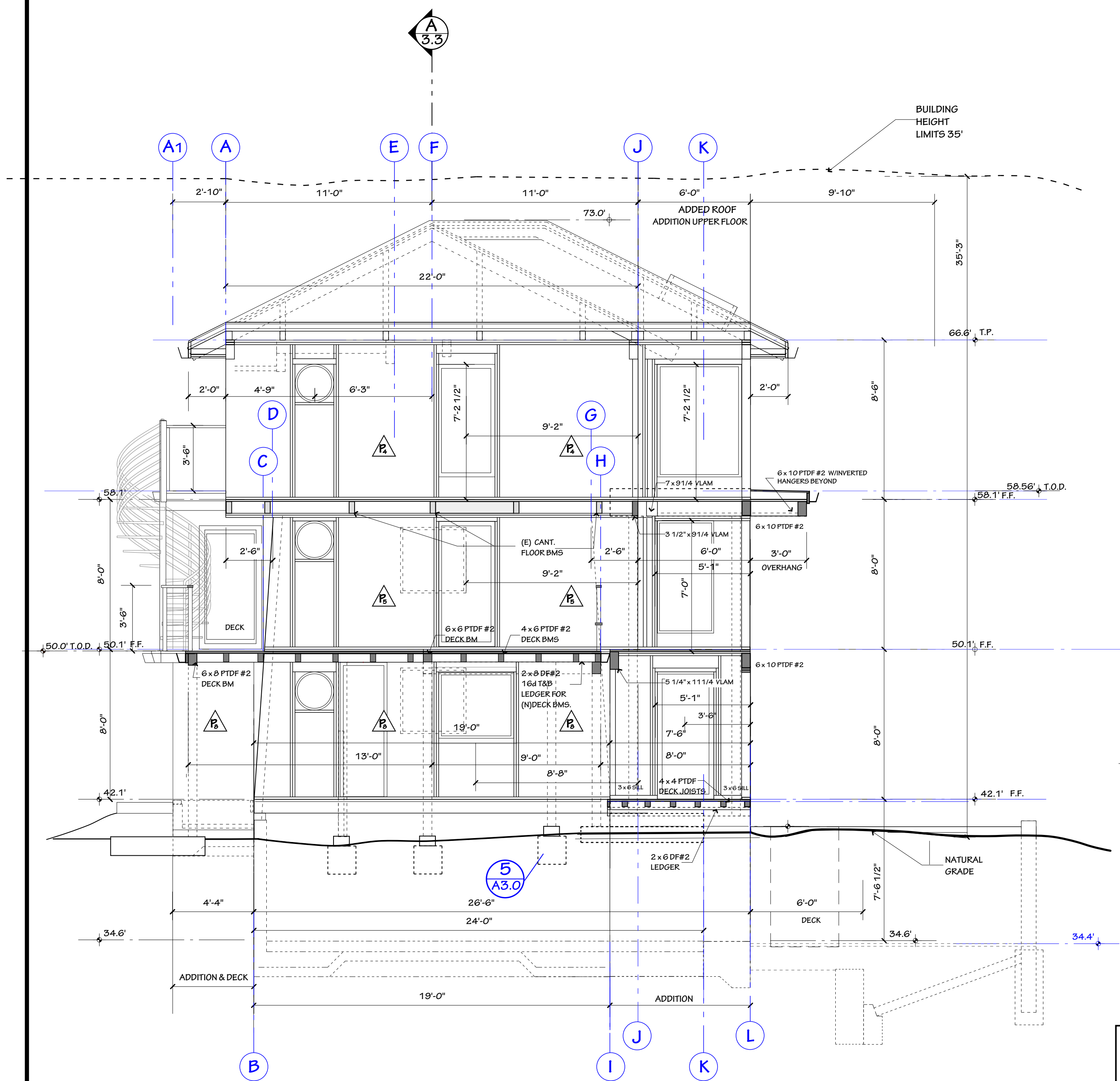
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REMODELED STRUCTURAL SECTIONS

DRAWN	MF
OCT 2023	
SCALE	AS NOTED

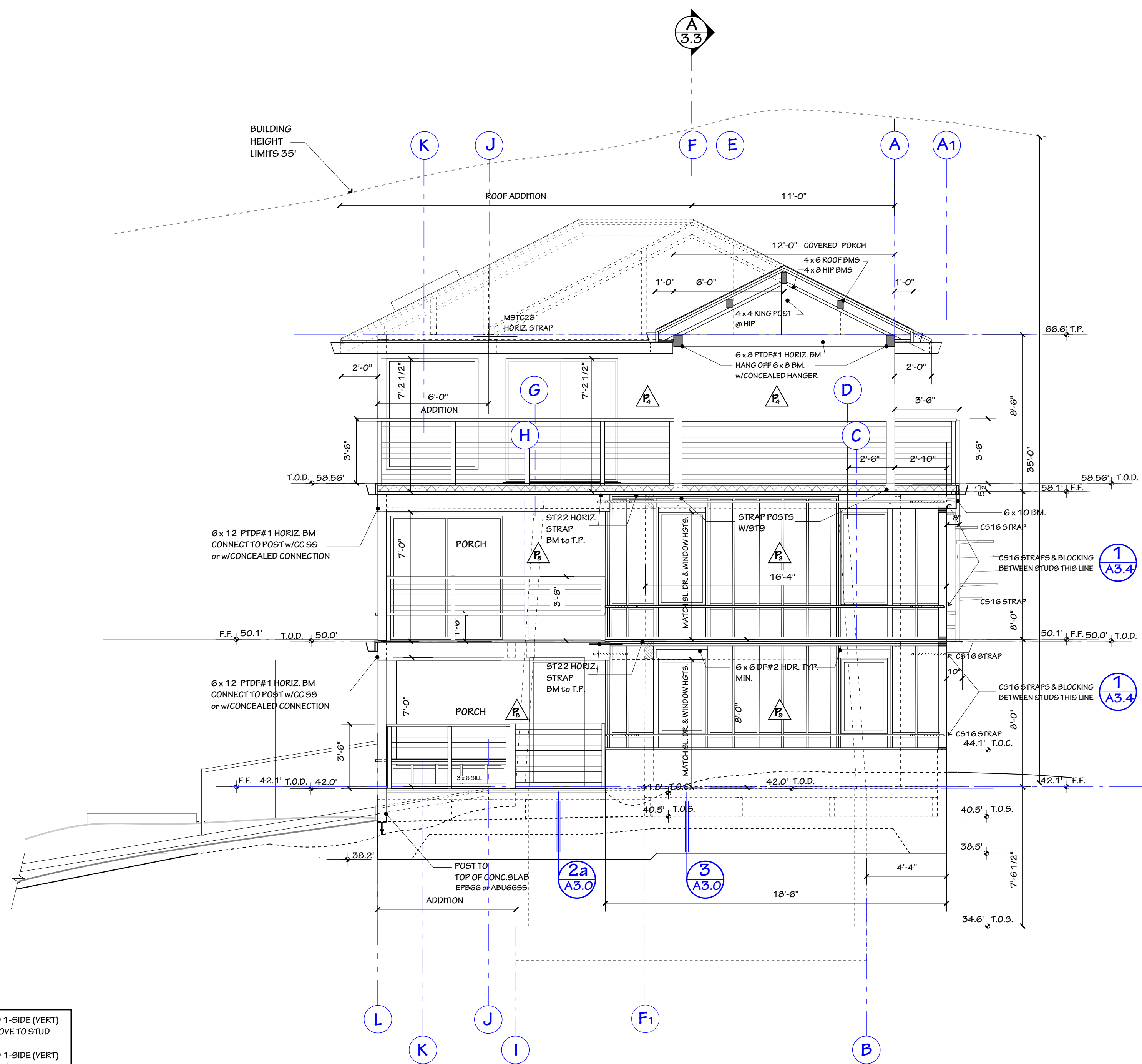
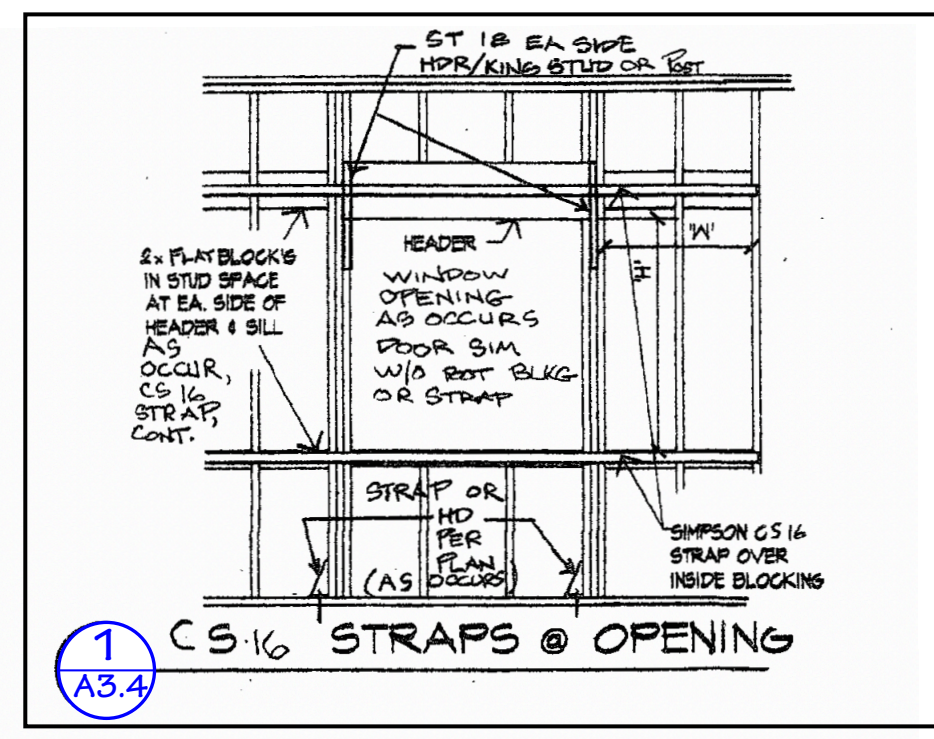
SHEET
A3.3
OF SHEETS

