



Staff Report to the Zoning Administrator

Application Number: **241011**

Applicant: Thomas Ebert

Owner: Alexander and Lana Boyovich, Thomas and Barbara Ebert

APN: 070-311-38

Site Address: 222 Green Valley Road, Scotts Valley

Agenda Date: 3/21/25

Agenda Item #: 2

Time: After 9:00 a.m.

Project Description: Proposal to construct two 980 square foot non-habitable accessory structures, to recognize an abalone distribution business that includes the short-term holding of live abalone on site within one of the accessory structures, and to recognize an existing and modified over-height fence located within the required front yard setback.

Location: Property located on the southern side of Green Valley Road (222 Green Valley Road), at the southwestern corner of the intersection with Lucinda Street.

Permits Required: A Conditional Use Permit for the abalone distribution business, a Minor Exception for increased lot coverage from 10% to 11.1% and Site Development Permit for an over-height fence certification.

Supervisory District: 5th District (District Supervisor: Monica Martinez)

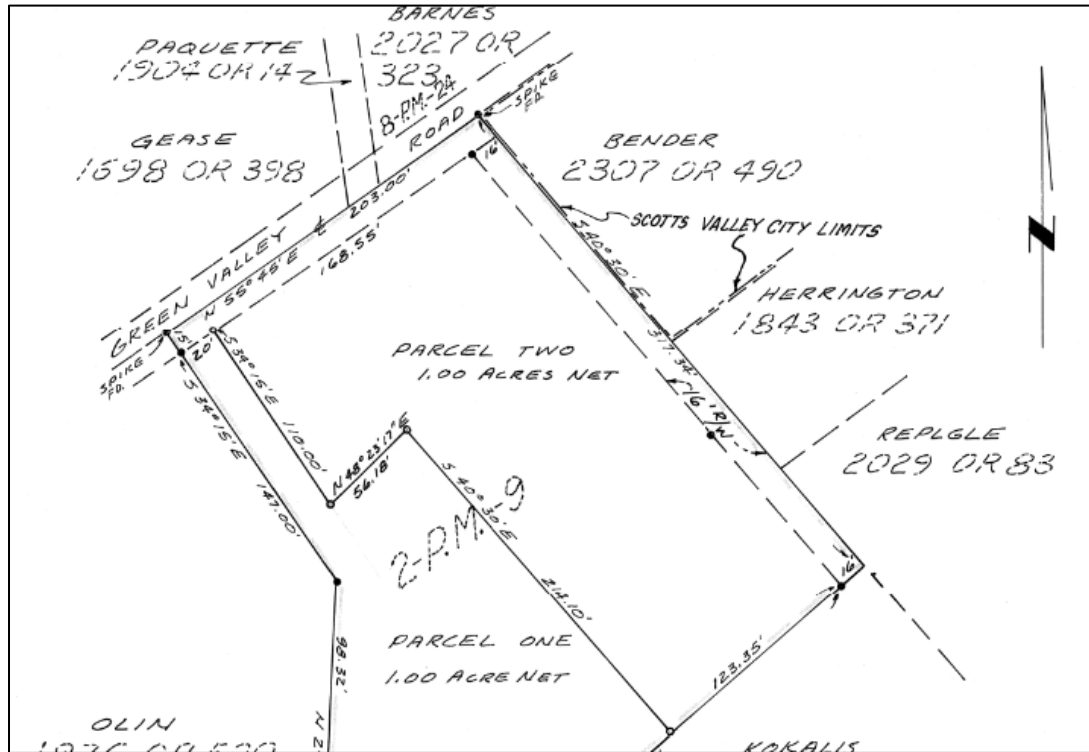
Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241011, based on the attached findings and conditions.

Project Description & Setting

The neighborhood lies adjacent to the city limit for the City of Scotts Valley, within an area that includes properties that are somewhat randomly located in either the County of Santa Cruz or the City of Scotts Valley. The surrounding area is primarily characterized by larger lots, featuring single-family dwellings and accessory structures that are used for storage, family farming, or animal keeping. The subject property and immediately surrounding area is mostly level, with perennial streams – including Ruins Creek, Bean Creek, and Lockhart Gulch – that run through the area within steeply incised channels, all situated within a quarter mile of the subject property.

The subject property is located at the southwestern corner of Green Valley Road and Lucinda Street. The rights-of-way for these streets, which are shown by dashed lines on the recorded map on the next page, run over the property.



The property is currently developed with a 2,225 square foot, one-story single-family dwelling, built in 1971, and a 1,200 square foot, two-story garage/workshop. According to Assessor records, the second story of the garage/workshop was converted into an accessory dwelling unit (ADU) in 2001 without the benefit of permits. As a condition of approval of this permit, the ADU must either be permitted or reverted to non-habitable area.

The property owner operates a home occupation under the name *Abalone To Go*, involving the sale and distribution of live abalone, and occasionally abalone shells and used abalone farming equipment, under permits issued by the California Department of Fish and Wildlife, NOAA: International Fisheries Trade Permit, and the California Department of Public Health. As part of this business, live abalone are held, temporarily, in tanks on the property (up to a week) before being delivered to buyers. Currently, the abalone are kept in up to six seawater tanks with pumps that are housed in temporary canvas carport structures. Under this application, the home occupation will be formally recognized with a Conditional Use Permit (CUP) and relocated into one of the proposed accessory structures. For more details regarding the existing business, refer to Exhibit H.

The proposed development includes the addition of two 980-square-foot accessory structures, to be used for storage and as a workshop for personal and business purposes. The structure labeled Barn 1 will allocate 600 square feet for storage related to the business, including the holding tanks and pumps for live abalone, while Barn 2 will be dedicated solely to personal storage. Both structures will feature roll-up doors for vehicle access, and new driveways will be constructed to provide access to the structures. The proposed accessory structures will increase the lot coverage from 7.5% to 11.1%, requiring a Minor Exception to lot coverage. Additionally, existing fencing along Green Valley Road and Lucinda Street, which is partially located within the front yard setback, will be modified to comply with sight-distance requirements and will be recognized as part of this application, pursuant to a Site Development Permit.

Project Background

On September 21st, 2022, a Master Building Permit APP-221071 (B-225441 and B-225442) was submitted for the construction of two 980-square-foot, non-habitable prefabricated metal, buildings on the property. During the zoning review, staff determined that a discretionary Minor Exception Permit was necessary due to a minor increase in lot coverage From 10%, as allowed in the zone district, to 11.1%. As a result, application 241011 was submitted.

As part of the review of application 241011, the original scope of work was deemed complete, and the project was administratively noticed pursuant to SCCC 18.10.116 standards. However, during the public comment period, staff became aware of the ongoing home occupation (abalone sales) and determined that, in addition to the Minor Exception to allow for increased lot coverage, a Conditional Use Permit (CUP) would also be required to authorize the ongoing business use. Staff also determined that the existing fences along Green Valley Road and Lucinda Street, portions of which exceed 3 feet in height within the front yard setback, require approval of a Site Development Permit for an over-height fence certification. The scope of work for 241011 was therefore expanded to include these additional permit requirements, so that the business use and fencing can be formally recognized and conditioned to address neighborhood concerns. For the proposed conditions of approval for the business use, please refer to Exhibit C, Conditions of Approval, Operational Conditions.

Zoning & General Plan Consistency

The subject property is an approximately 54,300 square foot lot and is located within the RA (Residential Agricultural) zone district, which allows residential and residential ancillary uses, such as home occupations. The proposed project, which includes approval of two non-habitable structures, the recognition of an existing home occupation, and modifications to and recognition of the existing fences, falls within the allowable uses for this zone district. The zoning designation is consistent with the site's R-R (Rural Residential) General Plan designation.

The following standards are organized by the three different permit types involved in this project.

Non-habitable Structures

Non-habitable accessory structures located outside of the urban and rural service lines that do not exceed 1,000 square feet in size and 28 feet in height are allowed without additional discretionary approval per SCCC 13.10.611, where such structures comply with all of the site and development standards for the zone district in which they are located. With the exception of a proposed increase in lot coverage to 11.1%, the proposed non-habitable structures comply with the relevant code sections and standards, including the applicable site and development standards applicable to properties located in the RA zone district as set out in SCCC 13.10.323.

The table on the next page summarizes the required, and proposed site and development standards relevant to the project:

Development Standards*	RA Zone District	Proposed
Front Yard Setback	20 feet	Building 1: 45 feet** Building 2: 45 feet**
Side Yard Setbacks	20 feet	Building 1: West 20 feet**; East greater than 130 feet Building 2: West greater than 130 feet; East 20 feet**
Rear Yard Setback	20 feet	Building 1: 20 feet 1 inch Building 2: greater than 230 feet
Size Limit	1,000 square feet	Building 1: 980 square feet Building 2: 980 square feet
Maximum Height	28 feet	Building 1: 12 feet 11 inches Building 2: 12 feet 11 inches
Maximum Lot Coverage	10%*	11.1%

* Site standards: lot coverage calculations are based upon the gross site area.

**These are an estimated measurement from the rights-of-way, instead of the property line that is shown on the site plan. The project has been conditioned to require a survey to determine the location of the deeded rights-of-way and property boundaries, and that these lines shall be clearly indicated on the site plan to ensure that all setbacks will be met, as part of the building application.

Additional code sections and standards that are relevant to the proposed non-habitable structures include the following:

SCCC 13.10.611, Accessory Structures

The proposed project conforms with the standards for residential accessory structures located outside the urban and rural service lines, in accordance with SCCC 13.10.611. The urban and rural service lines denote areas with varying levels of public water and sewer service. Therefore, the proposed structures meet the required standards, including size limitation of 1,000 square feet and the 28-foot height restriction. As the structures are non-habitable and do not include plumbing fixtures, there are no restrictions on the number of structures permitted on the site. As a result, no site development permit is required to allow for the two proposed non-habitable structures.

SCCC 13.10.235, Minor Exceptions

Minor Exceptions provide a streamlined discretionary review process to allow consideration of minor variations from the zoning district site standards established for height, setbacks, separation between structures on the same property, lot coverage, and floor area ratio. For the proposed project, the addition of the two accessory structures would result in an increase to lot coverage on the parcel, from 7.5% to 11.1%. As such, a Minor Exception is required per SCCC 13.10.235(B)(5), to allow for lot coverage that exceeds the maximum 10% allowed in the zone district. Given that the surrounding area contains several properties that are developed with multiple accessory structures, therefore, the proposed project is not a granting of special privilege and aligns with the character of the surrounding neighborhood. Additionally, the proposed structures will be partially screened from public view by existing vegetation. Therefore, the proposed increase in lot coverage is not significant and is considered appropriate.

As a condition of approval of this project, a survey is required to be submitted with the application for a building permit, to confirm that the structures will be located outside the required 20-foot setback from the edge of both adjacent rights-of-way. If the survey indicates that the current location of either structure would not comply with setbacks, they are required to be relocated further from the right-of-way to reduce the potential visibility of the structures from the roadway. Based upon the currently submitted information, staff estimates that the updated setbacks will be approximately 45 feet from Green Valley Road for both structures, and building 2 will be relocated to meet the required 20-foot setback from the edge of the right-of-way for Lucinda Street.

Home Occupation

The home occupation involving the transportation and holding of live abalone is an ancillary use associated with the residential use on the property. This is consistent with the allowed uses in the RA zone district, as set out in the Residential Uses Chart, SCCC 13.10.322. Several additional code sections and standards governing home occupations are set out below:

SCCC 13.10.613 Home Occupations as secondary uses

One of the property owners operates the business *Abalone To Go*, which sells and distributes live abalone, and occasionally abalone shells and used abalone farming equipment. As shown in the table below, the following standards for home occupations, per SCCC 13.10.613(B)(1-10), are applicable to this business. For businesses that do not meet the standards for a home occupation, as set out in the table below, a Conditional Use Permit (CUP) is required.

Home Occupation (H.O.) Standards	Proposed
(1) The H.O. shall be carried on entirely within the dwelling, or in an accessory structure normally allowed in the zone district.	The business is currently located in an unpermitted temporary carport structure. The proposed development will address this by relocating the business to a permitted accessory structure.
(2) There shall be no visible or external evidence of the H.O. other than one unlighted sign not exceeding one square foot in area. No larger sign, and no outdoor storage, operations, or activity is allowed.	The proposed development will relocate the business inside one of the accessory structures, where it will not be visible. Proposed evaporation tanks required for disposal of saltwater are required to be screened from view as a condition of approval of this permit. No signs are proposed.
(3) The H.O. shall be carried out primarily by one or more full-time inhabitants of the dwelling, with one or two employees who are not inhabitants at the home occupation site.	The home occupation is operated by one of the property owners, a full-time inhabitant, with no additional employees.
(4) The H.O. shall not involve the use of floor area exceeding 35% of the total floor area of the dwelling.	The home occupation will use 600 square feet of one of the 980 square foot accessory structures, which is less than 35% (778 square feet) of the total floor area of the single-family dwelling.
(6) Sales of goods are allowed only if the goods to be sold are produced or assembled entirely on the premises, or if sales are by mail order.	The home occupation does not involve the production or assembly of goods on the site. Therefore, a CUP is required.
(7) Only one vehicle, which is no larger than a three-quarter-ton pickup truck may be used for the home occupation.	The business uses two regular-sized pick-up trucks for business and personal purposes. Therefore, a CUP is required.

(8) The home occupation shall not generate unacceptable levels of noise, as defined by General Plan Noise Element, SCCC 8.30 Noise, SCCC 13.15 Noise Planning	The six holding tanks each have a pump (either submersible water or air pump) that circulates the water for the live abalone. The water pumps operate at 58.6dba. The pumps will be located within an accessory structure, thereby further, reducing any potential noise impact on neighboring properties. Potential noise impacts are addressed by the conditions of approval of the CUP
(9) The H.O. shall not involve the handling of hazardous materials.	No hazardous materials are used for the operation of this home occupation.
(10) Cottage industries, including cottage food businesses, are allowed as home occupations if consistent with State law governing such operations and compliant with County of Environmental Health Services Division.	The home occupation involves the sale of live abalone, a food product. The sale and distribution of live abalone, and occasionally abalone shells and used abalone farming equipment, is conducted under permits from the California Department of Fish and Wildlife, NOAA: International Fisheries Trade Permit, and the California Department of Public Health.

SCCC 7.79 Runoff and Pollution Control

The home occupation involves the use of six holding tanks, with a total capacity of 500 gallons, that are used to temporarily hold live abalone between deliveries. According to the owner, it is uncommon for all six tanks to be in operation simultaneously. These tanks are cleaned and maintained monthly, and the filters are periodically washed with fresh water. This maintenance generates seawater discharge which, in accordance with SCCC 7.79.020, cannot be released onto the ground due to the potential impact on surrounding groundwater wells and the on-site septic system. This restriction regarding the disposal of wastewater also applies to the water from the holding tanks

To address the disposal of saltwater from the holding tanks and contaminated fresh water from maintenance activities as described above, the business owner shall, as a condition of approval of this permit, ensure the proper disposal of all wastewater. All contaminated wastewater is required to be either transported off-site for disposal at a nearby coastal abalone farm in Davenport, or through a licensed waste disposal organization. Alternatively, the wastewater may be placed in a 500-gallon open tank for evaporation, and the remaining sludge from the evaporation process then properly disposed of through a waste management organization. As a further condition of approval, the required 500-gallon tank must be located such that it is completely screened in views from the surrounding properties.

Over-height Fence Certification

The existing fences that run along the streets that border the property vary in height, measuring 4 feet along Green Valley Road and ranging from 4 feet to 6 feet in height along Lucinda Street, as shown in the photos on the next page.

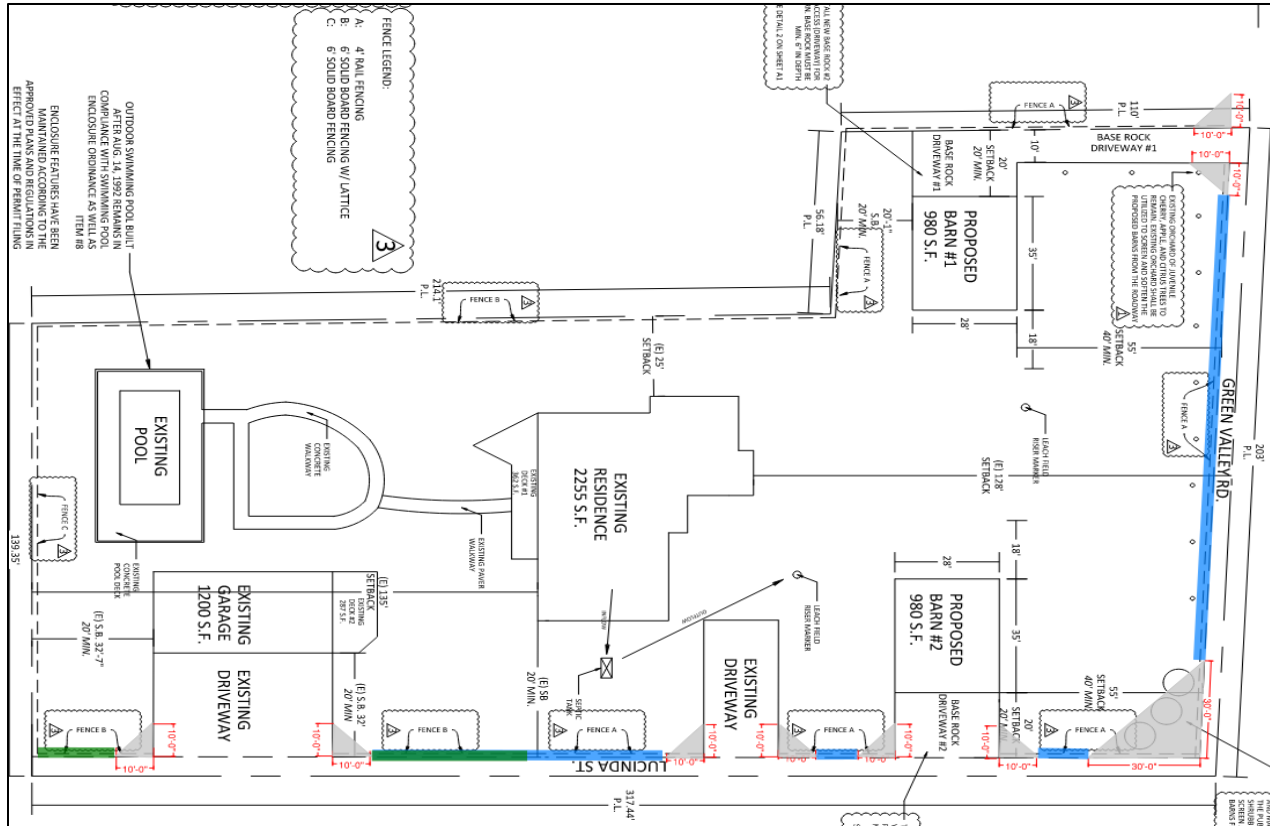


Where a fence is located within the required front yard setback, or within a sight-distance triangle at an intersection or adjacent to a driveway entrance, a maximum fence height of 3 feet is allowed unless otherwise approved by a Site Development Permit for an over-height fence certification is approved in accordance with SCCC 13.10.525, as outlined below.

