

**LAND TRUST OF SANTA CRUZ COUNTY**

## REFERENCE SYMBOLS

## GENERAL ABBREVIATIONS

## ENVIRONMENTAL NOTES

- ## GENERAL NOTES

- AREA MAP



SECTION G - GENERAL

## SECTION G - GENERAL

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PROJECT TEAM:

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**ELECTRICAL ENGINEER**  
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(408) 282-1500

## PROJECT MAP



## CALIFORNIA BUILDING CODE


## CALIFORNIA BUILDING CODE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.  
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.  
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.  
2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.  
2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.  
2022 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.  
2022 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.  
2022 C.F.R. PUBLISHED LIST OF THE STATE FIRE MARSHAL'S REGULATIONS  
2022 NFPA 72 - NATIONAL FIRE ALARM CODE WITH CALIFORNIA AMENDMENTS

## PROJECT DESCRIPTION

THIS PROJECT IS LOCATED IN A FEMA SPECIAL FLOOD HAZARD AREA PARCEL AND THE BFE IN THIS AREA IS 17FT (NAVD 88). THIS PROJECT INTENDS TO REPLACE AN EXISTING BARN AT WATSONVILLE SLOUGH FARM. TWO NEW PREFABRICATED RESTROOM BUILDINGS, PICNIC AREAS, AND FARMWORKER HOUSING. ADA ACCESSIBLE WALKWAYS AND PARKING FACILITIES WILL BE ADDED TO ALLOW FOR PUBLIC ACCESS. THE PROJECT WILL CONNECT TO, AND MODIFY EXISTING SITE UTILITIES. THE WORK GENERALLY INCLUDES THE FOLLOWING DISCIPLINES:

- SELECTIVE DEMOLITION
- TREE PROTECTION
- EXISTING UTILITY PROTECTION
- GRADING & EROSION CONTROL
- SITE HARDSCAPE & SOFTSCAPE
- BARN STRUCTURE
- PRE-FABRICATED RESTROOM BUILDINGS
- CURB & GUTTER



COVER SHEET

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
AND TRUST OF SANTA CRUZ COUNTY  
27275 LEE ROAD - WATSONVILLE, CA 95076  
APN: 052-081-37 052-081-35 052-081-34

AGENCY APPROVAL

REVISIONS		
NO.	DATE	PURPOSE
1	02. 01. 24	PLANNING SUBMITTA
2	05. 01. 24	PLANNING SUBMITTA

DRAWN BY • JB

CHECKED • CH

SCALE •

DATE 05.01.2024

JOB	220009.00
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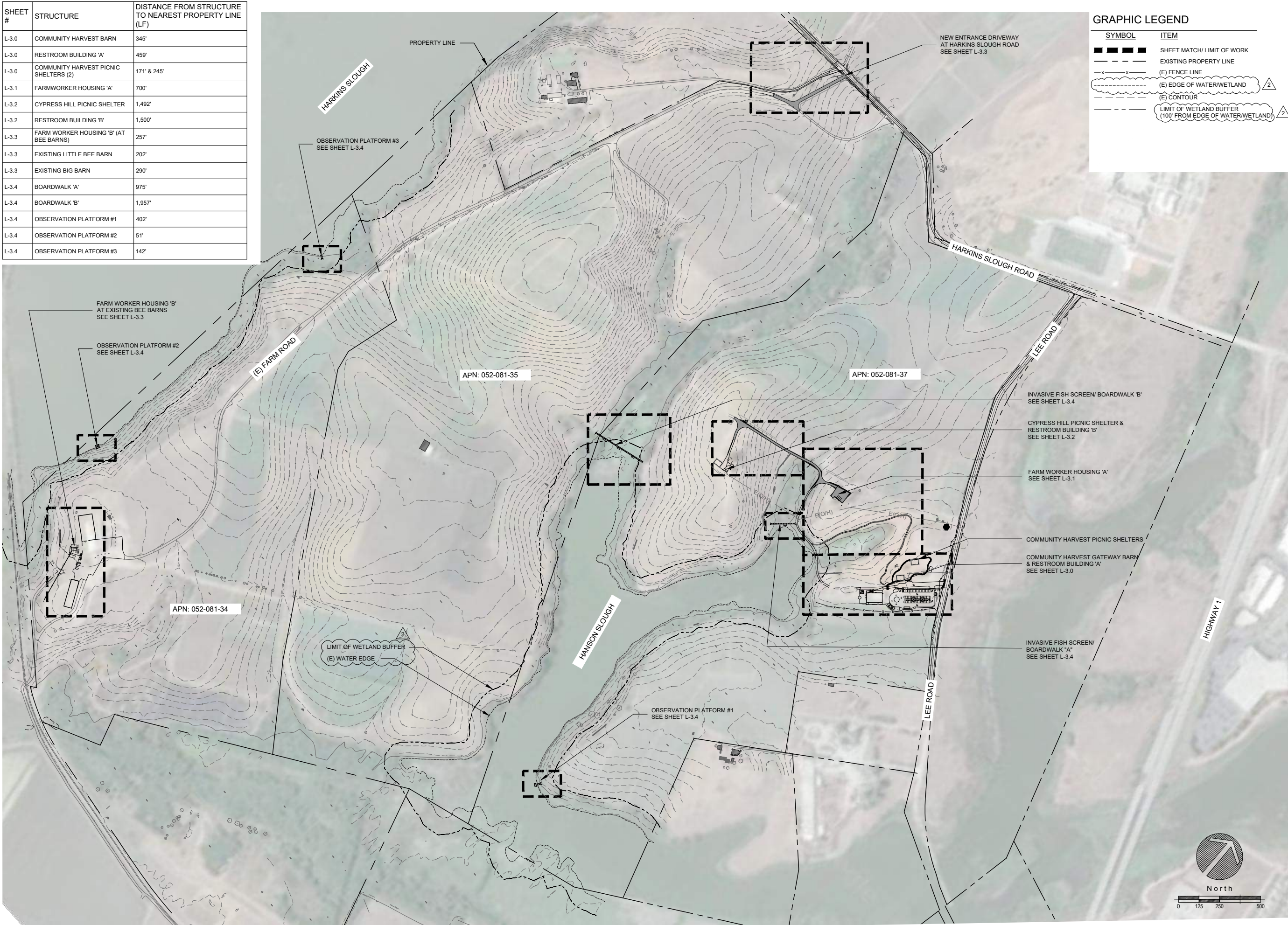
COVER SHEET

SHEET

# G-1.0



SHEET #	STRUCTURE	DISTANCE FROM STRUCTURE TO NEAREST PROPERTY LINE (LF)
L-3.0	COMMUNITY HARVEST BARN	345'
L-3.0	RESTROOM BUILDING 'A'	459'
L-3.0	COMMUNITY HARVEST PICNIC SHELTERS (2)	171' & 245'
L-3.1	FARMWORKER HOUSING 'A'	700'
L-3.2	CYPRESS HILL PICNIC SHELTER	1,492'
L-3.2	RESTROOM BUILDING 'B'	1,500'
L-3.3	FARM WORKER HOUSING 'B' (AT BEE BARNS)	257'
L-3.3	EXISTING LITTLE BEE BARN	202'
L-3.3	EXISTING BIG BARN	290'
L-3.4	BOARDWALK 'A'	975'
L-3.4	BOARDWALK 'B'	1,957'
L-3.4	OBSERVATION PLATFORM #1	402'
L-3.4	OBSERVATION PLATFORM #2	51'
L-3.4	OBSERVATION PLATFORM #3	142'



GRAPHIC LEGEND

SYMBOL	ITEM
—	SHEET MATCH/ LIMIT OF WORK
- - -	EXISTING PROPERTY LINE
- x - x -	(E) FENCE LINE
~~~~~	(E) EDGE OF WATER/WETLAND
- - -	(E) CONTOUR
~~~~~	LIMIT OF WETLAND BUFFER (100' FROM EDGE OF WATER/WETLAND)

**SSA**  
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crla no. 2805

**NO FOR CONSTRUCTION**

**OVERALL SITE PLAN**  
WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
LAND TRUST OF SANTA CRUZ COUNTY  
275 LEE ROAD - WATSONVILLE, CA 95076  
APN: 052-081-37, 052-081-35, 052-081-34

AGENCY APPROVAL

REVISIONS  
NO. DATE PURPOSE  
1 02.01.24 PLANNING SUBMITTAL  
2 05.01.24 PLANNING SUBMITTAL

DRAWN BY • JB  
CHECKED • CH  
SCALE • 1"=250'  
DATE • 05.01.2024  
JOB • 220009.00

**OVERALL SITE PLAN**  
SHEET  
**L-1.0**



GRAPHIC LEGEND

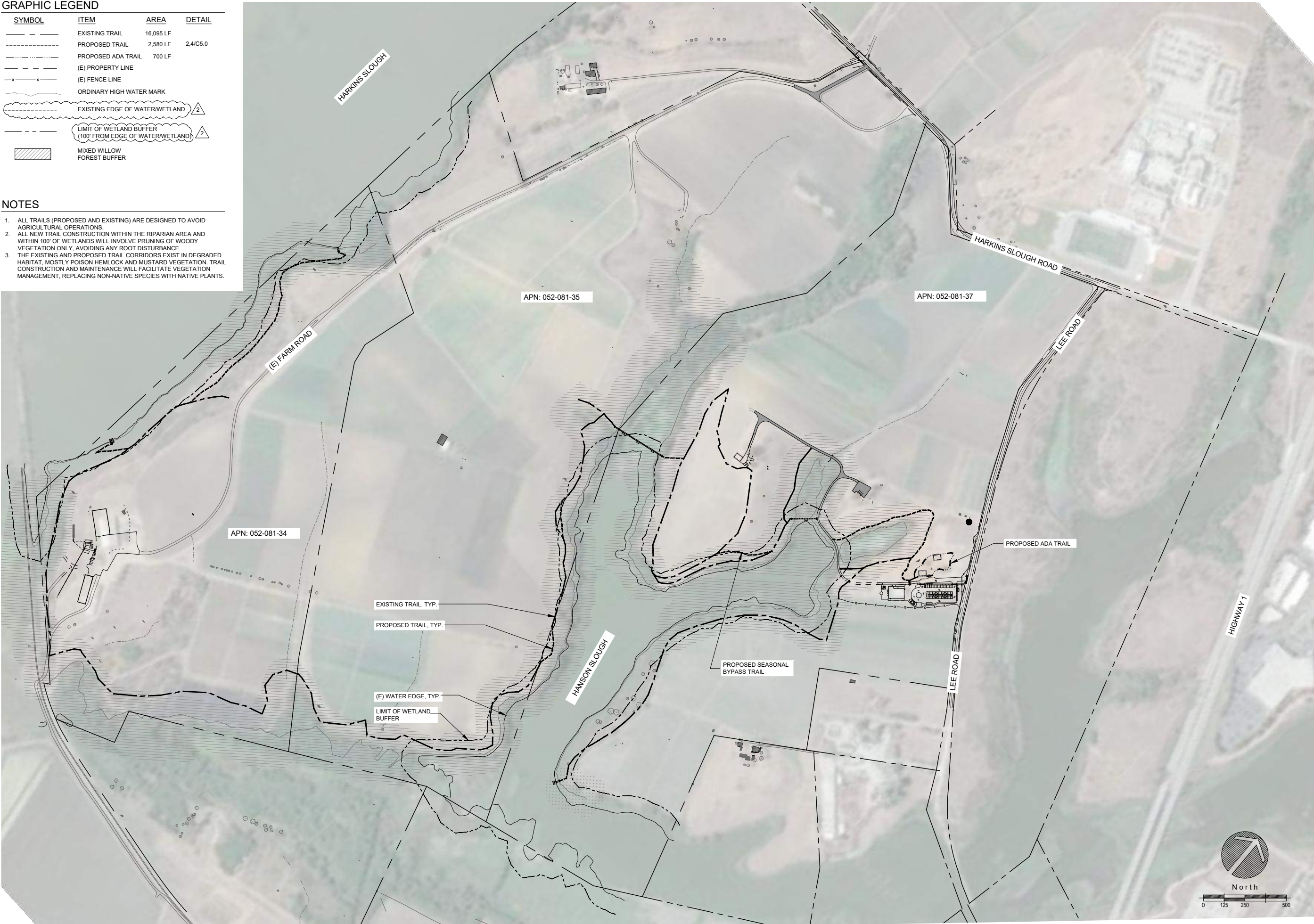
SYMBOL	ITEM	AREA	DETAIL
---	EXISTING TRAIL	16,095 LF	
----	PROPOSED TRAIL	2,580 LF	2,4/C5.0
----	PROPOSED ADA TRAIL	700 LF	
- - - -	(E) PROPERTY LINE		
- x - x -	(E) FENCE LINE		
~~~~~	ORDINARY HIGH WATER MARK		
~~~~~	EXISTING EDGE OF WATER/WETLAND		2
-----	LIMIT OF WETLAND BUFFER (100' FROM EDGE OF WATER/WETLAND)		2
	MIXED WILLOW FOREST BUFFER		

- NOTES
1.

ALL TRAILS (PROPOSED AND EXISTING) ARE DESIGNED TO AVOID AGRICULTURAL OPERATIONS.
2.

ALL NEW TRAIL CONSTRUCTION WITHIN THE RIPARIAN AREA AND WITHIN 100' OF WETLANDS WILL INVOLVE PRUNING OF WOODY VEGETATION ONLY, AVOIDING ANY ROOT DISTURBANCE.
3.

THE EXISTING AND PROPOSED TRAIL CORRIDORS EXIST IN DEGRADED HABITAT, MOSTLY POISON HEMLOCK AND MUSTARD VEGETATION. TRAIL CONSTRUCTION AND MAINTENANCE WILL FACILITATE VEGETATION MANAGEMENT, REPLACING NON-NATIVE SPECIES WITH NATIVE PLANTS.



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NO FOR CONSTRUCTION

STATE OF CALIFORNIA

OVERALL TRAIL PLAN

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
LAND TRUST OF SANTA CRUZ COUNTY  
275 LEE ROAD - WATSONVILLE, CA 95076  
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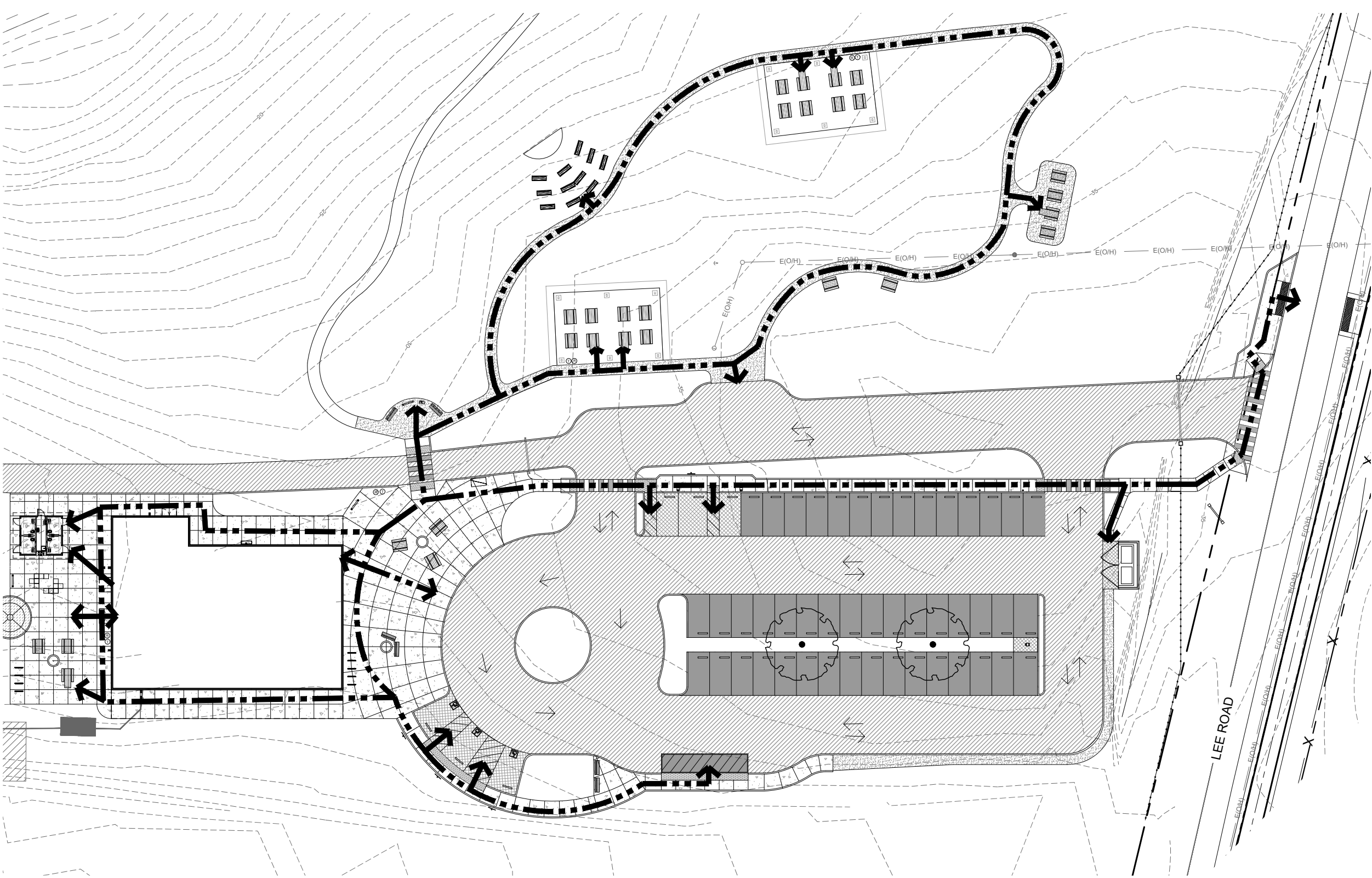
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OVERALL TRAIL PLAN

SHEET

L-1.1



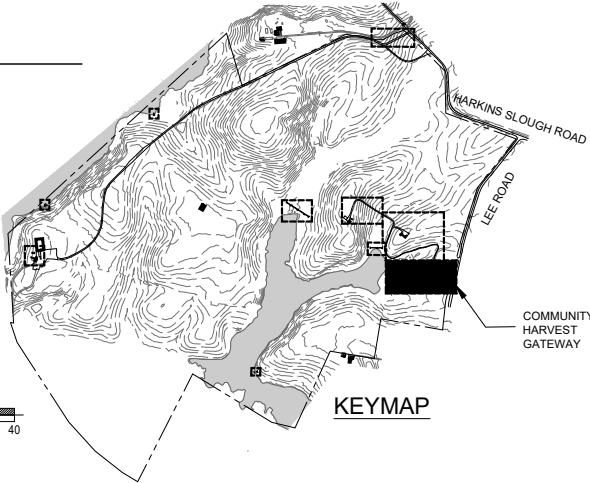
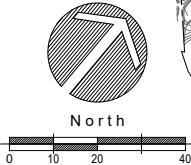


COMMUNITY HARVEST GATEWAY

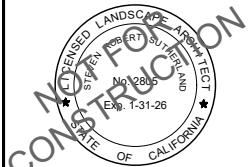
ACCESSIBILITY AND INCLUSIVITY LEGEND

--- PROPOSED ACCESSIBLE PATH OF TRAVEL

NOTE: AS INDICATED ON PLAN, A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES EXCEEDING 1/4", AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT AND CROSS-SLOPE DOES NOT EXCEED 2%, AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND FREE OF PROTRUDING OBJECTS GREATER THAN 4" FROM A WALL ABOVE 27" AND BELOW 80".



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**ACCESSIBLE ROUTE**  
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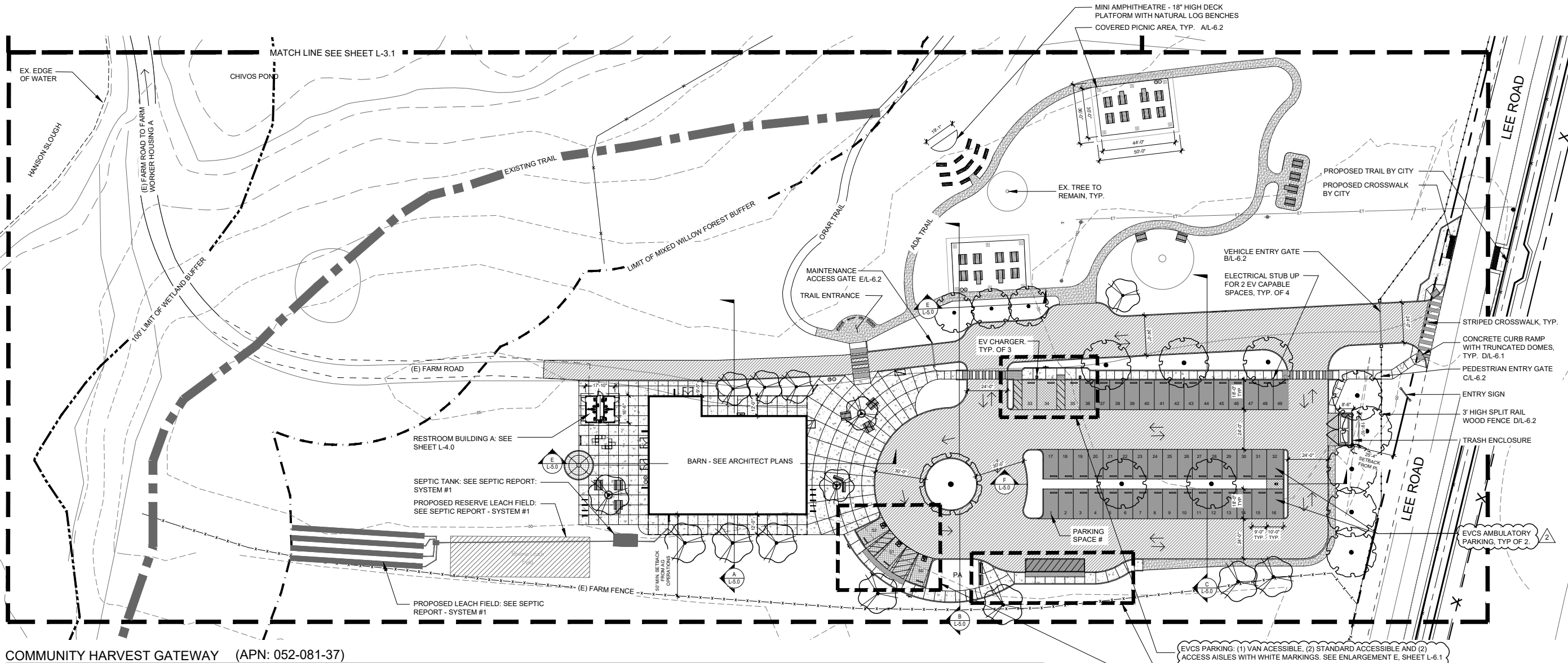
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CHECKED	•	CH
SCALE	•	1"=20'-0"
DATE	•	05.01.2024
JOB	•	220009.00

ACCESSIBLE ROUTE

SHEET

L-1.2





COMMUNITY HARVEST GATEWAY (APN: 052-081-37)

GRAPHIC LEGEND

SYMBOL	ITEM
X/L-0.0	DETAIL REFERENCE
X/L-0.0	SHEET REFERENCE
	SHEET MATCH/LIMIT OF WORK
	EXISTING EDGE OF WATER/WETLAND
	LIMIT OF MIXED WILLOW FOREST BUFFER
	LIMIT OF WETLAND BUFFER (100' FROM EDGE OF WATER/WETLAND)
	EXISTING PROPERTY LINE
	EXISTING TRAIL
	CONCRETE JOINT
	PROPOSED 3' FENCE
	PROPOSED PERVIOUS CONCRETE PAVING: VEHICULAR RATED
	PROPOSED STANDARD CONCRETE PAVING: TYPE 02 - PEDESTRIAN RATED
	PROPOSED STANDARD CONCRETE PAVING: TYPE 01 - TRAFFIC RATED
	PROPOSED INTEGRAL COLORED CONCRETE PAVING
	PROPOSED DECOMPOSED GRANITE PAVING
	PROPOSED ASPHALT
	MILL & OVERLAY ASPHALT PAVING
	CLASS II BASE ROCK FARM ROAD
	TRUNCATED DOMES

SITE FURNISHING LEGEND

	PROPOSED PICNIC TABLE
	PROPOSED ADA PICNIC TABLE
	PROPOSED BENCH
	PROPOSED TRASH AND RECYCLING RECEPTACLE
	PROPOSED BIKE RACKS
	PROPOSED TRAIL MAP/COMMUNITY ANNOUNCEMENT BOARD
	PROPOSED ENTRY SIGN
	PROPOSED DRINKING FOUNTAIN & WATER BOTTLE FILL STATION
	PROPOSED MAGLIN - PIXEL BENCH BLOCKS
	PROPOSED DUAL SIDED BIKE LOCKER
	PROPOSED EV CHARGING STATION

TREE SCHEDULE

SYMBOL	TREE TYPE	CONTAINER SIZE	QTY
	DECIDUOUS	24" BOX	15
	EVERGREEN	24" BOX	16
	EXISTING TREE TO REMAIN		3

SHADE TREE CALCULATION

SPACE	SPACE AREA (SQ FT)	TREE QTY	SHADE AREA (SQ FT)	% SHADE COVERAGE
PARKING	26,422	15	14,430	55%
HARDSCAPE	37,428		15,392	49%
LANDSCAPE	11,652	8	25,974	223%

SITE PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO UTILITY LOCATIONS, PROPERTY LINES, EXISTING TREE CONDITIONS, AND LIMITS OF WORK. NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT USA UNDERGROUND SERVICE ALERT (800) 642-2444 PRIOR TO COMMENCEMENT OF CONSTRUCTION DEMOLITION, GRADING OR EXCAVATION.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING TREES AND VEGETATION THAT IS NOT SCHEDULED FOR DEMOLITION. REFER TO TREE PROTECTION NOTES. THIS MAY INCLUDE OFF-SITE TREES WHERE THE CANOPY OR ROOT SYSTEM EXTENDS BEYOND THE PROPERTY LINE.
- ACCESS ROUTES AND STAGING AREAS ARE TO BE STRICTLY ADHERED TO.
- UPON COMPLETION OF ACCESS AND STAGING, THE SITE SHALL BE REPAIRED TO "AS WAS" OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTINUALLY REFER TO ALL DRAWINGS, ADDENDA, REPORTS AND SPECIFICATIONS DURING THE LIFE OF THE PROJECT FOR CONSTRUCTION INFORMATION.
- THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO THE EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
- ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND INSPECTED OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
- CONTRACTOR IS SOLELY RESPONSIBLE TO ARRANGE FOR ALL SITE INSPECTIONS AND OBSERVATIONS DESCRIBED IN THE CONTRACT DOCUMENTS. MINIMUM LEAD TIME FOR INSPECTION/OBSERVATION REQUESTS IS 48 HOURS.
- REFER TO TECHNICAL SPECIFICATION AND GEOTECHNICAL INVESTIGATION REPORT FOR SUB-BASE AND COMPACTION REQUIREMENTS.