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FRONT ELEVATION (NORTH)
WALL ELEVATIONS - GRID LINE 8/9

- 1 MSTA 49 1-SIDE (VERT) STUD ABOVE TO STUD BELOW
- 2 MSTA 49 1-SIDE (VERT) (2 EA SIDE) DBL STUD ABOVE & BELOW
- 3 HUDS-SDS2.5
- 3a HUDS-SDS2.5



REAR ELEVATION (SOUTH)
WALL ELEVATIONS - GRID LINE 1a

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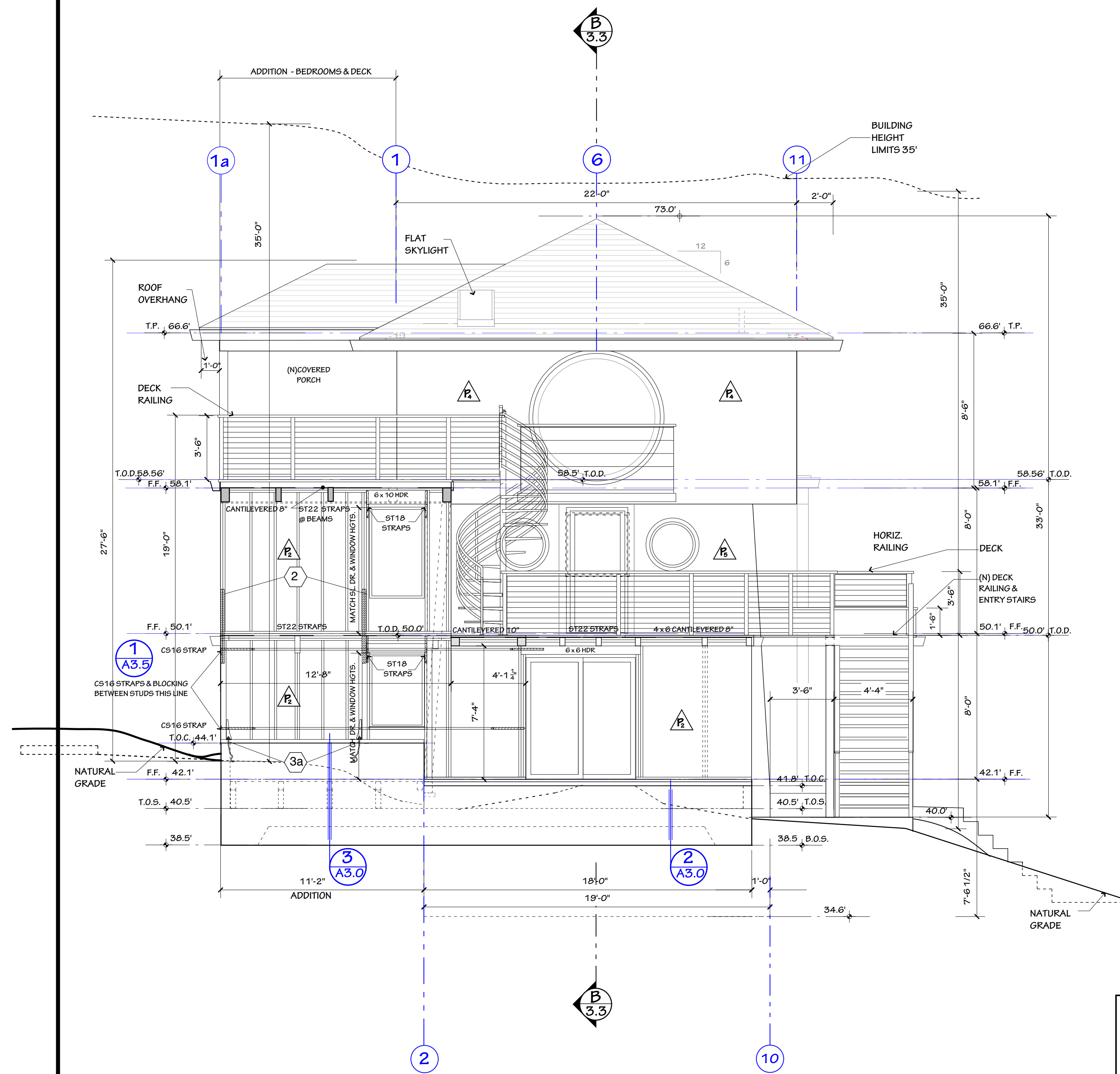
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WALL ELEVATIONS
FRONT (NORTH) REAR (SOUTH)