SCCC 13.10.525, Regulations for fences and retaining walls within required yards

As depicted on the site plan below, the existing 4-foot-tall fences shown in blue, and the existing 6-foot fences shown in green will be recognized. However, the existing fences that are located within sight-distance triangles, shown in grey on the plan below, are required to be reduced in height to three feet, for safety reasons. Sight-distance triangles are measured from the edge of the existing travelled roadway/driveway and are 30 feet at street intersections and 10 feet at driveways. It is important to note that the currently submitted site plan does not show the limits of the existing rights-of-way, as indicated on the recorded map for this parcel (included on page 2 of this report). It is therefore assumed that the existing fences are located within the rights-of-way surrounding the parcel. A survey has been required as part of the building permit application, to confirm the location of the fences in relation to the property lines and rights-of-way.

Improvements that are commonly allowed within a front or street-side yard setback may be permitted within a private right-of-way at the owner's own risk. Therefore, as a further condition of approval of this permit, the property owners shall record a Hold Harmless Agreement, acknowledging that the property owner is required to defend, indemnify, and hold harmless the County, from and against any claim that may be brought regarding the fence. For further details on the Conditions of Approval, refer to Exhibit C.



Public Comment

During the first administrative decision public noticing, staff received a few neighbor questions and concerns about how the abalone business would change based on the new accessory structures, as well as the existing noise and wastewater disposal of the business. Based on the public inquiries, staff included a Conditional Use Permit to address the abalone business that is a home occupation and move it up to a Zoning Administrator public hearing level of review.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241011**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Alexandra Corvello
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3209
E-mail: Alexandra.corvello@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Abalone Business Information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241011
Assessor Parcel Number: 07031138
Project Location: 222 Green Valley Road

Project Description: Construct two 980 square foot non-habitable accessory structures, to be used for residential storage and for an abalone distribution business, and modify existing fencing.

Person or Agency Proposing Project: Thomas Ebert

Contact Phone Number: 831-239-0404

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 – New Construction (15303), Class 1 – Existing Facilities (15301)

F. Reasons why the project is exempt:

Modifications to existing fencing and construction of accessory structures to be used for storage and in conjunction with a limited income producing business, as allowed as a home occupation, within a residential zone district.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the proposed project is located in an area designated for residential uses, which may include a limited income producing business use as a home occupation. The sale and distribution of live abalone, and occasional sale of abalone shells and used abalone farming equipment, is conducted under permits from the California Department of Fish and Wildlife, NOAA: International Fisheries Trade Permit, and the California Department of Public Health that ensure that the business use will not be detrimental to the health, safety, or welfare. Further, the main business operation will be entirely located inside an allowed accessory structure and all wastewater will be properly disposed of in accordance with the standards set out in SCCC 7.79.020. Disposal will be either by evaporation from a designated evaporation tank and/or transportation off site for disposal at a licensed waste disposal site. Construction of the two accessory structures will comply with prevailing building technology, the California Building Code, and the County Building ordinance and to ensure safety for traffic along the adjacent streets, existing fencing will be reduced to a maximum 3 feet in height within the sight-distance triangles at the intersection of Green Valley Road and Lucinda Street, and adjacent to existing driveways. Therefore, the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the two 980 square foot accessory structures, the home occupation and the modified fencing, and the conditions under which these structures and uses would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district, in that the primary use of the property will continue to be residential and will include a home occupation that is ancillary to the primary residential use.

The proposed accessory structures will comply with all standards as set out in SCCC 13.10.611, including the 1,000 square foot size limitation, and do not include plumbing fixtures so there are no restrictions on the number of structures that may be constructed on the site. In addition, the accessory structures, with the approval of a Minor Exception in accordance with SCCC 13.10.235(B)(5), to allow for an increase in lot coverage from 10% to 11.1%, will comply with all of the required site and development standards for the RA (Residential Agriculture) zone district, including the 28-foot height limit. Additionally, the proposed structures will be partially screened from public view by existing vegetation.

Home occupations are an allowed use on a residentially zoned property in accordance with the Residential Uses Chart, SCCC 13.10.322, and the proposed business, which includes the

transportation and holding of live abalone, is allowed as an ancillary use to the existing residential use. As conditioned by this permit, the proposed abalone distribution business will, comply with all provisions for home occupations as set out in SCCC13.10.613, in that the home occupation be carried out within one of the proposed accessory structures and will occupy less than 35% (778 square feet) of the total floor area of the existing single-family dwelling. Furthermore, the six holding tanks and associated water circulation pumps will fully comply with the County Noise Ordinance in that there will be no detectable sound audible to persons outside the property boundaries. The use of two regular-sized pick-up trucks in conjunction with the business is also appropriate.

Operation of the abalone distribution business will be in conformance with all required permits issued by the California Department of Fish and Wildlife, NOAA: International Fisheries Trade Department, and the California Department of Public Health. The business will further, comply with SCCC 7.79 regarding runoff and pollution control, in that all saltwater and contaminated fresh water from maintenance activities is required to be either transported off-site for disposal at a nearby coastal abalone farm, or through a licensed waste disposal organization. Alternatively, the wastewater may be placed in a 500-gallon open tank for evaporation, and the remaining sludge from the evaporation process then properly disposed of through a waste management organization. The required 500-gallon tank will be located such that it is completely screened in views from the surrounding properties.

With the approval of a Site Development Permit, the existing fences, which will be modified such that no fencing will exceed 3 feet in height within any sight-distance triangle, will comply with the regulations for fences and retaining walls within required yards as set out in SCCC 13.10.525. Site Development Permit findings are included with this report.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the existing residential use with an ancillary home occupation that includes the holding and distribution of live abalone, are in substantial conformance with the use and density requirements specified for the R-R (Rural Residential) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed non-habitable accessory structures that will be used for storage and for a home occupation that includes the use of two regular pick-up trucks, will not generate more than the acceptable level of traffic on the streets in the vicinity. The expected level of traffic generated by the existing residential use, which represents only 1 peak trip per day (1 peak trip per dwelling unit) will not change and the abalone holding and distribution business will typically involve 2 to 4 trips from/to the property weekly, most of which are during the middle of the day and not during peak traffic hours. Such an increase will not adversely impact existing roads or intersections in the surrounding area.

In addition, all construction and business operations will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

The two proposed 980-square-foot non-habitable accessory structures are consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. Home occupations are allowed in conjunction with the existing single-family dwelling on the property. Additionally, the RA zone district does allow by right more business uses than is typically allowed in single-family residential zones, such as large animal keeping, small scale commercial agriculture that is auxiliary to the primary residential use, and small wineries that produce less than 1,000 gallons annual production. The current business on the property is in line with and in some instances less intensive than other allowed business uses in the RA zone district, especially because only 50% of the abalone sold last year were held temporarily between 1 hour to 7 days on the property.

Therefore, this finding can be made.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding is not required, in that the project site is not located within the coastal zone.

Site Development Permit Findings

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

The proposed two non-habitable accessory structures are designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The surrounding area is primarily characterized by larger lots, featuring single-family dwellings and accessory structures that are used for storage, family farming, or animal keeping and the proposed structures, which are one story in height, are appropriate in this context. Further, the structures will be mostly screened in views from adjacent public viewpoints by existing vegetation, as will the required 500-gallon evaporation tank associated with the home occupation. No other elements of the home occupation use will be visible in that the business will be located within one of the accessory structures.

The existing fences, which will be modified to ensure that sight lines will not be obstructed at the intersection of Green Valley Road and Lucinda Street, or at the driveways on the parcel, are similar to fences on other neighboring properties and therefore harmonize with the physical design aspects of existing and proposed development in the neighborhood.

Therefore, this finding can be made.

- (b) **Design.** The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed two non-habitable accessory structures and fencing around the property are in substantial conformance with the requirements of the County Design Review Ordinance. The proposed buildings will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property in that they are similar to other accessory structures in the neighborhood that are used for storage, family farming, or animal keeping. In addition, the structures will be partially screened by existing vegetation, which will reduce the visual impact of the proposed development on surrounding land uses.

The design of the existing fences, which will be modified to ensure that sight lines will not be obstructed at the intersection of Green Valley Road and Lucinda Street, or at the driveways on the parcel, are similar to fences on other neighboring properties and are therefore consistent with the applicable principles in the adopted Countywide Design Guidelines.

Minor Exception Findings

- (1) That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made because of the existing development of the property and semi-rural nature of the surrounding area. The minor increase in lot coverage, from zone district standard of 10% to 11.1%, is considered insignificant in relation to the zone district standards. Additionally, the General Plan for R-R (Rural Residential) requires a minimum area of 2.5 acres per lot, whereas this property contains less than that at 1.2 acres, less than half of this area.

- (2) That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made in that the proposed accessory structures are in harmony with the zoning objectives and will not be materially detrimental to public health, safety or welfare, nor injurious to property or improvements in the vicinity. The two structures meet all of the required site and development standards, except for a minor increase in lot coverage, and will be located away from all property boundaries and the adjacent streets, as well as from the septic system on the site. Additionally, the structures are only one-story in height and will be screened by existing vegetation. Therefore, the proposed non-habitable structures will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties in the vicinity.

- (3) That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

The proposed structures will not constitute a grant of special privilege, as they result in only a minor increase in lot coverage. The proposed two storage structures comply with all other site standards for the zone district and accessory structure codes. It also adheres to the height limit for structures located inside the urban/rural services line and is in line with the semi-rural nature of the surrounding area. Overall, the proposed project is within the range of styles and buildings found in the vicinity and is consistent with the density and intensity of development in the surrounding area.

- (a) That there is no increase in stormwater leaving the property as a result of additional impermeable area created by a minor increase in lot coverage. The project as approved incorporates measures or conditions that direct runoff to the landscape, use permeable paving material, reduce existing impermeable area, or incorporate other low impact drainage design practices to control any increase in stormwater runoff.

This finding can be made, in that the proposed accessory structures will not result in an increase to the impervious surface coverage on the parcel by more than 5,000 square feet. As such they are in substantial conformance with the requirements of Public Works Stormwater standards and, furthermore, have further been conditioned to meet these requirements.

Conditions of Approval

Exhibit D: Project plans, prepared by Gerald Walker Design, dated 12/6/2024.

- I. This permit authorizes the construction of two 980-square-foot non-habitable accessory structures, recognition of an abalone distribution business with the short-term holding of live abalone on site within one of the accessory structures, and recognition of portions of the existing over-height fence, including modifications as required, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors for the fences as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans, if required.

4. A survey is required to accurately determine the location of the rights-of-way that cross the parcel, as shown on the map recorded at Vol 11 page 18 of Official County Records, in relation to the proposed accessory structures and existing fencing.
 5. The existing and proposed site plans must accurately show all rights-of-way as well as all existing and proposed structures. The location of both accessory structures shall be revised as necessary such that they will meet all required setbacks for the RA zone district as measured from all property boundaries and/or the edge of any right-of-way, whichever is most restrictive.
 6. The site plan shall indicate the proposed location of a minimum 500 gallon evaporation tank (see condition of approval IV.B.2.a). Indicate on the plan how the required tank will be screened in views from neighboring properties and from all public viewpoints.
 7. The site plan shall indicate the location of all existing landscape screening on the parcel. If additional screening is proposed, the plan shall specify proposed plant species, size and location, and shall include details of any proposed irrigation. Proposed landscaping shall conform to all water conservation requirements of the local water district.
 8. Provide either a Water Efficient Landscape Exemption document or a Water Efficient Landscape Plan prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. WELO-exempt projects, residential projects of up to two units, or landscapes where at least 30% of the water use is provided by graywater, recycled water or captured rainwater may provide either a signed Water Efficient Landscape Checklist or a Water Efficient Landscape Plan.
 - a. If a landscape plan is submitted, it must comply with SCCC Ch. 13.13 and shall include a Water Efficient Landscape Plan Submittal Compliance Statement.
 9. Provide details to show compliance with all fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area:
1. The application submittal shall adhere to the County Design Criteria (CDC). Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.

2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Obtain Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- D. Existing fences on the property along Green Valley Road and Lucinda Street shall comply with the following:
1. Within the 30-foot sight-distance triangle at the intersection of the Green Valley Road and Lucinda Street and 10-foot sight-distance triangles at the intersection of the roadways and the existing and proposed driveways on the parcel, all fencing shall be reduced in height to a maximum of 3 feet or, if exceeding 3 feet, shall be located outside of any sight-distance triangle. Additional information on sight-distance triangles can be found in the Publication [Fences and Walls](#).
 2. The height of the existing fence along Green Valley Road is recognized as being 4 feet in height, outside of the sight distance triangle areas, and the fence along Lucinda Street is recognized as being between 4-6 feet in height. Any change to the existing fencing that would further increase the height of these fences shall require an amendment to the Site Development Permit authorizing the over-height fences.
 3. Because the location of the existing fences is within the rights-of way for Lucinda Street and Green Valley Road, the property owner shall record a Hold Harmless Agreement to defend, indemnify, and hold harmless the County, from and against any claim that may be brought regarding the fence. **You may not alter the wording of this agreement.** Follow the instructions to record and return the form to Santa Cruz County Planning. Alternatively, all fencing may be relocated to be outside of all rights-of-way.
- E. Meet all requirements and pay any applicable plan check fee of the Scotts Valley Fire Protection District.
- F. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
1. If the plans submitted for the building permit include recognition of the conversion of the non-habitable area above the detached garage to an ADU, submit a soils report prepared and stamped by a licensed Geotechnical Engineer.

- G. Provide required off-street parking for three cars for the single-family dwelling and two parking spaces for the home occupation. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the site plan.
 - H. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - I. Complete and record a Declaration of Restriction to construct two 980 square foot non-habitable accessory structures. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
 - J. A separate application shall be submitted to recognize the conversion of non-habitable floor area above the existing detached garage on the property, to an Accessory Dwelling Unit (ADU). Alternatively, submit an application to convert the second floor above the garage back to a non-habitable area.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all the recommendations of the approved soils reports.
 - D. If required, a Landscape Installation Certificate prepared in accordance with the Water Efficient Landscape Ordinance (County Code Chapter 13.13) shall be provided.
 - E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
 - F. Prior to final building inspection for the accessory structures the required building permit for recognition of the unpermitted conversion ADU or for conversion of the second floor above the garage back to non-habitable area, shall be issued by the County.

IV. Operational Conditions

- A. All existing vegetation on the parcel that will screen the proposed accessory structures and business use, shall be maintained.
- B. The Home Occupation shall be operated in accordance with the following provisions:
 - 1. The home occupation shall not occupy more than a total floor area of greater than 778 square feet of the proposed accessory structures (35% of the total floor area of the existing single-family dwelling). As proposed, an area of 600 square feet will be utilized within the accessory structure labeled Barn 1. Any increase in the floor area used for the business that requires the use of greater than 778 square feet shall require an amendment to this permit.
 - 2. No more than two regular-sized pick-up trucks are allowed to be used for the home occupation. Off-street parking spaces that comply with all County parking standards shall be provided for both vehicles.
 - 3. Operation of the home occupation shall be carried out during standard business hours, which are identified as between 8am to 6pm, Monday through Friday. Operations that are carried out that are not within standard business hours shall be minimized to the greatest extent possible and shall not disturb neighboring property owners.
 - 4. All business operations, including pumps, filters and of any other noise-generating equipment shall comply with the standards outlined in the General Plan Noise Element, SCCC 8.30, and SCCC 13.15 Noise Planning.
 - a. If noise-generating activities are unavoidable, the business owner shall notify all immediate neighbors of such scheduled activities a minimum of 48 hours in advance.
 - b. If at least two substantiated complaints are received regarding ongoing disruptive and/or excessive noise from the home occupation, the property owner shall submit a Noise Study, prepared by an acoustical engineer, demonstrating that the noise from the home occupation does not exceed the above noise standards. If excessive noise and/or disturbance are verified, then either mitigation measures or removal of the disturbance is required within 30 days.
 - 5. The proper disposal of wastewater from the abalone holding tanks or contaminated water that is generated from the cleaning of the tanks and filters is required in conformance with the following:

- a. All wastewater shall either be transported off-site for disposal at existing abalone farms or through licensed waste disposal organizations. Alternatively, wastewater may be placed in an open tank for evaporation.
 - b. A minimum 500-gallon wastewater evaporation tank shall be provided for the onsite treatment and disposal of contaminated wastewater and shall comply with the following:
 - i. The evaporation tank shall have a clear cover for the rainy season to ensure no rainwater gets into the tank and causes an overflow.
 - ii. All remaining sludge from the evaporation process shall be properly disposed of through a licensed waste management organization.
 - iii. The tank shall be located where it will be screened in views from neighboring properties and all public viewpoints. All vegetation used for screening purposes shall be maintained in perpetuity.
6. The home occupation shall maintain all required operating permits required, including permits from the California Department of Fish and Wildlife, NOAA, International Fisheries Trade Permit, and the California Department of Public Health.
7. Any changes to the home occupation that do not comply with the operational conditions provided above, requires the approval of an amendment to this permit. Minor changes that comply with the provisions of SCCC 13.10.613 "Home Occupation Standards" are allowed.
8. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful

misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
 - C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
 - D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.
-

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structures described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

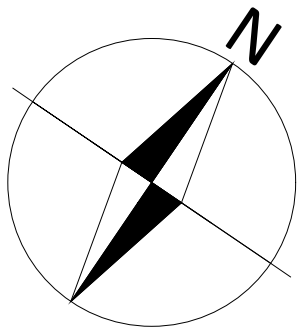
Deputy Zoning Administrator

Printed Name

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

PROPOSED SITE PLAN

1/16" = 1'



NO CONSTRUCTION, GRADING, OR FILL ALLOWED OR TO BE DONE OVER SEPTIC SYSTEM OR EXPANSION AREA

1. (N) BARNs TO BE USED AS STORAGE
2. PROPOSED BARNs ARE TO REMAIN UNCONDITIONED
3. (N) BARNs ARE NOT TO BE USED FOR BUSINESS PURPOSES. BARN #1 TO BE UTILIZED TO STORE BUSINESS RELATED MATERIALS AND SUPPLIES, HOWEVER NO BUSINESS SHALL BE CONDUCTED ON THE PROPERTY
4. NO MECHANICAL OR PLUMBING IS PROPOSED FOR (N) BARNs. ELECTRICAL SHALL BE A DEFERRED SUBMITTAL PREPARED BY OTHERS INCLUDING SOLAR PANELS
5. PROJECT IS LOCATED IN A STATE RESPONSE AREA (SRA-HIGH) ALL CONSTRUCTION MUST MEET REQUIREMENTS FOR WILDLAND URBAN INTERFACE. BARNs TO BE STEEL CONSTRUCTION, NON-COMBUSTABLE MATERIALS.