BIKE PARKING CALCULATION

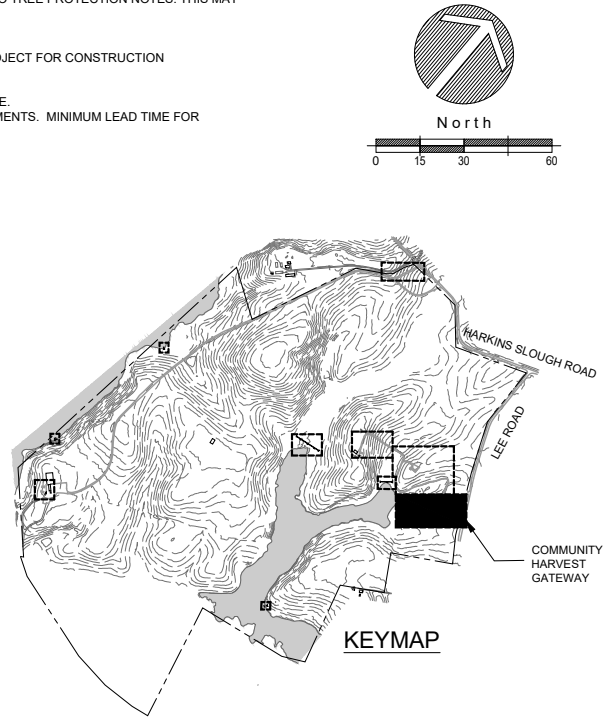
TOTAL # OF BIKE PARKING SPACES	# OF CLASS II BIKE PARKING	# OF CLASS I BIKE PARKING (BIKE LOCKER)
11	9	2

ADA PARKING CALCULATION

TOTAL # OF PARKING SPACES	# OF VAN ACCESSIBLE SPACES	# OF STANDARD ACCESSIBLE SPACES
52	1	2

EV CHARGING CALCULATION

TOTAL # OF ACTUAL PARKING SPACES	# OF EV CAPABLE SPACE PROVIDED (PER CGBC 5.106.5.3.1)	# OF EVCS PROVIDED (PER CGBC 5.106.5.3.1)	# OF EVCS PROVIDED BY TYPE (PER CBC TABLE 11B-228.3.2.1)
52	14 TOTAL: 3 CHARGERS = 6 EVCS 4 STUB UPS = 8 CAPABLE	6	1 VAN ACCESSIBLE (PARKING SPACE #34) 2 STANDARD ACCESSIBLE (PARKING SPACE #33 & #35) 2 AMBULATORY (PARKING SPACE #16 & #32)



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STATE OF CALIFORNIA  
No. 2805  
Exp. 7-31-26

**SITE PLAN - COMMUNITY HARVEST GATEWAY**

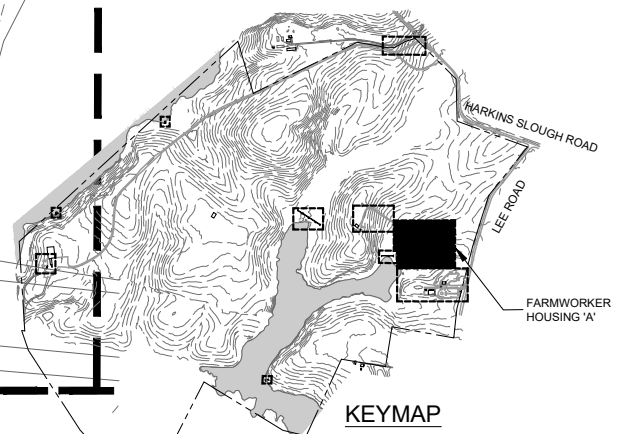
WATSONVILLE SLOUGH FARM  
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APN: 052-081-37, 052-081-35, 052-081-34

AGENCY APPROVAL

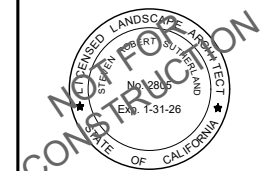
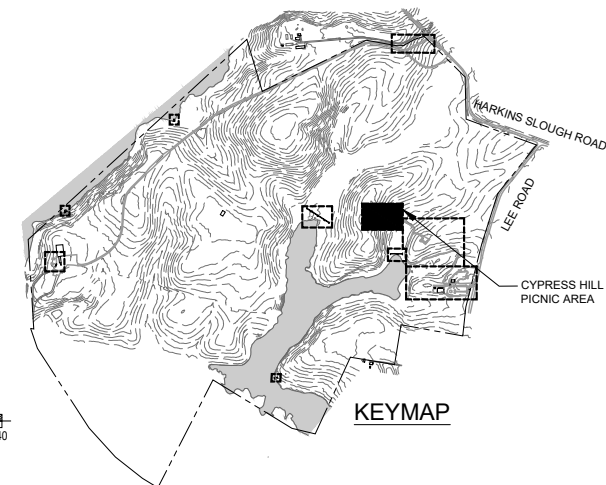
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	05	01.24	PLANNING SUBMITTAL

DRAWN BY	JB
CHECKED	CH
SCALE	1"=30'-0"
DATE	05.01.2024
JOB	220009.00









WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
LAND TRUST OF SANTA CRUZ COUNTY  
27275 LEE ROAD - WATSONVILLE, CA 95076  
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SCALE • 1"=20'-0"

DATE • 05.01.2024

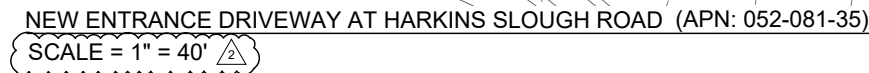
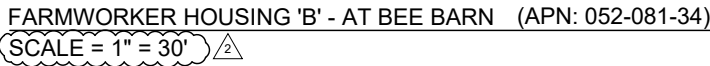
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## SITE PLAN

SHEET

## L-3.2





## SITE PLAN NOTES 2

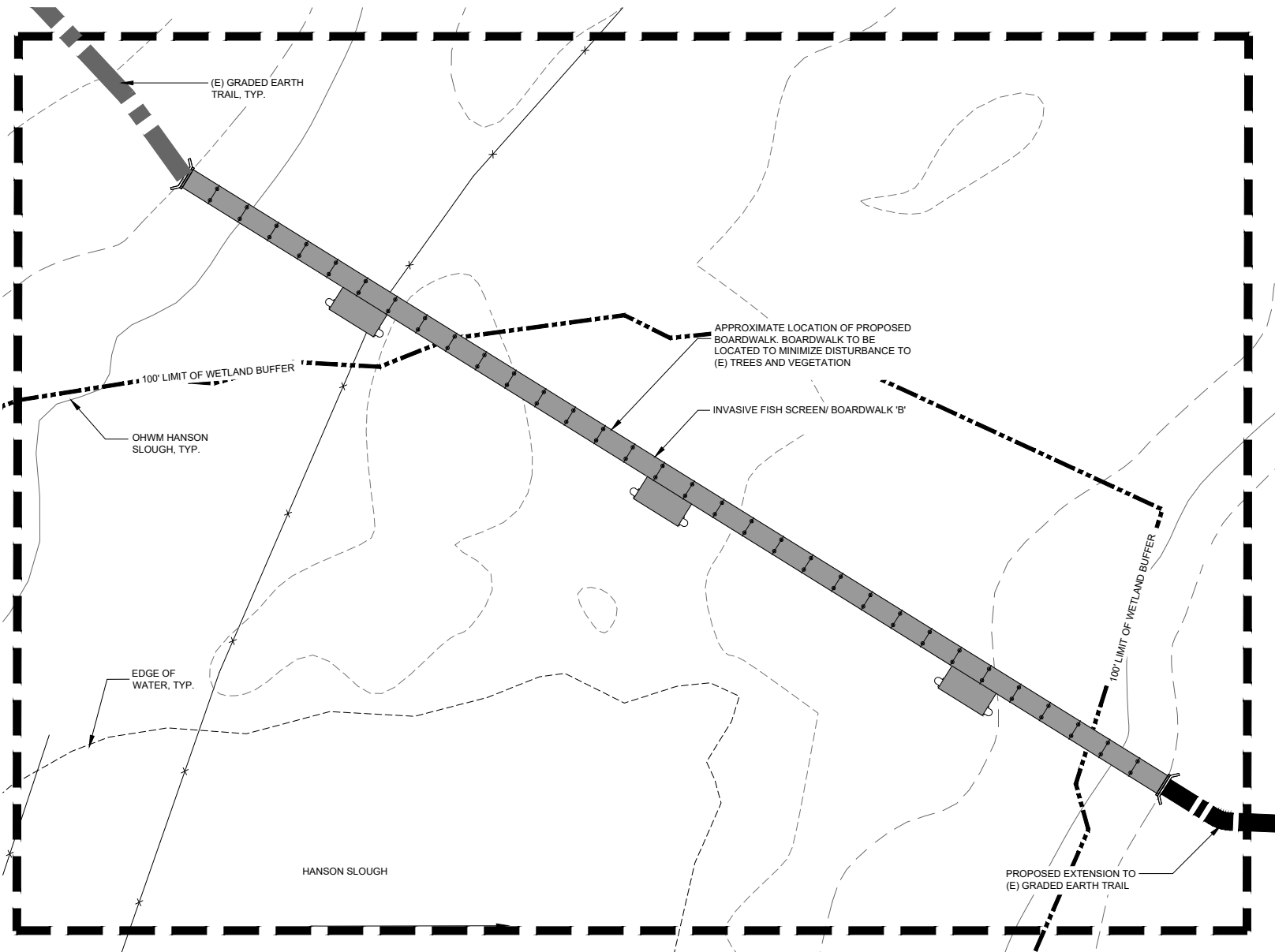
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1. THIS BUFFER AREA SHALL BE KEPT FREE OF ANY LIVESTOCK BARNs, OUTDOOR LIVESTOCK PENS, CORRALS, FEEDLOTS, OR SIMILAR QUARTERS OF LIVESTOCK OR POULTRY, CONSISTENT WITH STATE REGULATIONS.
2. EACH FARMWORKER HOUSING UNIT SHALL BE OCCUPIED BY AT LEAST ONE FARMWORKER AT ANY POINT IN TIME. IF ANY FARMWORKER OCCUPYING A UNIT ALLOWS ANOTHER OCCUPANT (FAMILY MEMBER, ROOMMATE, ETC.) TO LIVE IN THE UNIT WITH THEM WHO IS ALSO A FARMWORKER, SUCH THAT A TOTAL OF 5 OR MORE FARMWORKERS ARE RESIDING ON THE PROPERTY (INCLUDING ALL 3 PARCELS) AT ANY TIME, PROPERTY OWNER SHALL, WITHIN 15 BUSINESS DAYS OF BECOMING AWARE OF THE 5TH FARMWORKER RESIDING ON THE PROPERTY, FILE AN EMPLOYEE HOUSING APPLICATION WITH THE ENVIRONMENTAL HEALTH (EH) DEPARTMENT AND SHALL OBTAIN AN EMPLOYEE HOUSING FACILITY PERMIT TO OPERATE FROM EH WITHIN 30 DAYS OR AS SOON AS PRACTICABLE THEREAFTER, CONSISTENT WITH SCCC 13.10.631(F)(1)(A) OR SUCCESSOR CODE SECTION.

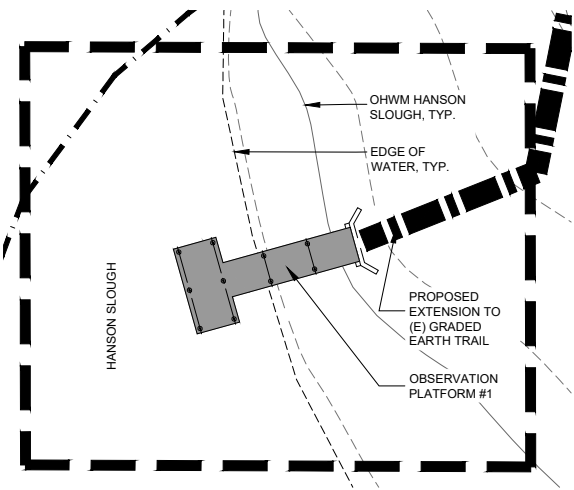


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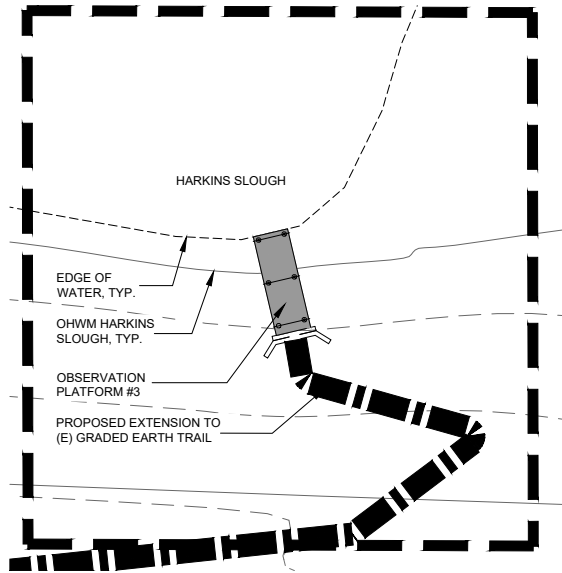




INVASIVE FISH SCREEN / BOARDWALK 'B' PLAN  
(APN: 052-081-37)



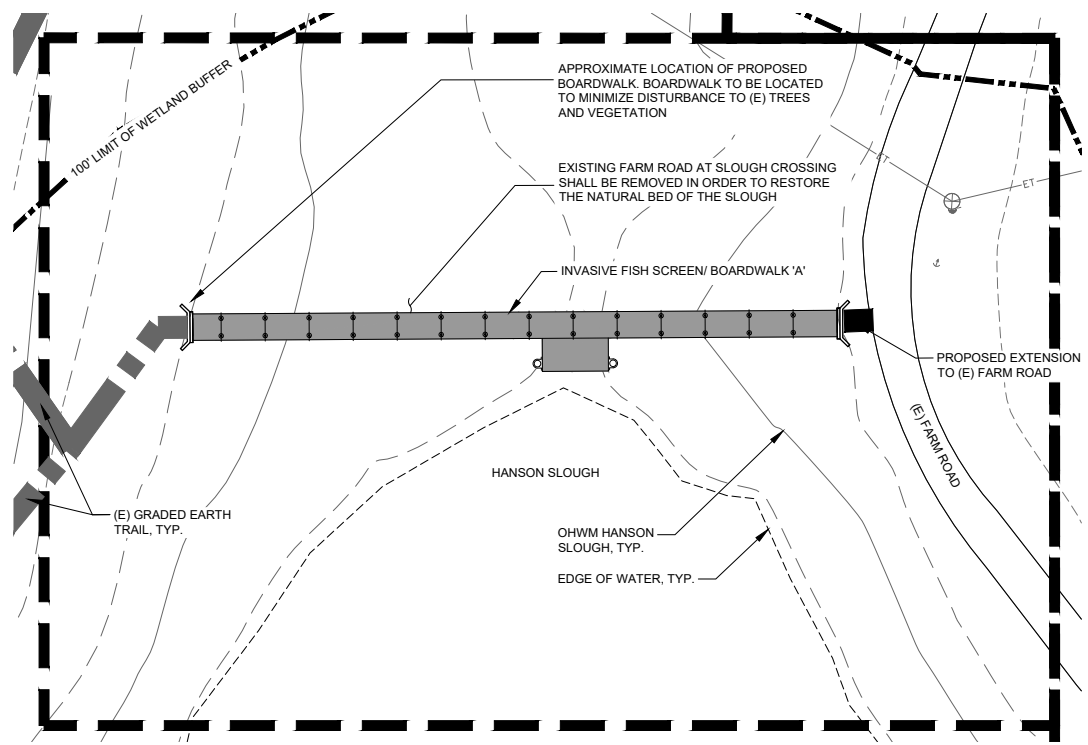
OBSERVATION PLATFORM #1 (HANSON SLOUGH)  
(APN: 052-081-37)



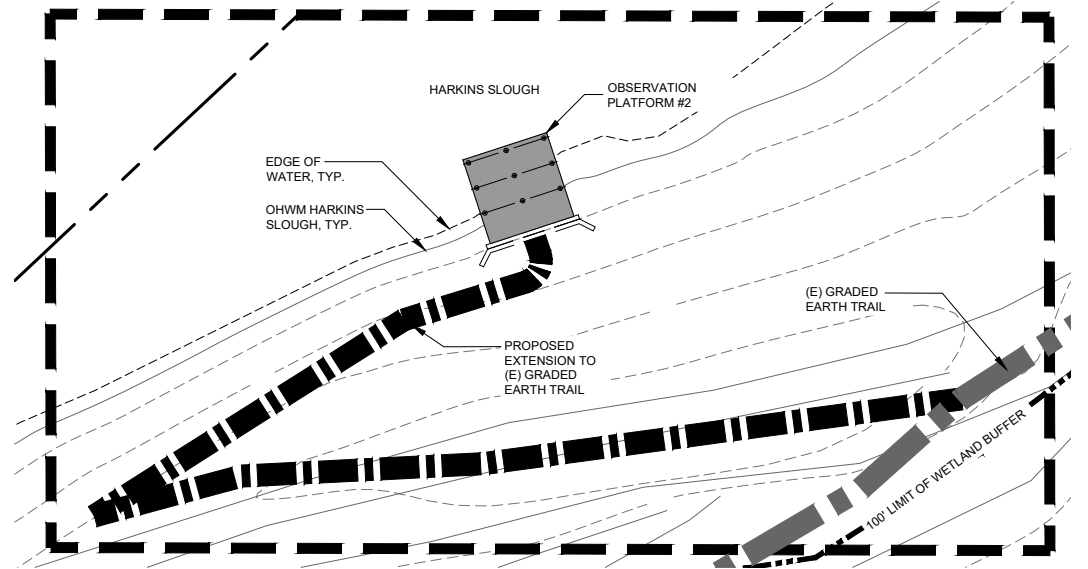
OBSERVATION PLATFORM #3 (HARKINS SLOUGH)  
(APN: 052-081-34)

#### NOTES

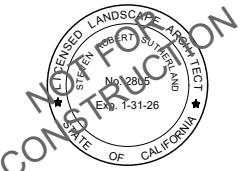
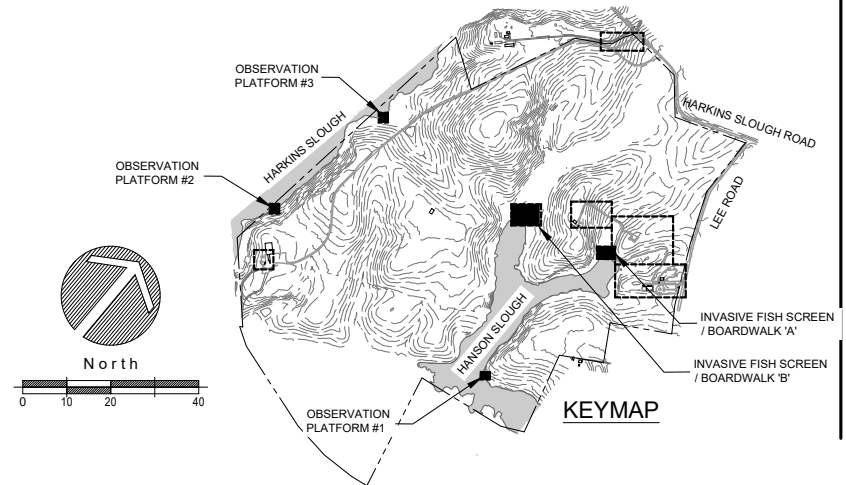
1. BOARDWALK AND OBSERVATION PLATFORM CONSTRUCTION METHODS SHALL CONSIST OF DRIVEN PILES AND/OR HELICAL ANCHORS, AVOIDING EXCAVATION AND EXCESS GRADING.