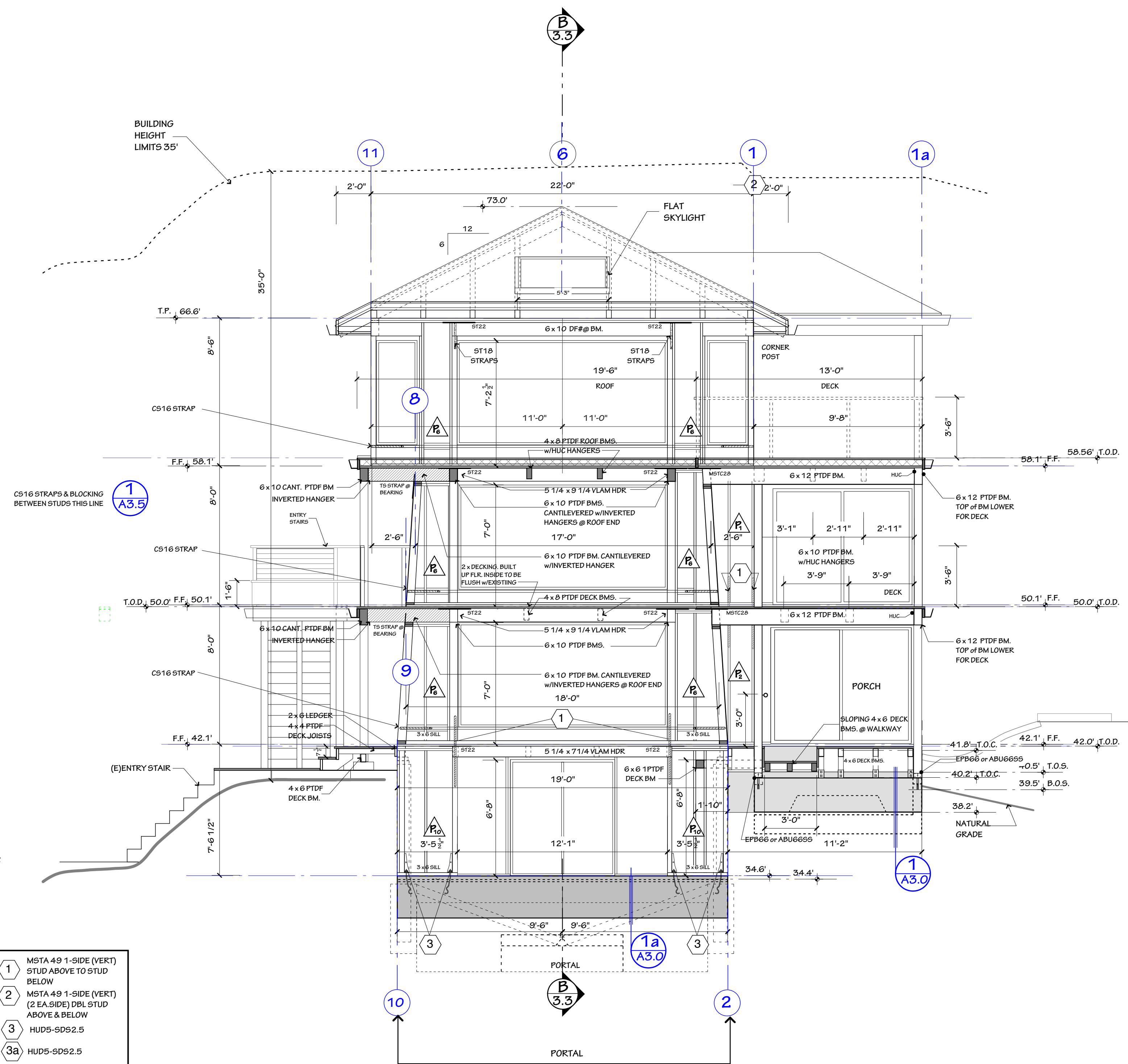
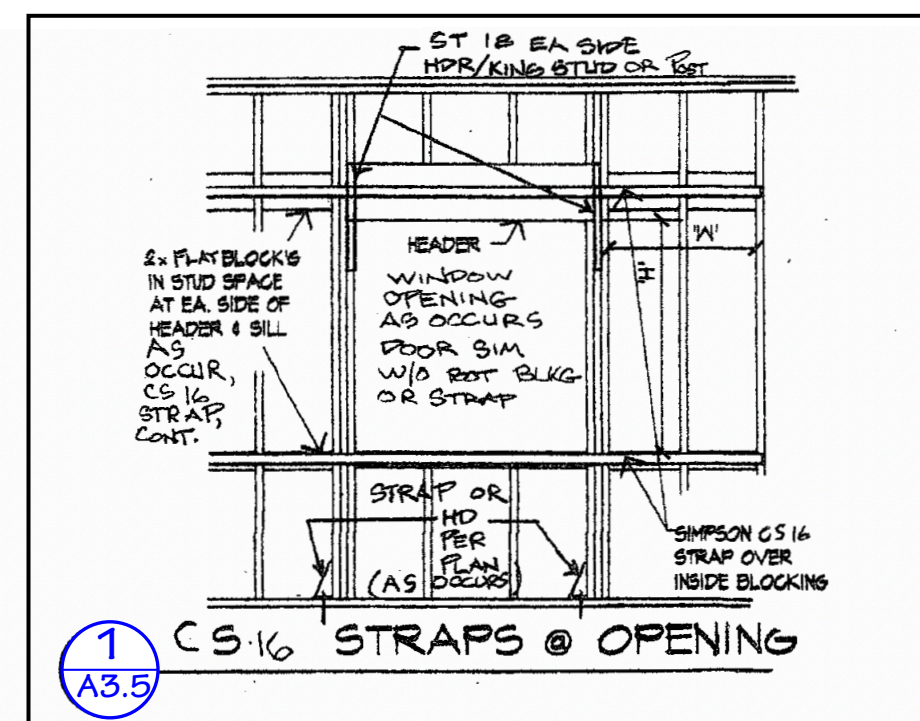
DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A3.4
OF SHEETS



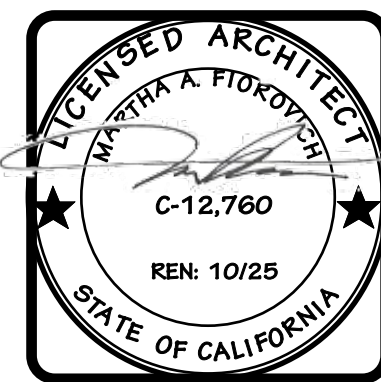
LEFT ELEVATION (EAST)
WALL ELEVATIONS - GRID LINE A1

- 1 MSTA 49 1-SIDE (VERT) STUD ABOVE TO STUD BELOW
- 2 MSTA 49 1-SIDE (VERT) (2 EA-SIDE) DBL STUD ABOVE & BELOW
- 3 HUD5-SDS2.5
- 3a HUD5-SDS2.5



RIGHT ELEVATION (WEST)
WALL ELEVATIONS - GRID LINE L

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WATSONVILLE, CA
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WALL ELEVATIONS
RIGHT (WEST) LEFT (EAST)

DRAWN
MF
OCT 2023
SCALE
AS NOTED

SHEET
A3.5
OF SHEETS

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Professional Engineer Seal for Marsha A. Fiorot, State of California, License C-12,760, Renewal Date 10/23.

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BASEMENT LEVEL
FIRST FLOOR PLAN

SHEETS

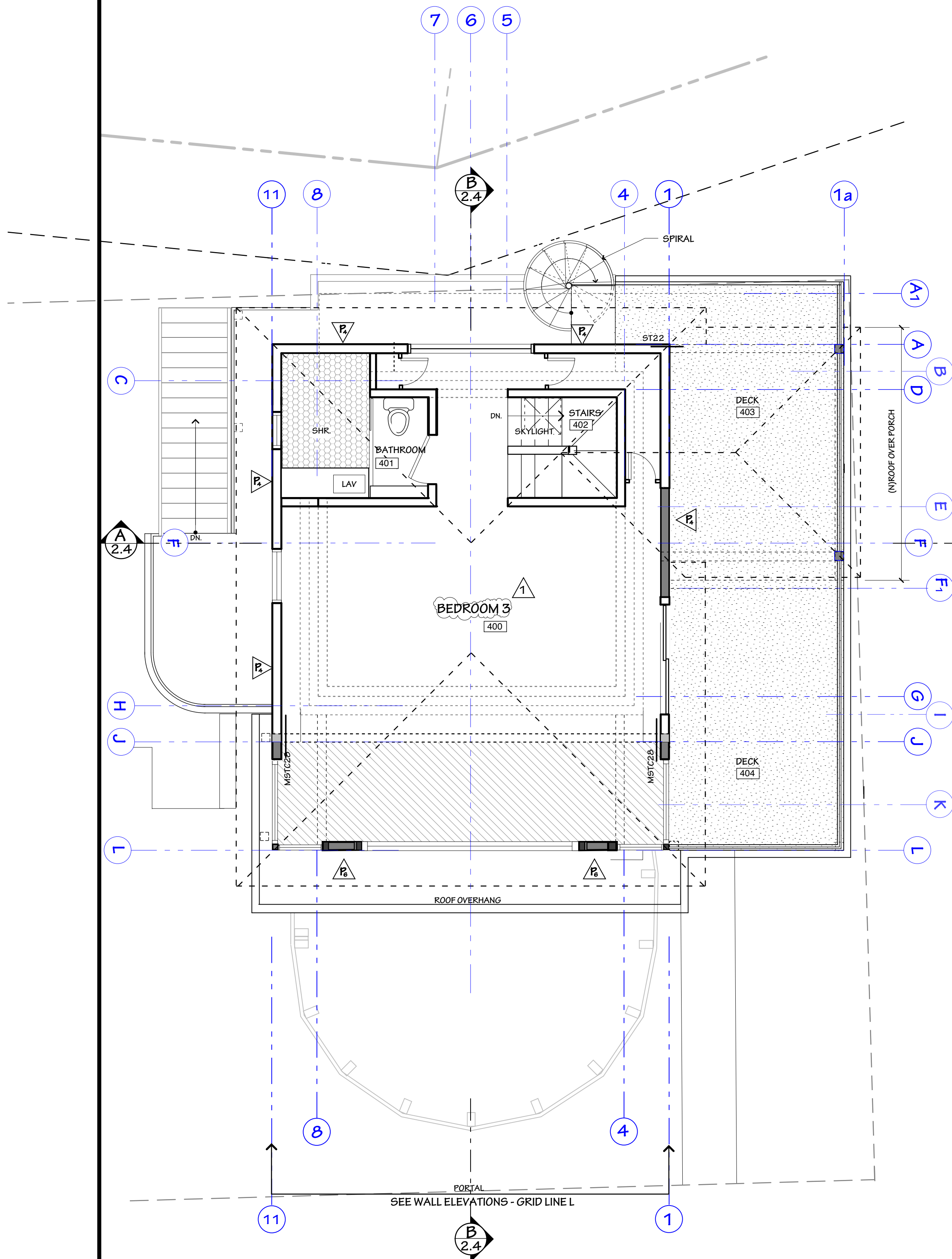


NOTES:

1. See Foundation Plan for Hold Downs.
2. Use one-piece plywood sheets at shear walls 48" or less in width.
3. All plywood edges shall have a minimum dimension of 24".
4. All nails shall be Common nails.
5. Wall framing shall be minimum 2 x 4 @ 16" O/C, unless noted otherwise on plans.
6. All plywood joint and sill nailing shall be staggered.



 (N) 2 x 4 WALLS
 (N) 2 x 6 WALLS

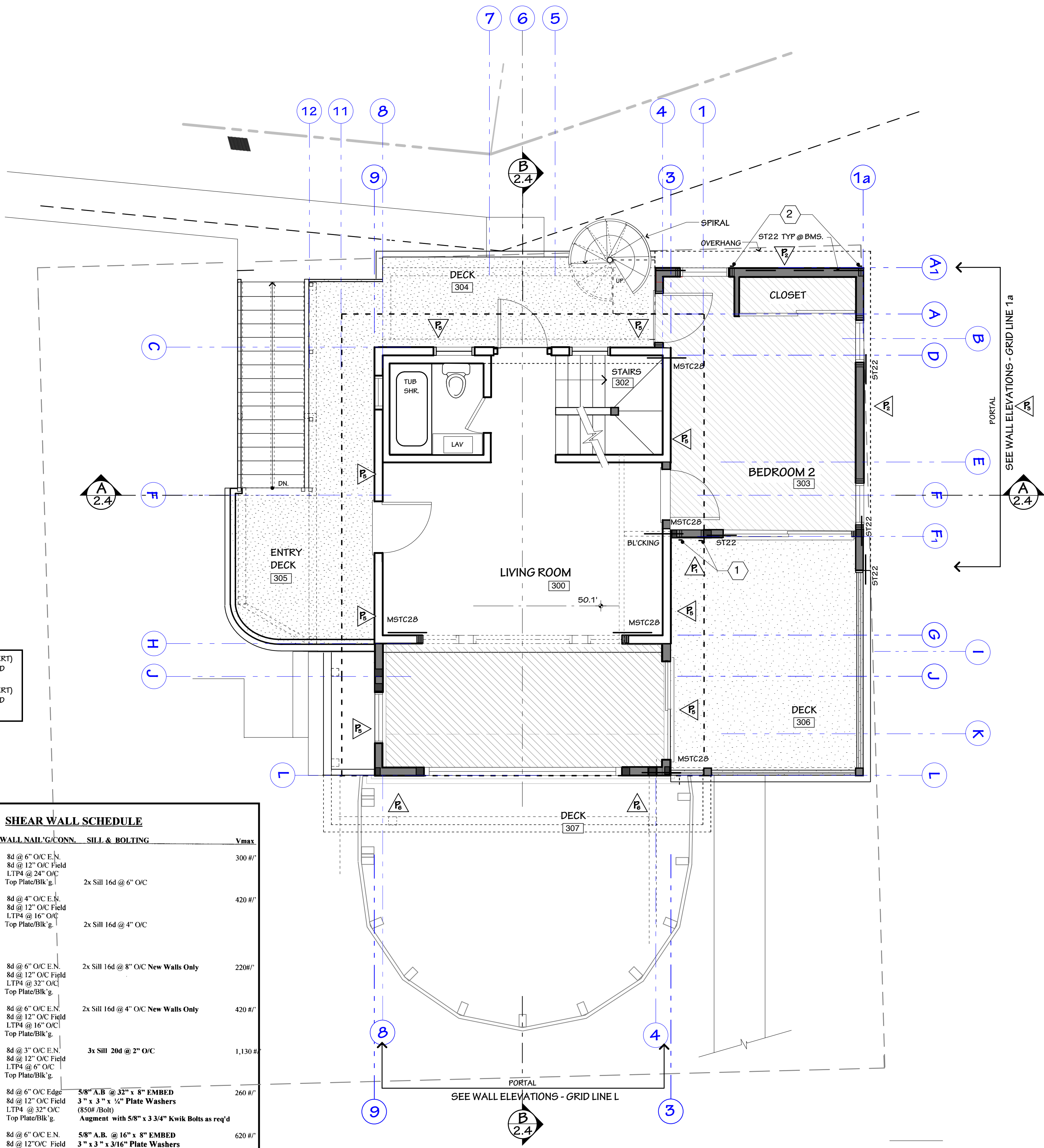


THIRD FLOOR PLAN
SCALE 1/4"=1'-0"

- 1 MSTA 49 1-SIDE (VERT)
STUD ABOVE TO STUD
BELOW
2 MSTA 49 1-SIDE (VERT)
(2 EA SIDE) DBL STUD
ABOVE & BELOW

MK	WALL SHT'G	WALL NAIL'G/CONN.	SILL & BOLTING	Ymax
P1 New Line F 2nd	3/8" PLY 1-SIDE BLK'D EDGES	8d @ 6" O/C E.N. 8d @ 12" O/C Field LTP4 @ 24" O/C Top Plate/Blk'g	2x Sill 16d @ 6" O/C	300 #/'
P2 New Line A' Line F 1st Line 1A 3rd	3/8" PLY 1-SIDE BLK'D EDGES	8d @ 4" O/C E.N. 8d @ 12" O/C Field LTP4 @ 16" O/C Top Plate/Blk'g	2x Sill 16d @ 4" O/C	420 #/'
P3 New NOT USED				
P4 Exist/New Line 11 Line 1 Line A	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 6" O/C E.N. 8d @ 12" O/C Field LTP4 @ 32" O/C Top Plate/Blk'g	2x Sill 16d @ 8" O/C New Walls Only	220#/'
P5 Exist/New Line 9 Line 3 Line D	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 6" O/C E.N. 8d @ 12" O/C Field LTP4 @ 16" O/C Top Plate/Blk'g	2x Sill 16d @ 4" O/C New Walls Only	420 #/'
P6 New Line L	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 3" O/C E.N. 8d @ 12" O/C Field LTP4 @ 6" O/C Top Plate/Blk'g	3x Sill 20d @ 2" O/C	1,130 #/'
P7 Exist Line B	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 6" O/C Edge 8d @ 12" O/C Field LTP4 @ 32" O/C Top Plate/Blk'g	5/8" A.B. @ 32" x 8" EMBED 3" x 3" x 1/2" Plate Washers (850# Bolt) Augment with 5/8" x 3 3/4" Kwik Bolts as req'd	260 #/'
P8 Exist/New Line 10 Line 2	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 6" O/C E.N. 8d @ 12" O/C Field LTP4 @ 12" O/C Top Plate/Blk'g	5/8" A.B. @ 16" x 8" EMBED 3" x 3" x 1/2" Plate Washers (850# Bolt) Augment with 5/8" x 3 3/4" Kwik Bolts as req'd 3x Sill 20d @ 4" O/C New Walls Only	620 #/'
P9 New Line 1A 2nd	3/8" PLY 1-SIDE BLK'D EDGES	8d @ 3" O/C Edge 8d @ 12" O/C Field LTP4 @ 6" O/C Top Plate/Blk'g	5/8" A.B. @ 24" x 8" EMBED 3" x 3" x 1/2" Plate Washers (850# Bolt) 2x Sill 16d @ 4" O/C	450 #/'
P10 New Line L	3/8" PLY 2-SIDES BLK'D EDGES	8d @ 3" O/C Edge 8d @ 12" O/C Field LTP4 @ 6" O/C Top Plate/Blk'g	5/8" A.B. @ 8" x 8" EMBED 3" x 3" x 1/2" Plate Washers (850# Bolt) 3x Sill 20d @ 2" O/C	1,120 #/'