ZONING LOT COVERAGE CALCULATIONS:

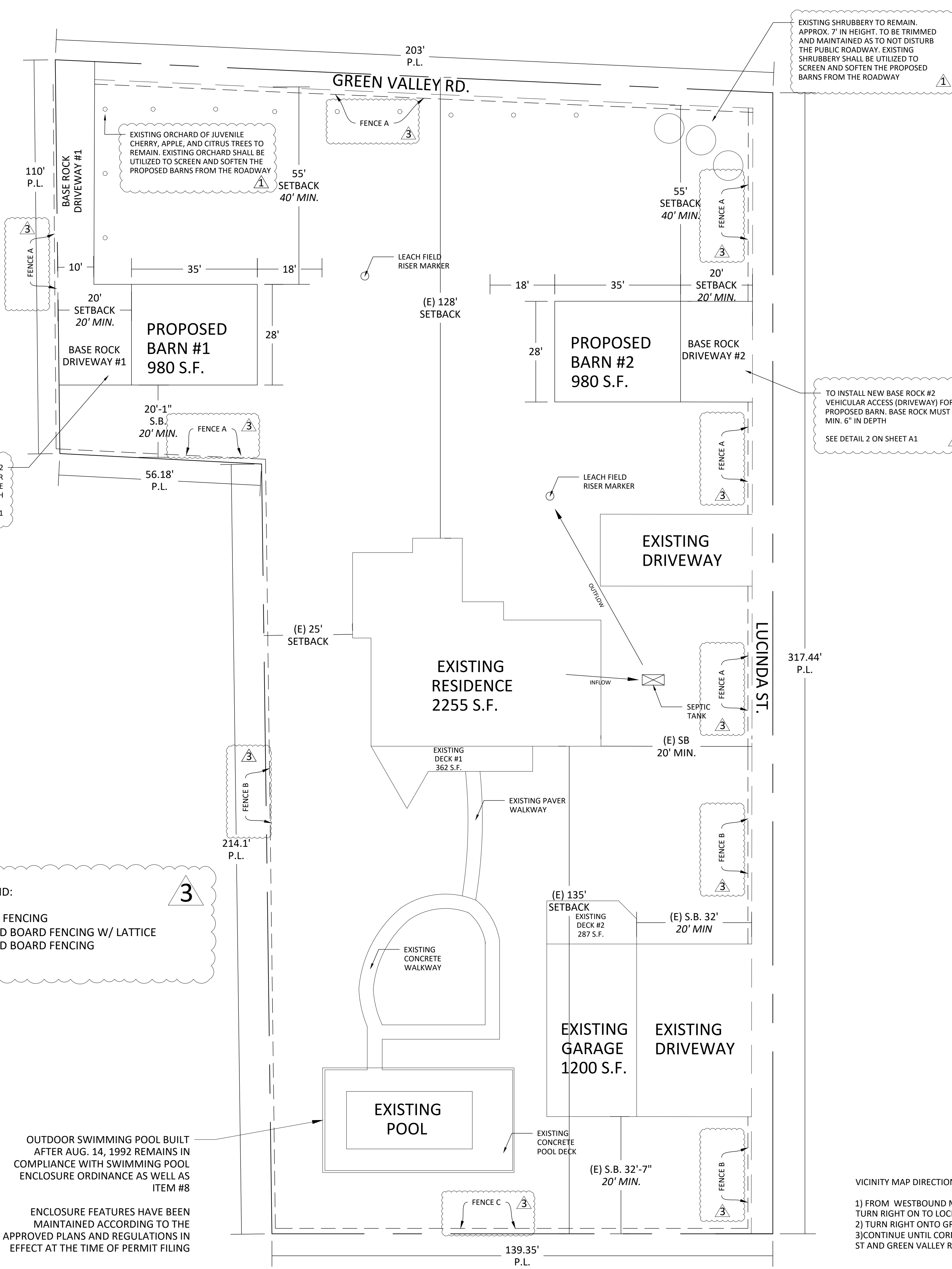
LOT AREA:	54,319 S.F.
TOTAL EXISTING BUILDING AREA:	3,425 S.F.
TOTAL PROPOSED BUILDING AREA:	5,385 S.F.
EXISTING DECK #1 AREA:	362 S.F. (159 S.F. COVERED)
EXISTING DECK #2 AREA:	287 S.F.
EXISTING FLOOR AREA RATIO:	6.3%
PROPOSED BARN #1:	980 S.F.
PROPOSED BARN #2:	980 S.F.
PROPOSED FLOOR AREA RATIO	9.9%
PROPOSED SEMI-IMPERVIOUS DRIVEWAY #1 :	1,221 S.F. (50% TOWARD THRESHOLD)
PROPOSED SEMI-IMPERVIOUS DRIVEWAY #2 :	560 S.F. (50% TOWARD THRESHOLD)
PROPOSED AREA OF ADDITIONAL DISTURBANCE:	3,741 S.F.
PROPOSED LOT COVERAGE OF STRUCTURES (INCL. DECKS):	6,034 S.F. - 11.1%
GRADING:	N/A
EXISTING PARKING AND PROPOSED PARKING (DRIVEWAYS):	4,159 S.F.
MINIMUM SETBACKS:	FRONT: 40' SIDE: 20' REAR: 20'
MAX HEIGHT OF PROPOSED STRUCTURES:	16'
EXISTING IMPERVIOUS SURFACES:	8,474 S.F.
PROPOSED IMPERVIOUS SURFACES:	11,325 S.F.
LOT COVERAGE OF IMPERVIOUS:	20.8%
TOTAL ADDED IMPERVIOUS:	2,851 S.F.

DEFERRED SUBMITTALS

- 1) SOLAR FOR BARN STRUCTURES W/ SUB PANELS

FENCE LEGEND:

- A: 4' RAIL FENCING
- B: 6' SOLID BOARD FENCING W/ LATTICE
- C: 6' SOLID BOARD FENCING



VICINITY MAP DIRECTIONS:

- 1) FROM WESTBOUND MT HERMON RD. TURN RIGHT ON TO LOCKHART GULCH RD.
- 2) TURN RIGHT ONTO GREEN VALLEY ROAD
- 3) CONTINUE UNTIL CORNER OF LUCINDA ST AND GREEN VALLEY ROAD

PROJECT INFORMATION:

PROJECT DESCRIPTION:	CONSTRUCTION OF TWO ENGINEERED BARNs
PROJECT SITE:	222 GREEN VALLEY RD, SCOTTs VALLEY, CA 95066 070-311-38
LOT SIZE:	54,319 S.F.
EXISTING RESIDENCE:	2,225 S.F. HEATED
EXISTING GARAGE:	1,200 S.F.
EXISTING DECK #1:	362 S.F.
EXISTING DECK #2:	287 S.F.
PROPOSED OUTBUILDING 1:	980 S.F.
PROPOSED OUTBUILDING 2:	980 S.F.
EXISTING IMPERVIOUS SURFACES:	8,474 S.F.
PROPOSED IMPERVIOUS SURFACES:	11,325 S.F.
LOT COVERAGE OF IMPERVIOUS:	20.8%
OWNER INFORMATION:	TOM EBERT 222 GREEN VALLEY RD. SCOTTs VALLEY, CA 95066 (831) 239-0404 tomebert321@gmail.com
OCCUPANCY CLASSIFICATION:	U, TYPE VB, NON-SPRINKLERED
ZONING:	RA

SHEET SCHEDULE

CS	PROPOSED SITE PLAN/ COVER PAGE
ES	EXISTING SITE PLAN
A1	BARN FLOOR PLANS
A2	BARN ELEVATIONS & ARCHITECTURAL SECTIONS
SW	STORMWATER POLLUTION CONTROL PLAN
1	STRUCTURAL COVER SHEET
2	ELEVATIONS
3A	FOUNDATION PLAN
3B	FOUNDATION DETAILS
4	COLUMN LAYOUT PLAN & DETAILS
5	FRAME SECTION & DETAILS
6A	SIDE WALL FRAMING
6B	SIDE WALL DETAILS
7A	END WALL FRAMING
7B	END WALL DETAILS

CALIFORNIA GREEN BUILDING STANDARDS CODE:

CONSTRUCTION WASTE-REDUCTION, DISPOSAL AND RECYCLING

A MINIMUM OF 65% OF THE CONSTRUCTION AND DEMOLITION WASTE WILL BE RECYCLED, REUSED ON THE PROJECT, OR SALVAGED FOR LATER USE OR SALE. (CGBC 4.408.1), CRC R334.1 SCC REQUIREMENT

CONSTRUCTION SHALL COMPLY WITH:

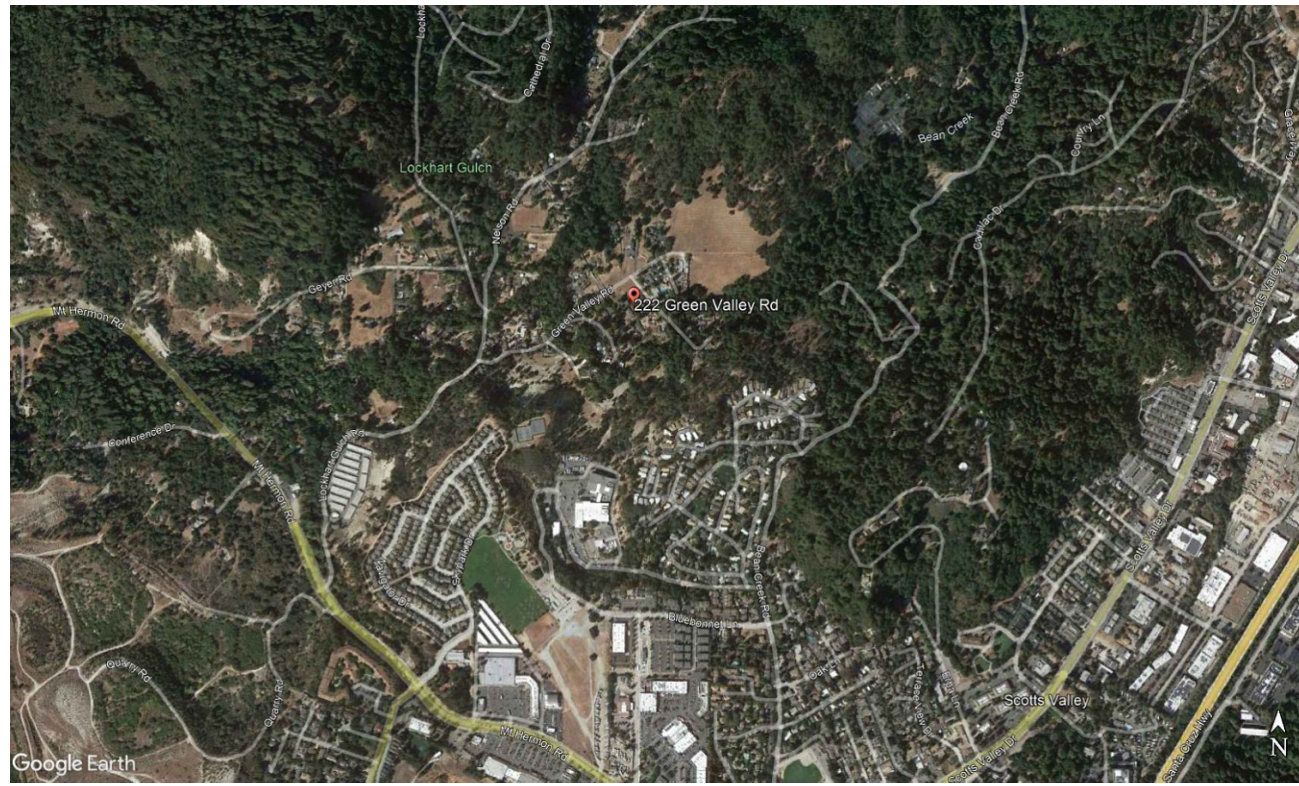
- CALIFORNIA BUILDING CODE 2019
- CALIFORNIA RESIDENTIAL CODE 2019
- CALIFORNIA ELECTRICAL CODE 2019
- CALIFORNIA PLUMBING CODE 2019
- CALIFORNIA MECHANICAL CODE 2019
- CALIFORNIA ENERGY STANDARDS 2019
- CALIFORNIA FIRE CODE 2019
- CALIFORNIA GREEN BUILDING CODE 2019
- SANTA CRUZ COUNTY AMENDMENTS

PROPERTY LINES AND SETBACKS:

CONTRACTOR AND PROPERTY OWNER TO VERIFY ALL PROPERTY LINES AND SETBACKS BEFORE STARTING PROJECT. THE BUILDING INSPECTOR HAS THE AUTHORITY TO REQUEST A PARTIAL OR FULL SURVEY OF THE PROPERTY IN ORDER TO DETERMINE PROPERTY LINES. ALL COST TO DETERMINE PROPERTY LINES TO BE PAID BY PROPERTY OWNER.

VICINITY MAP

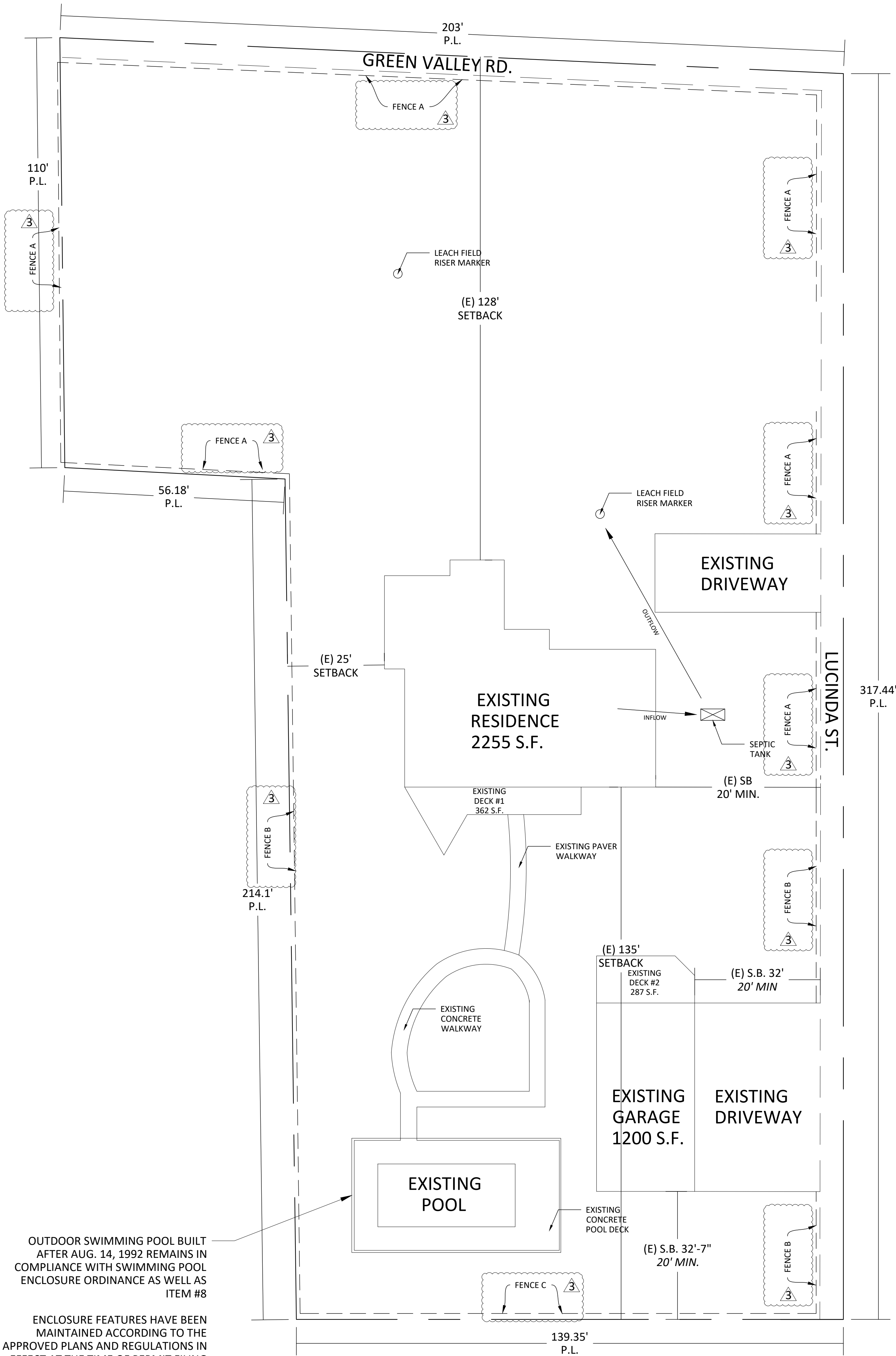
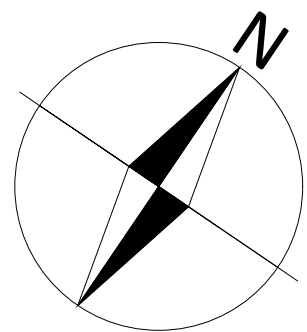
SCALE: N.T.S.