INVASIVE FISH SCREEN / BOARDWALK 'A' PLAN  
(APN: 052-081-37)



OBSERVATION PLATFORM #2 (HARKINS SLOUGH)  
(APN: 052-081-34)



AGENCY APPROVAL

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SCALE \* 1"=20'-0"

DATE \* 05.01.2024

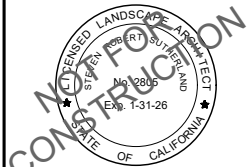
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SITE PLAN

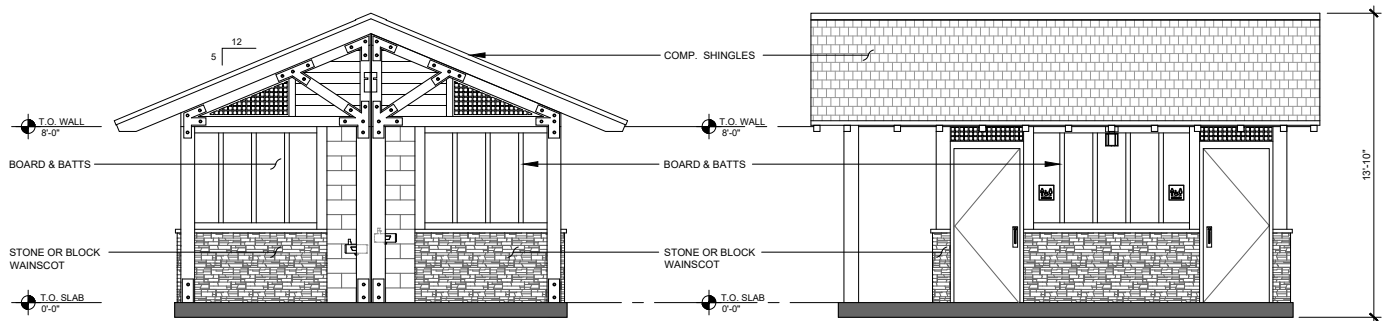
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L-3.4

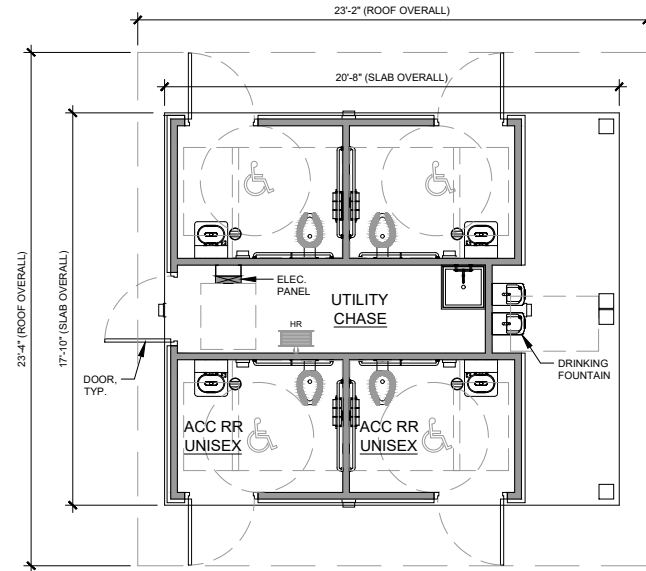




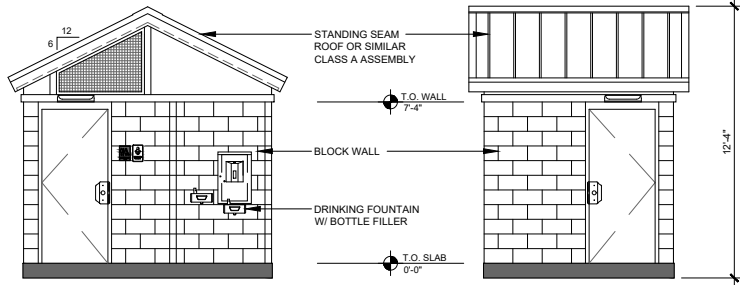
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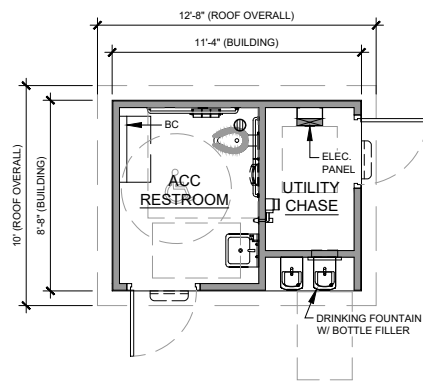
D RESTROOM BUILDING A - ELEVATION  
SCALE:1/4" = 1'-0"



A RESTROOM BUILDING A - PLAN VIEW  
SCALE:1/4" = 1'-0"



E RESTROOM BUILDING B - ELEVATION  
SCALE:1/4" = 1'-0"



B RESTROOM BUILDING B - FLOOR PLAN  
SCALE:1/4" = 1'-0"

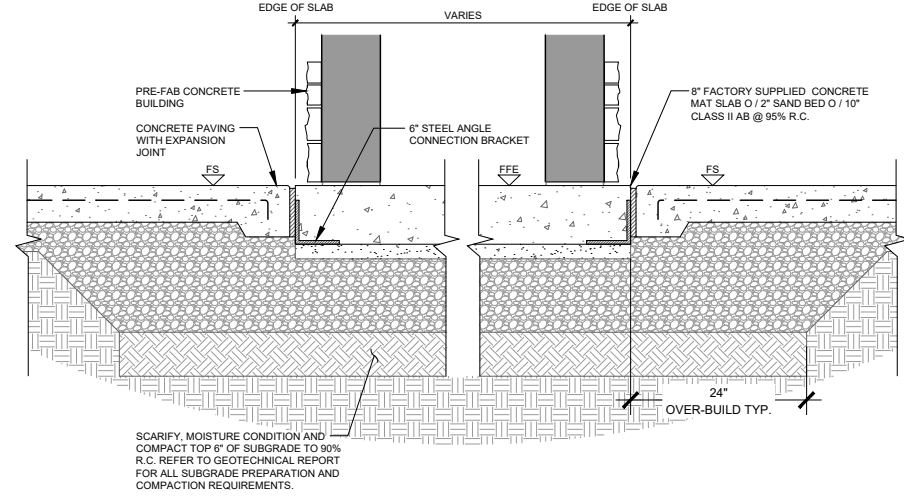
GENERAL CONTRACTOR AND RESTROOM COMPANY RESPONSIBILITIES

GENERAL SITE CONDITION LIABILITY NOTE:  
THE FOLLOWING NOTES DEFINES TYPICAL CONTRACTOR RESPONSIBILITIES AND DUTIES REQUIRED FROM THE BUILDING MANUFACTURER FOR SITE PLACEMENT OF THE PREFABRICATED RESTROOM BUILDING. THESE NOTES ARE INTENDED TO BE USED AN AID FOR BIDDING PURPOSES ONLY. ACTUAL RESPONSIBILITIES WILL BE NEGOTIATED BETWEEN THE GENERAL CONTRACTOR AND THEIR BUILDING VENDORMANUFACTURER.

- RESTROOM MANUFACTURER:**

  - RESTROOM MANUFACTURER WILL PROVIDE FULL ARCHITECTURAL PLANS AND ENGINEERING CALCULATIONS, STAMPED BY STATE GOVERNING AGENCY SUITABLE FOR GENERAL CONTRACTOR TO FILE FOR REQUIRED BUILDING PERMIT.
  - RESTROOM MANUFACTURER WILL FURNISH AND INSTALL UNDERGROUND UTILITIES (UNDER SLAB EXTENDING 6 FEET (MAX) BEYOND THE BUILDING LINE, MIN. OF 24" - MAX. OF 36" BELOW GRADE.
- GENERAL CONTRACTOR:**

  - GENERAL CONTRACTOR SHALL CONSTRUCT BUILDING PAD PER DETAILS ON THIS SHEET AND SCOPE OF WORK. GENERAL CONTRACTOR SHALL INSTALL UTILITIES PER CIVIL, ELECTRICAL AND LANDSCAPE DRAWINGS AND THIS SHEET.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR UTILITY CONNECTIONS AND WILL MAKE FINAL CONNECTIONS TO SEWER, WATER AND POWER AT STUB LOCATION 6 FEET FROM BUILDING.
  - GENERAL CONTRACTOR TO PREPARE SITE FOR MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF. WITH SUB-GRADE COMPACTED TO 90% M.D.D. REFER TO DRAWINGS, SPECIFICATIONS AND GEOTECHNICAL REPORT FOR SITE SPECIFIC SUBGRADE AND PAD PREPARATION REQUIREMENTS.
  - GENERAL CONTRACTOR TO SUPPLY AND STOCK PILE REQUIRED QUANTITY OF COARSE SAND WITHIN BUILDING PROXIMITY FOR USE BY BUILDING MANUFACTURER. (ELEVATION OF BASE TO BE DETERMINED AND VERIFIED BY THE GENERAL CONTRACTOR) PAD ELEVATION MUST BE LEVEL WITHIN 2% (+/-) AND COMPLY WITH ALL PERMISSIBLE CODES OF ACCESSIBILITY AND SAFETY. BEFORE BUILDING SET WET SAND FILL TO CONSOLIDATE AND/OR VIBRATE.

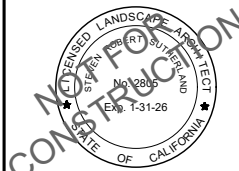


C RESTROOM PAD SECTION  
SCALE:1" = 1'-0"





303 potrero street, suite 40-c  
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f: 831-459-0484  
  
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crla no. 2805



SECTIONS AND ELEVATIONS

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
LAND TRUST OF SANTA CRUZ COUNTY  
275 LEE ROAD - WATSONVILLE, CA 95076  
APN: 052-081-37, 052-081-35, 052-081-34

AGENCY APPROVAL

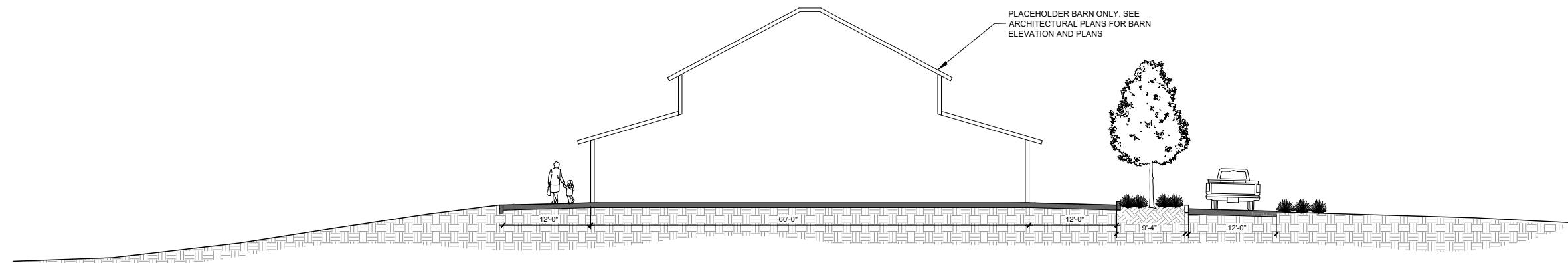
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△	02	01.24	PLANNING SUBMITTAL
△	05	01.24	PLANNING SUBMITTAL

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CHECKED	•	CH
SCALE	•	AS SHOWN
DATE	•	05.01.2024
JOB	•	220009.00

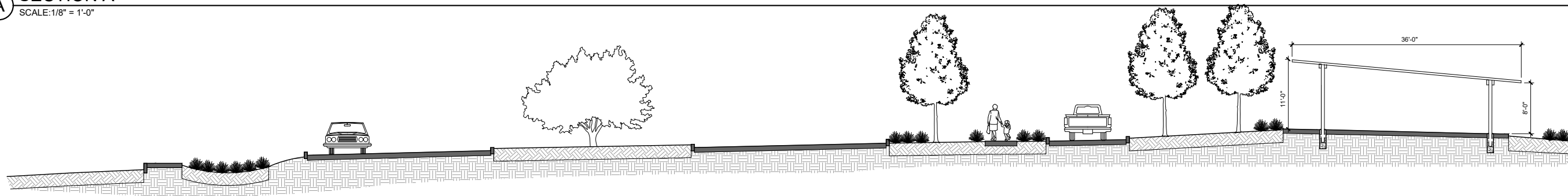
SECTIONS AND ELEVATIONS

SHEET

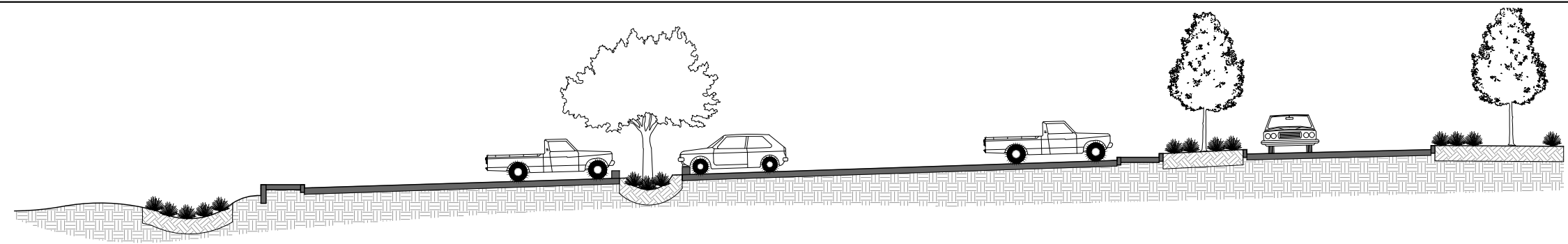
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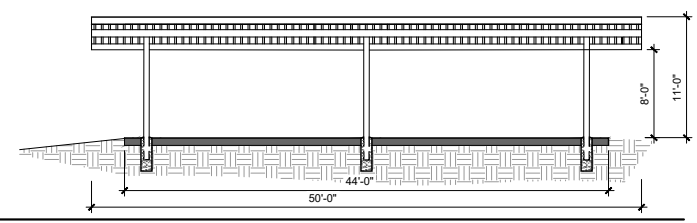
A SECTION A  
SCALE: 1/8" = 1'-0"



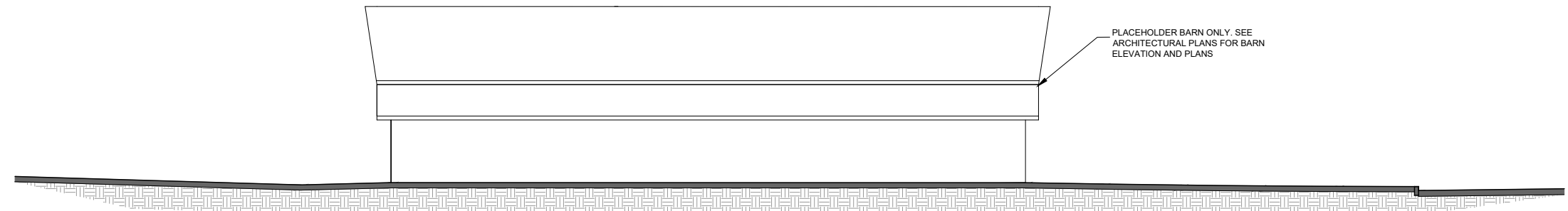
B SECTION B  
SCALE: 1/8" = 1'-0"



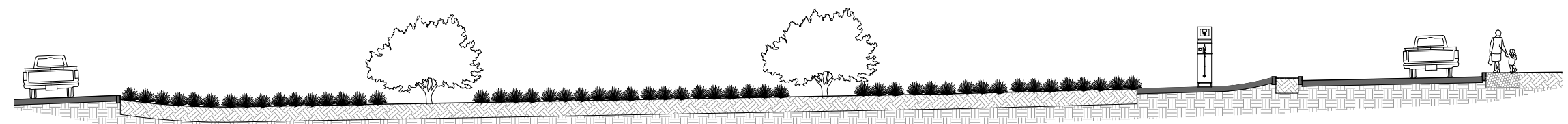
C SECTION C  
SCALE: 1/8" = 1'-0"



D SECTION D  
SCALE: 1/8" = 1'-0"



E SECTION E  
SCALE: 1/8" = 1'-0"

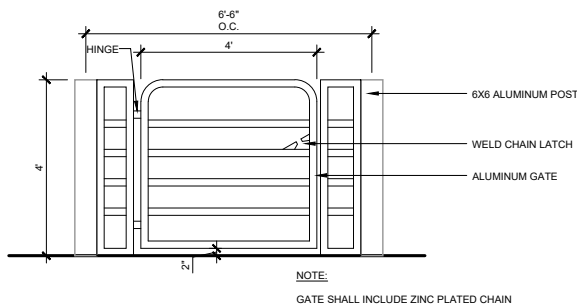


F SECTION F  
SCALE: 1/8" = 1'-0"

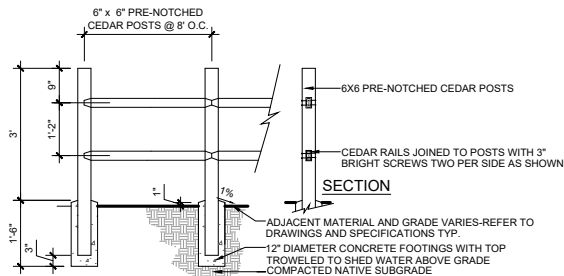








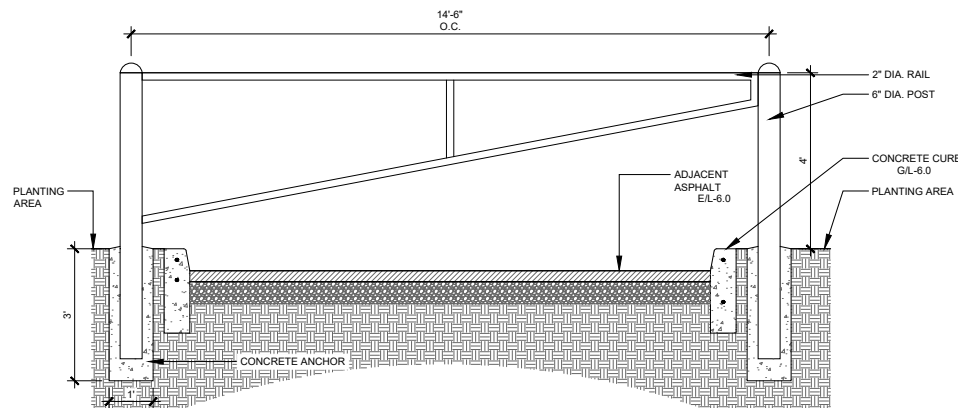
C SINGLE GATE  
SCALE: 1/2" = 1'-0"



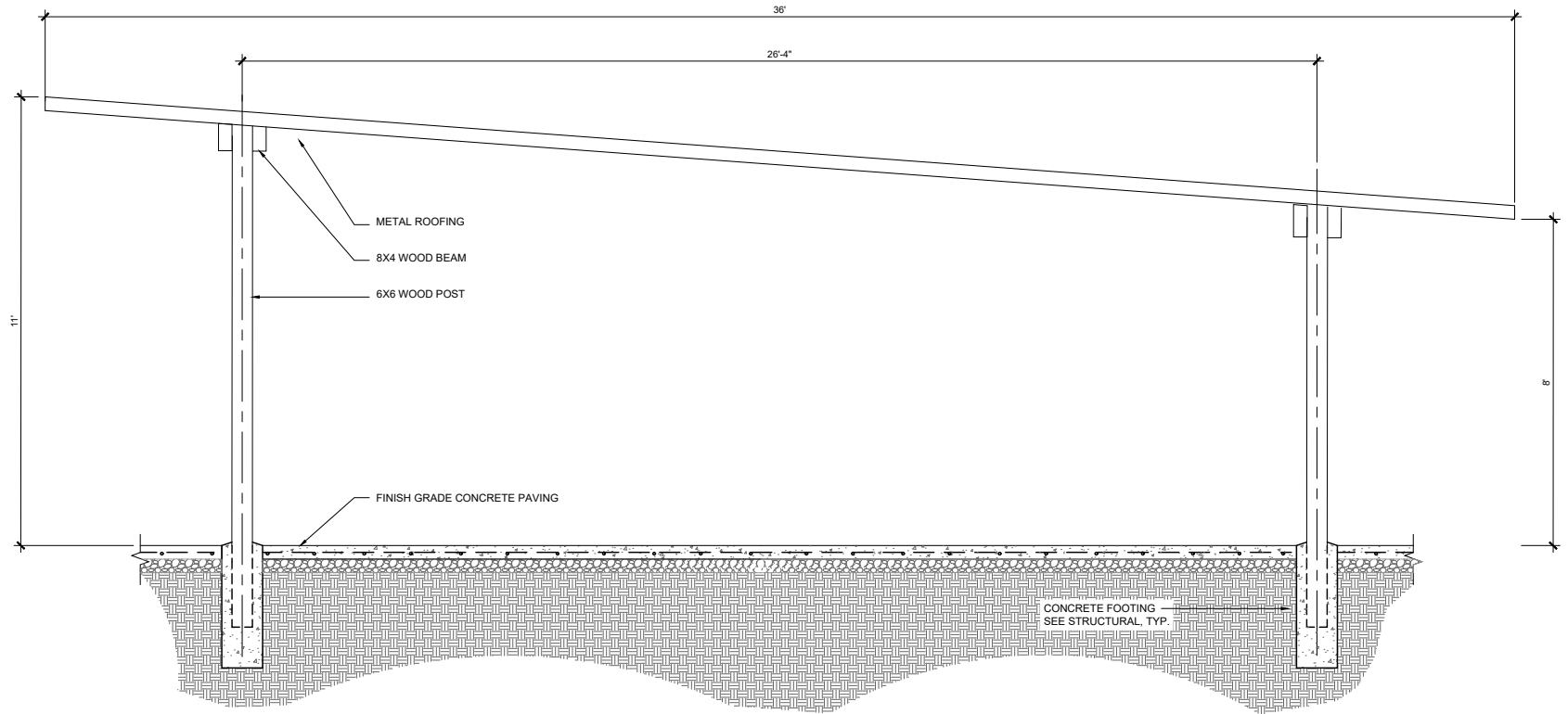
SECTION/ELEVATION

- NOTES:
1. ALL WOOD SHALL BE "SPLIT RAIL AND POST" TYPE CEDAR. POSTS ARE APPROX. 6"x6", RAILS ARE APPROX. 3"x4".
  2. CONFIRM POST LOCATION AND SPACING WITH OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK.
  3. REFER TO DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