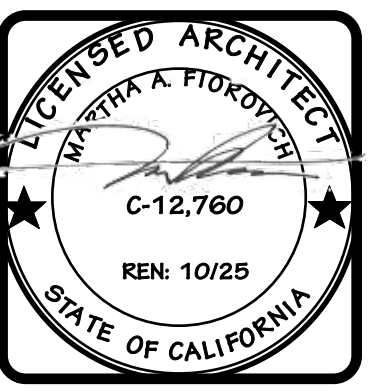
- NOTES:
1. See Foundation Plan for Hold Downs.
2. Use one-piece plywood sheets at shear walls 48" or less in width.
3. All plywood edges shall have a minimum dimension of 24".
4. All nails shall be Common nails.
5. Wall framing shall be minimum 2 x 4 @ 16" O/C, unless noted otherwise on plans.
6. All plywood joint and sill nailing shall be staggered.



SHEAR PLAN - SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

ADDITION
(N)DECK
2 x 4 WALLS
2 x 6 WALLS

REVISIONS	BY
1	MF
2/28/2024	



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SHEAR PLANS
SECOND FLOOR
THIRD FLOOR

DRAWN
MF
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SCALE
AS NOTED

SHEET
A3.7
OF SHEETS

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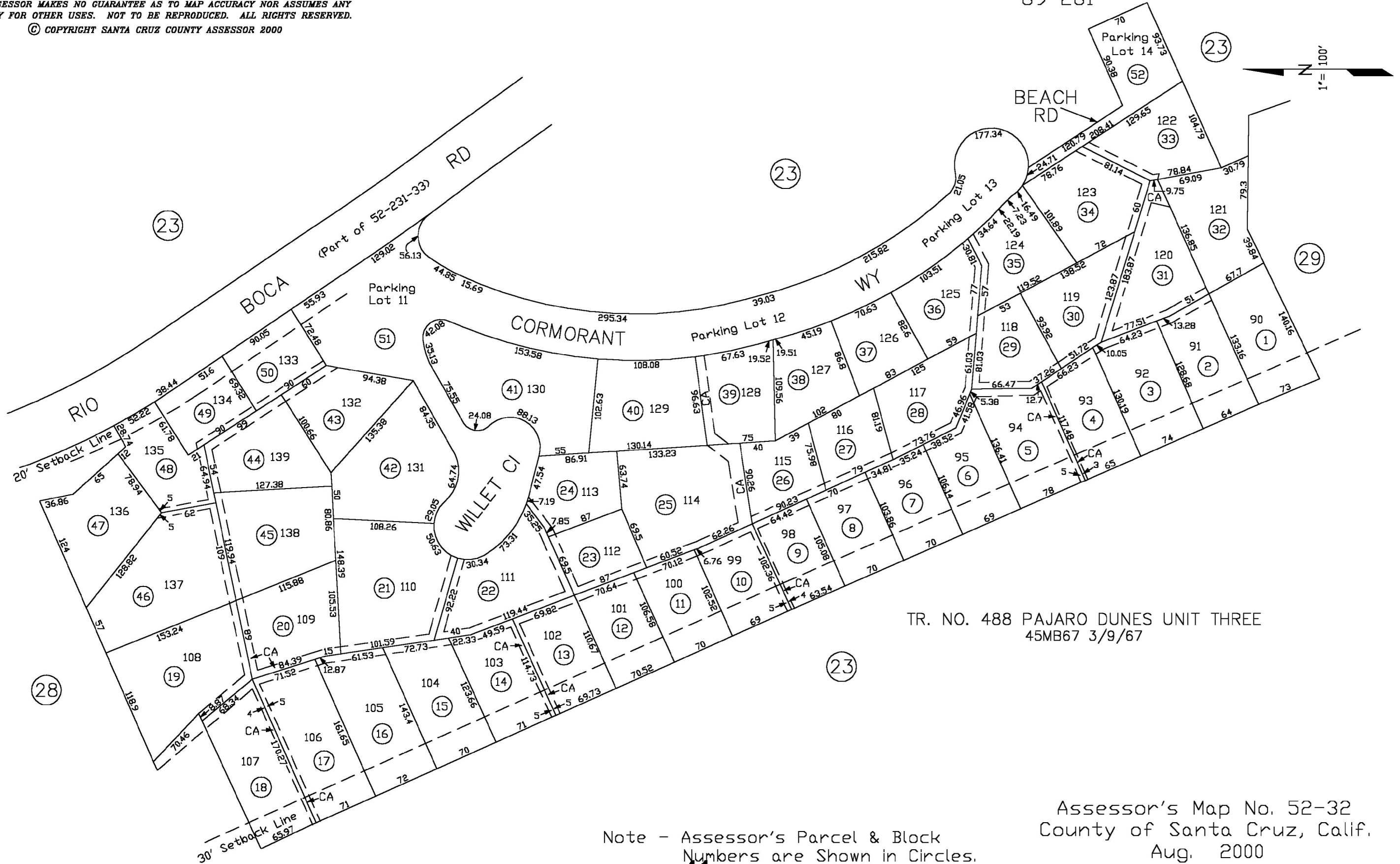
POR. SEC. 25, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-261

52-32

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TR. NO. 488 PAJARO DUNES UNIT THREE
45MB67 3/9/67

Note - Assessor's Parcel & Block
Numbers are Shown in Circles.