REVISIONS	BY
1. 4/7/2024	GW
2. 9/13/2024	GW
3. 12/6/2024	GW
GERALD WALKER DESIGNS	GERALD WALKER DESIGNS
911 WINDHAM ST	911 WINDHAM ST
SANTA CRUZ, CA 95062	SANTA CRUZ, CA 95062
GERALDPHILIPWALKER@GMAIL.COM	GERALDPHILIPWALKER@GMAIL.COM
SITE PLAN	SITE PLAN
/COVER SHEET	/COVER SHEET
ENGINEERED OUTBUILDINGS	ENGINEERED OUTBUILDINGS
222 GREEN VALLEY ROAD	222 GREEN VALLEY ROAD
SCOTTs VALLEY, CA 95066	SCOTTs VALLEY, CA 95066
APN: 070-311-38	APN: 070-311-38
DATE: 1/8/2023	DATE: 1/8/2023
SCALE: AS NOTED	SCALE: AS NOTED
DRAWN BY: GERALD	DRAWN BY: GERALD
SHEET	SHEET
CS	CS
Gerald Walker	Gerald Walker

EXISTING SITE PLAN

1/16" = 1'



FENCE LEGEND:

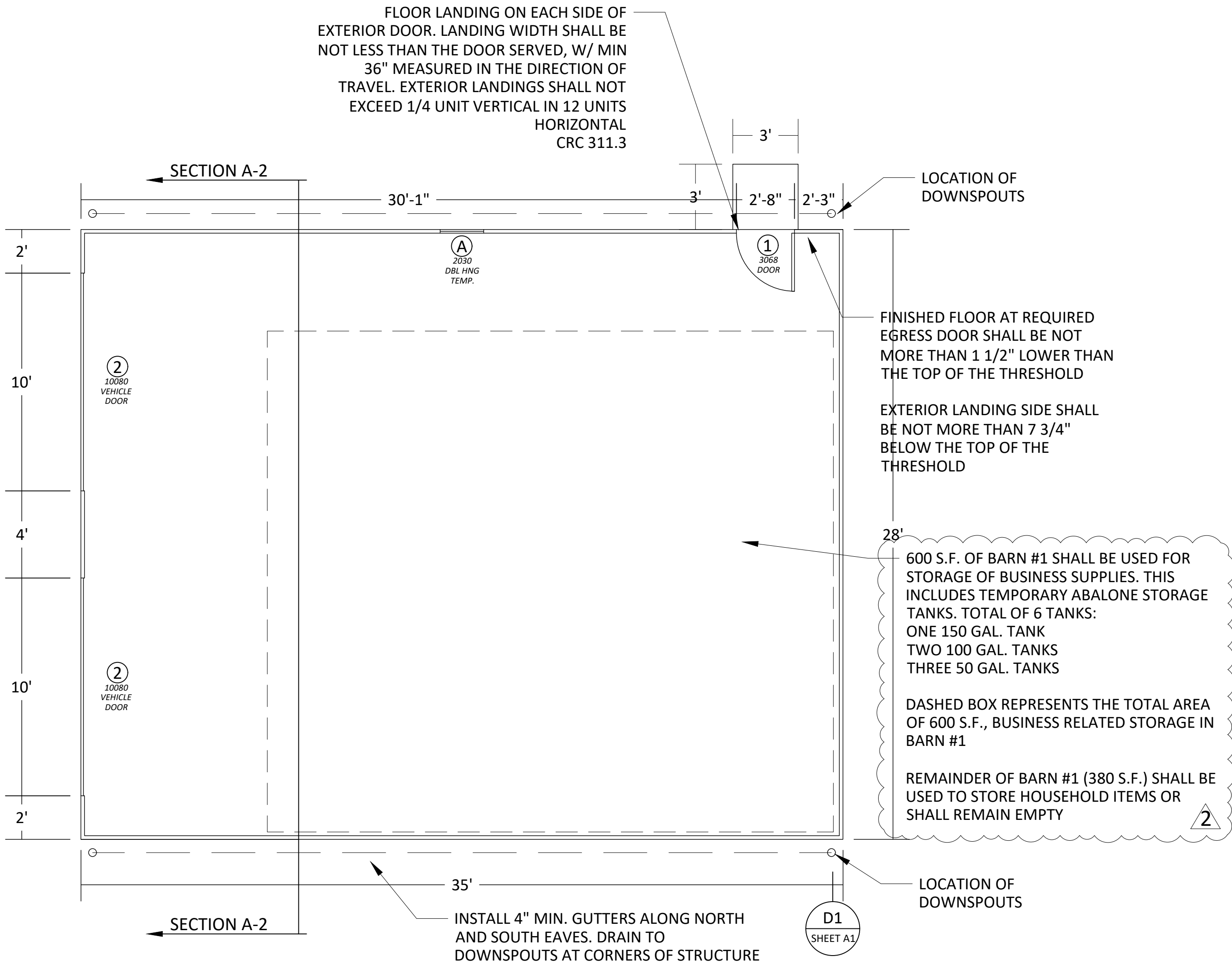
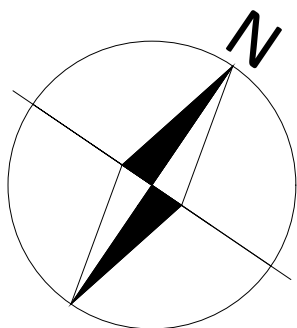
3

A: 4' RAIL FENCING
B: 6' SOLID BOARD FENCING W/ LATTICE
C: 6' SOLID BOARD FENCING

REVISIONS		BY
1	4/7/2024	GW
2	9/13/2024	GW
3	12/6/2024	GW
GERALD WALKER DESIGNS 911 WINDHAM ST SANTA CRUZ, CA 95062 GERALDPHILIPWALKER@GMAIL.COM		
EXISTING SITE PLAN		
ENGINEERED OUTBUILDINGS 222 GREEN VALLEY ROAD SCOTTS VALLEY, CA 95066 APN: 070-311-38		
DATE: 1/8/2023		
SCALE: AS NOTED		
DRAWN BY: GERALD		
SHEET		
ES		
Gerald Walker		

OUTBUILDING FLOOR PLANS

1/4" = 1'



BARN #1

DOOR AND WINDOW NOTES:

- 1) WINDOWS SHALL BE MIN. ONE PANE TEMPERED PER CRC R337.8, CBC 708A
- 2) EXTERIOR DOOR ASSEMBLIES INCLUDING VEHICLE DOORS SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL OR WOOD 1 3/8" SOLID CORE OR 20 MINUTE RATED PER CBC 708A.3, CRC R337.8.3

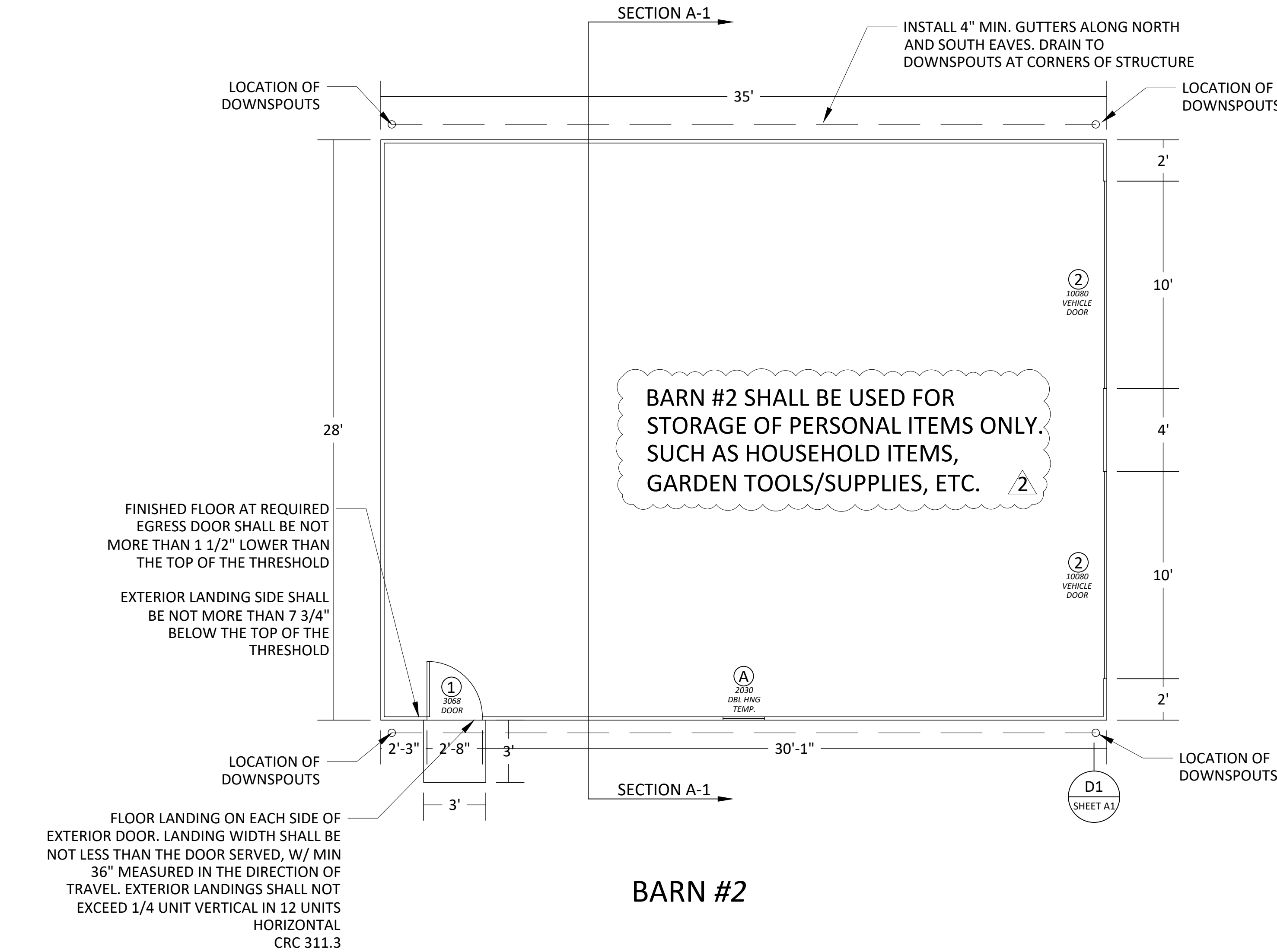
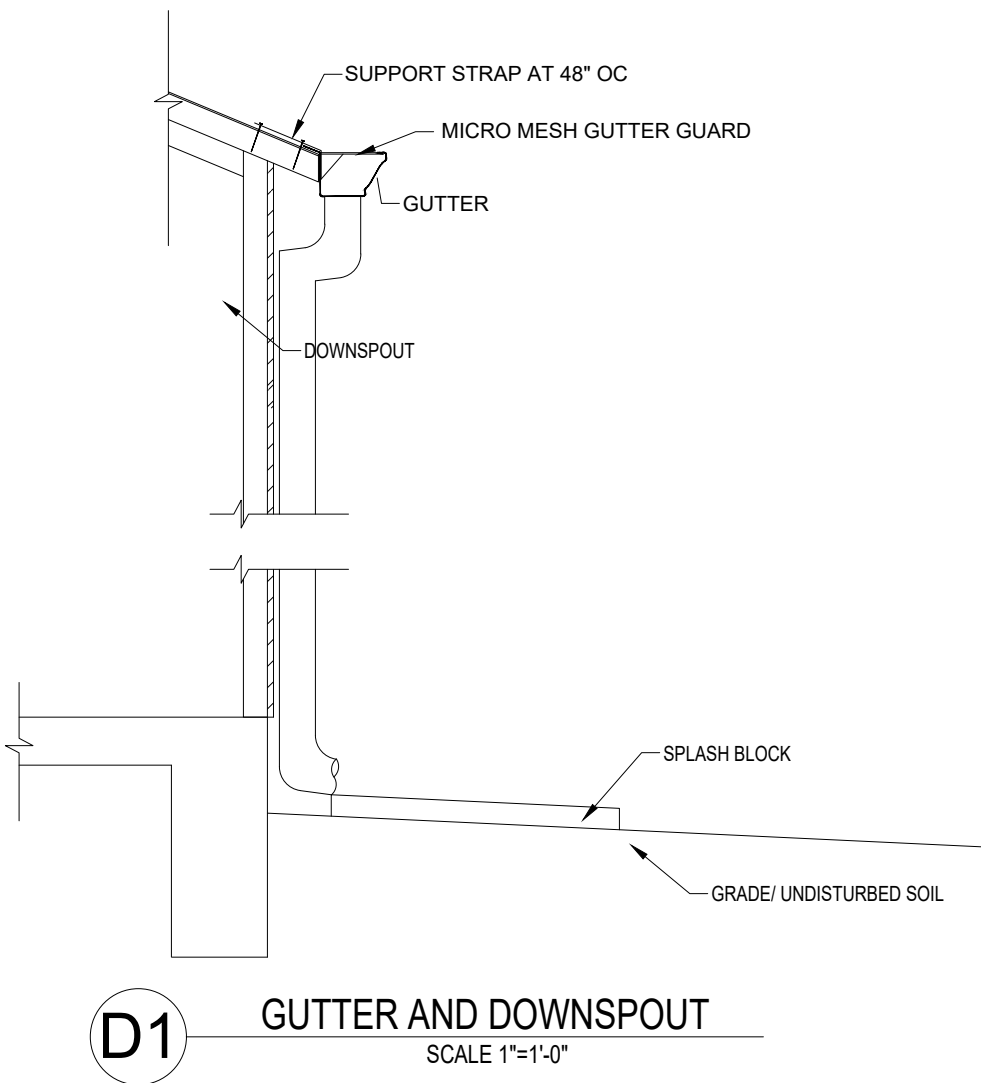
OUTBUILDING EXTERIOR MATERIALS NOTES:

- 1) ROOF AND EXTERIOR WALL SHEATHING TO BE MADE OF NONCOMBUSTIBLE MATERIALS. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR EQ.

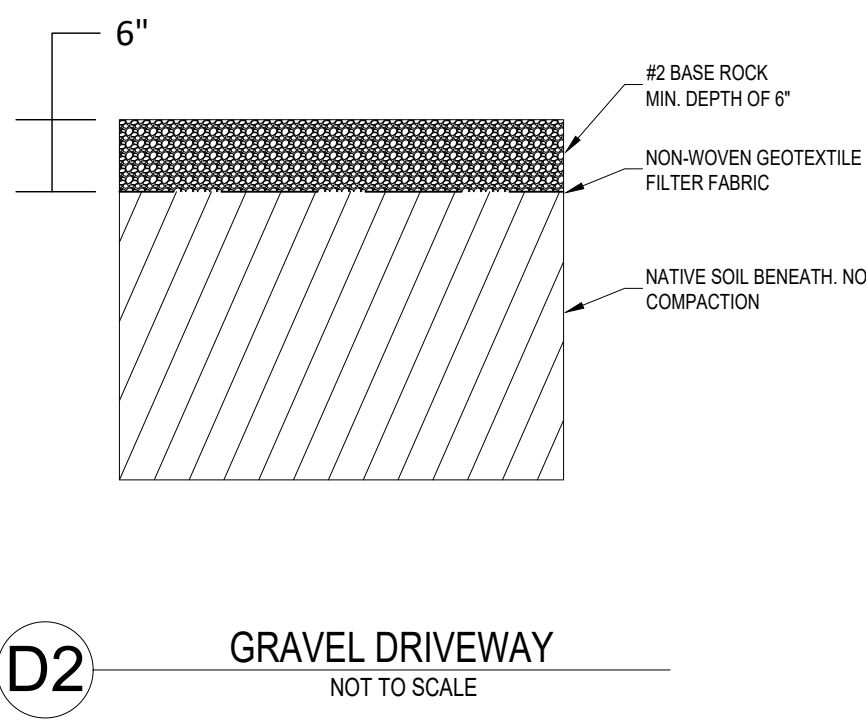
FINISHED BUILDING COLORS:

ROOF: QUAKER GRAY
SIDING: EARTH BROWN
TRIM/GUTTERS: WHITE

WINDOW SCHEDULE								
SCHED.	SIZE	TYPE	QUANTITY	LOCATION	MANUFACTURER	U	SHGC	NOTES
A	2030	DBL HNG	2	BARN 1 BARN 2	MILGARD	0.3	0.4	TEMPERED
DOOR SCHEDULE								
SCHED.	SIZE	TYPE	QUANTITY	LOCATION	MANUFACTURER	U	SHGC	NOTES
1	3068	SGL	1	BARN 1 BARN 2		N/A	N/A	1 3/8" SOLID CORE/ 20 MIN. RATED
2	10080	VEHICLE DOOR	4	BARN 1 BARN 2		N/A	N/A	MANUAL ROLL-UP



BARN #2



REVISIONS

BY

14/7/2024

GW

29/13/2024

GW

312/6/2024

GW

GERALD WALKER DESIGNS

911 WINDHAM ST

SANTA CRUZ, CA 95062

GERALDPHILIPWALKER@GMAIL.COM

BARN

FLOOR PLANS

ENGINEERED OUTBUILDINGS

222 GREEN VALLEY ROAD

SCOTTS VALLEY, CA 95066

APN: 070-311-38

DATE: 1/8/2023

SCALE: AS NOTED

DRAWN BY: GERALD

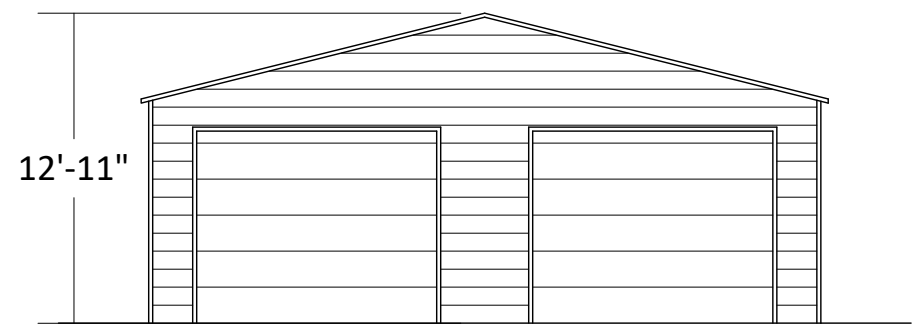
SHEET

A1

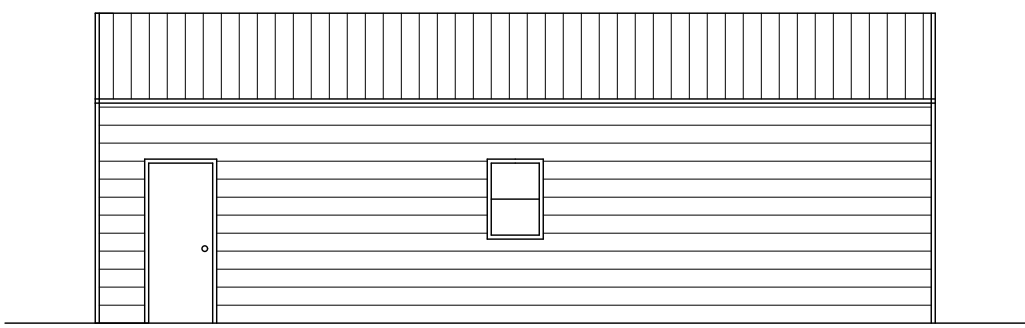
Gerald Walker

BARN ELEVATIONS

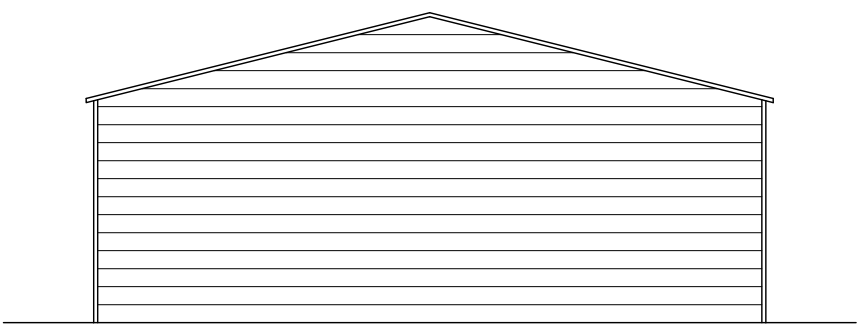
1/8" = 1'