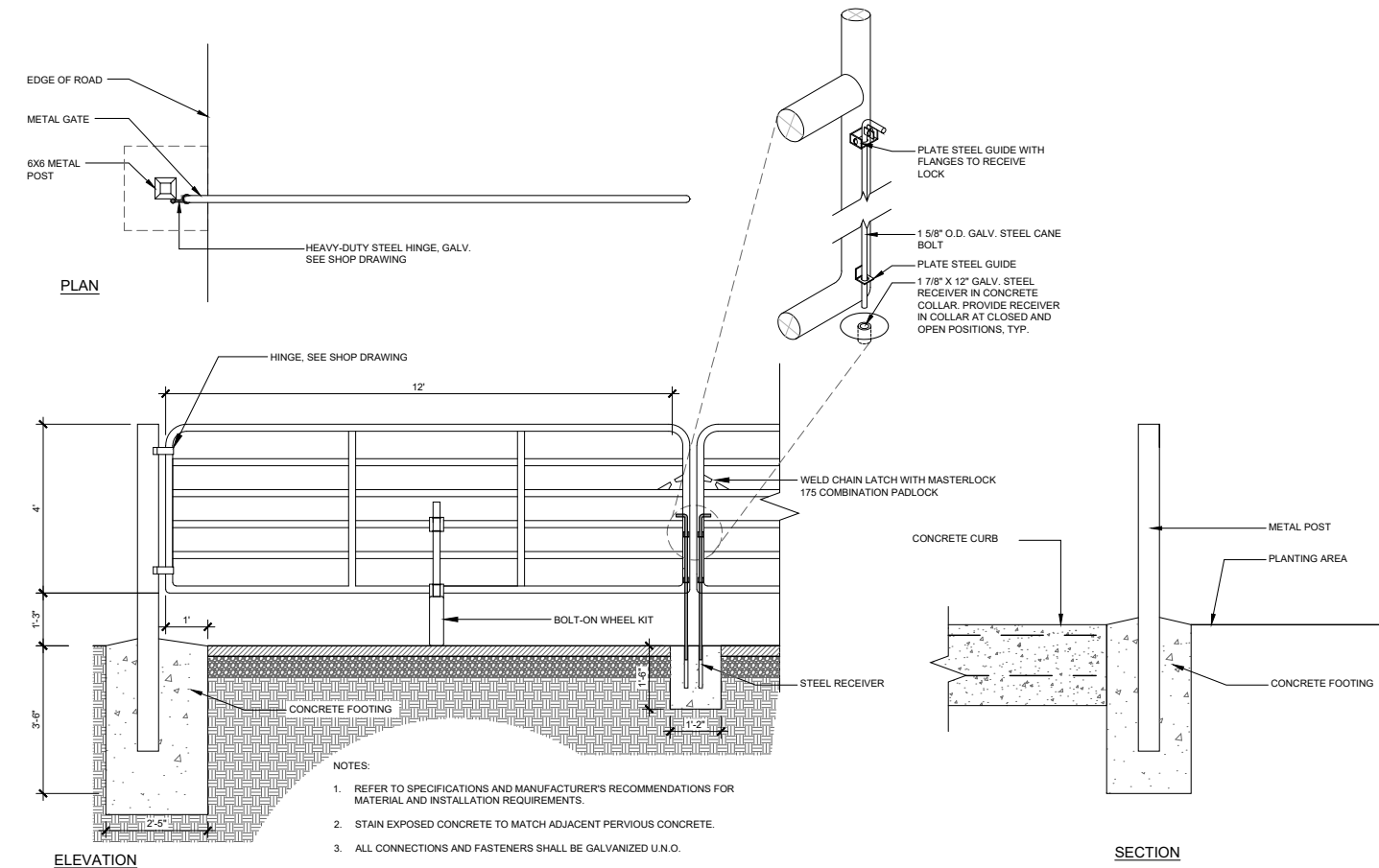
D SPLIT RAIL FENCE  
SCALE: 1/2" = 1'-0"



E MAINTENANCE ACCESS GATE  
SCALE: 1/2" = 1'-0"



A COVERED PICNIC AREA  
SCALE: 1/2" = 1'-0"

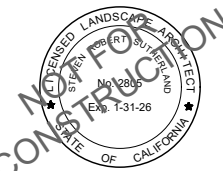


B VEHICULAR ENTRANCE GATE  
SCALE: 1/2" = 1'-0"



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CONSTRUCTION DETAILS

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
LAND TRUST OF SANTA CRUZ COUNTY  
275 LEE ROAD - WATSONVILLE, CA 95076  
APN: 052-081-37, 052-081-35, 052-081-34

AGENCY APPROVAL

REVISIONS	NO.	DATE	PURPOSE
1	02.01.24	PLANNING SUBMITTAL	
2	05.01.24	PLANNING SUBMITTAL	

DRAWN BY • JB

CHECKED • CH

SCALE • AS SHOWN

DATE • 05.01.2024

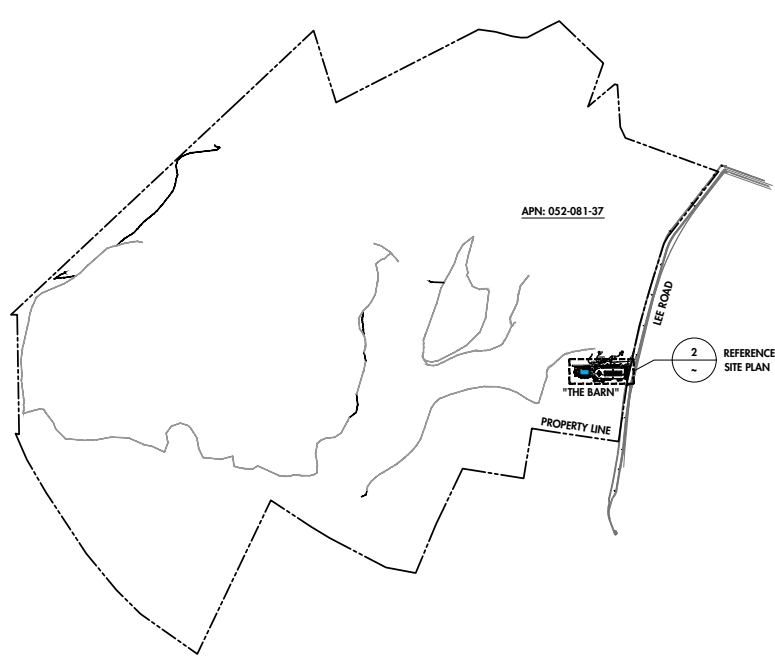
JOB • 220009.00

CONSTRUCTION  
DETAILS

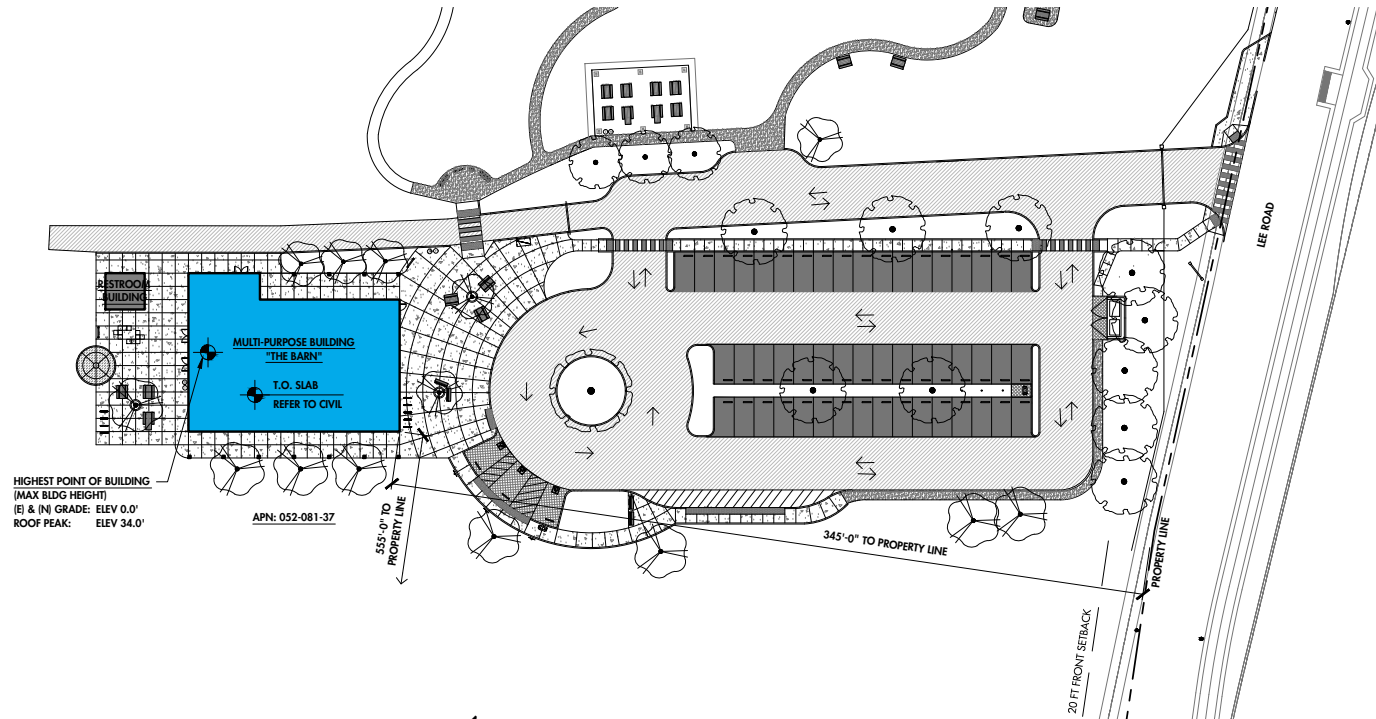
SHEET

L-6.2





1 OVERALL PROPERTY SITE PLAN  
SCALE: 1" = 800'-0"



2 REFERENCE SITE PLAN  
SCALE: 1" = 40'-0"



2: VIEW FROM NORTHWEST



1: VIEW FROM NORTHEAST - SITE ENTRY APPROACH



4: VIEW FROM SOUTHEAST



3: VIEW FROM SOUTHWEST

3 BUILDING VISUALIZATIONS  
SCALE: N.T.S.

## PROJECT INFORMATION

PROJECT NAME: WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
MULTI-PURPOSE BUILDING - "THE BARN"

OWNER: LAND TRUST OF SANTA CRUZ COUNTY  
CONTACT: BRYAN LARGAY, CONSERVATION DIRECTOR  
617 WATER STREET, SANTA CRUZ, CA 95060  
831-234-1177 | BRYAN.LARGAY@LANDTRUSTSANTACRUZ.ORG

ARCHITECT: SPECTOR CORBETT ARCHITECTS INC.  
CONTACT: BRIAN SPECTOR, PRINCIPAL ARCHITECT  
54-C PENNY LANE, WATSONVILLE, CA 95076  
(831) 319-4045 | BRIANS@SPECTORCORBETT.COM

PROJECT ADDRESS: 275 LEE ROAD, WATSONVILLE, CA 95076

A.P.N.: 052-081-37

VICINITY MAP:



VICINITY MAP  
NOT TO SCALE

PROJECT DESCRIPTION: PROPOSED NEW CONSTRUCTION OF A MULTI-PURPOSE BUILDING - "THE BARN". THIS IS A COMPONENT OF THE OVERALL DEVELOPMENT PROJECT.

THE OVERALL PROJECT MASTER PLAN AND SITE DESIGN IS BY SSA LANDSCAPE ARCHITECTS, REFER TO THEIR DRAWINGS FOR INFORMATION.

DESCRIPTION OF USE: REFER TO OWNER'S OPERATIONS AND PROGRAM STATEMENT.

PARCEL AREA: 169.2 ACRES (PER ASSESSOR)

OCCUPANCY & GROUP: A-3 ASSEMBLY ASSEMBLY / TRAINING AREA  
B BUSINESS OFFICE AND SUPPORT AREAS  
U UTILITY BARN AREAS  
MIXED OCCUPANCY: YES

TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLERS: YES, FULLY SPRINKLERED, NFPA 13 FIRE SPRINKLER SYSTEM

BUILDING HEIGHT: 34'-0", 2-STORY

BUILDING AREA: 1ST FLOOR 6,150 SF  
2ND FLOOR 3,360 SF  
TOTAL: 9,510 SF

JURISDICTION: SANTA CRUZ COUNTY  
GENERAL PLAN (GP) DESIGNATION: AG - AGRICULTURE  
CA-W-AIA  
CA-COMMERCIAL AG,  
W - WATSONVILLE UTILITY PROHIBITION,  
AIA - AIRPORT

ZONING ELEMENT:	ALLOWABLE/REQUIRED:	PROPOSED:
SETBACK - FRONT	20 FT	345 FT
SETBACK - SIDE	20 FT	> 20 FT
SETBACK - REAR	20 FT	> 20 FT
HEIGHT	40 FT	34 FT
FLOOR AREA RATIO	1.5 FAR = 19,017 SF MAX	0.55 FAR (6,988/12,676)

PARKING CALCULATIONS (PER SCC TABLE 13.16.050-1):

USE:	AREA / #:	DESIGNATION/FACTOR:	REQUIRED:
BARN, GARAGE, STORAGE	3,012 SF	WAREHOUSE, 1:1,000 GSF	3 SPACES
ASSEMBLY SPACES	104 SEATS	1 PER 3 SEATS	35 SPACES
OFFICE & SUPPORT SPACES	4,209 SF	1 PER 300 SF	14 SPACES
TOTAL REQUIRED:			52 SPACES
TOTAL PROVIDED:			52 SPACES

ADDITIONAL SITE NOTES: 1) REFER TO SITE DESIGN DRAWINGS BY SSA LANDSCAPE ARCHITECTS FOR PARKING CALCULATION, ADA PARKING SPACES, BICYCLE PARKING, AND EV CHARGING STATIONS  
2) REFER TO SITE DESIGN DRAWINGS BY SSA LANDSCAPE ARCHITECTS FOR SITE ADA/ACCESSIBILITY INFORMATION.

## COLORS & MATERIALS

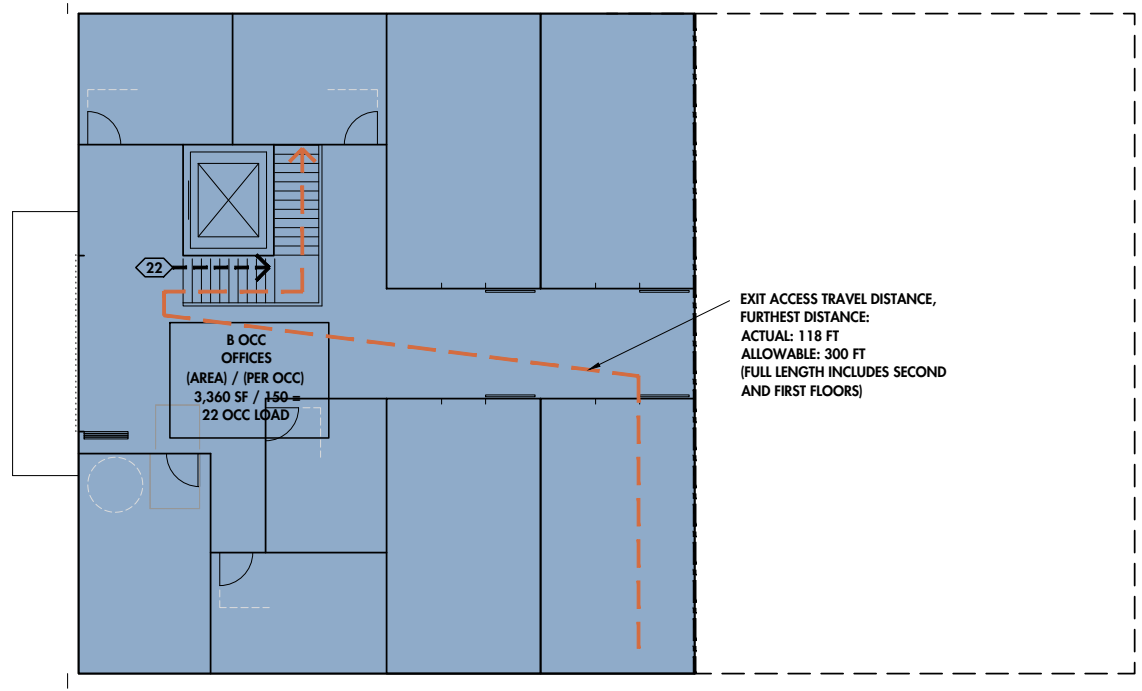
REFER TO VISUALIZATIONS

SIDING:	REDWOOD TONGUE & GROOVE SIDING METAL SIDING ACCENT FEATURE
ROOFING:	COMPOSITE ROOF SHINGLE PHOTOVOLTAIC ARRAY
DOORS:	ALUMINUM THERMALLY BROKEN DOORS ALUMINUM THERMALLY BROKEN FOLDING/SLIDING DOORS OVERHEAD COILING DOORS SLIDING DOORS
WINDOWS:	ALUMINUM THERMALLY BROKEN WINDOWS

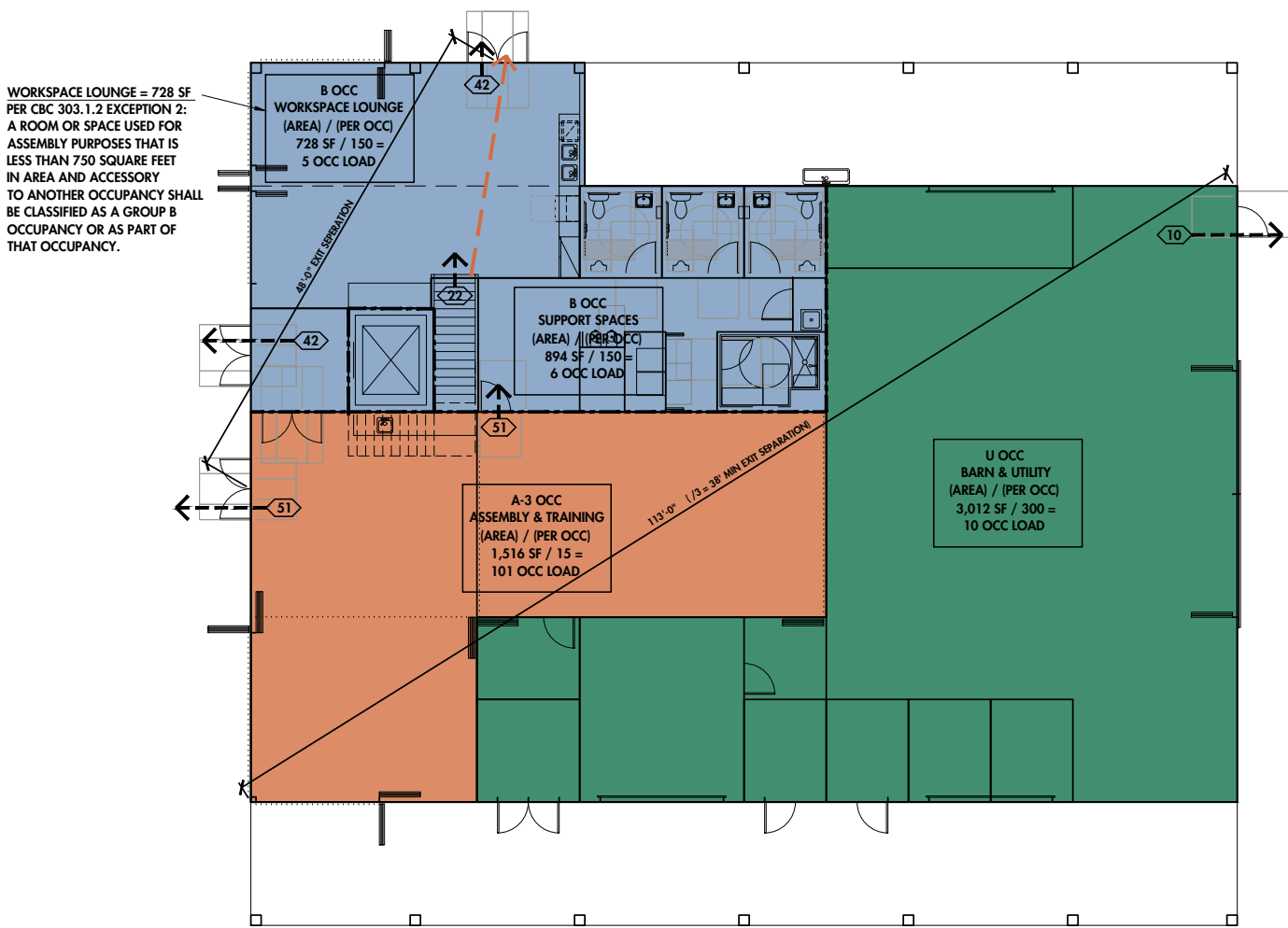
## SHEET INDEX

SHEET NUMBER	SHEET TITLE
A100	PROJECT DATA & SITE PLAN
A101	CODE ANALYSIS
A200	FLOOR PLANS
A300	BUILDING ELEVATIONS & SECTION





2 SECOND FLOOR - CODE ANALYSIS DIAGRAM  
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR - CODE ANALYSIS DIAGRAM  
SCALE: 1/8" = 1'-0"

LEGEND  
OCCUPANT LOAD / EGRESS  
# - - - - ->  
EXIT ACCESS TRAVEL DISTANCE  
FURTHEST DISTANCE  
- - - - ->  
1-HOUR RATED WALL - FIRE BARRIER  
- - - - -

## CODE ANALYSIS

APPLICABLE CODES:	2022 TITLE 24 CALIFORNIA BUILDING STANDARDS CODE: PART 1 - CALIFORNIA ADMINISTRATIVE CODE (CAC) PART 2 - CALIFORNIA BUILDING CODE (CBC) PART 3 - CALIFORNIA ELECTRICAL CODE (CEC) PART 4 - CALIFORNIA MECHANICAL CODE (CMC) PART 5 - CALIFORNIA PLUMBING CODE (CPC) PART 6 - CALIFORNIA ENERGY CODE (CEC) PART 9 - CALIFORNIA FIRE CODE PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) PART 12 - CALIFORNIA REFERENCED STANDARDS CODE				
OCCUPANCY & GROUP:	A-3 ASSEMBLY B BUSINESS U UTILITY MIXED OCCUPANCY: YES	ASSEMBLY / TRAINING AREA OFFICE AND SUPPORT AREAS BARN AREAS			
TYPE OF CONSTRUCTION:	V-B				
FIRE SPRINKLERS:	YES, FULLY SPRINKLERED, NFPA 13 FIRE SPRINKLER SYSTEM				
BUILDING HEIGHT:	OCC	SPRINKLERED	HEIGHT	STORIES	
	ALLOWABLE	A-3	S (W/O INC)	60 FT	2
		B	S	60 FT	3
		U	S	60 FT	2
	PROPOSED			34 FT	2
BUILDING AREA:	OCC	SPRINKLERED	AREA		
	ALLOWABLE	A-3	SM (W/O INC)	18,800 SF	
		B	SM	27,000 SF	
		U	SM	16,500 SF	
	( AREA INCREASE NOT NECESSARY )				
	PROPOSED	MIXED USE, SEPARATED OCCUPANCIES (CBC 508.4)			
		OCC	AREA	RATIO AREA	RATIO
LEVEL 1:	A-3	2,282	18,800	0.12	
	B	849	27,000	0.03	
	U	3,012	16,500	0.18	
		LEVEL 1 RATIO TOTAL:		0.33 <1 OK	
LEVEL 2:	B	3,360	27,000	0.12	
		LEVEL 2 RATIO TOTAL:		0.12 <1 OK	
BUILDING AREAS:	1ST FLOOR	6,150 SF			
	2ND FLOOR	3,360 SF			
	TOTAL:	9,510 SF			
SEPARATED OCCUPANCIES:	OCCUPANCY	A-3	B	U	
		A-3	N	1	N
		B	1	N	1
		U	N	1	N
		N = NO SEPARATION REQ'D 1 = 1-HOUR SEPARATION			
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:	WALL FIRE SEPARATION DISTANCE OCC GROUPS A, B, U				
	NORTH	>10 FT	NON-RATED		
	EAST	>10 FT	NON-RATED		
	WEST	>10 FT	NON-RATED		
	SOUTH	>10 FT	NON-RATED		
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION:	WALL FIRE SEPARATION DISTANCE ALLOWABLE AREA				
	NORTH	>20 FT, UNPROTECTED, SPRINKLERED	NO LIMIT		
	EAST	>20 FT, UNPROTECTED, SPRINKLERED	NO LIMIT		
	WEST	>20 FT, UNPROTECTED, SPRINKLERED	NO LIMIT		
	SOUTH	>20 FT, UNPROTECTED, SPRINKLERED	NO LIMIT		
EGRESS	EGRESS OCCUPANT LOAD (CBC TABLE 1004.5)				
	OCCUPANCY	AREA	LOAD FACTOR	OCCUPANTS	
	1ST FLR:	A-3 2,282 SF	15 NET	152	
	1ST FLR:	B 849 SF	150 GROSS	6	
	1ST FLR:	U 3,012 SF	300 GROSS	10	
	2ND FLR:	B 3,360 SF	150 GROSS	22	
	TOTAL BUILDING OCCUPANT LOAD:			190 OCCUPANTS	
REQUIRED EXITS (CBC 1006.3.3)	OCCUPANT LOAD: 190 MIN 2 EXITS REQUIRED				
MEANS OF EGRESS SIZING (CBC 1005)	OCCUPANT LOAD = 190				
	2 EXITS MIN, EACH EXIT = 95				
	ALLOWABLE MIN WIDTH = 95 X 0.2" = 1.9"				
EXIT ACCESS TRAVEL DISTANCE (CBC 1017)	OCCUPANCY MAX DISTANCE (W/ SPRINKLERS)				
	A-3	250 FT			
	B	300 FT			
	U	400 FT			
PLUMBING CALCULATIONS - PER 2022 CALIFORNIA PLUMBING CODE 422.1	OCCUPANT LOAD FACTOR:				
	FUNCTION OF SPACE	AREA	LOAD FACTOR	OCCUPANT COUNT	
	ASSEMBLY, CONFERENCE	2,282	30	76 OCC /2 = 38.0	
	BUSINESS & SUPPORT	4,209	150	28 OCC /2 = 14.0	
	WAREHOUSE - BARN	3,012	4,000	1.3 OCC /2 = 0.66	
	FRACTIONAL METHOD ( MIXED USE )				
	A. ASSEMBLY - A-3 (NO FIXED SEATS)				
	1. WATER CLOSET (M):	38 OCCUPANT X 1/100 =	0.38 TOILET		
	2. WATER CLOSET (F):	38 OCCUPANT X 1/25 =	1.52 TOILET		
	3. URINALS:	38 OCCUPANT X 1/100 =	0.38 URINAL		
	4. LAVATORY (M):	38 OCCUPANT X 1/200 =	0.19 SINK		
	5. LAVATORY (F):	38 OCCUPANT X 1/100 =	0.38 SINK		
	B. BUSINESS - B				
	1. WATER CLOSET (M):	14 OCCUPANT X 1/50 =	0.28 TOILET		
	2. WATER CLOSET (F):	14 OCCUPANT X 1/15 =	0.93 TOILET		
	3. URINALS:	14 OCCUPANT X 1/100 =	0.14 URINAL		
	4. LAVATORY (M):	14 OCCUPANT X 1/75 =	0.18 SINK		
	5. LAVATORY (F):	14 OCCUPANT X 1/50 =	0.28 SINK		
	C. BARN - U ( CLOSET TO STORAGE 5-2 )				
	1. WATER CLOSET (M):	1 OCCUPANT X 1/100 =	0.01 TOILET		
	2. WATER CLOSET (F):	1 OCCUPANT X 1/100 =	0.01 TOILET		
	3. URINALS:		N/A		
	4. LAVATORY (M):	1 OCCUPANT X 1/200 =	0.005 SINK		
	5. LAVATORY (F):	1 OCCUPANT X 1/200 =	0.005 SINK		
	SUM OF ALL REQUIRED FIXTURES				
	1. WATER CLOSET (M):	0.38+0.28+0.01 = 0.67 =	1 TOILET		
	2. WATER CLOSET (F):	1.52+0.93+0.01 = 2.46	3 TOILET		
	3. URINAL:	0.38+0.14+0 = 0.66	1 URINAL		
	4. LAVATORY (M):	0.19+0.18+0.005 =	1 SINK		
	5. LAVATORY (F):	0.38+0.28+0.005 =	1 SINK		
	6. DRINKING FOUNTAIN:		1 DRINK FTN		
	7. SERVICE SINK:		1 SERVICE SINK		
	PROVIDED FIXTURE COUNTS:				
	IN MULTIPURPOSE BUILDING:				
		TOILET:	3		
		URINAL:	3		
		SINKS:	3		
		DRINK FTN:	1 HI-LO		
		SERVICE SINK:	1		
	IN ADJACENT RESTROOM BUILDING:				
		TOILET:	4		
		SINKS:	4		