Assessor's Map No. 52-32
County of Santa Cruz, Calif.
Aug. 2000

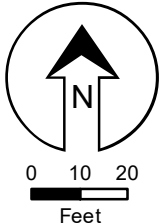


Parcel Location Map



Parcel: 05232126

- Study Parcel
- Assessor Parcel Boundary
- Existing Park

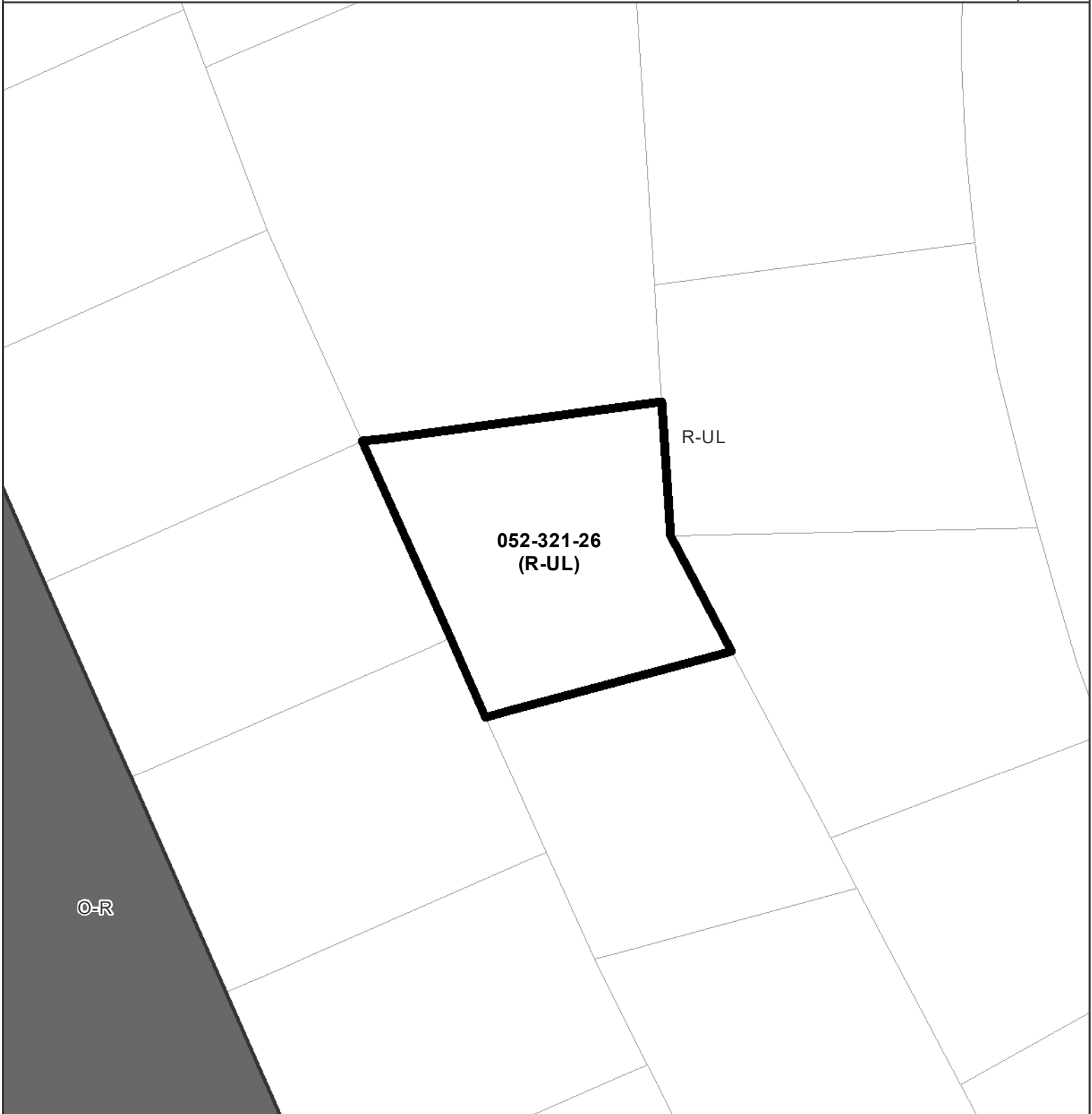






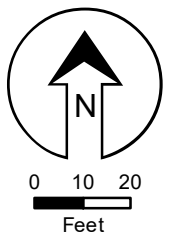
Parcel General Plan Map



Mapped
Area

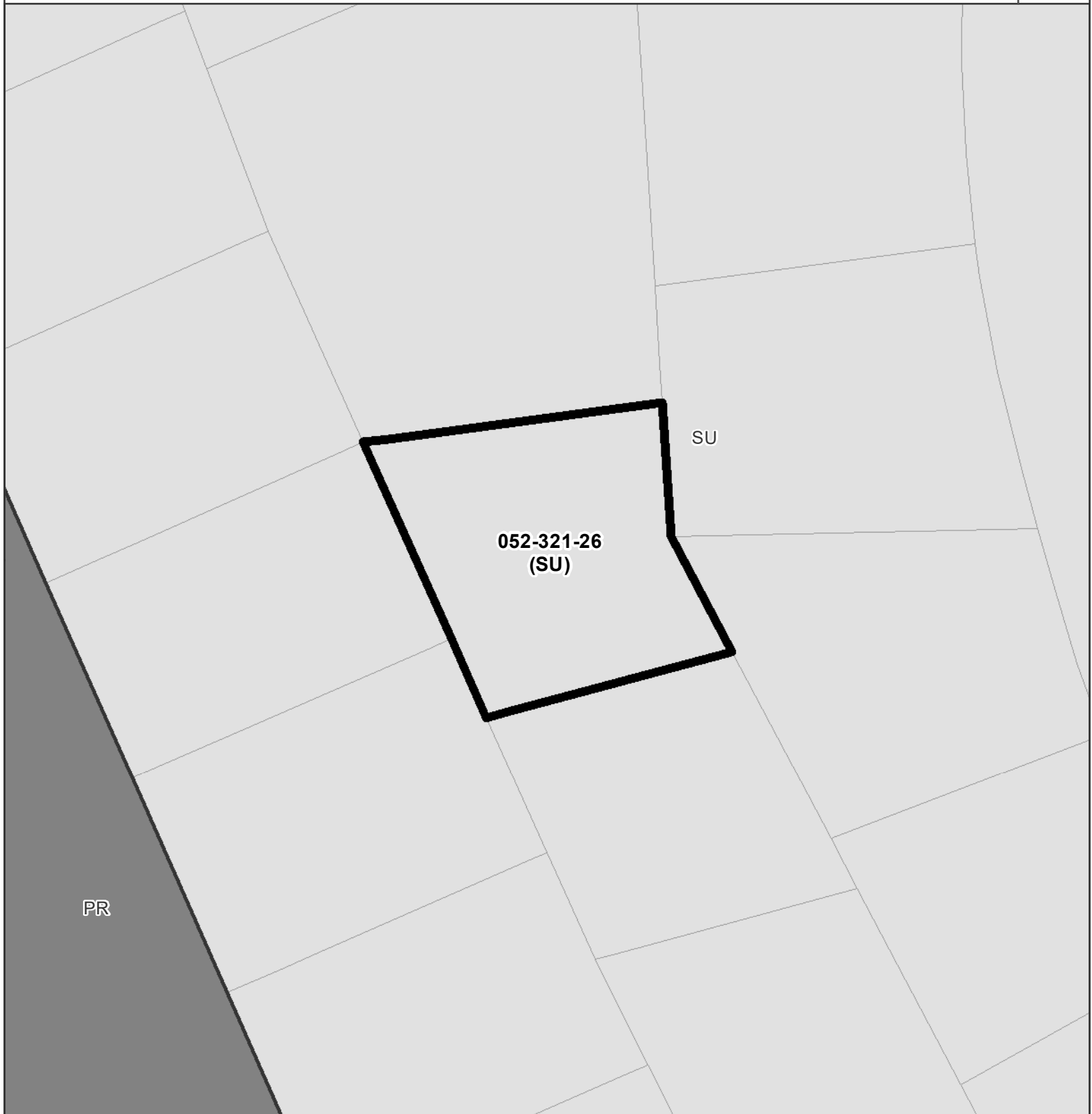


-  O-R *Parks, Recreation & Open Space*
-  R-UL *Res. Urban Low Density*

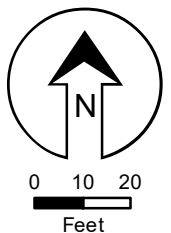




Parcel Zoning Map



- PR Parks, Recreation, & Open Space
- SU Special Use



Parcel Information

Services Information

Urban/Rural Services Line: X Inside (RSL) Outside
Water Supply: City of Watsonville
Sewage Disposal: City of Watsonville
Fire District: CalFire
Drainage District: Zone 7 Flood Control District

Parcel Information

Parcel Size: 6,490 sq ft
Existing Land Use - Parcel: Single family dwelling
Existing Land Use - Surrounding: Pajaro Dunes residential neighborhood
Project Access: Cormorant Way
Planning Area: San Andreas
Land Use Designation: R-UL (Urban Low Density Residential)
Zone District: SU (Special Use)
Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm. X Yes No

Technical Reviews: Biotic Report Review (REV231215), Soils Report Review (REV231216)

Environmental Information

Geologic Hazards: Designated flood zone - coastal beach dunes
Soils: Report reviewed and accepted
Fire Hazard: Not a mapped constraint
Slopes: 10-15%
Env. Sen. Habitat: Beach dunes
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Scenic beach viewshed
Drainage: Drainage review completed
Archeology: Not mapped/no physical evidence on site



County of Santa Cruz

DEPARTMENT OF COMMUNITY DEVELOPMENT AND INFRASTRUCTURE

701 OCEAN STREET, FOURTH FLOOR, SANTA CRUZ, CA 95060-4070
Planning (831) 454-2580 Public Works (831) 454-2160

Matt Machado, Deputy CAO, Director of Community Development and Infrastructure

August 6, 2024

Radoie and Snezana Drmanac
27635 Red Rock Road
Los Altos Hills, CA
rade@completegenomics.com

c/o Marty Fiorovich, A.I.A., Architect
11 Aspen Way
Watsonville, CA 95076
marty@fiorovichgroup.com

Subject: 115 Cormorant Way - Biotic Report Review and Conditioned Biotic Approval

APN: 052-321-26

Application #: REV231215, DISC231493

Attachment 1. Biotic Report

Dear Ms. Fiorovich,

The Planning Division received and reviewed a Biotic Report dated May 20, 2024 prepared by Biotic Resources Group and Bryan Mori Biological Consulting Services for 115 Cormorant Way (Attachment 1). The Biotic Report Review was required because of the presence of sensitive habitat and potential for protected species on this parcel where remodeling an existing single-family residence is proposed. The project is located on a coastal dune in the Pajaro Dunes gated community within the Coastal Zone.