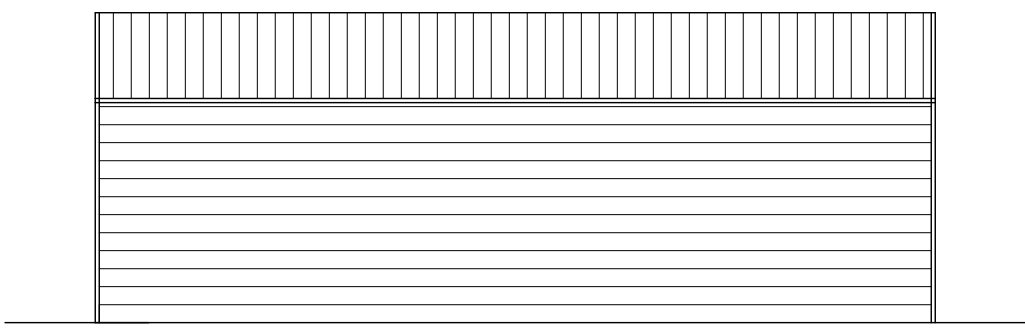
WEST



NORTH

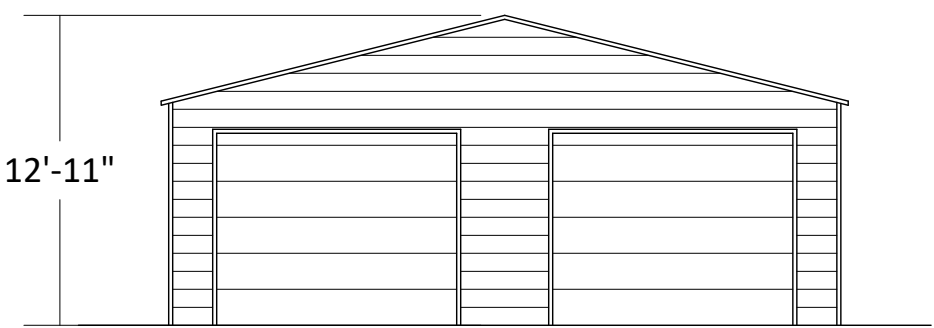


EAST

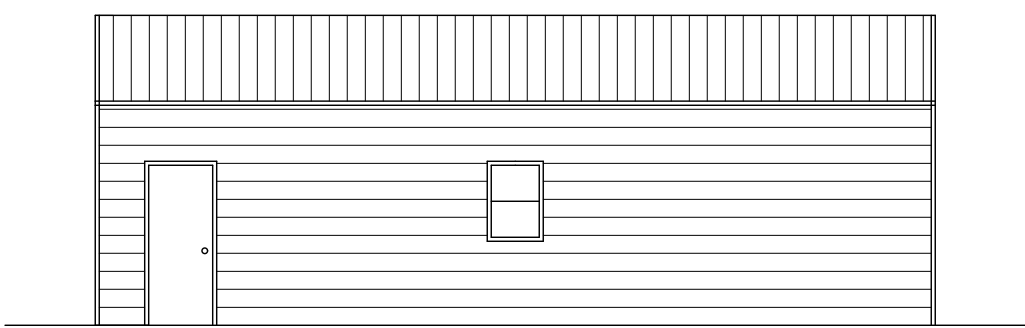


SOUTH

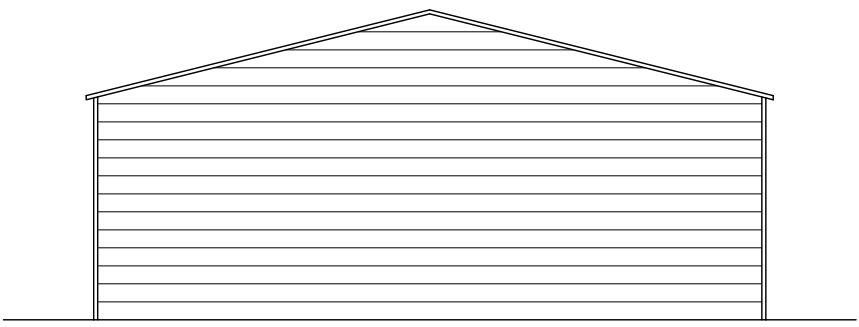
BARN #1



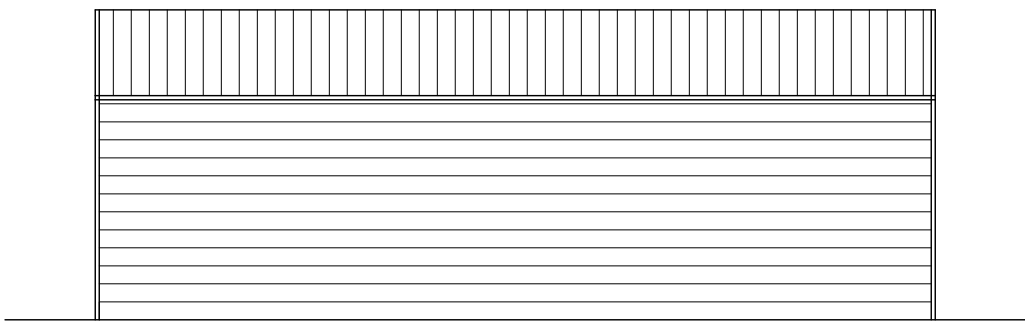
EAST



SOUTH



WEST

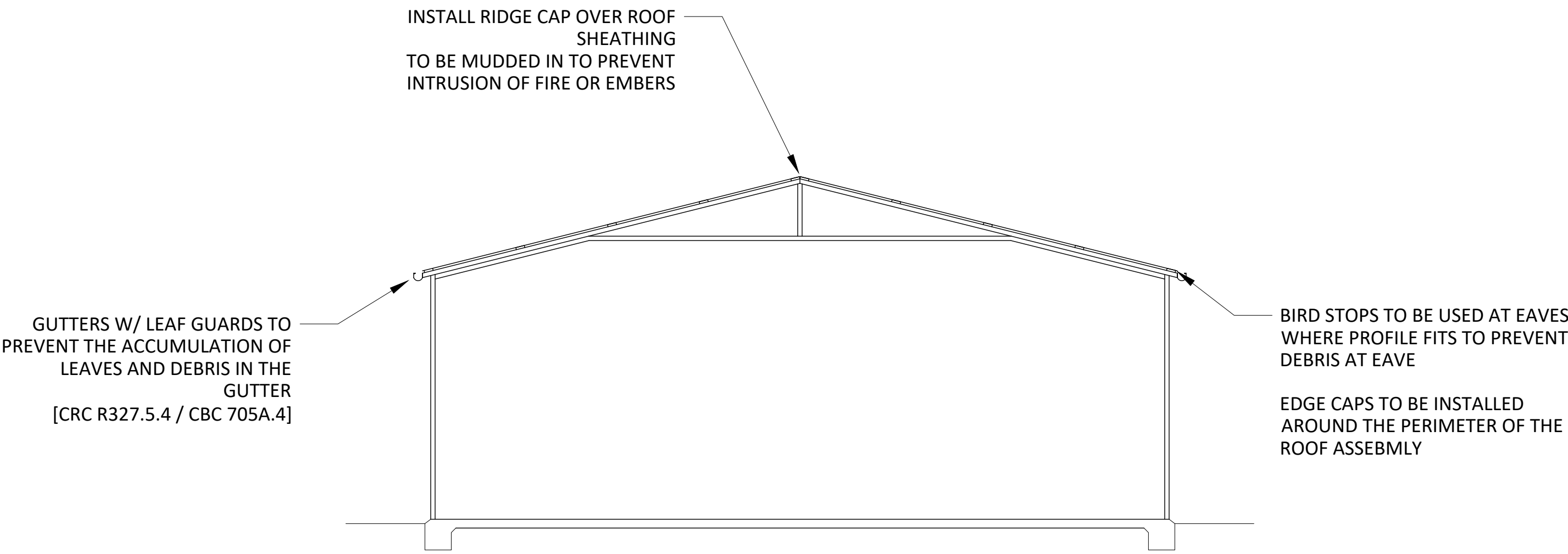


NORTH

BARN #2

ARCHITECTURAL SECTION

1/4" = 1'



SECTION A-1 & A-2

REVISIONS		BY
1	4/7/2024	GW
2	9/13/2024	GW
3	12/6/2024	GW
GERALD WALKER DESIGNS		
911 WINDHAM ST		
SANTA CRUZ, CA 95062		
GERALDPHILIPWALKER@GMAIL.COM		
ELEVATIONS & SECTIONS		
ENGINEERED OUTBUILDINGS		
222 GREEN VALLEY ROAD		
SCOTT'S VALLEY, CA 95066		
APN: 070-311-38		
DATE: 1/8/2023		
SCALE: AS NOTED		
DRAWN BY: GERALD		
SHEET		
A2		
Gerald Walker		

STORMWATER POLLUTION CONTROL PLAN

1/16" = 1'

TOTAL AREA OF DISTURBANCE:
1,960 S.F./0.045 ACRES

PROPOSED STORM WATER POLLUTION MEASURES:

- THIS PROJECT DOES INCORPORATE EROSION CONTROL REQUIREMENTS. DURING WINTER SEASON (OCT. 15 - APR. 15) ALL BARE SOILS MUST BE COVERED WITH SEED AND STRAW MULCH. THIS IS ACHIEVED BY SPREADING SEED (MIN. 5LBS PER 1000 S.F.) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALES PER 1000 S.F.) INCORPORATING IT INTO THE SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.
- THIS PROJECT DOES NOT NECESSITATE STORM DRAIN PROTECTION.
- CONSTRUCTION VEHICLES AND EQUIPMENT ARE TO REMAIN ON PAVED SURFACES AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION, GRADING, OR FILL ALLOWED OVER SEPTIC SYSTEM OR EXPANSION AREA
- NO EQUIPMENT STORAGE OR STAGING AREA ON UNPAVED SURFACES
- THIS PROJECT DOES NOT INCOPRORATE ANY STOCKPILES
- ON-SITE RETENTION AND PERCOLATION SHALL BE INCORPORATED INTO THE PROJECT DESIGN AS FEASIBLE

STORMWATER POLLUTION CONTROL NOTES:

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPS.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

PUBLIC WORKS STORM WATER NOTES:

THIS PROJECT HAS INCORPORATED THE MOST FEASIBLE BMPS TO MINIMIZE POLLUTANT AND HYDRAULIC IMPACTS DUE TO DEVELOPMENT AND RE-DEVELOPMENT. STORM WATER RUNOFF SHALL BE MITIGATED USING EXISTING FEATURES ON THE PARCEL. DUE TO THE LACK OF SIGNIFICANT SLOPES AND CONTOURS STORM WATER IS RETAINED AND PERCOLATED ON THE PARCEL AS THERE ARE NO EXISTING DRAINAGE ISSUES OR ADVERSE IMPACTS TO NEIGHBORING PROPERTIES, ROADWAYS, OR DRAINAGE PATHWAYS. THERE ARE NO CHANGES TO THE EXISTING DRAINAGE DUE TO THE PROPOSED IMPROVEMENTS.

PROPOSED IMPROVEMENTS INVOLVING THE CONSTRUCTION OF TWO BARNs SHALL UTILIZE THE EXISTING STORM WATER RETENTION BY TAKING ANY STORM WATER FROM THE ROOFS OF THE STRUCTURES AND MITIGATING DISPERSION VIA GUTTERS AND DOWNSPOUTS. DOWNSPOUTS TO DRAIN TO SPLASH BLOCKS AND DISPERSE WATER ONTO THE EXISTING NATIVE SOILS AND GRASS.

MAINTENANCE NOTES:

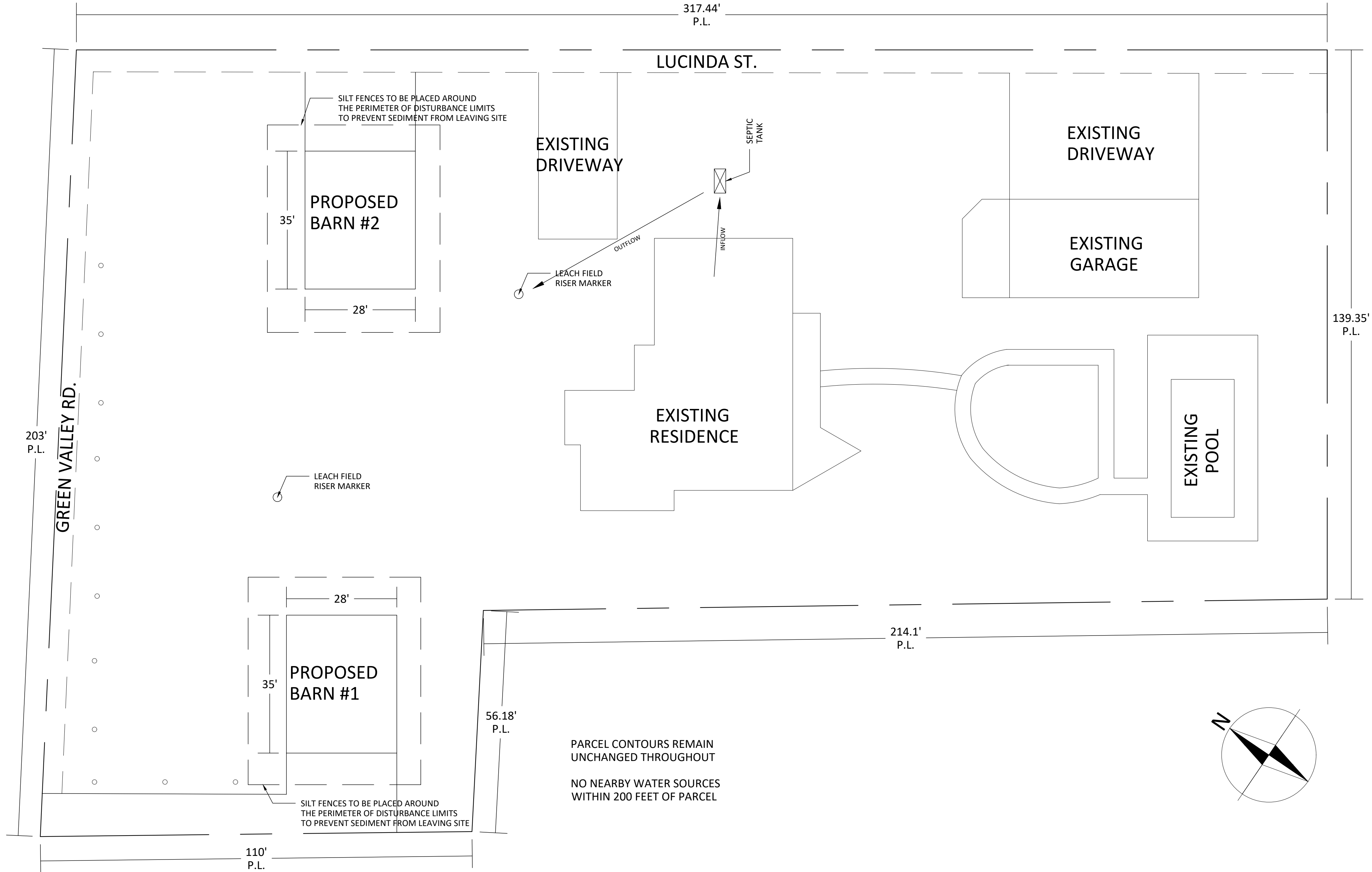
-DOWNSPOUT TO SPLASH BOARD: SIGNS OF FAILURE MAY INCLUDE EXCESS WATER OR LACK THEREOF DURING STORM EVENTS AROUND SPLASH BLOCKS, OR WATER SPILLING FROM GUTTERS. MAINTENANCE INCLUDES; USING PRESSURIZED WATER TO EXPEL DEBRIS FROM DOWNSPOUT ASSEMBLY, REMOVAL OF TRASH, STICKS, AND VARIOUS FORMS OF DEBRIS FROM DOWNSPOUT , OR INSPECTION OF GUTTER GUARD AND REPLACEMENT IF DAMAGED.

PROPERTY OWNER

TOM EBERT
222 GREEN VALLEY RD.
SCOTTS VALLEY, CA 95066
(831) 239-0404
tomebert321@gmail.com

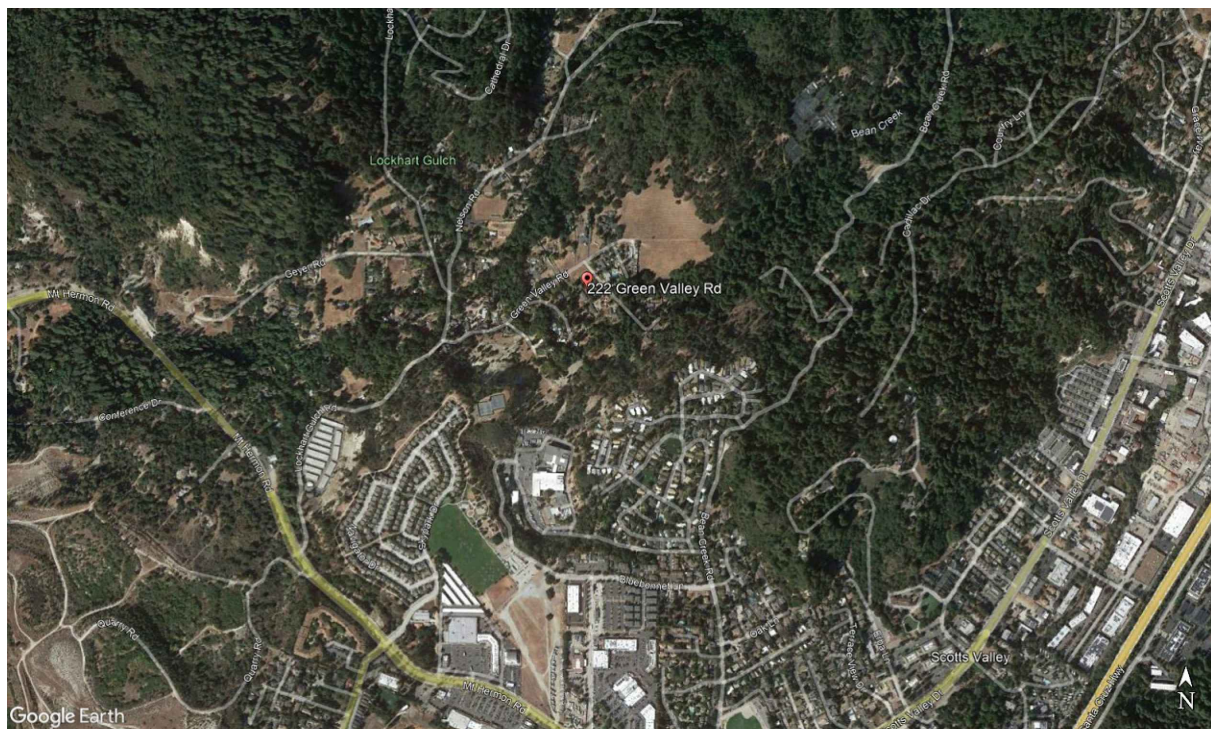
PROJECT DESIGNER

GERALD WALKER
911 WINDHAM ST.
SANTA CRUZ, CA 95062
(831) 428-9144
geraldphilipwalker@gmail.com



VICINITY MAP

SCALE: N.T.S.