SCA

SPECTOR CORBETT ARCHITECTS

SANTA CRUZ | WATSONVILLE

relocating 54 Penny Ln

Office Suite C

95060 Lee Road

95076 A.P.N. 052-081-37

831-319-4045

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SCHEMATIC DESIGN FOR:  
WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
MULTI-PURPOSE BUILDING - "THE BARN"

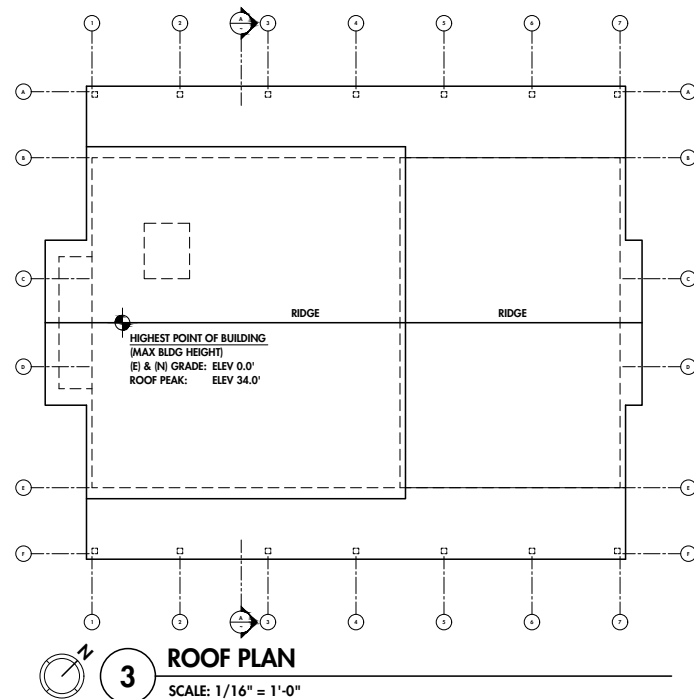
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SET ISSUED:  
PLANNING APPL 01/11/2024  
PLAN RESUBMITTAL 05/01/2024

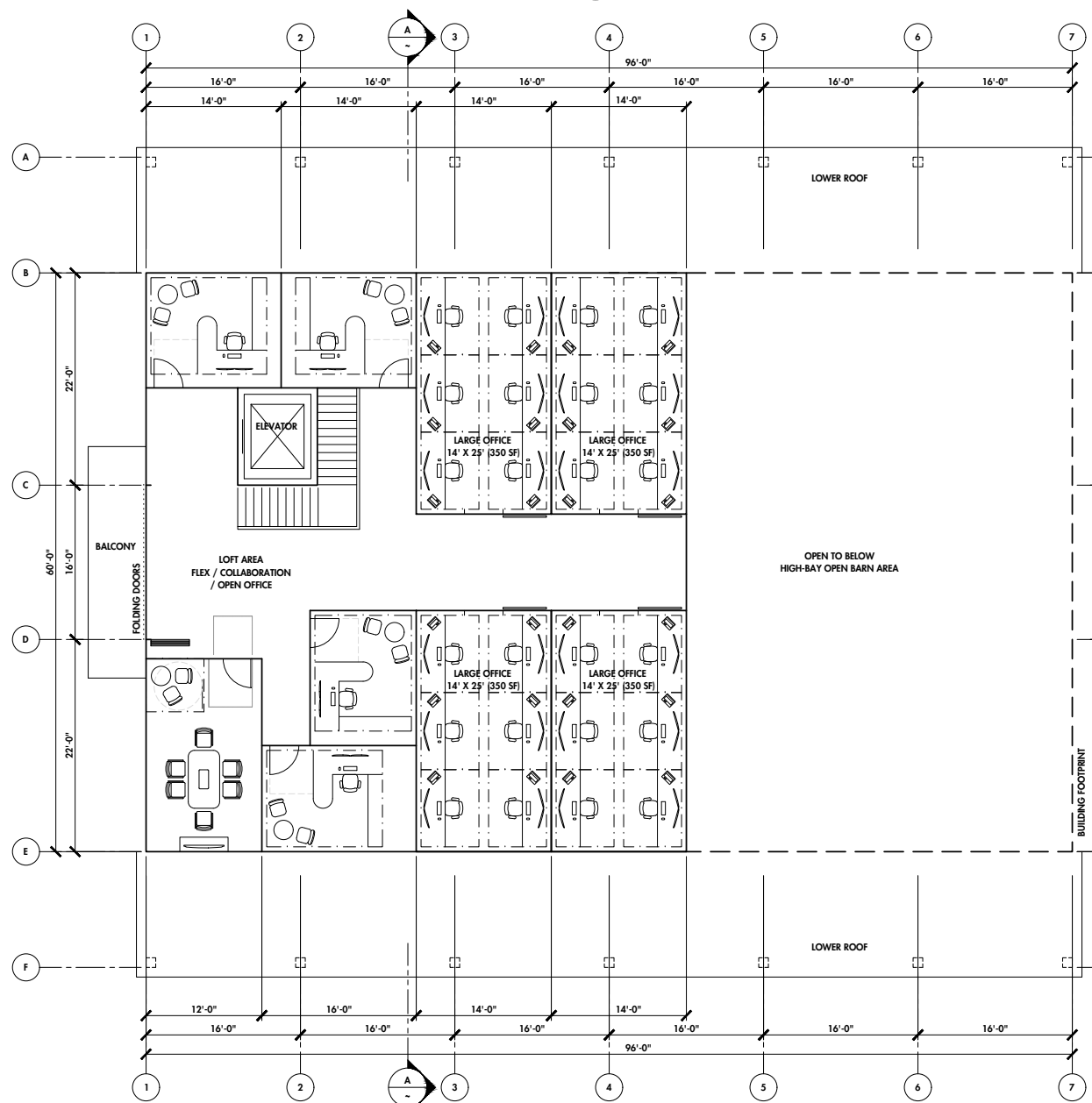
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CODE ANALYSIS

SHEET NUMBER:  
A101

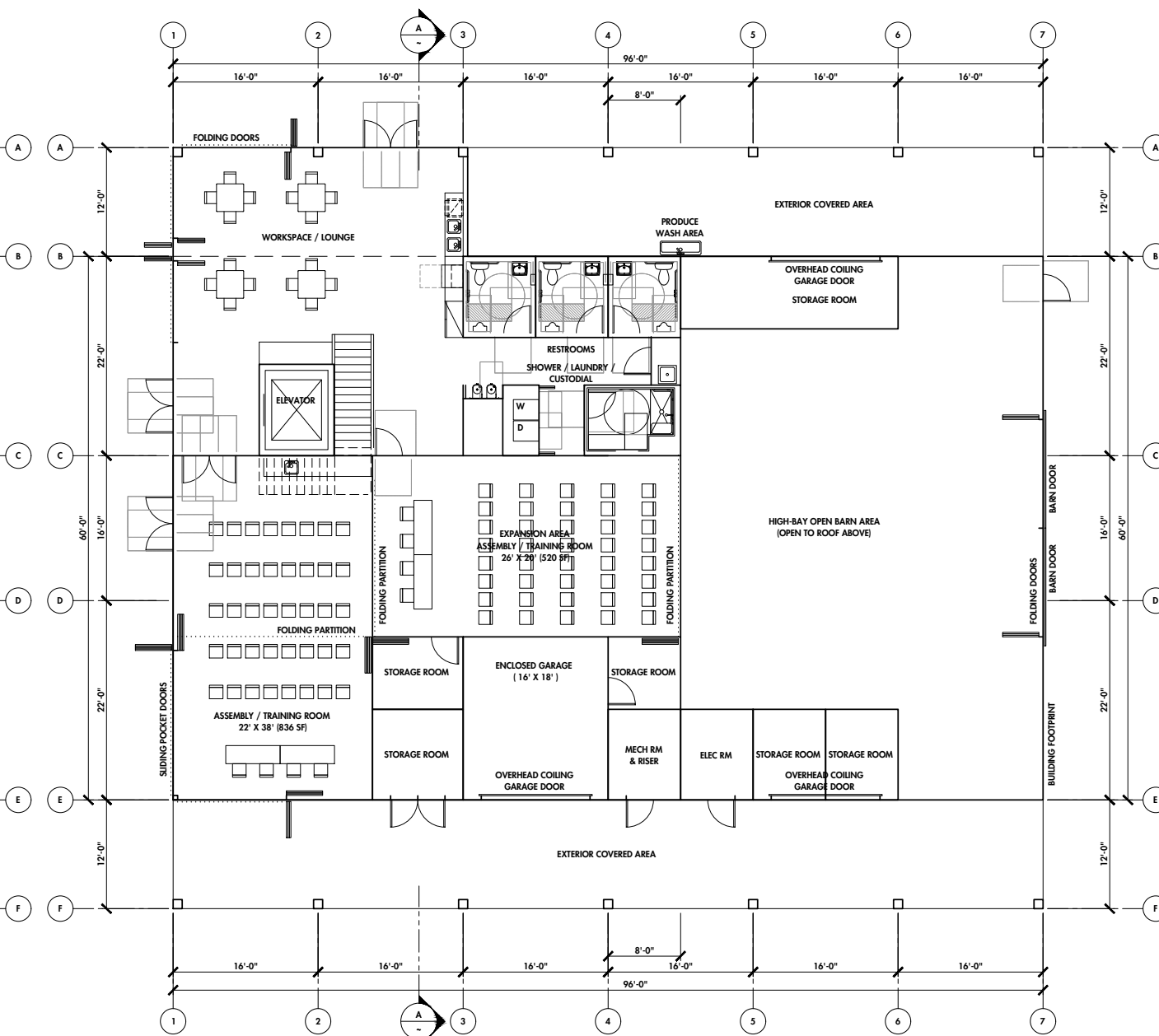




 **ROOF PLAN**  
SCALE: 1/16" = 1'-0"

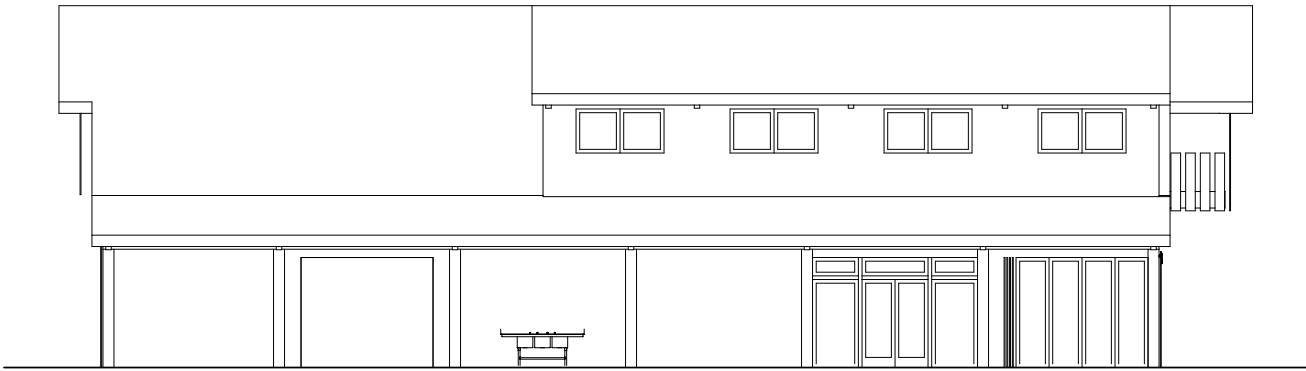


 **2** **SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

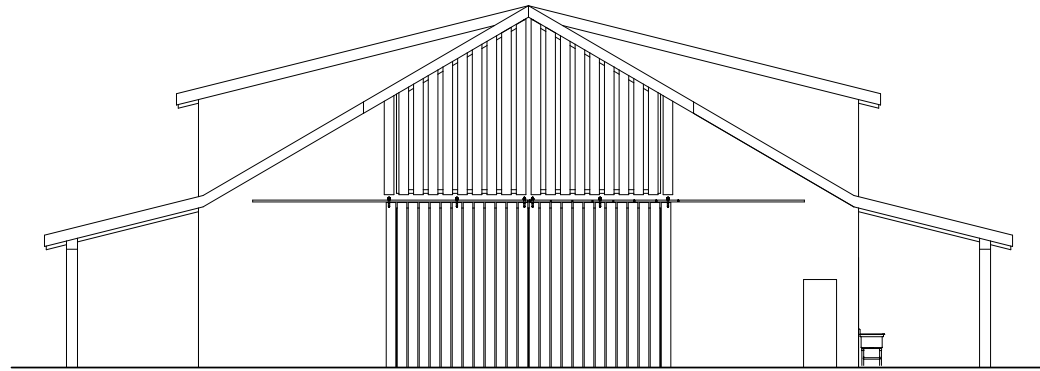


 **1** **FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

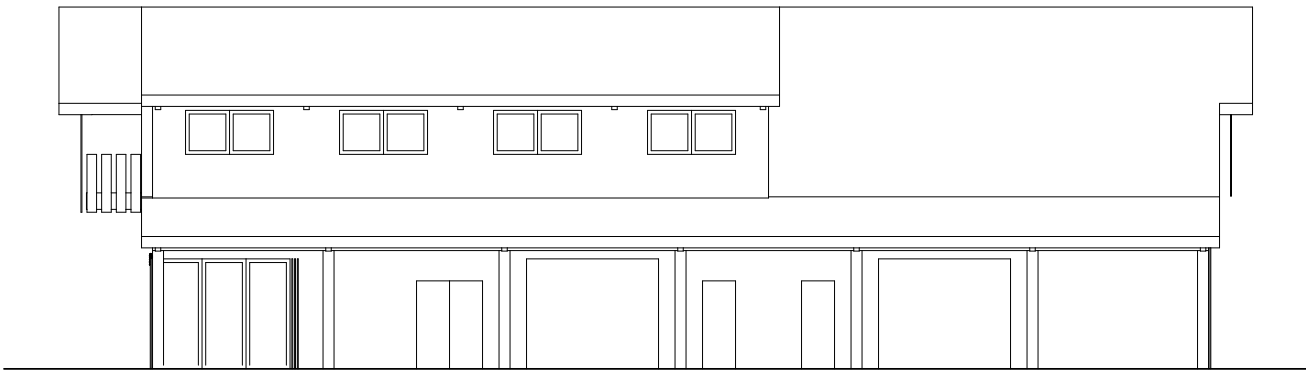




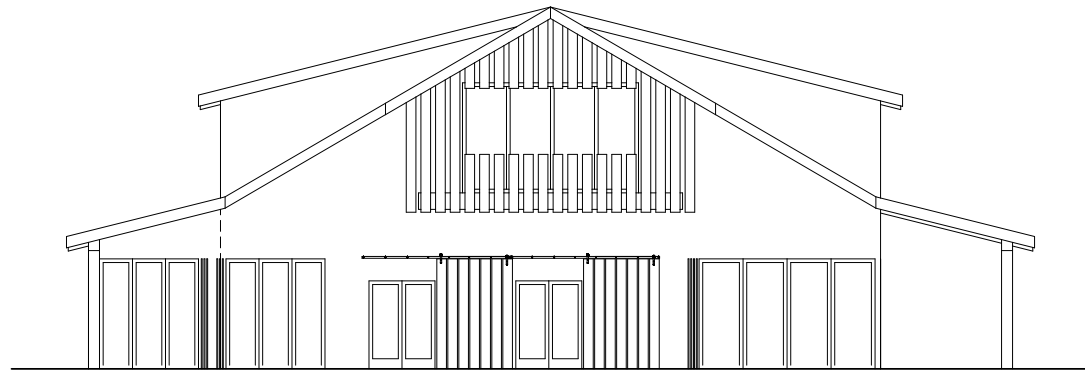
**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



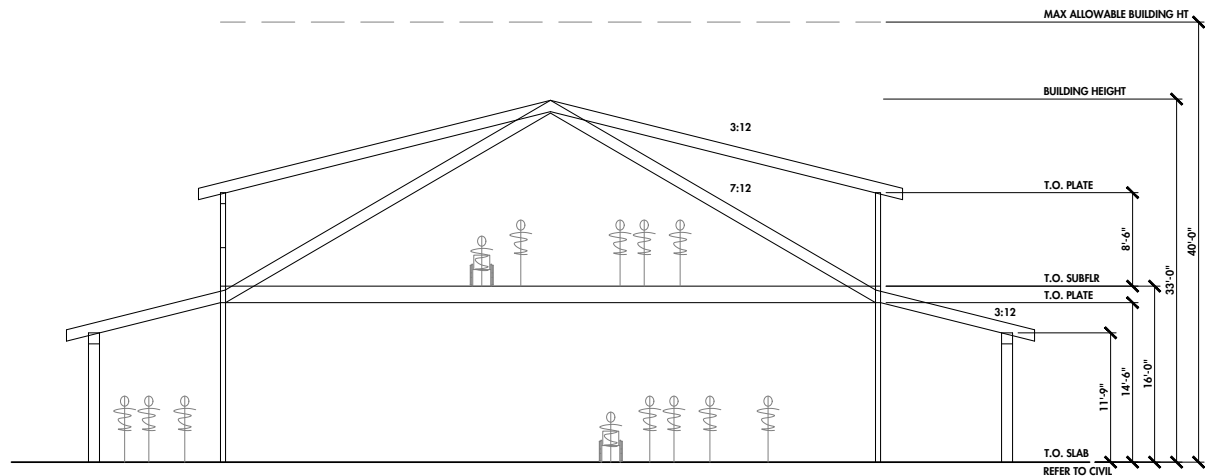
**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



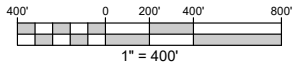
**5 BUILDING SECTION - A**  
SCALE: 1/8" = 1'-0"





SITE OVERVIEW PLAN

SCALE: 1" = 400'



CIVIL SHEET LIST

- C1.0 SITE OVERVIEW PLAN
- C2.0 GRADING AND DRAINAGE PLAN
- C2.2 GRADING AND DRAINAGE PLAN
- C2.3 DRIVEWAY OVERVIEW PLAN
- C3.4 PLAN AND PROFILE
- C3.5 PLAN AND PROFILE
- C3.6 PLAN AND PROFILE
- C3.7 PLAN AND PROFILE
- C3.8 PLAN AND PROFILE
- C3.9 PLAN AND PROFILE
- C3.10 PLAN AND PROFILE
- C5.0 DETAILS

GRADING VOLUME ESTIMATE SUMMARY				
AREA	ROADWAY EXCAVATION (CY)	EMBANKMENT (CY)	15% COMPACTION (CY)	EXPORT (CY) <sup>1</sup>
ACCESS ROAD	500	50	8	443
HSR DRIVEWAY	1450	750	113	588
MAIN ENTRANCE	7450	650	98	6703
EX CONCRETE DRIVEWAY FILL	100	200	30	-130
ADA TRAILS	150	0	0	150
MOW TRAIL	200	0	0	200
TOTAL=	9850	1650		7953

<sup>1</sup> EXPORT NET CUBIC YARDS = CUT - FILL  
POSITIVE NUMBER = EXPORT NEEDED  
NEGATIVE NUMBER = IMPORT NEEDED

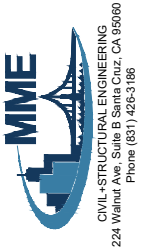
NOTES:  
CUT AND FILL VOLUME ESTIMATES WERE MEASURED USING THE AVERAGE END AREA METHOD. GRADING ESTIMATES WERE FACTORED TO ALLOW FOR 15% SHRINKAGE OF ON-SITE MATERIALS WHEN USED IN FILLS. NO ALLOWANCES WERE MADE FOR OVER-EXCAVATION OF UNSUITABLE MATERIALS, CONTAMINATED SOILS, TRENCHING, SUB-SURFACE UTILITIES, SAFETY SURFACING, FOUNDATIONS, STRUCTURES OR BUILDINGS UNLESS NOTED OTHERWISE. DRILLING SPOILS, STRUCTURE EXCAVATION, AND STRUCTURE BACKFILL EXCLUDED. EXCAVATION AND EMBANKMENT ARE ROUNDED FOR PRELIMINARY ESTIMATING PURPOSES.

CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO BID SUBMITTAL. CROSS SECTIONS ARE SHOWN FOR REFERENCE ONLY. THESE VOLUMES PROVIDED FOR OWNER'S BUDGET ESTIMATING ONLY.