The proposed project includes remodeling the interior of the existing house, adding additional interior space by enlarging the footprint of the house, constructing a new first floor deck, relocating the exterior stairs, and constructing a new access pathway to the home. The proposed project would expand the existing development footprint by approximately 589 square feet resulting in permanent impacts to coastal dune habitat. A 5-foot construction zone outward of the final structure will result in an additional 1,148 square feet of temporary disturbance during construction.

The project also proposes restoration of degraded coastal dune habitat on the parcel. Figure 12 in the attached Biotic Report shows a preliminary layout of areas most suitable for native habitat restoration and enhancement on the parcel.

Baseline Environmental Conditions

The Study Area covered in the biotic report includes the entire approximately 0.15-acre parcel 052-321-26. Within the Study Area, the "Project Impact Area" consists of the approximate location where disturbance from proposed development would occur. The parcel is currently developed with a three-story single-family residence with a lower floor patio, external stairs, and two access pathways.

115 Cormorant Way Biotic Report Review

The Biotic Report identifies three natural community types on the parcel: Coastal Dune Scrub, Degraded Coastal Dune Scrub, and Ice Plant Mat. The parcel also contains areas of bare sand concentrated in previously disturbed locations adjacent to the existing structures and pathways. The majority of the parcel contains Degraded Coastal Dune Scrub. This habitat is considered degraded because, although a few native plant species persist, the dominance of non-native ice plant and European beach grass currently prevents the establishment and persistence of the native plant structure and species composition that would be found in a healthy coastal dune scrub community. Areas identified as Iceplant Mat are characterized by a thick cover of non-native iceplant where very few to no other plant species can grow. Small areas of intact native Coastal Dune Scrub dominated by mock heather and yellow bush lupine also occur on the parcel. Figures 2 and 3, and photos labeled Figures 4-7 in the attached Biotic Report depict the location, nature, and condition of the habitat types identified on the parcel.

Analysis

The Study Area is located on a coastal dune and in its entirety is considered sensitive habitat. The Study Area has potential to support several special-status animal and plant species protected by local, State, and Federal regulations. Tables 2 and 3 of the attached Biotic Report give an overview of the plant and animal species that were evaluated as part of this review.

Coastal Dune Scrub, Dune Plant Habitat, and habitat for special-status species are considered sensitive under Santa Cruz County's Sensitive Habitat Protection ordinance (Chapter 16.32). The purpose of Chapter 16.32 is to minimize the disturbance of biotic communities which are rare or especially valuable because of their special nature or role in an ecosystem.

Biological Resources including special-status species and their habitats and other sensitive natural communities as identified by local policies, CDFW, or USFWS are also protected under the California Environmental Quality Act (CEQA). Additionally, Coastal Dune Scrub, Dune Plant Habitat, and habitat for special-status species are offered special protections under the California Coastal Act as Environmentally Sensitive Habitat Areas (ESHA).

Focused rare-plant surveys were conducted during the evident and identifiable period for special-status plant species with potential to occur. A small colony of Monterey spineflower (Federally Threatened) was identified along the northern property line, paralleling the public walkway. Two small colonies of Monterey paintbrush (locally unique species; CNPS List 4) were also identified on the property. One colony is along the northern property line, paralleling the public walkway and the other occurs next to the western public walkway. The approximate location of these plants is shown in Figure 2 of the Biotic Report. These plants are not located within the Project Impact Area. Conditions have been included below to ensure protection of this species during and after construction. No other special-status plant species were detected on the parcel. Impacts to special-status plants are not expected to occur.

The project site contains potentially suitable habitat for Northern California legless lizard and coast horned lizard, two State Species of Special Concern. In addition, the property and surrounding areas contain potential habitat for nesting birds. Birds of prey and migratory birds are protected under the California Fish and Game Code, as well as the Federal Migratory Bird Treaty Act (MBTA). Under the MBTA, it is unlawful at any time, by any means or in any manner, to pursue, hunt, take, capture, kill, attempt to take, capture, or kill" a migratory bird unless and except as permitted by regulations.

The proposed project will result in approximately 589 square feet of permanent impacts and approximately 1,148 square feet of temporary impacts to coastal dune.

Conditions have been included below to ensure protection of special-status species and sensitive dune habitat during project implementation.

Conclusion

Dune habitat occurs throughout the property and cannot be avoided by an alternative project design. This project involves expansion of the building footprint immediately adjacent to the existing house and would permanently impact approximately 589 square feet. The anticipated impacts were minimized during project design by concentrating improvements within and directly adjacent to the existing developed areas.

Areas of in-tact native dune habitat on the property will be avoided during construction. Conditions are included below to ensure avoidance and/or minimization of impacts to special-status species, their habitats, and other sensitive habitats to the maximum extent possible. All areas of temporary disturbance must be re-vegetated with native dune plant species, and permanent impacts will be compensated for by restoring degraded dune scrub habitat on the parcel at a 3:1 ratio following a restoration plan prepared and implemented by a qualified restoration professional.

There are sensitive habitat constraints on the project site associated with coastal dune scrub habitat, and special-status species that must be considered prior to and during project implementation. Conditions have been included below to ensure that project activities are consistent with County policies for protection of sensitive species and habitats.

If you have any questions regarding this letter, please feel free to contact me by email or telephone at Juliette.Robinson@santacruzcounty.us or 831-454-3156.

Sincerely,



Juliette Robinson
Resource Planner IV, Biologist

CC: Nathan MacBeth, Project Planner
Matt Johnston, Environmental Coordinator
Leah MacCarter, Area Resource Planner

Conditions of Approval

In order to conduct development activities on APN 052-321-26, the Conditions of Approval I through XI below shall be adhered to. These Conditions shall be incorporated into all phases of development for this project (231493) and shall also apply to all future development activities proposed on the property.

Adherence to these conditions will ensure that proposed development is consistent with County policies and will avoid and minimize impacts to sensitive habitats and special-status species.

Environmental Planning Staff shall review all future development plans and building permit applications to ensure conformance with the Conditions below.

General Conditions

- I. To reduce potential impacts to sensitive habitats and special-status species that may result from artificial light, the following shall be adhered to:
 - A. The project shall avoid the installation of any non-essential artificial lighting. If artificial lighting is necessary, the project shall avoid or limit the use of artificial lights during the hours of dawn and dusk, when many wildlife species are most active.
 - B. All essential outdoor lighting shall be limited through the use of timers and/or motion sensors.
 - C. All essential outdoor lighting shall be shielded, cast downward, and directed such that it does not shine off the property into surrounding areas, other parcels, or the night sky.
- II. All temporary and permanent disturbance associated with the project shall be shown on the final project plans as the 'development footprint'. The development footprint shall be delineated on the final project plans with a thick bold **solid** line and must encompass all grading, buildings, retaining walls, utilities, landscaping, patios, vegetation removal, access routes, and deposition of refuse or debris associated with the project.
 - A. All areas outside of the development footprint shall be labeled on the development plans as sensitive habitat and fenced for avoidance during construction.
 - B. Within the development footprint, the area of permanent disturbance shall be clearly labeled and the final square footage of this area included on the plans.
- III. To compensate for impacts to Coastal Dune habitat, and habitat for special-status species, and to comply with the Santa Cruz County General Plan Policy ARC-3.2.1 and SCCC Section 16.32.090 (B)(3), the following shall be adhered to:
 - A. The project shall compensate for permanent impacts to dune habitat through native dune habitat restoration on site at a 3:1 ratio of restoration to permanent impacts. Final permanent impact numbers and required area of compensatory restoration shall be verified during Environmental Planning Review of the building plans.
 - B. All temporarily impacted areas must be restored at a 1:1 ratio.
 - C. Habitat enhancement and/or restoration activities (i.e. removal and ongoing management of invasive species) commensurate with the proposed development shall occur on the remainder of the parcel.

Prior to Issuance of the Building Permit

- IV. A Habitat Restoration Plan prepared by a qualified biologist or restoration professional shall be included with the building permit application for review and approval by Environmental Planning Staff.