REVISIONS	BY
1. 4/7/2024	GW
2. 9/13/2024	GW
3. 12/6/2024	GW
GERALD WALKER DESIGNS 911 WINDHAM ST SANTA CRUZ, CA 95062 GERALD@PHILIPWALKER@GMAIL.COM	
STORM WATER PLAN	
ENGINEERED OUTBUILDINGS 222 GREEN VALLEY ROAD SCOTTS VALLEY, CA 95066 APN: 070-311-38	
DATE: 1/8/2023	
SCALE: AS NOTED	
DRAWN BY: GERALD	
SHEET	
SW	
Gerald Walker	

TOM EBERT & ALEX BOYOVICH

222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066
(SANTA CRUZ COUNTY, CA)
28' X 35' X 9'

STRUCTURAL DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH CBC 2019, IBC 2018, ASCE7-16, OSHA, AISC 360, AISI 100, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. ALL MATERIALS IDENTIFIED BY A MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
3. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. NO FIELD WELDING IS REQUIRED.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS (ESR-2196) U.N.O. NO NEOPRENE WASHERS ARE PERMITTED AT STRUCTURAL CONNECTIONS.
5. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80 KSI) OR EQ.
6. SHEATHING CONNECTIONS SHALL BE #12-14 x 3/4" SDS. NEOPRENE WASHERS ARE REQUIRED.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE ASTM A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, Fu = 65 KSI) OR EQUAL.
8. STRUCTURAL TUBE TS 2 1/2" x 2 1/2" x 14GA (0.083") IS EQUIVALENT TO TS 2 1/4" x 2 1/4" x 12GA (0.109") AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.
11. INSERTED POST: INSERT FULL LENGTH & FIELD BOLT W/ #12X1" FASTENERS (ESR-2196) @ 12" C/C STAGGERED OPPOSITE FACE.

REVISIONS

MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT & CONST.	AUG 05 2022

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE: CBC 2019 (IBC 2018)
USE GROUP: U (CARPORTS)
CONSTRUCTION TYPE: V - B
RISK CATEGORY: I
BUILDING FOOTAGE: 980 SQ.FT

1. DEAD LOAD (D)
COLLATERAL LOAD 2.0 PSF
2. ROOF LIVE LOAD (Lr) Lr = 20 PSF
3. SNOW LOAD (S)
GROUND SNOW LOAD Pg = 0 PSF
IMPORTANCE FACTOR Is = 0.80
THERMAL FACTOR Ct = 1.2
EXPOSURE FACTOR Ce = 1.0
ROOF SLOPE FACTOR Cs = 1.0
FLAT ROOF SNOW LOAD Pf = 0 PSF
SLOPED ROOF SNOW LOAD Ps = 0 PSF
4. WIND LOAD (W)
DESIGN WIND SPEED Vult = 90 MPH
EXPOSURE C
5. SEISMIC LOAD (E)
Ss / S1 1.973/0.778
SDs / SD1 1.578/NULL
DESIGN CATEGORY E
SITE CLASS D (DEFAULT)
IMPORTANCE FACTOR Ie = 1.00

ASD LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

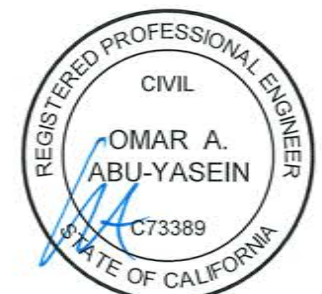
STRUCTURAL DRAWING INDEX

- 1 COVER SHEET
- 2 ELEVATIONS
- 3A FOUNDATION PLAN
- 3B FOUNDATION DETAILS
- 4 COLUMN LAYOUT PLAN & DETAILS
- 5 FRAME SECTION & DETAILS
- 6A SIDE WALL FRAMING
- 6B SIDE WALL DETAILS
- 7A END WALL FRAMING
- 7B END WALL DETAILS

SPECIAL INSPECTIONS

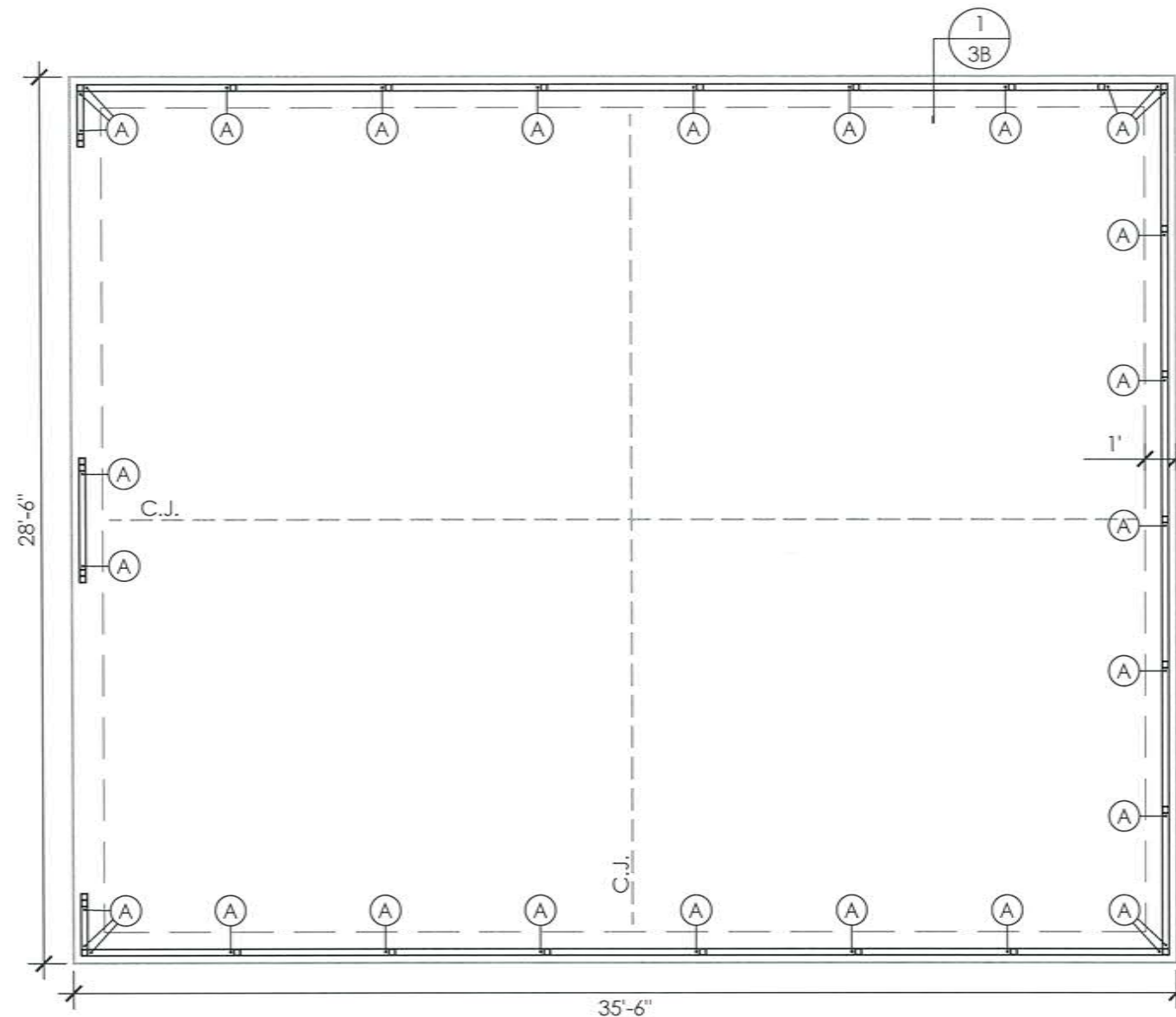
NO SPECIAL INSPECTIONS ARE REQUIRED FOR THIS STRUCTURE, AS IT MEETS THE EXCEPTIONS OF SECTION 1704 PER CBC 2019 (IBC 2018), UNLESS EXPLICITLY REQUIRED BY THE BUILDING OFFICIAL.

SHEET NO: 1 OF 7	
PROJECT NO: 130-22-2554	
DRAWN BY: MG	DATE: 8/5/2022
LOCATION: 222 GREEN VALLEY ROAD SCOTTS VALLEY, CA 95066	
PROJECT TITLE: TOM EBERT & ALEX BOYOVICH	
SHEET TITLE: COVER SHEET	
FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDINGS MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO MAKE ANY CHANGES TO PLANS.	
METAL BUILDING MANUFACTURER	
 P.O. Box 6137 Fresno, CA 93703 Tel: 1-844-800-5413 Fax: 1-559-354-6721	



EXPIRES: 12/31/2022

Exhibit D



FOUNDATION PLAN
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
BASE RAIL	2 1/2" SQ. X 14GA TUBE
SIDE COLUMN POST	2 1/2" SQ. X 14GA TUBE W/ 2 1/4" SQ. X 12GA TUBE INSERT
END COLUMN POST	2 1/2" SQ. X 14GA TUBE
CONCRETE SLAB	
ANCHOR 'A'	1/2Ø" x 8.5" LG. STRONG-BOLT 2 EXPANSION ANCHOR (PER ESR 3037)

FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (1) ANCHOR PER POST.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN THE LOCAL FROST LINE DEPTH.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- CONC SLAB TO SLOPE A MIN OF 1/8" FOR EVERY 12" TOWARDS LARGE OPENING(S) TO ALLOW DRAINAGE, IF INTENDED USE IS A GARAGE.
- IF LEVELING CURB IS REQUIRED, CONTACT METAL BUILDING MANUFACTURER FOR DETAILS BEFORE PROCEEDING. MIN 8" WIDE CURB REQ.

SHEET NO: **3A OF 7**
PROJECT NO: 130-22-2554
DRAWN BY: MG DATE: 8/5/2022

**FOUNDATION PLAN:
CONCRETE SLAB**

LOCATION: 222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066
PROJECT TITLE: TOM EBERT & ALEX BOYOVICH

METAL BUILDING
MANUFACTURER

California ALL-STEEL
Corporation, Inc.
P.O. Box 6137
Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721



EXPIRES: 12/31/2022

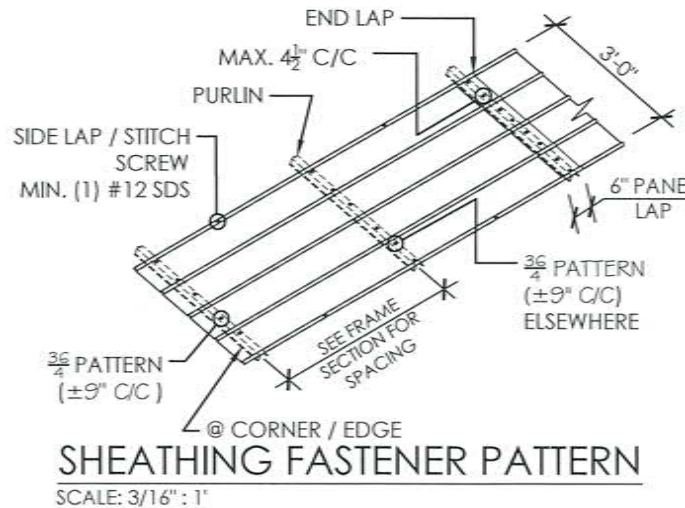
Exhibit D

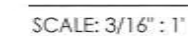
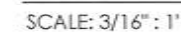
TOM EBERT & ALEX BOYOVICH

P.O. Box 6137
Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721



3 PEAK BRACE DETAIL
SCALE: 3/4" : 1'





SHEET NO: 6A OF 7	
PROJECT NO: 130-22-2554	
DRAWN BY: MG	DATE: 8/5/2022

SIDE WALL FRAMING

N: 222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066

TOM EBERT & ALEX BOYOVICH

SHEET TITLE:

PROJECT TITLE:

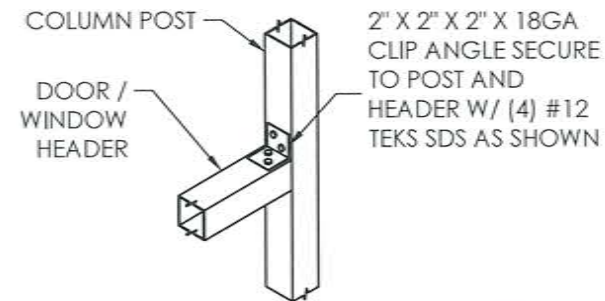
METAL BUILDING
MANUFACTURER ▼

P.O. Box 6137
Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721

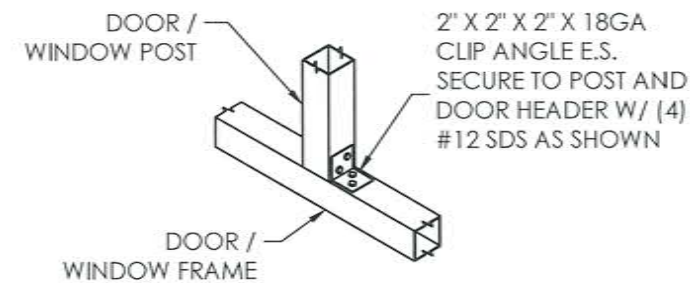


EXPIRES: 12/31/2022

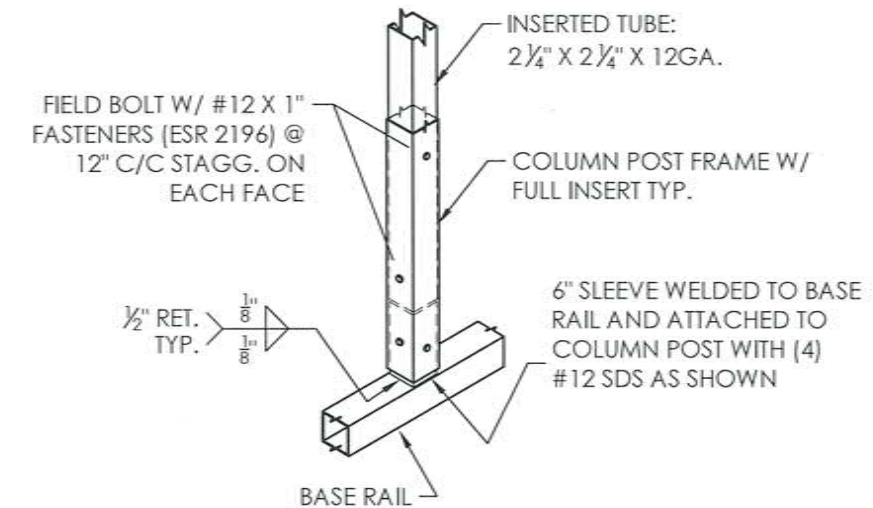
Exhibit D



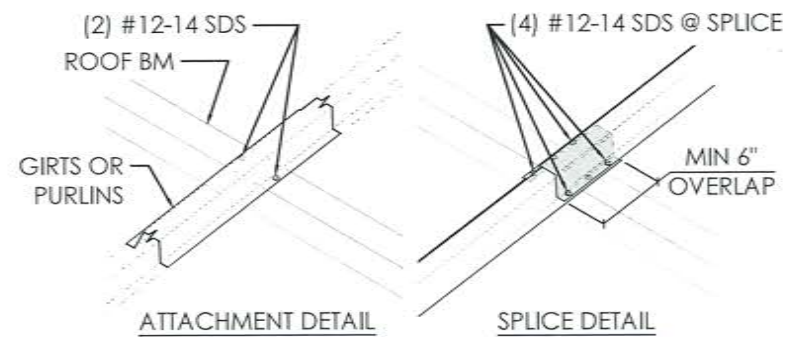
1 WINDOW/DOOR DETAIL
SCALE: 3/4" : 1'



2 WINDOW/DOOR DETAIL
SCALE: 3/4" : 1'



3 COLUMN-BASE DETAIL
SCALE: 3/4" : 1'



4 GIRT/PURLIN DETAIL
SCALE: 3/4" : 1'

SHEET NO: 6B OF 7	
PROJECT NO: 130-22-2554	
DRAWN BY: MG	DATE: 8/5/2022

SIDE WALL FRAMING DETAILS

LOCATION: 222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066

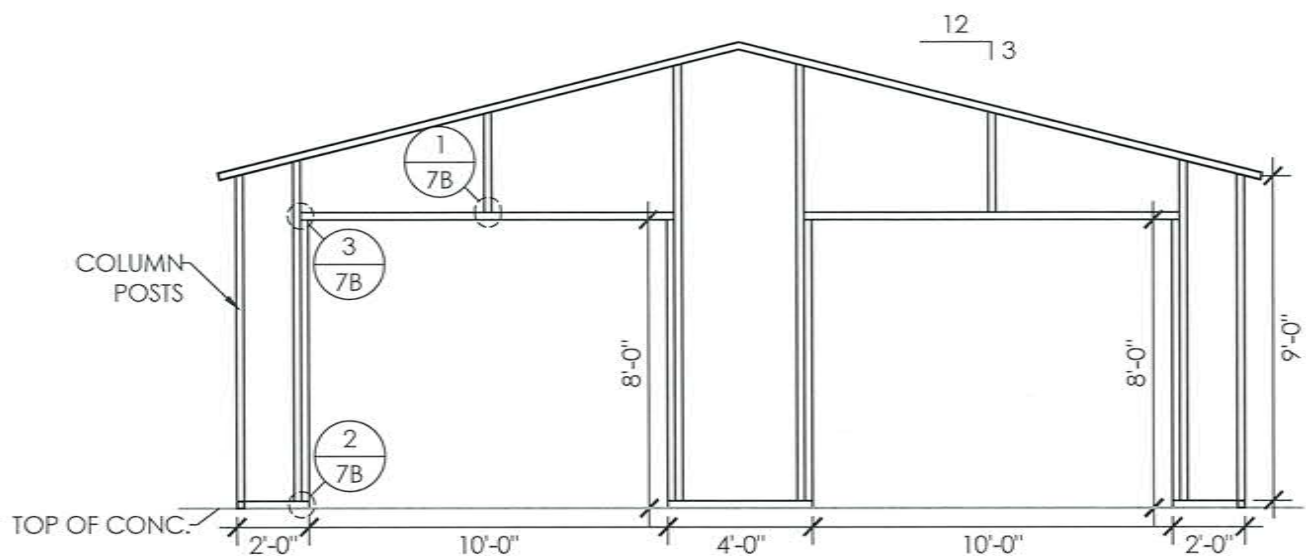
PROJECT TITLE: TOM EBERT & ALEX BOYOVICH