GRADING SHALL BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION BY PCE, DATED OCTOBER 2020. WINTER GRADING IS NOT PROPOSED.

CONTOURS SHOWN FOR ROUGH GRADING INTENT ONLY. FUTURE PHASE CONSTRUCTION DOCUMENTS WILL PROVIDE FINE GRADING PLAN SPOT ELEVATIONS AND SLOPES FOR FINISHED GRADES.

REV	DATE	DESCRIPTION
1	11/22/2022	SCHEMATIC PLANS (30%)
2	1/16/2024	REVISED PLANNING SUBMITTAL
3	5/1/2024	REVISED PLANNING SUBMITTAL



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF  
SANTA CRUZ COUNTY  
LAND TRUST OF SANTA CRUZ COUNTY  
1617 WATER STREET  
SANTA CRUZ, CA 95060

SITE OVERVIEW PLAN

DRAWN BY:	AH
CHECKED BY:	RC
JOB NUMBER:	20133

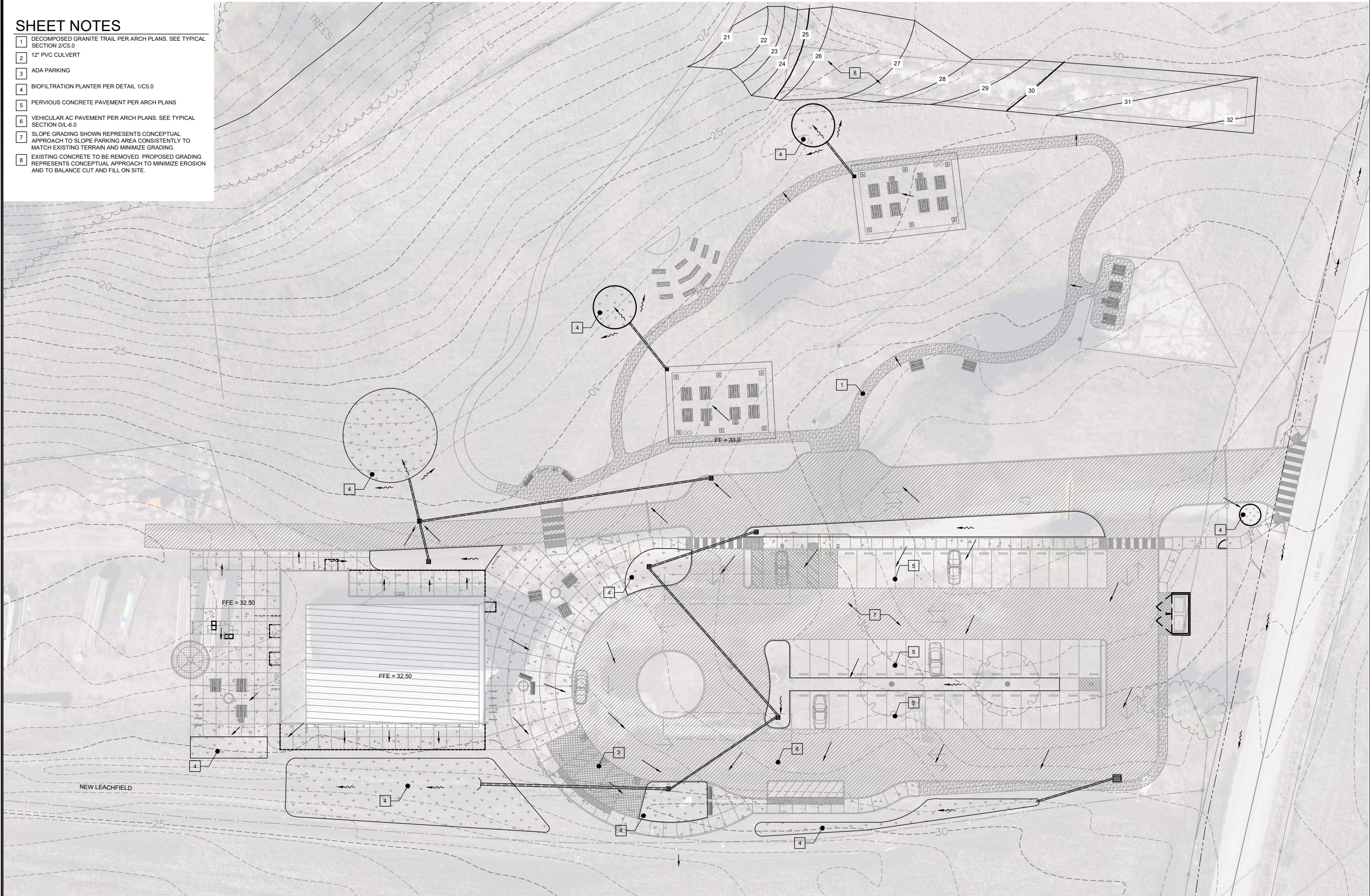
SHEET

C1.0



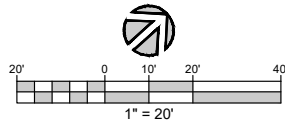
SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER ARCH PLANS. SEE TYPICAL SECTION D/L-6.0
- 7 SLOPE GRADING SHOWN REPRESENTS CONCEPTUAL APPROACH TO SLOPE PARKING AREA CONSISTENTLY TO MATCH EXISTING TERRAIN AND MINIMIZE GRADING.
- 8 EXISTING CONCRETE TO BE REMOVED. PROPOSED GRADING REPRESENTS CONCEPTUAL APPROACH TO MINIMIZE EROSION AND TO BALANCE CUT AND FILL ON SITE.

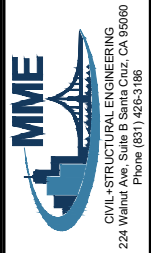


GRADING AND DRAINAGE CONCEPT

SCALE: 1" = 20'



REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	11/22/2022
2	REVISED PLANNING SUBMITTAL	RC	1/16/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024
4			
5			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

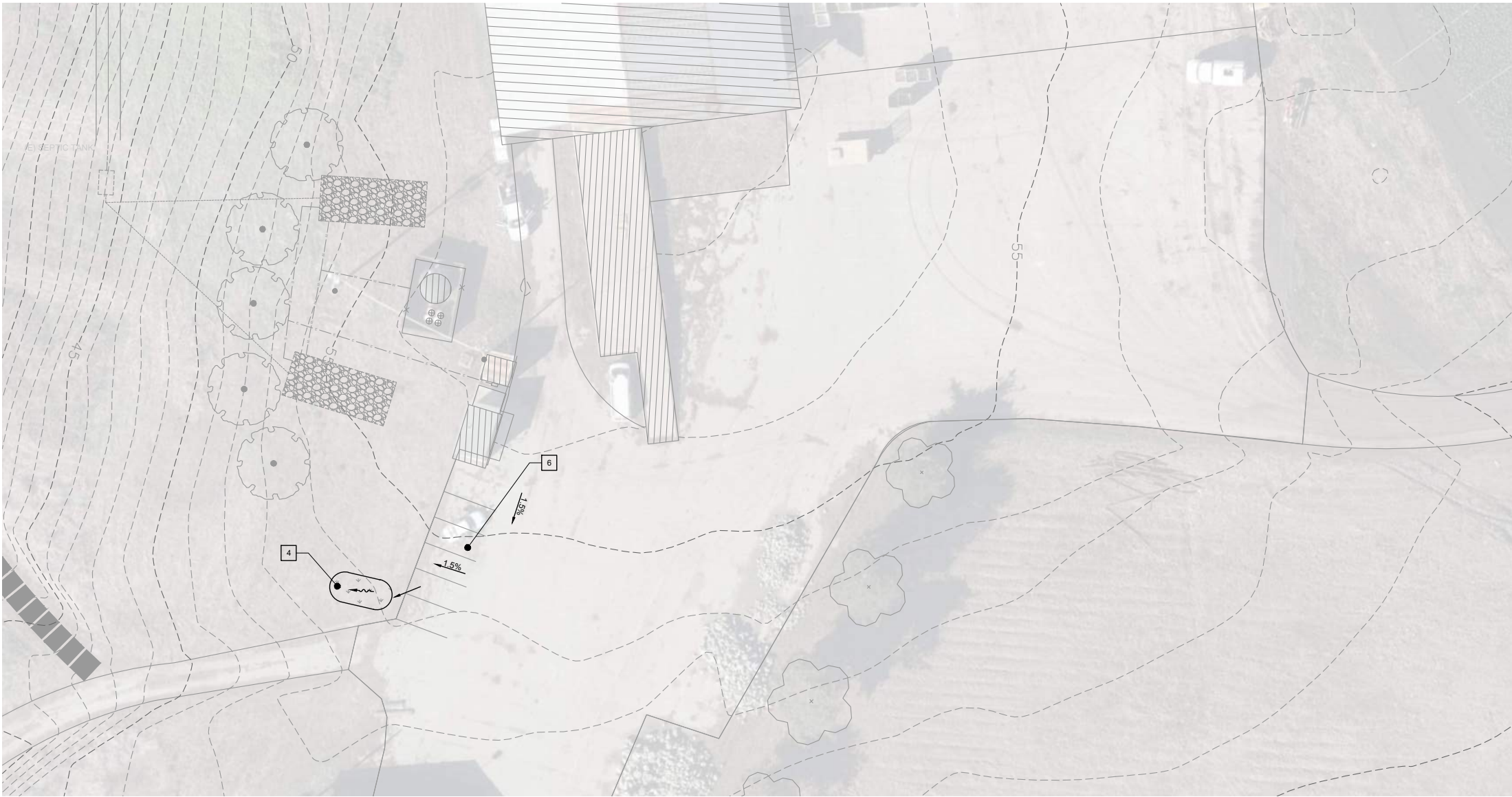
PREPARED AT THE REQUEST OF:  
SANTA CRUZ COUNTY LAND TRUST  
1817 WATER STREET  
SANTA CRUZ, CA 95060

GRADING AND DRAINAGE CONCEPT

DRAWN BY: JP  
CHECKED BY: RC  
JOB NUMBER: 20133

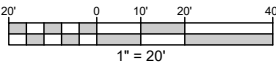
SHEET  
C2.0





**GRADING AND DRAINAGE CONCEPT**

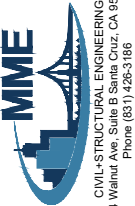
SCALE: 1" = 20'



**SHEET NOTES**

- 1 DECOMPOSED GRANITE TRAIL PER ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER ARCH PLANS. SEE TYPICAL SECTION D/L-6.0
- 7 SLOPE GRADING SHOWN REPRESENTS CONCEPTUAL APPROACH TO SLOPE PARKING AREA CONSISTENTLY TO MATCH EXISTING TERRAIN AND MINIMIZE GRADING.
- 8 EXISTING CONCRETE TO BE REMOVED. PROPOSED GRADING REPRESENTS CONCEPTUAL APPROACH TO MINIMIZE EROSION AND TO BALANCE CUT AND FILL ON SITE.

REV	DESCRIPTION	BY	DATE
A	SCHEMATIC PLANS (30%)	RC	1/12/2022
A	REVISED PLANNING SUBMITTAL	RC	1/16/2024
A	REVISED PLANNING SUBMITTAL	RC	5/1/2024
A			
A			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF  
SLOUGH FARM COMMUNITY HARVEST  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

GRADING AND DRAINAGE CONCEPT

DRAWN BY: JP

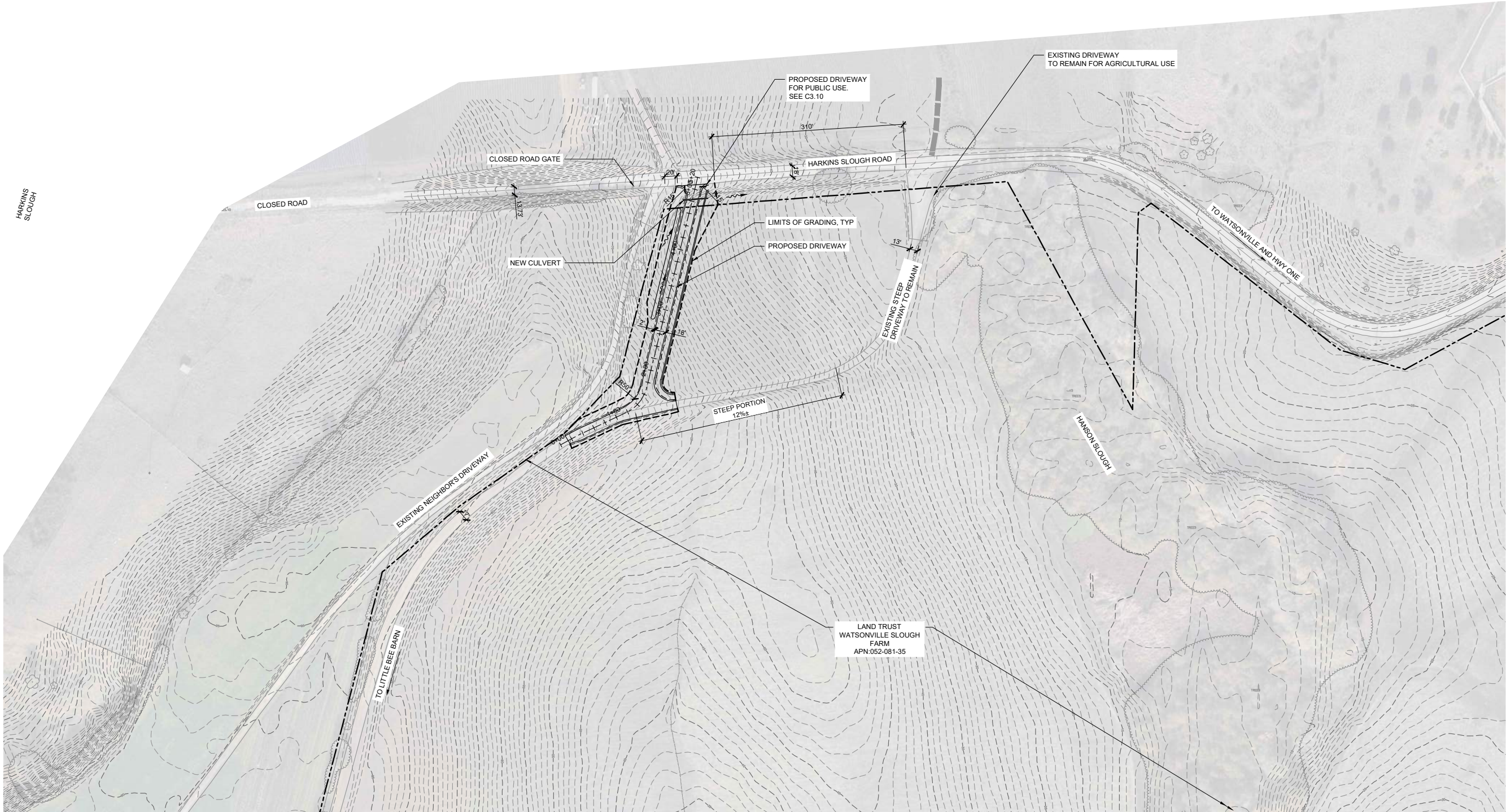
CHECKED BY: RC

JOB NUMBER: 20133

SHEET

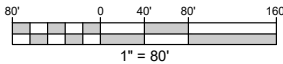
C2.2



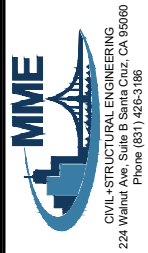


DRIVEWAY OVERVIEW PLAN

SCALE: 1" = 80'



REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	11/22/2022
2	REVISED PLANNING SUBMITTAL	RC	1/18/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024
4			
5			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF:  
SANTA CRUZ LAND TRUST FOR THE  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

DRIVEWAY OVERVIEW PLAN

DRAWN BY: AH  
CHECKED BY: RC  
JOB NUMBER: 20133  
SHEET

C2.3

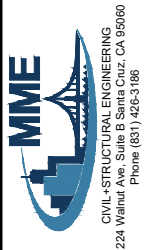


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## SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL

REV	DESCRIPTION	BY	DATE
Δ	SCHEMATIC PLANS (30%)	RC	11/22/2022
Δ	REVISED PLANNING SUBMITTAL	RC	1/16/2024
Δ	REVISED PLANNING SUBMITTAL	RC	5/1/2024
Δ			
Δ			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

## WATSONVILLE SLOUGH FARM COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF  
SLOUGH FARM COMMUNITY HARVEST FOR THE  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

PLAN AND PROFILE

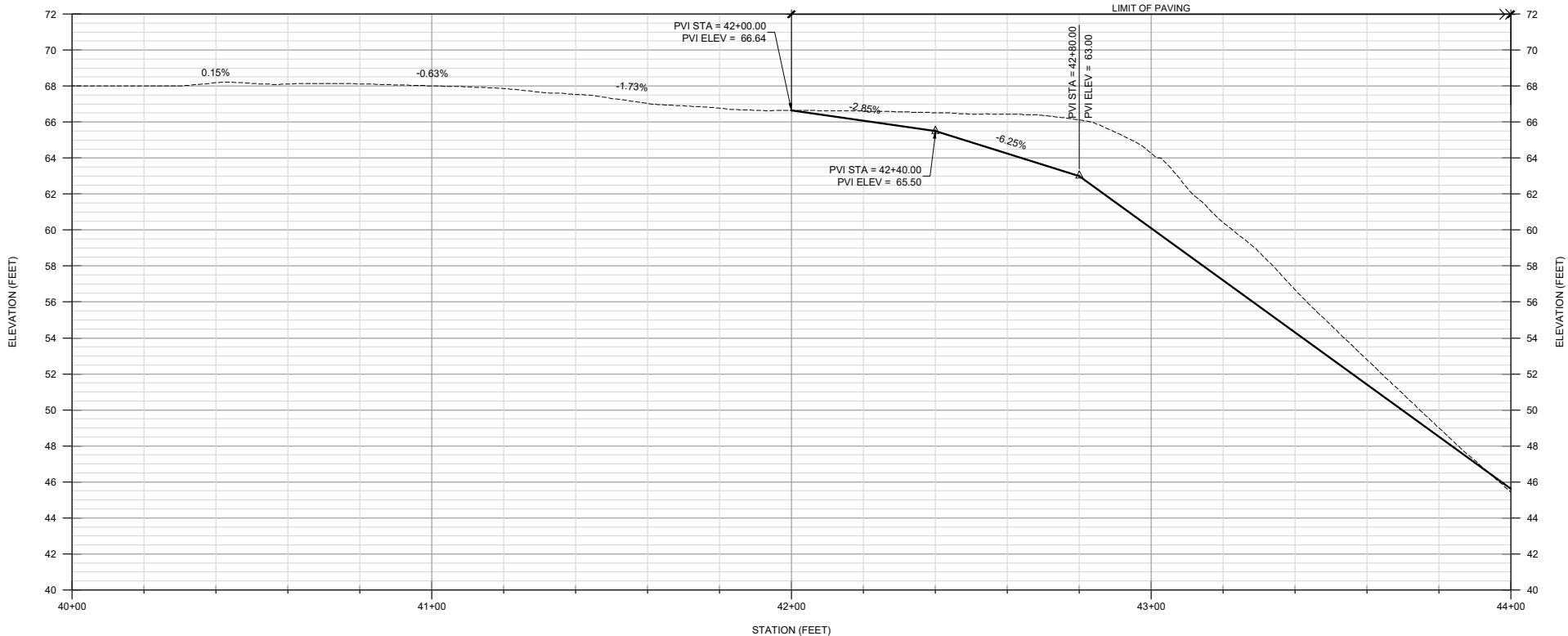
DRAWN BY: JP  
CHECKED BY: RC  
JOB NUMBER: 20133

SHEET

C3.4

## PLAN

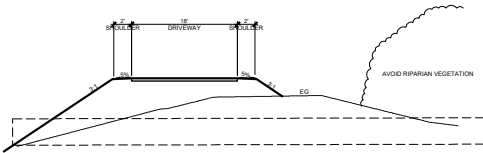
SCALE: 1" = 20'



## PROFILE 3-A

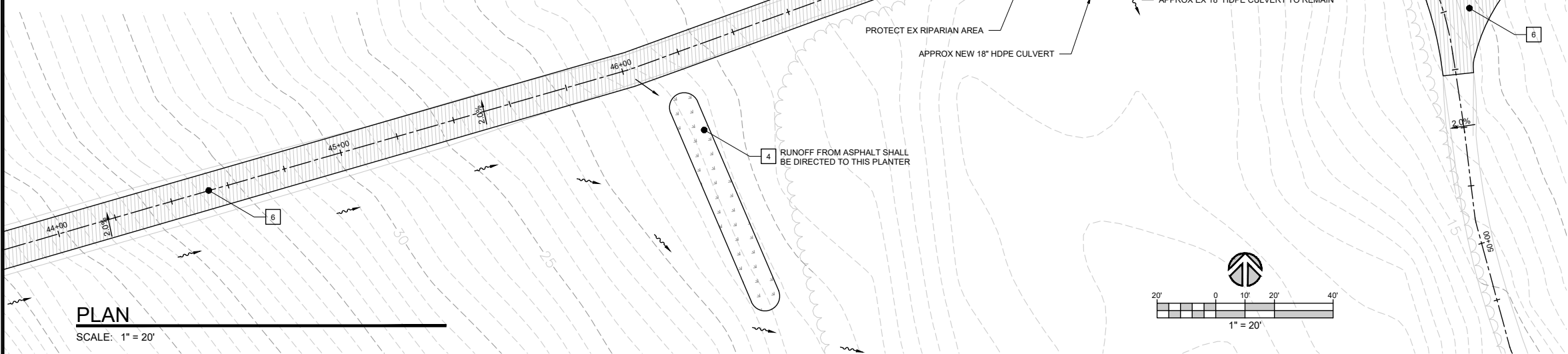
SCALE: V: 1" = 4' H: 1" = 20'





## TYPICAL SECTION

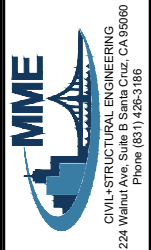
SCALE: N/A



## SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL

REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	1/12/2022
2	REVISED PLANNING SUBMITTAL	RC	1/16/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024