The Restoration Plan shall be focused on restoring the native plant structure and species composition of local Coastal Dune habitat on the subject parcel and must include the following minimum elements:

- A. A map of all designated restoration areas on the parcel including locations where temporary disturbance and re-establishment of native habitat shall occur and locations designated for restoration or establishment of native habitat intended to compensate for permanently impacted sensitive habitats at 3:1 ratio. This map shall delineate and label all restored areas as "Protected Habitat Area".
 - B. A planting plan with species, size, and locations of all restoration plantings. These plantings shall occur at sizes and ratios determined by the restoration specialist to adequately restore native habitat while maximizing plant health and survivability of individual plants.
 - C. Plan for removal of non-native species and a management strategy to control re-establishment of invasive non-native species on the entire parcel to help prevent the spread and continued encroachment of invasive species.
 - D. Methods for establishment of local Coastal Dune habitat including specific restoration treatments to promote natural re-establishment of native species and active planting.
 - E. Information regarding any seed collection and transplantation strategies that might be utilized for establishment or re-establishment of plant species.
 - F. Information regarding the methods of irrigation for restoration plantings.
 - G. Information regarding the placement and location of permanent protective signs used to delineate Protected Habitat Areas in the field.
 - H. The Habitat Restoration Plan shall include a 5-year Management Plan for maintenance and monitoring of restored areas, including a proposed mechanism for evaluating success.
- V. Annual reports outlining the progress and success of the restoration plantings and monitoring activities outlined in the 5-year Maintenance and Monitoring Plan shall be submitted to the County Restoration Coordinator: restoration.coordinator@santacruzcounty.us by December 31 of each monitoring year.
- VI. In addition to the required 5-year annual monitoring and reporting, a 10-year monitoring report shall be prepared and submitted to the County Restoration Coordinator: restoration.coordinator@santacruzcounty.us outlining the continued implementation and results of annual Coastal Dune Scrub Management over the 10-year period.
- VII. Any seed mix used for erosion control purposes on exposed soils shall be limited to seeds of native species common to the surrounding habitat and/or sterile seeds.
- VIII. The designated restoration areas on the parcel shall be preserved as Protected Habitat Areas through recording of a Declaration of Restriction on the parcel. The Declaration of Restriction shall be finalized and recorded as part of the Environmental Planning review of the final project plans. Once all reviewing agencies have reviewed and accepted the permit application, the Declaration of Biotic Restriction will be emailed to the owner with instructions. The Declaration of Restriction shall include the following:
- A. Identification of a "Protected Habitat Areas" where development shall not occur in the future.

- B. Specific management strategies to ensure that the Protected Habitat Areas are properly managed to maintain quality native dune habitat.
 - C. Specific restrictions regarding activities that are not allowed within the Protected Habitat Areas in the future.
- IX. Proof of recordation of the final Declaration of Restriction shall be required prior to issuance of the building permit.

Construction Conditions

- X. To protect sensitive habitats and special-status species during project related construction activities, the following shall be adhered to:
- A. Prior to any site disturbance, a pre-construction meeting shall be conducted. The purpose of the meeting will be to ensure that the conditions set forth in the proposed project description and Conditions of Approval are communicated to the various parties responsible for constructing the project. The meeting shall involve all relevant parties including the project proponent, construction supervisor, Environmental Planning Staff, and the project biologist.
 - B. Recommended Avoidance and Minimization measures BIO-1 through BIO-7 and BIO -9 through BIO-12 of the attached Biotic Report dated May 20, 2024 prepared by Biotic Resources Group and Bryan Mori Biological Consulting Services shall be adhered to.
 - C. Every individual working on the Project must attend biological awareness training prior to working on the job site. The training shall be delivered by a qualified biologist and shall include information regarding the location and identification of sensitive habitats and all special-status species with potential to occur in the project area, the importance of avoiding impacts to special-status species and sensitive habitats, and the steps necessary if any special-status species is encountered at any time (see also BIO-4).
 - D. Within 30 days prior to commencement of construction, the location and boundaries of existing special-status plant species identified on the property shall be re-confirmed by a qualified biologist. High visibility construction fencing and/or other protective measures shall be installed around these plants as indicated in Condition 7 below.
 - 1. If special-status plants cannot be entirely avoided during construction, seed collection and transplantation strategies for these species shall be incorporated into the project-specific Restoration Plan outlined in Condition 10 below.
 - E. Prior to commencement of construction, high visibility fencing and/or flagging shall be installed with the assistance of a qualified biologist around the designated development footprint to indicate the limits of work and prevent inadvertent grading, equipment staging, vehicular access, or other disturbance within the adjacent sensitive habitat areas (see also BIO-1 & BIO-9).
 - 2. Intact native dune plants on the parcel shall be protected as sensitive habitat and avoided during construction to the maximum extent possible.
 - 3. No work-related activity including equipment staging, vehicular access, grading and/or vegetation removal shall be allowed outside the designated limits of work.
 - 4. Special-status plants located near or within the project impact area shall be identified and protected with high visibility fencing or flagging and through installation of any other protective barriers (such as silt fencing) identified as necessary by the biologist in the field.
 - 5. The fencing/flagging shall be inspected and maintained daily until project completion.

- F. If a special-status animal is identified at any time prior to or during construction, work shall cease immediately in the vicinity of the individual. The animal shall either be allowed to move out of harm's way on its own or a qualified biologist shall move the animal out of harm's way to a safe relocation site. All sightings of special-status species shall be reported to the County Environmental Coordinator and submitted to the CNDDDB.
- G. To avoid impacts to nesting birds, the following shall be adhered to (See also BIO-10 through BIO-12):
 - 6. Schedule construction during the non-nesting season (September 1st-February 1st) if possible. If commencement of project activity begins outside of the February 1st to August 31st nesting season, there will be no need to conduct a preconstruction survey for active nests.
 - 7. If project activities are to commence between February 1st and August 31st, a survey for active bird nests shall be conducted by a qualified biologist within two weeks prior to the start of such activity. The survey area shall include the project area, and a survey radius around the project area of 50 feet for MBTA birds, 250 feet for birds of prey.
 - 8. If no active bird nest is found, then no further avoidance and minimization measures are necessary.
 - 9. If active nest(s) are found within the survey area the County Environmental Coordinator shall be notified immediately. The biologist shall establish an avoidance buffer that will provide adequate protection specific to the species, will monitor the nest as needed, and advise the applicant and the County when all young have fledged the nest. Commencement of work may begin only after fledging is complete.
 - 10. If the biologist determines that a smaller avoidance buffer will provide adequate protection for nesting birds, a proposal for alternative avoidance/protective measures, potentially including a smaller avoidance buffer and construction monitoring, may be submitted to the County Environmental Coordinator for review and approval prior to removal of vegetation, use of heavy equipment, or other construction activities.
 - 11. If construction activity stops for more than two weeks during the nesting season (February 1st - August 31st) a new survey shall be conducted prior to re-commencement of construction.

XI. Prior to final building inspection the following shall occur:

- A. Establishment and planting of all restoration areas as outlined in the final approved Habitat Restoration Plan and placement of protective signs around the Protected Habitat Areas shall be inspected and approved by Environmental Planning staff.

A copy of this biotic approval, including all attachments, should be submitted with any future permit applications.



PAJARO DUNES ASSOCIATION

House 115 – Preliminary Approval of Plans

3/21/23

Rada and Ana Drmanac
27635 Red Rock Road
Los Altos Hills, CA 94022

Dear Rada and Ana Drmanac:

The Pajaro Dunes Association Design Committee (PDADC) has granted preliminary approval of your design submission (dated January 2023 and noted as revision #4) that was presented at their March 14th, 2023 meeting. This plan presents a deck that is flush with the proposed building on the ocean side.

After obtaining permits from Santa Cruz County please return to the PDADC for final approval and include any modifications to the present plans and final materials and colors selections.

The Design Committee reviews the design and aesthetics of submitted plans. Permitting, engineering and other hazard mitigations are the responsibility of the homeowner. We thank you for working with us through this process and hope that you enjoy the updates to your home.

Sincerely,

FOR THE DESIGN COMMITTEE

Sarah Mansergh
Secretary
Pajaro Dunes Association Design Committee
dc.pajarodunes@gmail.com
831-818-9253