METAL BUILDING MANUFACTURER



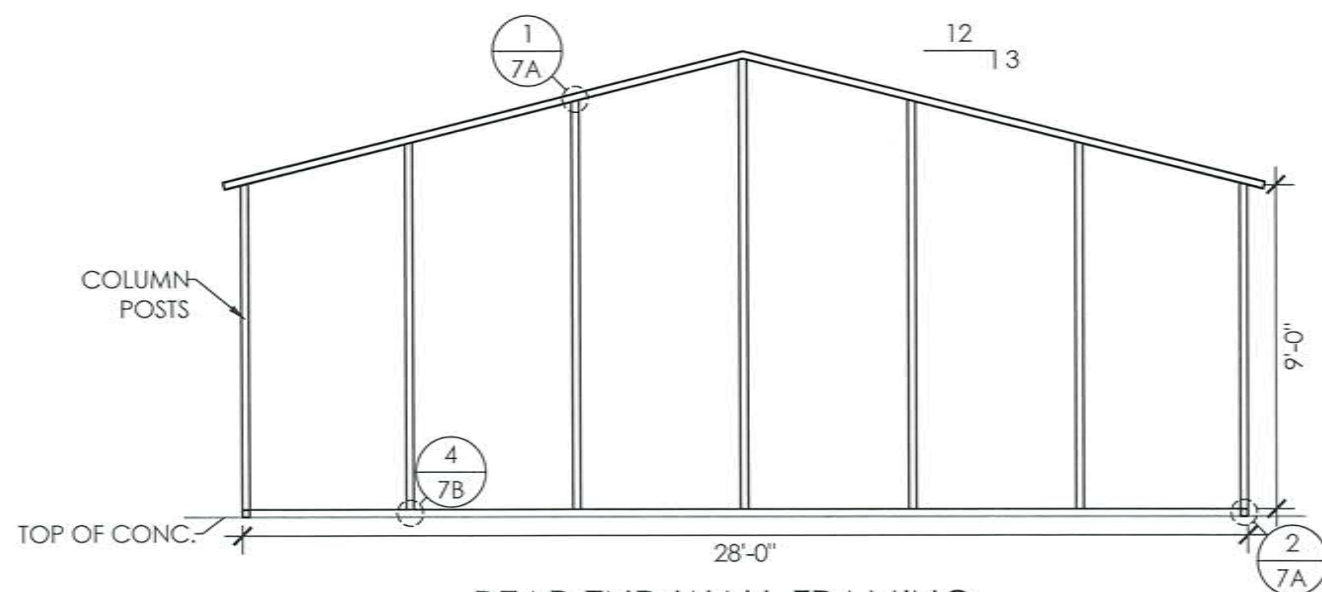
EXPIRES: 12/31/2022

Exhibit D



FRONT END WALL FRAMING

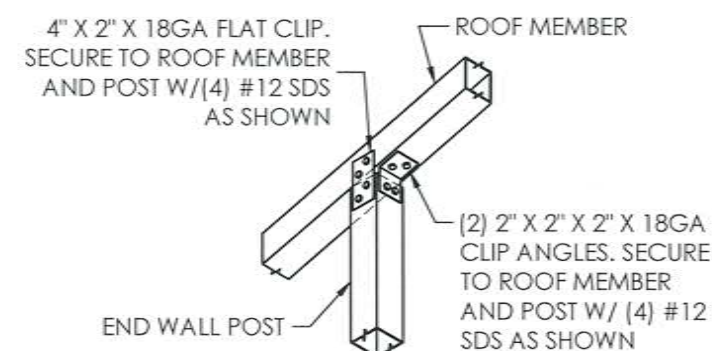
SCALE: 3/16" : 1'



REAR END WALL FRAMING

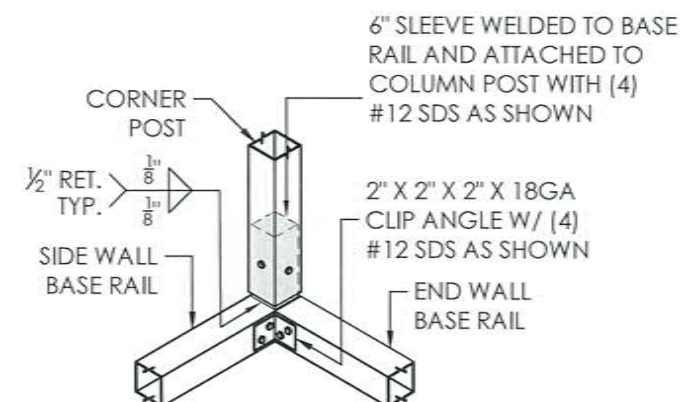
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
CORNER POST	2 1/2" SQ. X 14GA TUBE
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
HEADER	2 1/2" SQ. X 14GA TUBE
DOOR POST	2 1/2" SQ. X 14GA TUBE
END WALL POSTS	2 1/2" SQ. X 14GA TUBE



1 ROOF MEMBER DETAIL

SCALE: 3/4" : 1'



2 CORNER DETAIL

SCALE: 3/4" : 1'

SHEET NO: **7A OF 7**

PROJECT NO: 130-22-2554

DRAWN BY: MG DATE: 8/5/2022

SHEET TITLE: END WALL FRAMING & DETAILS

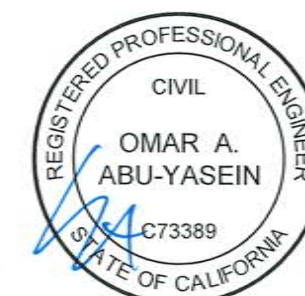
LOCATION: 222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066

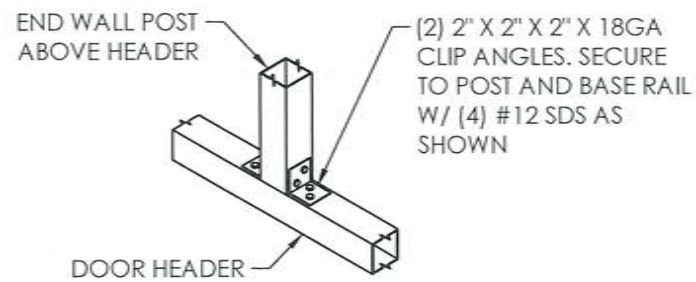
PROJECT TITLE: TOM EBERT & ALEX BOYOVICH

METAL BUILDING MANUFACTURER

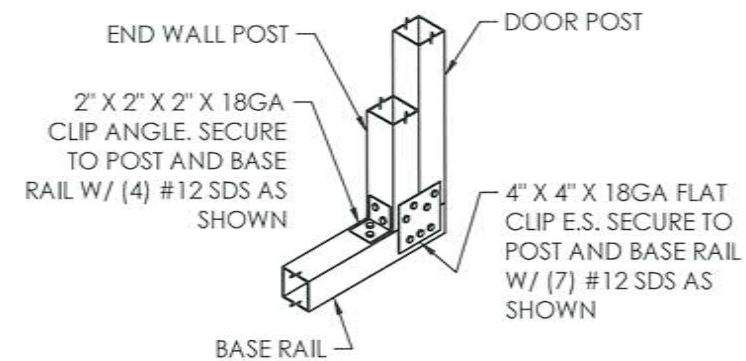
California ALL-STEEL
Corporation, Inc.

P.O. Box 6137
Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721

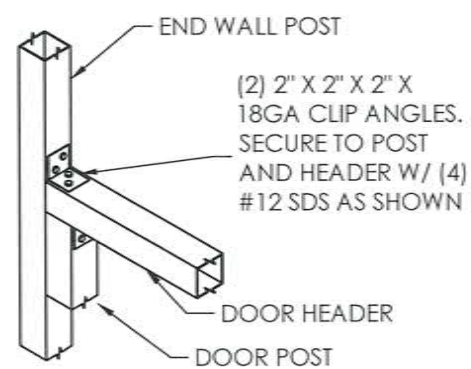




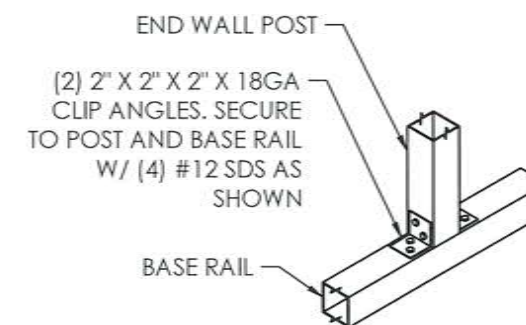
1 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



2 DOOR BASE DETAIL
SCALE: 3/4" : 1'



3 DOOR HEADER DETAIL
SCALE: 3/4" : 1'



4 COLUMN-BASE DETAIL
SCALE: 3/4" : 1'

SHEET NO: 7B OF 7
PROJECT NO: 130-22-2554
DRAWN BY: MG
DATE: 8/5/2022

END WALL FRAMING DETAILS

LOCATION: 222 GREEN VALLEY ROAD
SCOTTS VALLEY, CA 95066
PROJECT TITLE: TOM EBERT & ALEX BOYOVICH

METAL BUILDING MANUFACTURER



P.O. Box 6137
Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721



EXPIRES: 12/31/2022

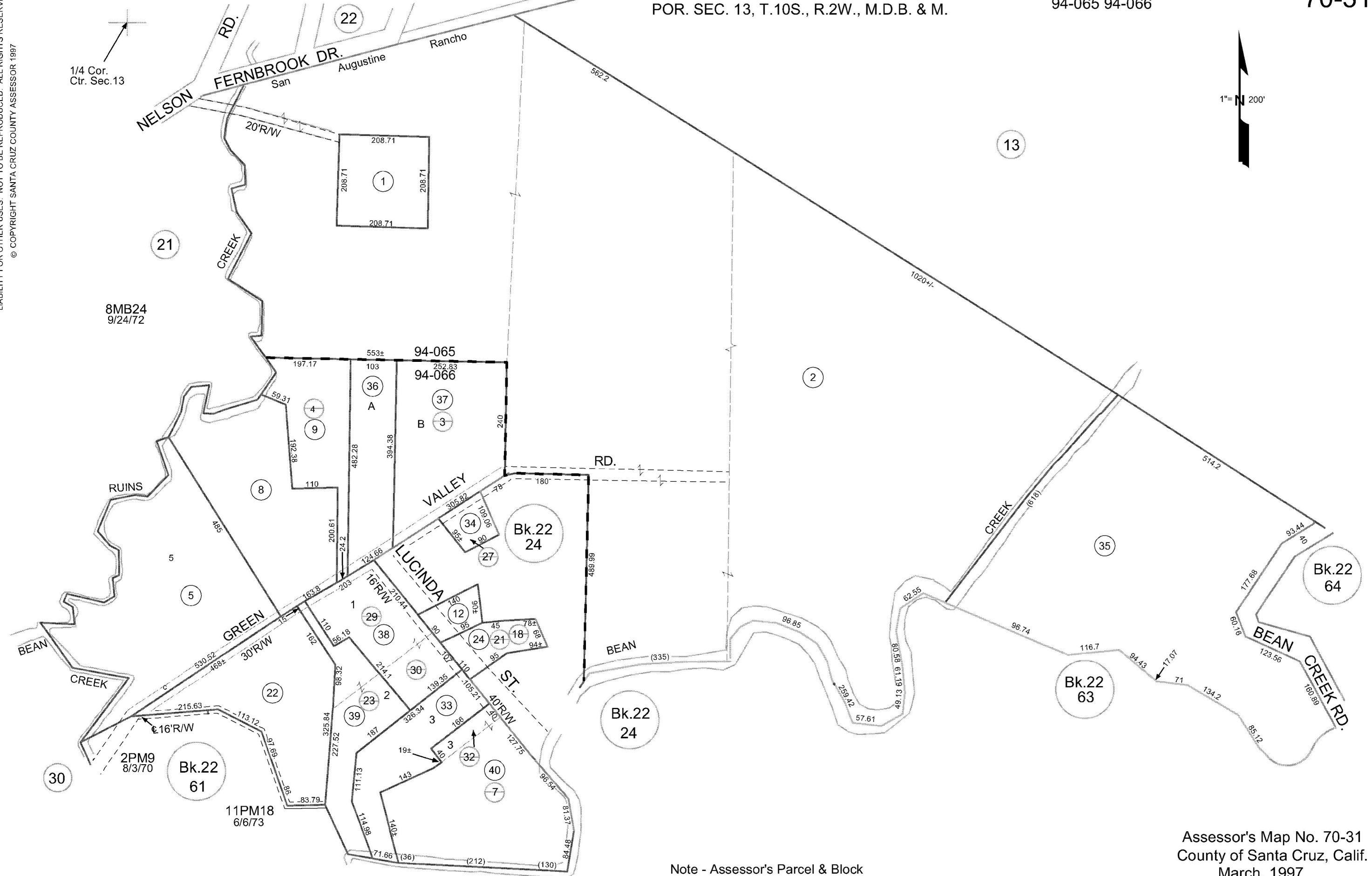
Exhibit D

FOR TAX PURPOSES ONLY
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1997

SAN AUGUSTINE RANCHO
POR. SEC. 13, T.10S., R.2W., M.D.B. & M.

Tax Area Code
94-065 94-066

70-31



Electronically Redrawn 3/28/97 nw
Rev. 6/2/98 GG (CA consolidation)
Rev. 8/7/01 mvm (changed page refs.)
Rev. 7/15/05 MD (Spatial Adjustment)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

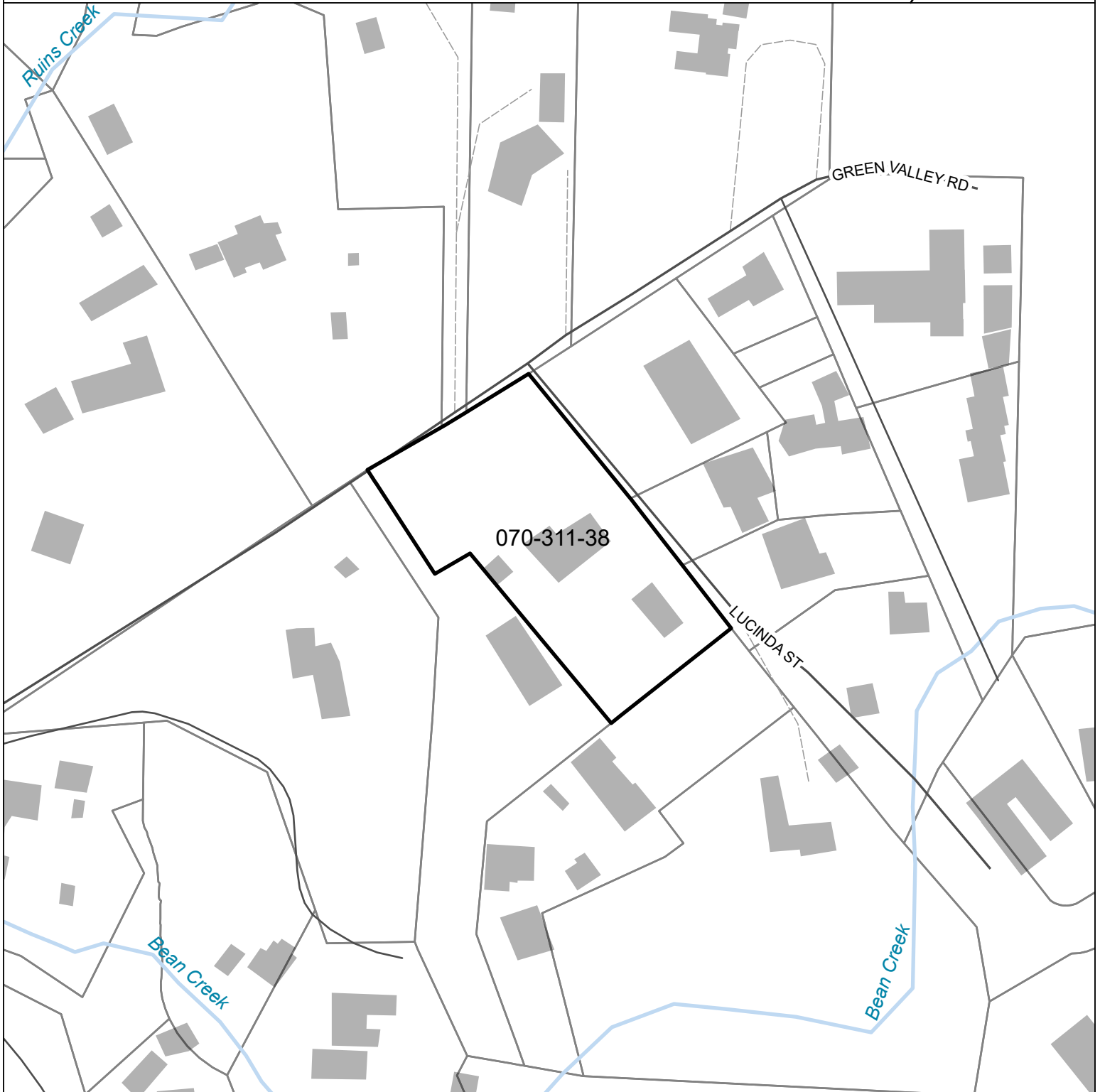
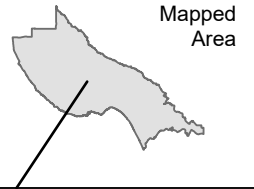
Assessor's Map No. 70-31
County of Santa Cruz, Calif.
March, 1997