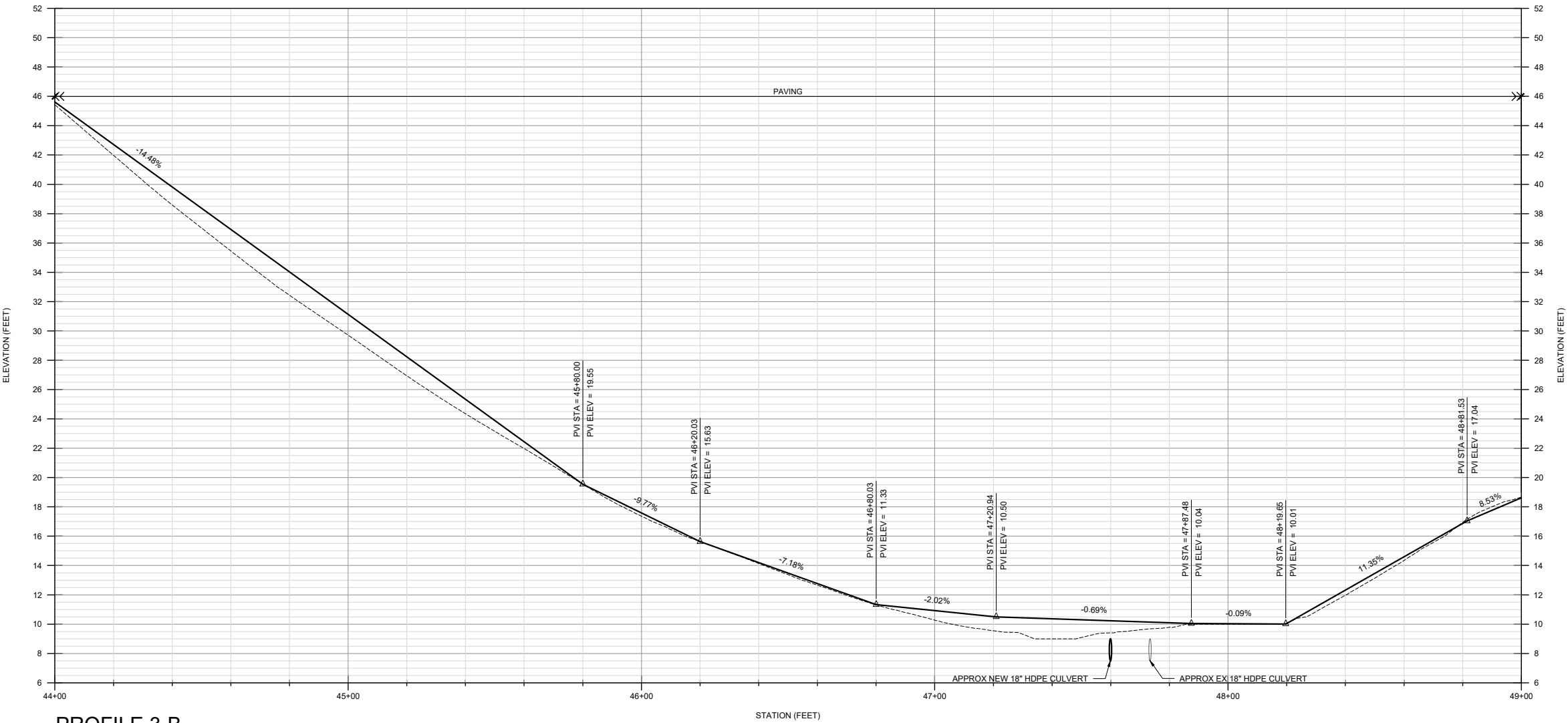
PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

PLAN AND PROFILE

DRAWN BY: JP  
CHECKED BY: RC  
JOB NUMBER: 20133

SHEET  
C3.5

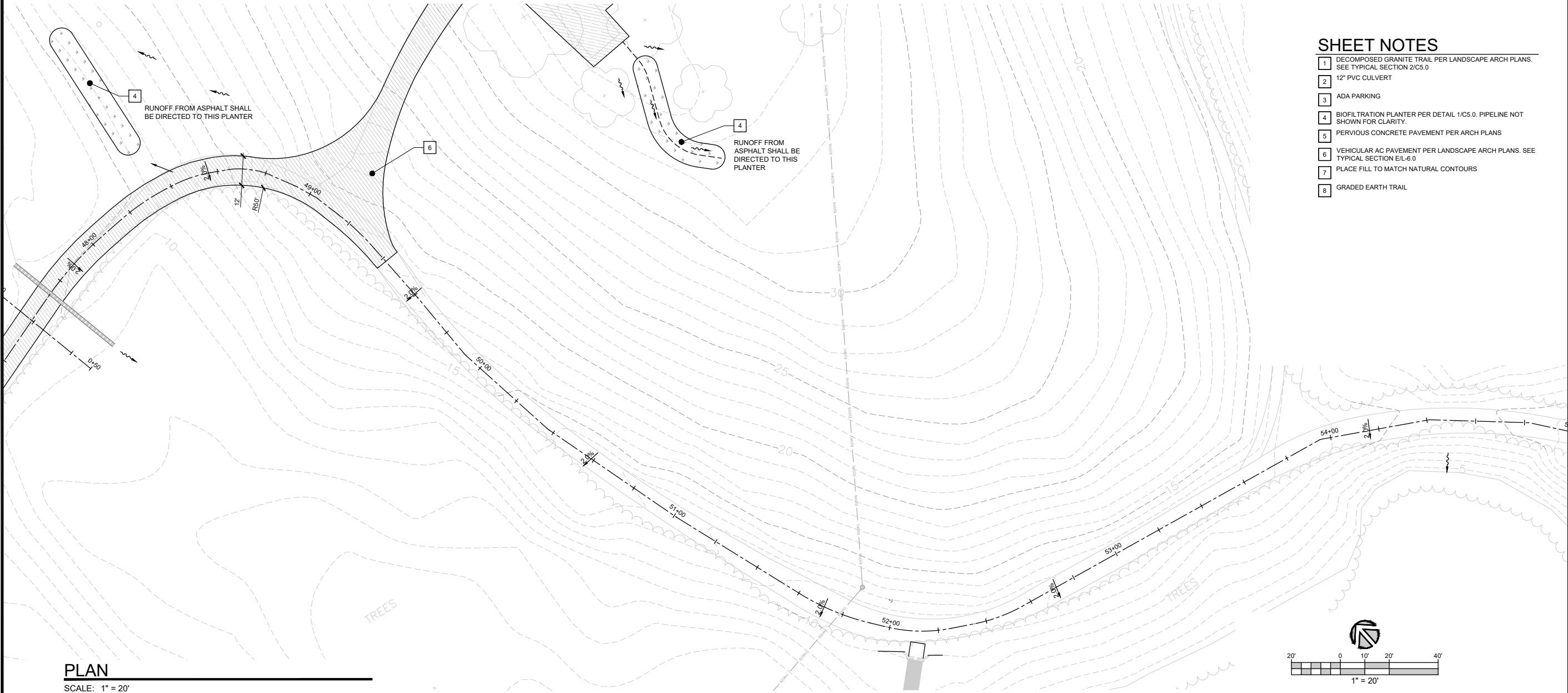


## PROFILE 3-B

SCALE: V: 1" = 4' H: 1" = 20'

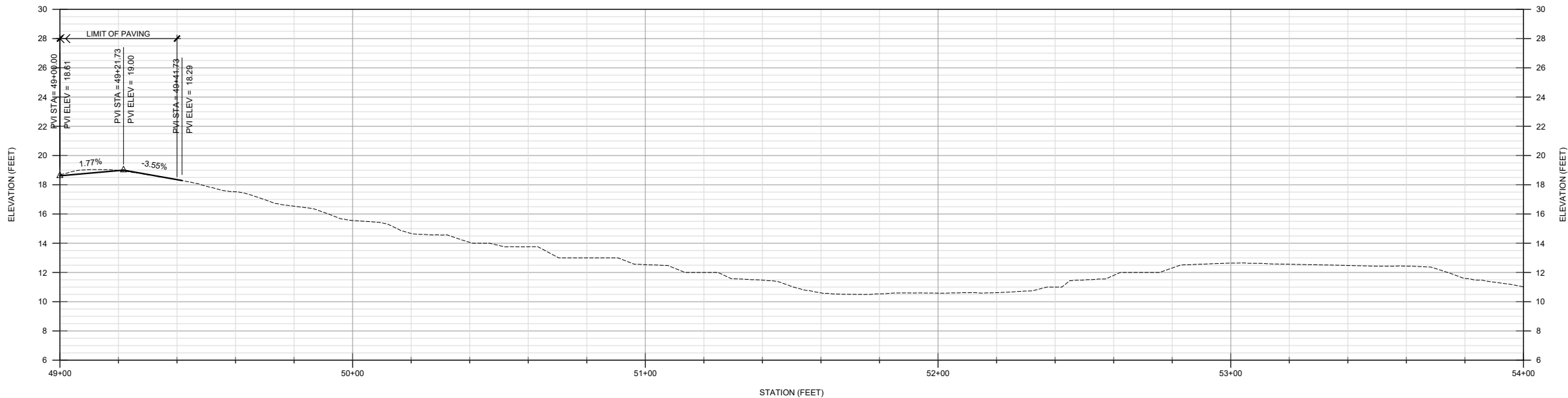


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## PLAN

SCALE: 1" = 20'



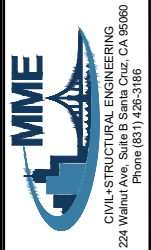
## PROFILE 3-C

SCALE: V: 1" = 4' H: 1" = 20'

## SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL

REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	1/22/2022
2	REVISED PLANNING SUBMITTAL	RC	1/18/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024
4			
5			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

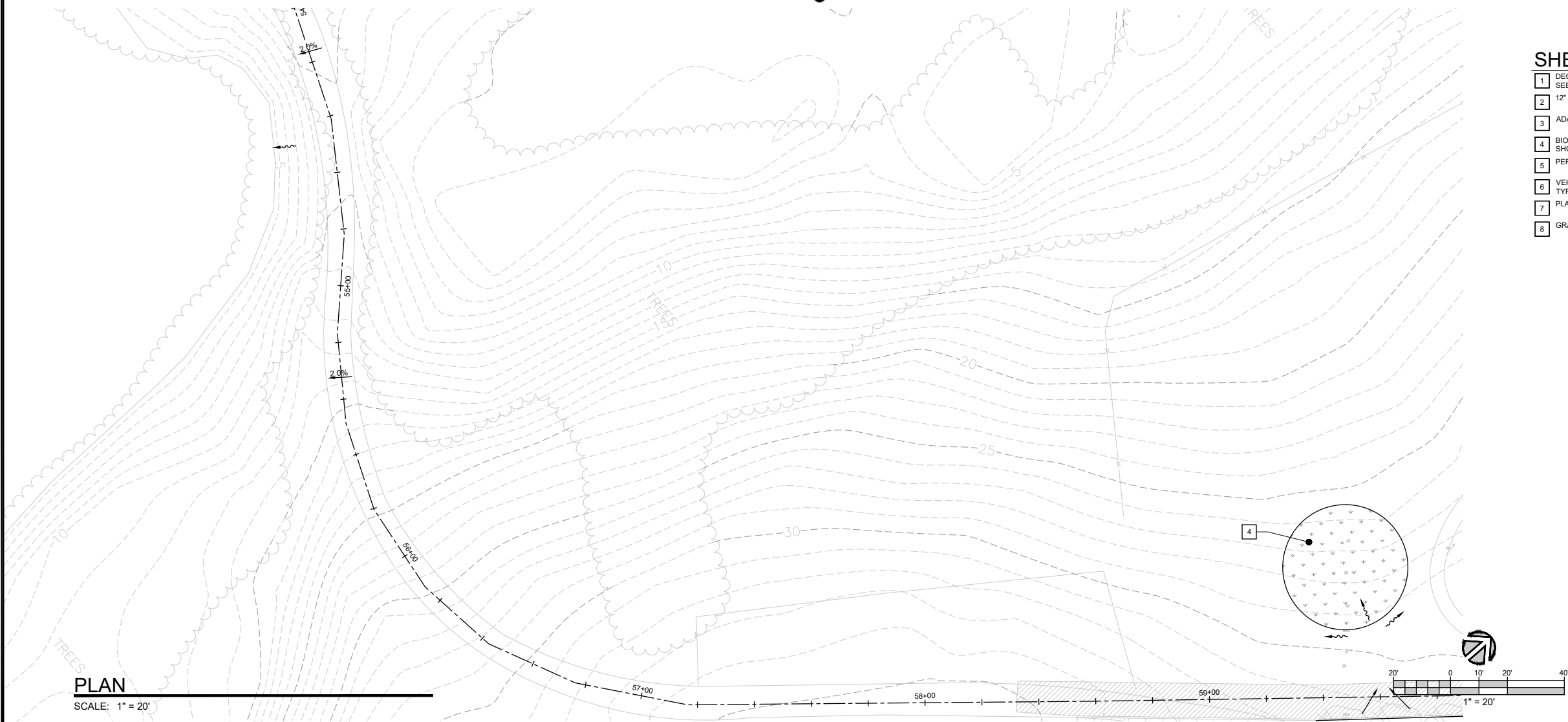
WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT  
PREPARED AT THE REQUEST OF:  
SLOUGH FARM COMMUNITY HARVEST  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

PLAN AND PROFILE  
DRAWN BY: JP  
CHECKED BY: RC  
JOB NUMBER: 20133  
SHEET

C3.6

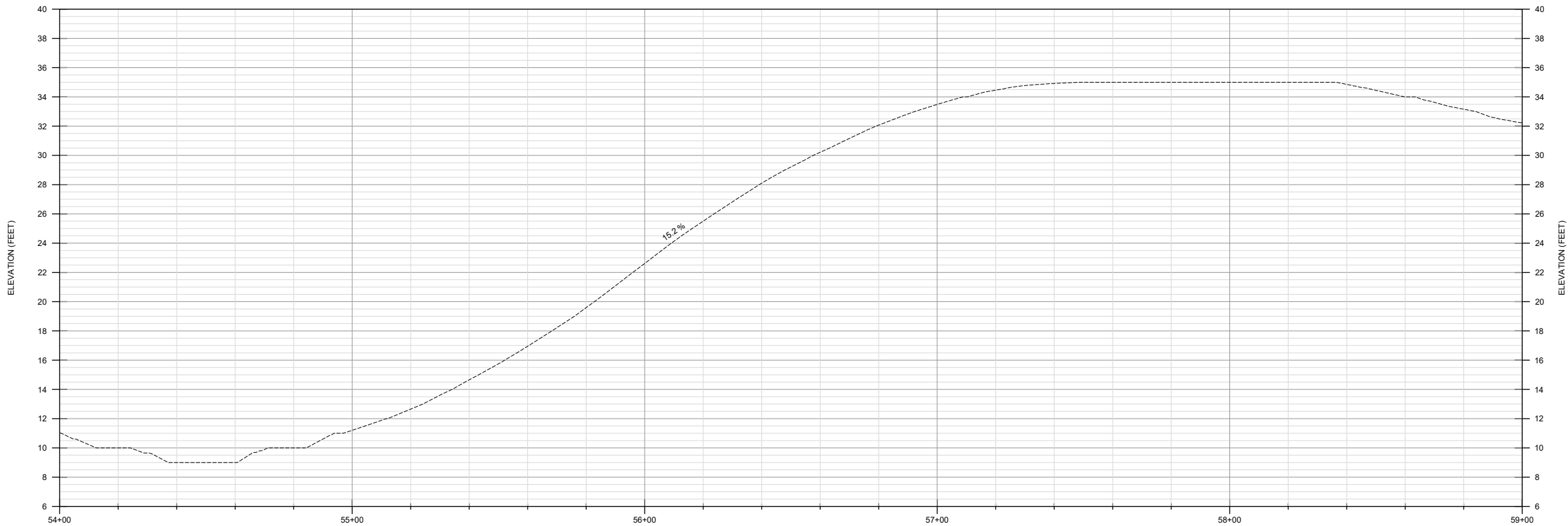


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## PLAN

SCALE: 1" = 20'



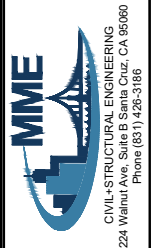
## PROFILE 3-D

SCALE: V: 1" = 4' H: 1" = 20'

## SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL

REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	1/12/2022
2	REVISED PLANNING SUBMITTAL	RC	1/19/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024



PRELIMINARY  
NOT FOR  
CONSTRUCTION

## WATSONVILLE SLOUGH FARM COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF  
SLOUGH FARM COMMUNITY HARVEST  
LAND TRUST OF SANTA CRUZ COUNTY  
SANTA CRUZ, CA 95060

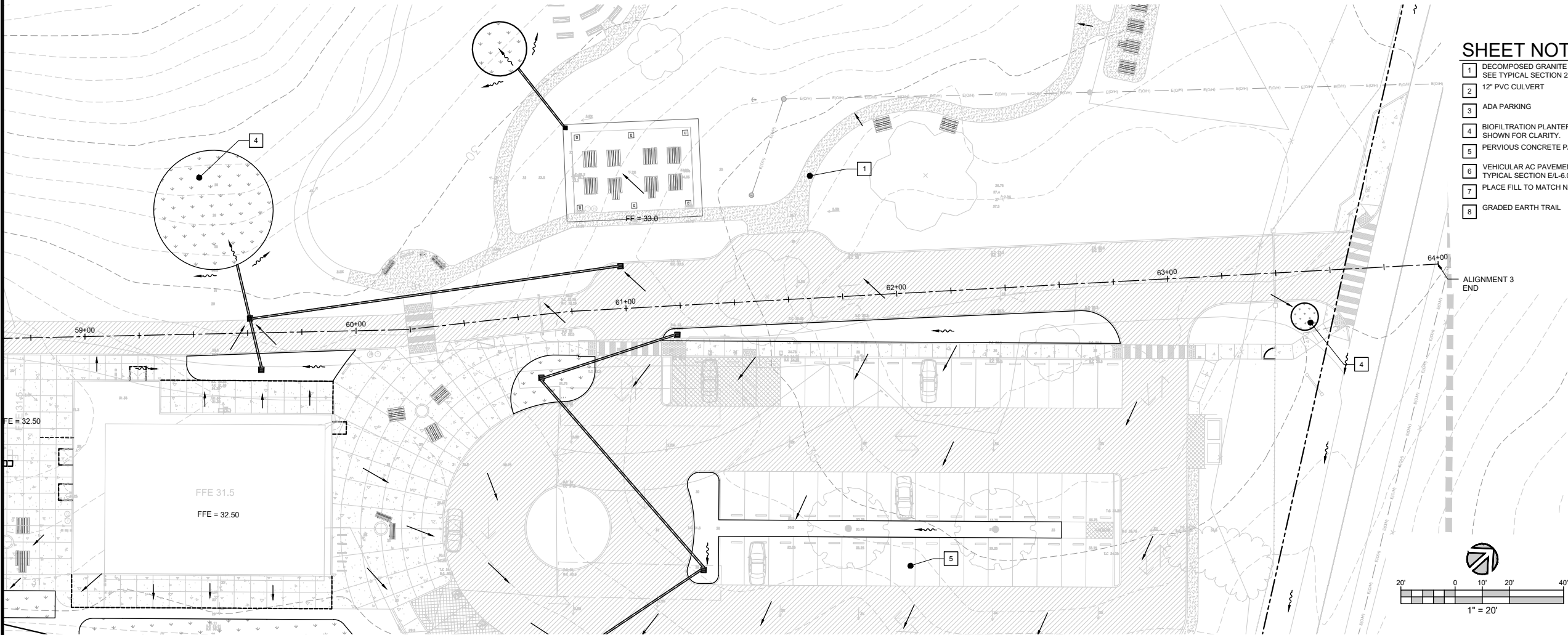
PLAN AND PROFILE

DRAWN BY:	JP
CHECKED BY:	RC
JOB NUMBER:	20133

SHEET

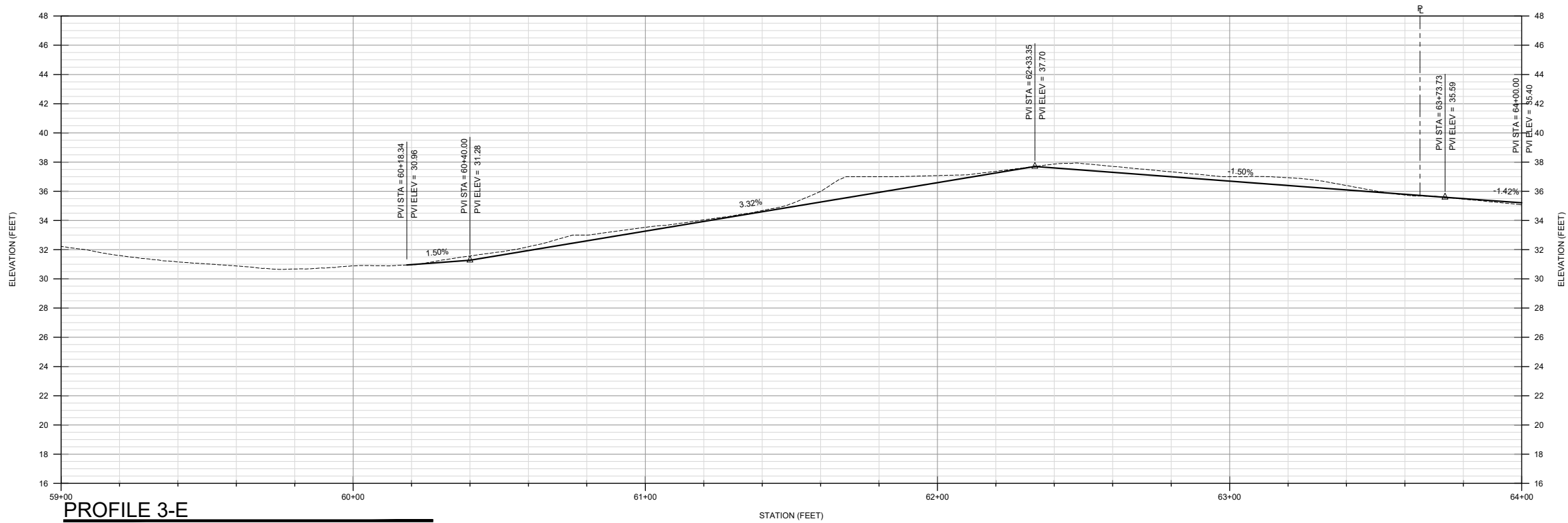
C3.7





PLAN

SCALE: 1" = 20'

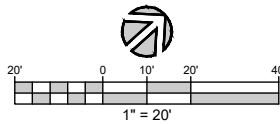


PROFILE 3-E

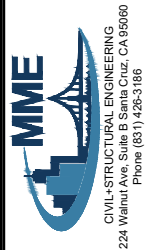
SCALE: V: 1" = 4' H: 1" = 20'

SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL



REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	1/12/2022
2	REVISED PLANNING SUBMITTAL	RC	1/19/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

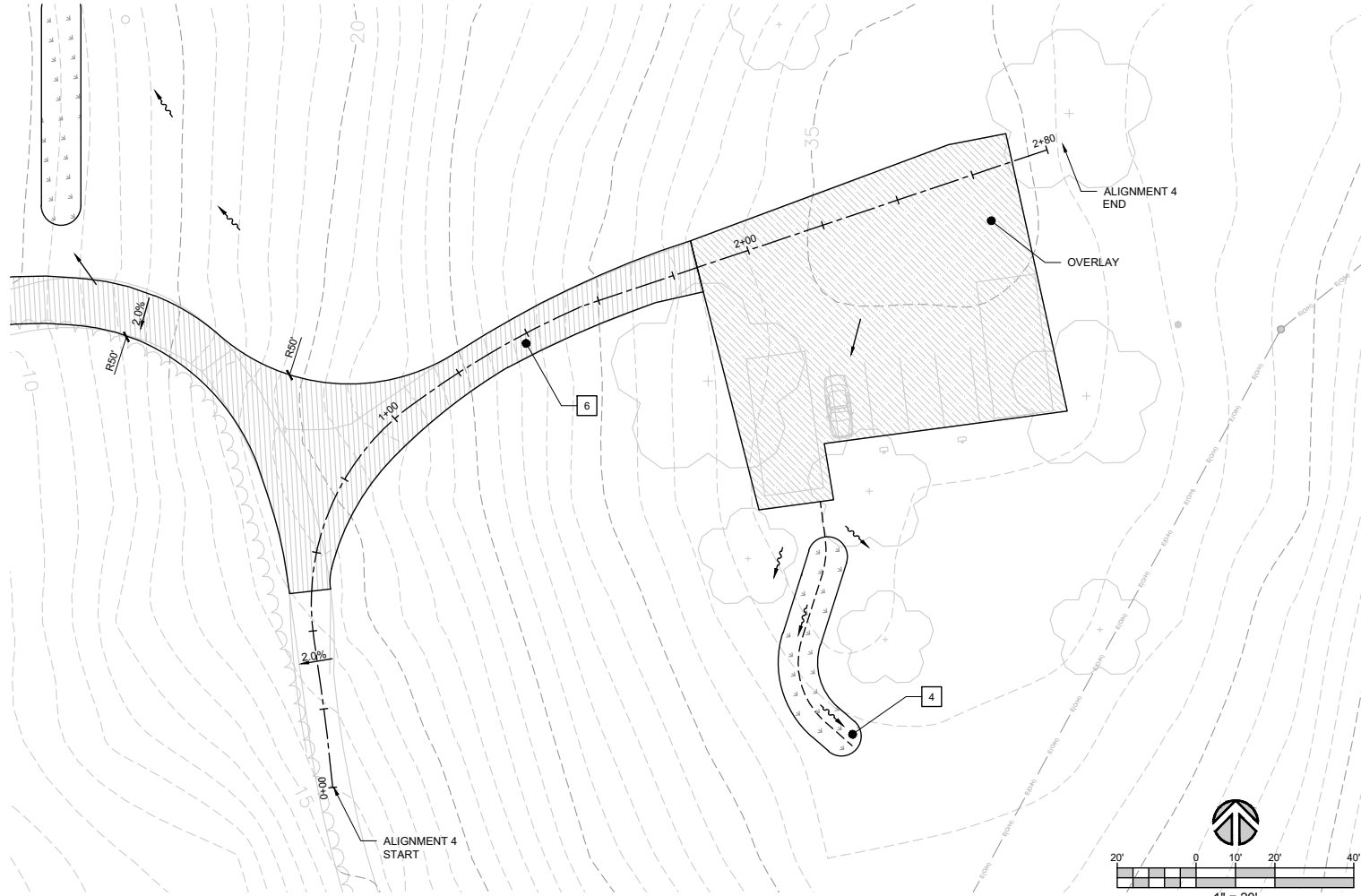
PREPARED AT THE REQUEST OF  
SANTA CRUZ COMMUNITY HARVEST  
LAND TRUST OF SANTA CRUZ COUNTY  
817 WATER STREET  
SANTA CRUZ, CA 95060