Exhibit E



Santa Cruz County Planning Department

Parcel Location Map



Parcel: 07031138

 Subject Parcel

Map printed: 13 Mar. 2025

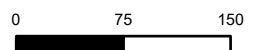
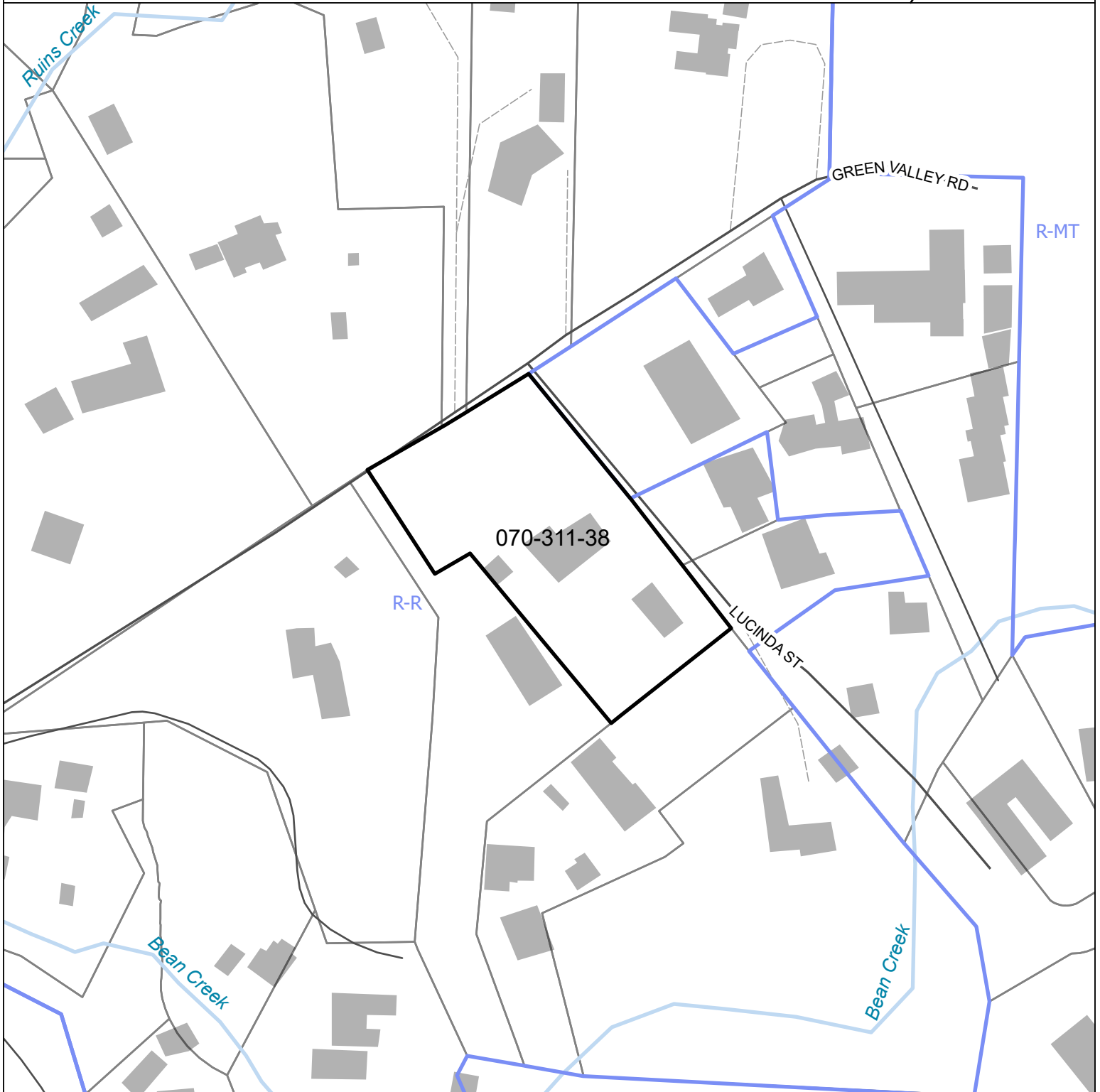
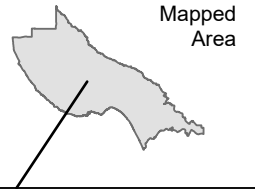


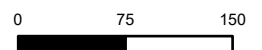
Exhibit E



Parcel General Plan Map



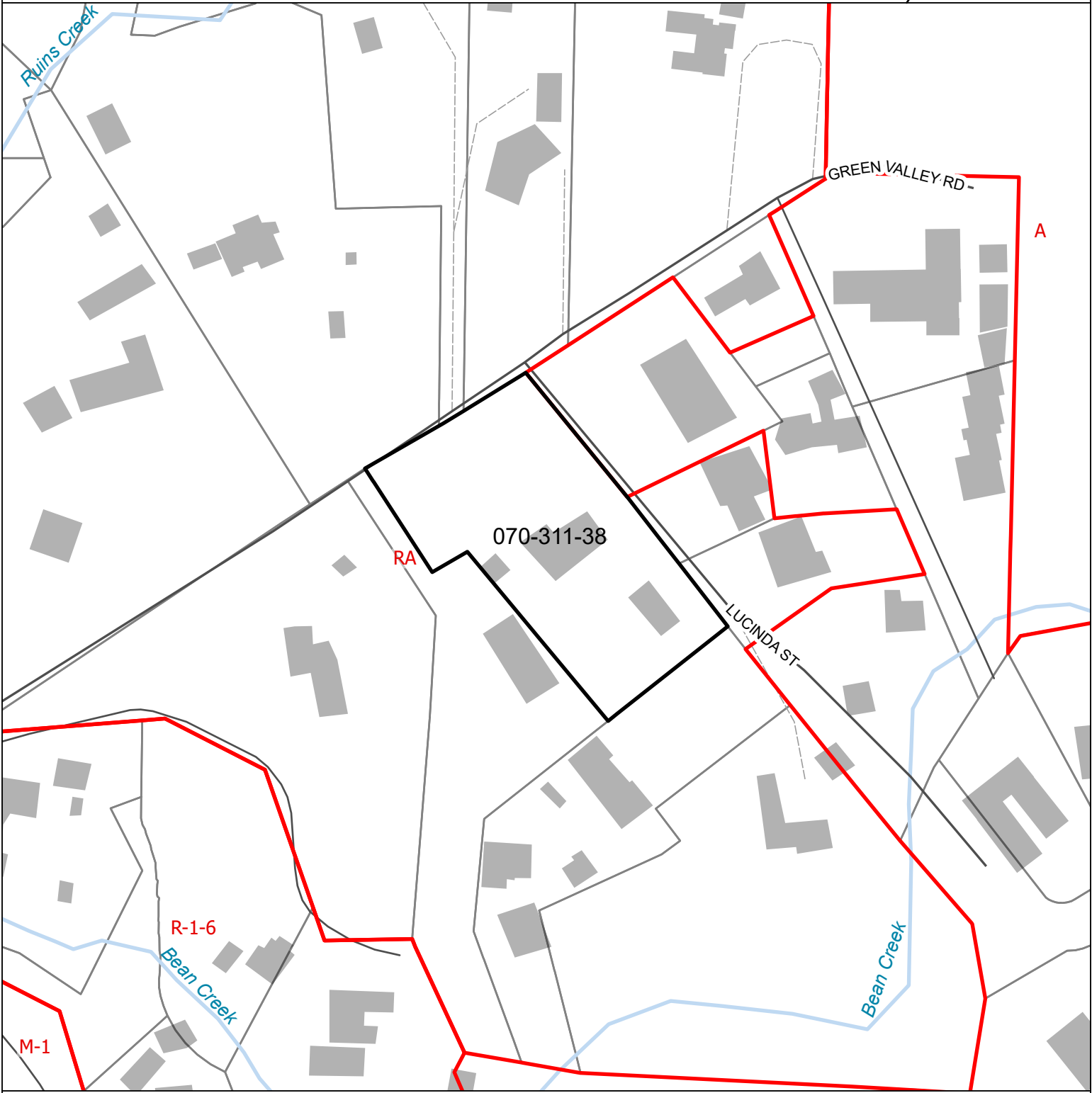
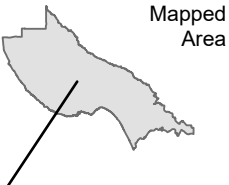
 Subject Parcel



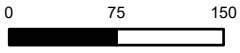


Santa Cruz County Planning Department

Parcel Zoning Map



 Subject Parcel



Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Scotts Valley Water District
Sewage Disposal: CSA 12 Septic Maintenance District
Fire District: Scotts Valley Fire Protection District
Drainage District: NA

Parcel Information

Parcel Size: 54,300 square feet
Existing Land Use - Parcel: Residential with auxiliary home occupation
Existing Land Use - Surrounding: Residential
Project Access: Green Valley Road and Lucinda Street
Planning Area: Carbonera
Land Use Designation: R-R (Rural Residential)
Zone District: RA (Residential Agriculture)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal ☐ Yes ☒ No
Comm.

Technical Reviews: NA

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Mapped biotic resources/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: No physical evidence on site found on 9/8/2023 report prepared by
Patricia Paramoure Archeological Consulting

Questions/Answers for Application #: 241011

APN: 070-311-38

1. **Question:** Please show on the floor plan(s) where the proposed holding tanks and other business storage will be located within the structures. If only one structure is to be used for the business, please indicate the proposed residentially related use of the other structure.

Please include a note on the site plan indicating which structure will house the tanks and other business storage

Please provide the square footage that the individual areas, such as abalone and misc. storage take up as well as the total square footage for the home occupation.

Answer:

- Please refer to Diagram titled: Floor plan for abalone tanks and household storage.
- Proposed Barn #1 (furthest away from Lucinda St.) will have
 - ~450 sq. ft for the abalone holding tanks
 - ~ 150 sq. ft. for storage of business supplies (i.e. boxes, bags, plastic coolers, plastic totes)
 - ~ 380 sq ft. for storage of various household items
- Proposed Barn #2 (adjacent to Lucinda st.) will have 100% storage for household items. No abalone business related items
- Large majority of household items that will be stored in the barns are currently stored inside the garage and home.

2. Question: Please provide a business plan that includes at a minimum the following:

Sales/Products:

- What products are sold as part of this business?
 - The main product sold is Live California Farm Raised Red Abalone. I also occasionally sell abalone shells and used abalone farming equipment (i.e plastic and fiberglass seawater tanks).
- What is the approximate number of units sale volume for each type of product that was sold in 2023?
 - For 2023 all my sales were only abalone. No shells or other used abalone equipment was sold. For 2024 I've sold about 1,200 kg of abalone shells and no other equipment/supplies to date.
 - SHELLS: The shells are picked up at abalone farms and either delivered directly to wholesale customers or brought back and stored short-term at my house. Of the 1,200 kg of shells sold in 2024, approximately 1,000 kg never came to my house and were delivered directly to customers. For the other 200 kg sold, the shells were stored at my house for about 1 month before being delivered to a customer. I currently have about 800 kg of abalone shells stored inside boxes at my home. They have been stored at my house for 2 to 3 months. I expect these shells to all be sold during the next 1 to 2 months (~ end of October). Supply of abalone shells from farmers is sporadic and I do not believe shells will be available long-term. I expect shell supply/sales will stop within ~ 6 months (first part of 2025) and this will no longer be a part of my business.

- ABALONE: 2023 Sales of abalone:
 - I sold approximately 42,000 live California farm raised red abalone in 2023
 - The abalone are each about 3 to 4 inches in shell length
 - The total weight of each abalone is either 1/5, 1/4 or 1/3 lb each. The abalone are separated by weight by the farmer and packed, sold to me either by the piece or total weight.
 - After I pick-up abalone at the abalone farms I either deliver them directly to the wholesale customer (i.e. seafood wholesalers, markets, restaurants) or bring them back to my holding tanks at my house. I do not keep records for which ones are delivered directly and which ones are brought back to my holding tanks. The easiest and most efficient option for me is to deliver them directly to the customer. Unfortunately, customers want deliveries on various days which do not always align with the days I pickup the abalone from the farms, so I need to store them short-term.
-
-
- Approximately how much product was stored at your property and what is the average time of storage?
 - Reviewing my records I would estimate the following:
 - ~ 50% of the abalone (~21,000) were delivered directly to the customer and never came back to my holding tanks

- ~ 25% of the abalone (~10,500) were held in my holding tanks for 1 to 8 hours before being repacked and sent out to customers
- ~ 25% of the abalone (~10,500) were held in my tanks for 1 to 7 days before being shipped out to customers

General Business Operations:

- Number of employees that work on the property and for the business?
 - I'm the owner/operator - no additional employees
- Number and types of vehicles used for the business?
 - I have two regular sized pick-up trucks that I use for the business and personal use
- Where is the parking for the business vehicles located?
 - Two pick-up trucks are parked in my driveway
- How are deliveries and pick ups of the abalone conducted?
 - Abalone are picked up at different abalone farms by me in my pickup truck. The abalone are either delivered directly to the customer or brought back to the holding tanks located at my house. The abalone are held short-term (1 hour to 1 week at my house), after which they are packed and delivered live to wholesale customers throughout California.
- When are deliveries and collections of abalone and other products typically conducted from the property?
 - Usually, all abalone related activities are conducted Monday thru Friday, with occasional Saturday activities.

- Usually, activity is conducted between 7 am and 11 am as needed, however, sometimes long return drives (pick ups and deliveries) from southern California, especially with summer time traffic, creates situation whereby I do not return with abalone to my home until the evening time (6 to 10 pm).
- What are the hours of operation?
 - I typically spend about 4 to 5 hours/week at my home loading, unloading and holding tank maintenance
 - I typically spend about 15 to 20 hours/week driving throughout California picking up and delivering abalone.
 - Typically all business activities are Monday thru Friday, occasionally Saturday
 - Business activities at my house: The business activity times vary from week to week, but typically occur between 7 am to 11 am, with occasional late night activity (6 to 10 pm).
 - Total hours of business activity at my house is 4 to 5 hours/week
- Provide all of the permits already received by other agencies/departments. Please include copies of the permits in the supplemental document.
 - California Department of Fish and Wildlife: Commercial Fish Business License
 - NOAA: International Fisheries Trade Permit
 - California Department of Public Health: Processed Food Registration Permit – pending inspection prior to issuing permit

Abalone Tanks and Pumps:

- How many tanks and pumps are being used for the current system?
 - Six tanks used as needed. During any given time 0 to 6 tanks can be in operation. Very rare that all six tanks are in operation

- There is 1 seawater pump and 1 air pump/tank
- All seawater and air pumps are the same type/size as those used for home aquariums.
- Is any expansion of the number of tanks and/or pumps proposed?
 - No
- Please provide data specifications sheets on the pumps in order to see what the decibel levels are when in use. This is to ensure that there are no potential noise impacts to neighboring properties. Please note that if no information is available on the noise output for the pumps, that a noise study, prepared by an acoustical engineer, will be required to be submitted to demonstrate compliance with county code 8.30 (Noise ordinance).
 - All seawater and air pumps are the same type/size as those used for home aquariums.
 - All seawater pumps are submerged underwater (submersal pumps) and there is zero sound
 - The air pumps: See attached sheets showing specs for these air pumps for home aquarium. The decibel level is 58.6 dB
 - Outside the proposed Barn there will be zero sound from any pumps (water or air) operating inside the barns. There will not be any pumps outside the barn.
- Are the pumps required to be always running when the abalone are stored short term? What is the duration of the pumps when abalone are in the holding tanks?
 - The water and air pumps operate continuously when the abalone are inside the tanks
- How many abalone can fit in each tank?
 - Varies depending upon size of abalone and size of the holding tank. See information below

- What is the volume of the tanks?
 - Tank 1: 150 gallons = maximum 350 abalone
 - Tank 2: 100 gallons = maximum 300 abalone
 - Tank 3: 100 gallons = maximum 300 abalone
 - Tank 4: 50 gallons = maximum 200 abalone
 - Tank 5: 50 gallons = maximum 200 abalone
 - Tank 6: 50 gallons = maximum 200 abalone
 - Totals for maximum capacity:
 - 500 gallons
 - 1,550 abalone (3 to 4 inches each in size)

- What type of inputs are required for the abalone holding tanks? Please provide a list of chemicals, nutrients or other materials required for maintaining the optimal conditions for holding abalone.
 - Seawater collected from the Santa Cruz Harbor is put into the holding tanks as needed.
 - There are no additional inputs into the seawater. No chemicals or additives of any type are used. Only 100% seawater is used.
 - The abalone are NOT fed (they eat seaweed) when they are in my holding tanks.
 - Abalone are quite often mistakenly grouped with filter feeding bivalves (i.e. clams, oysters and mussels) which are filter feeding organisms requiring special handling permits from the CDPH. Abalone are not filter feeding bivalve mollusks.

- How are the tanks maintained and cleaned?
 - I do visual inspections of the holding tanks daily when they are in use
 - As needed periodically tank filters are cleaned (with freshwater rinse) or discarded in the trash after sealing them inside a plastic bag.

- Each tank has mechanical and biological filtration along with a protein skimmer – the same as home seawater aquariums.
- Periodically some or all of the seawater is replaced in the holding tanks – the same as home seawater aquariums.
- I would estimate that 100 to 200 gallons of seawater is discarded monthly
-
- Where is any brine/saltwater waste disposed of?
 - The seawater is discarded onto the dirt on my property
- What is the waste management procedure for all business materials on the property.
 - Abalone shipping boxes are reused for abalone shipments and to store abalone shells and unused gel ice packs. The boxes with shells are later delivered to shell buyers and the boxes with gel packs are provided to other seafood wholesalers to use for their operations
 - Plastic bags are placed into a larger plastic bag and sealed. These trash bags are then brought directly to the Ben Lomond land fill. Approximately 4 to 8 trash bags/month

Comments and Responses for 241011 Discretionary Application
222 Green Valley, Scotts Valley

Tom Ebert

Zoning Development Review

Routing No. 3 Review Date: 11.4.24

Incomplete: Alexandra Corvello (Alexandra.corvello@santacruzcountyca.gov)

Completeness

1) Sheets 6-15 are blurry and hard to read. Please provide a version with updated resolution.

Sheets 6-15 were accepted by Alexandra Corvello in a Dec 4th email, since they are the only drawings available.

2) Please provide an estimated number of vehicle trips taken from/to the property for the business, including deliveries and business trips by owner, per day and per week.

Notes from owner:

- Number of employees that work on the property and for the business-

I'm the owner/operator - no additional employees

- Number and types of vehicles used for the business-

I have two regular sized pick-up trucks that I use for the business and personal use

There are no larger trucks/vehicles used for the business, only 2 pick-up trucks

- Estimated number of business trips taken from/to property-

There are 2 to 4 trips from/to the property weekly related to the business activities

- Where is the parking for the business vehicles located-

Two pick-up trucks are parked in my driveway

3) Please confirm that no larger delivery trucks, beyond the pick up trucks, are used for business purposes. **Please see the response above.**

4) Please confirm that the current electrical panel(s) on the property is sufficient for the energy use of the business. Please state what the amperage of the electrical panel(s) on the property.

- House has a 100 amp electrical service load center
- Each of the 6 holding tank systems have equipment that is the same as a home aquarium, which means the holding tank system would be comparable to having 6 aquariums in your home
- There are plenty of amps available to support 6 tanks/aquariums

5) Please show the existing fences on the property with existing heights on the site plan. Please review SCCC 13.10.525(C)(1) for fence height regulations.

Please see revised plans.

6) Please provide details for an alternative disposal method for the tank water that complies with SCCC 7.79 and accommodates the 500-gallon maximum capacity. See compliance.

- The holding tank water that is periodically replaced will be removed from the property or placed into evaporation tanks

Compliance

7) Currently seawater is being disposed of into the dirt, which constitutes a violation of SCCC 7.79, the protection of water resources. Additionally, the disposal of seawater into a sewer or septic system is prohibited. Please be aware that any proposed disposal