PLAN AND PROFILE	DRAWN BY: JP
	CHECKED BY: RC
	JOB NUMBER: 20133
	SHEET

C3.8

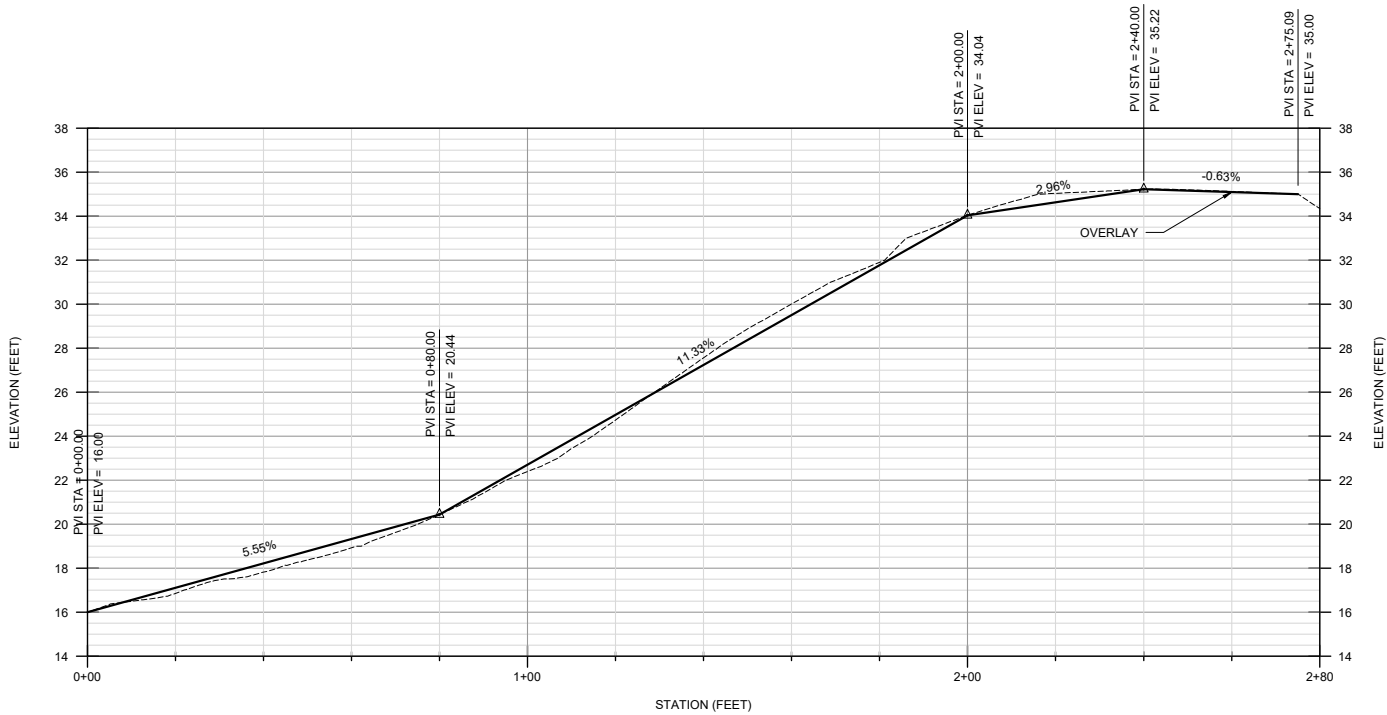


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## PLAN

SCALE: 1" = 20'



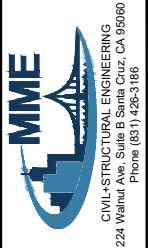
## PROFILE 4

SCALE: V: 1" = 4' H: 1" = 20'

## SHEET NOTES

- 1 DECOMPOSED GRANITE TRAIL PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION 2/C5.0
- 2 12" PVC CULVERT
- 3 ADA PARKING
- 4 BIOFILTRATION PLANTER PER DETAIL 1/C5.0. PIPELINE NOT SHOWN FOR CLARITY.
- 5 PERVIOUS CONCRETE PAVEMENT PER ARCH PLANS
- 6 VEHICULAR AC PAVEMENT PER LANDSCAPE ARCH PLANS. SEE TYPICAL SECTION E/L-6.0
- 7 PLACE FILL TO MATCH NATURAL CONTOURS
- 8 GRADED EARTH TRAIL

REV	DESCRIPTION	BY	DATE
A	SCHEMATIC PLANS (30%)	RC	1/12/2022
A	REVISED PLANNING SUBMITTAL	RC	1/16/2024
A	REVISED PLANNING SUBMITTAL	RC	5/1/2024
A			
A			



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

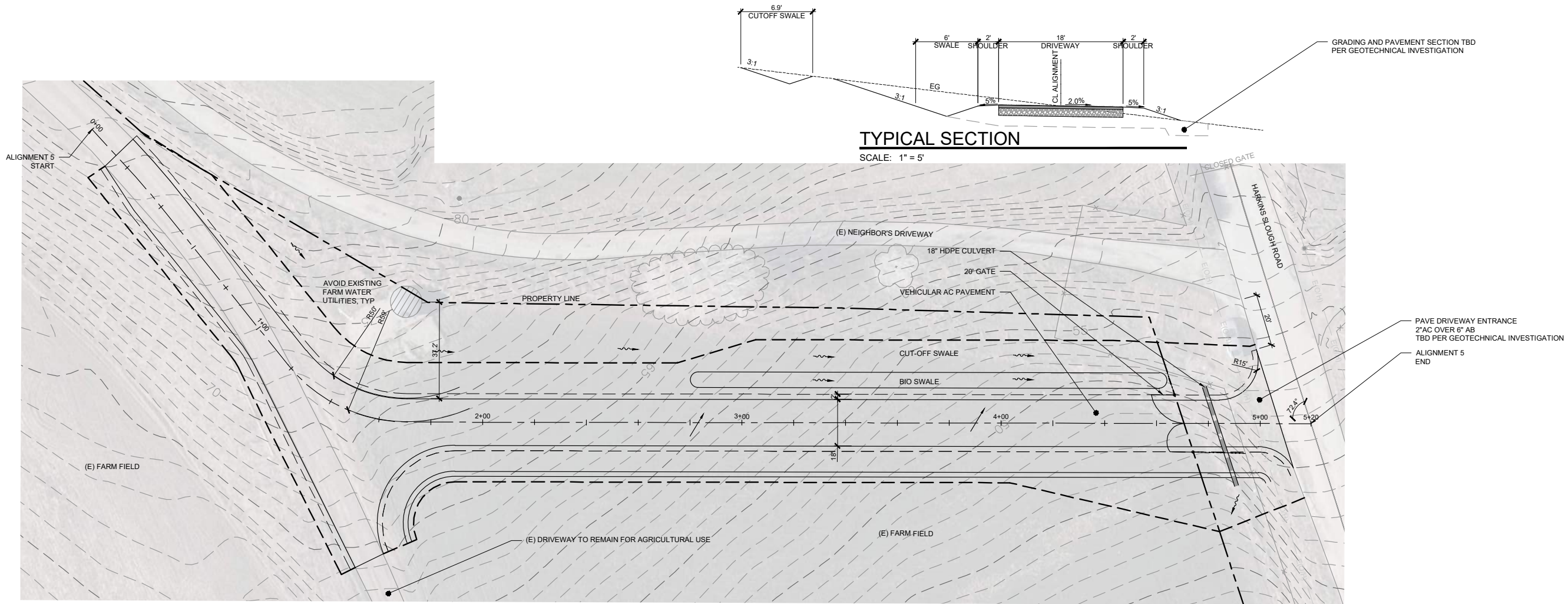
PREPARED AT THE REQUEST OF  
SLOUGH FARM COMMUNITY HARVEST  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

PLAN AND PROFILE

DRAWN BY:	JP
CHECKED BY:	RC
JOB NUMBER:	20133
SHEET	

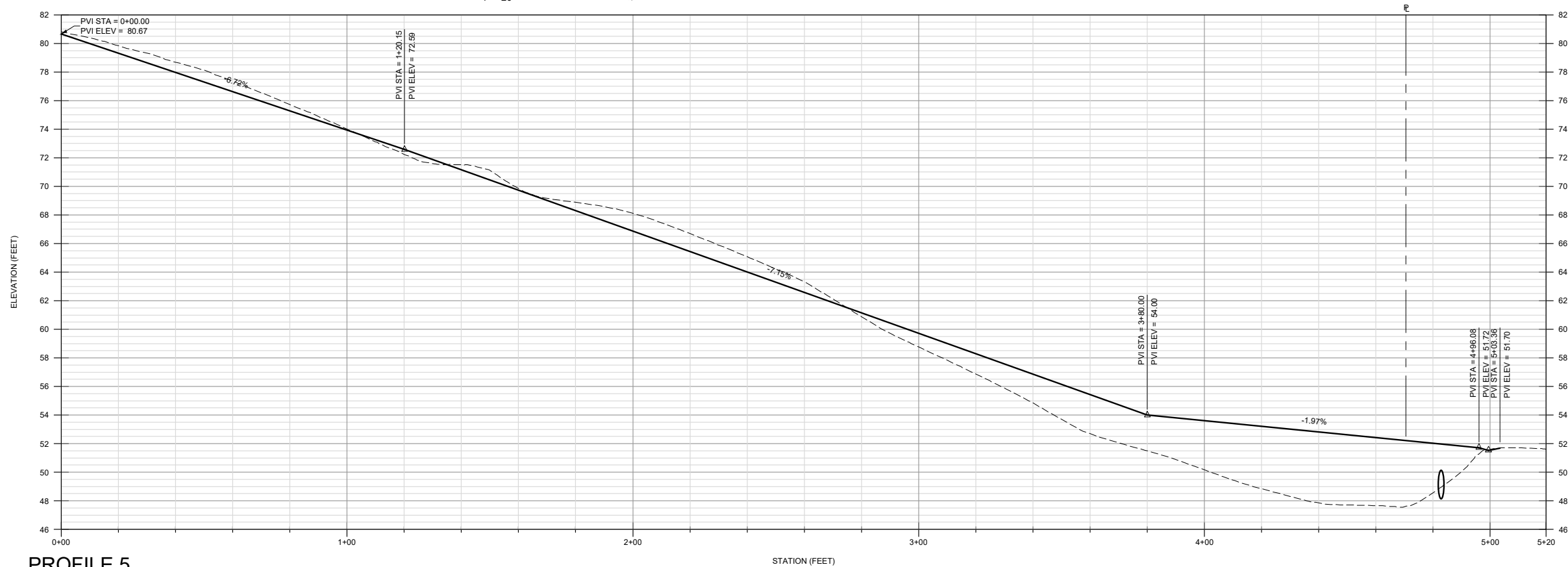
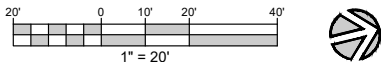
C3.9





**PLAN**

SCALE: 1" = 20'

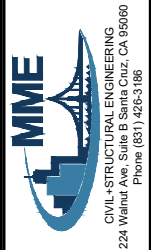


**PROFILE 5**

SCALE: V: 1" = 4' H: 1" = 20'

NOTE: VERTICAL CURVES TBD

REV	DESCRIPTION	BY	DATE
1	SCHEMATIC PLANS (30%)	RC	11/22/2022
2	REVISED PLANNING SUBMITTAL	RC	1/16/2024
3	REVISED PLANNING SUBMITTAL	RC	5/1/2024



PRELIMINARY  
NOT FOR  
CONSTRUCTION

WATSONVILLE SLOUGH FARM  
COMMUNITY HARVEST PROJECT

PREPARED AT THE REQUEST OF  
SSA LAND MANAGEMENT FOR THE  
LAND TRUST OF SANTA CRUZ COUNTY  
617 WATER STREET  
SANTA CRUZ, CA 95060

DRIVEWAY PLAN

DRAWN BY:	AH
CHECKED BY:	RC
JOB NUMBER:	20133

SHEET

C3.10



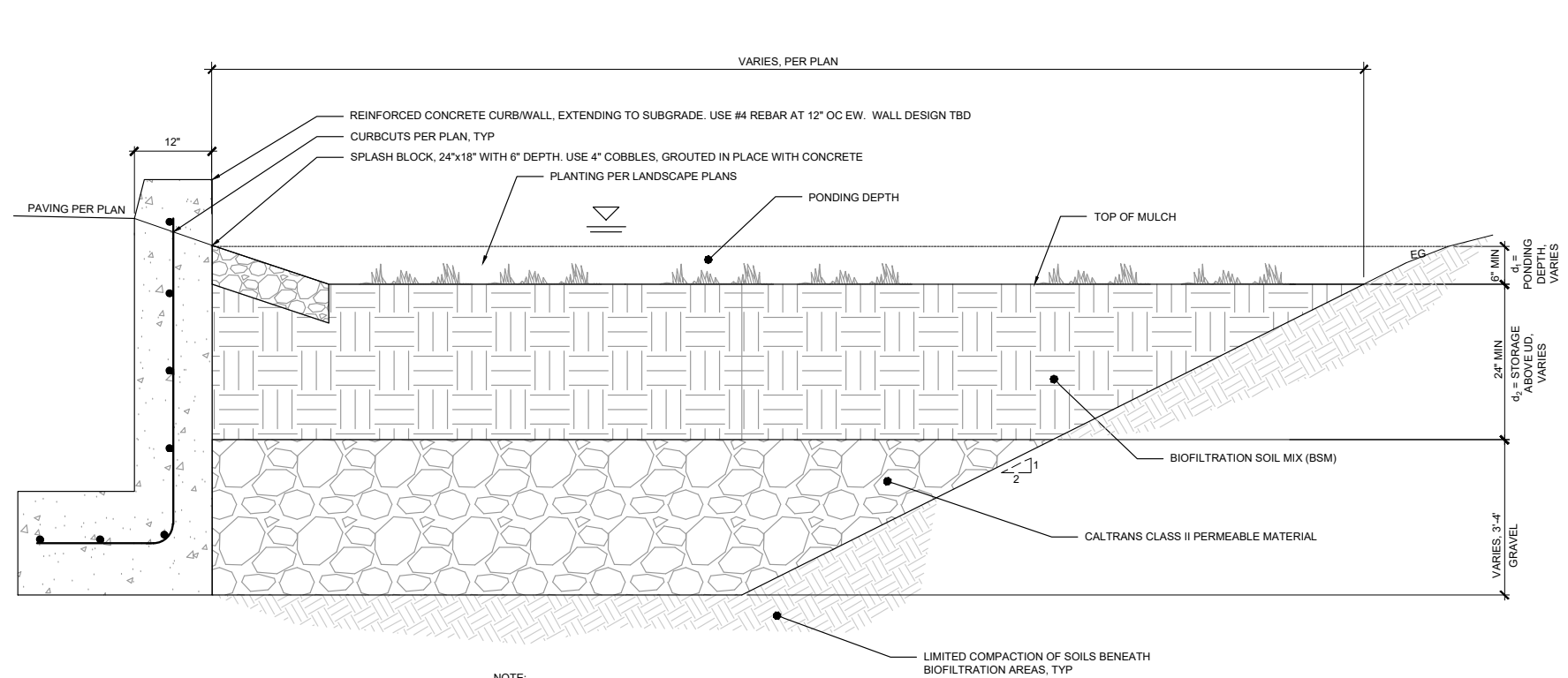
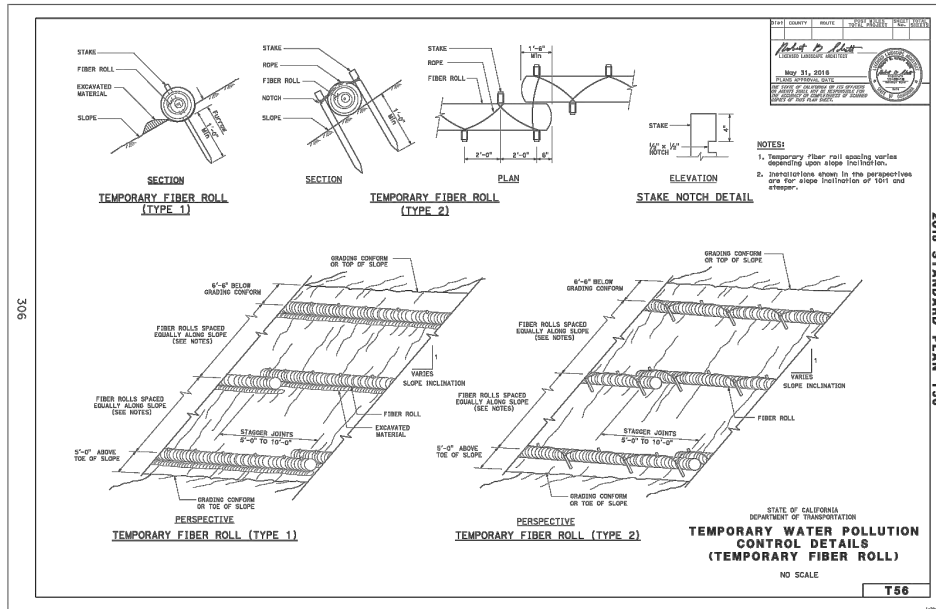


Diagram illustrating the cross-section of a pavement structure with the following layers and specifications:

- ASPHALT CONCRETE (AC)**: 2" thick layer.
- CLASS II AGGREGATE BASE (AB)**: 6" thick layer, compacted to 95% RC in two lifts.
- EXISTING BASE MATERIAL**: Scarified 8" and recompacted to 95% RC.

REGULAR CONCRETE FLUSH CURB PERIMETER

#4 TOP AND BOTTOM

1.5"

6"

PERVIOUS CONCRETE

CALTRANS CLASS 1 PERMEABLE MATERIAL

MIRAFIX HP370 FABRIC GEOTECHNICAL REINFORCEMENT

LEVEL SUBGRADE FOR INFILTRATION, TYPE

EXISTING TOPSOIL STRIPPED. SUBGRADE PROOF ROLLED WITH LOADED WATER TRUCK EQUIVALENT. YIELDING AREAS BELOW TRAIL SHOULD BE REMOVED. PROVIDE 88-92% RC

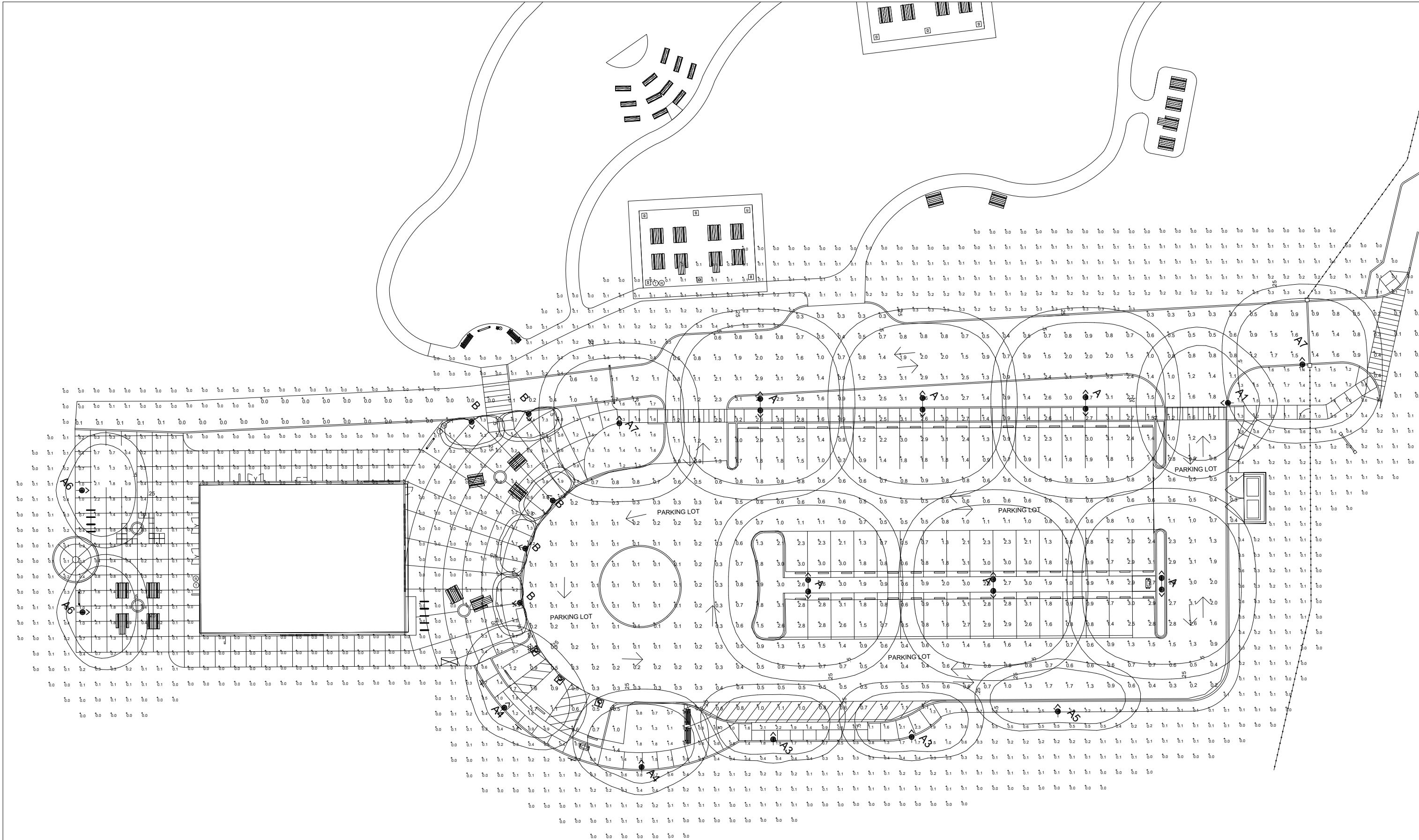
NATIVE SOIL

VEHICULAR -  
PERVIOUS CONCRETE PVMT

SCALE: 1 1/2" = 1'

5





SCALE: 1/16" = 1'-0"

PLAN VIEW