



## Staff Report to the Zoning Administrator

Application Number: **241212**

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**Applicant:** Megan Walls  
**Owner:** Richard Andre  
**APN:** 043-081-15  
**Site Address:** 310 Kingsbury Drive

**Agenda Date:** 3/21/25  
**Agenda Item #:** 3  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to recognize the work completed under Emergency Coastal Development Permit (CDP) 231101, which included removal of undermined concrete piers and a portion of wood soldier pile wall, and construction of waler beams tied to tiebacks, in two locations spanning a total of 45 linear feet along an existing retaining wall.

**Location:** Property is located on the southern, bluff, side of Kingsbury Drive (310 Kingsbury Drive), approximately 50 feet northwest from the intersection of Kingsbury Drive and Florence Drive in Aptos.

**Permits Required:** Coastal Development Permit

**Supervisory District:** 2nd District (District Supervisor: Kimberly De Serpa)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241212, based on the attached findings and conditions.

### Project Description & Setting

The subject property is located on the south side of Kingsbury Drive, a privately maintained right-of-way that runs between Rio Del Mar Blvd and Elva Drive in Rio Del Mar and is situated at the top of the coastal bluff, overlooking the beach and ocean. The surrounding neighborhood contains a mix of one- and two-story single-family dwellings, most of which are located more than 50 feet from the edge of the coastal bluff. Because of its prominent location at the top of the coastal bluff, the subject property lies within a mapped scenic resource area per Santa Cruz County General Plan.

### Project Background

As indicated by the Assessor's records for this property, the existing 2,007 square foot house and a 540 square foot detached garage, were built in 1941, which pre-dated permit requirements. Based on the available permit records, it appears that the structure has largely remained unchanged since that time.

During the winter of 2023, a series of significant storm events battered coastal properties in Santa Cruz County and the greater State of California. In response to these storms, which undermined existing retaining walls on the subject property, that ran along the top of the coastal bluff, the property owner applied for an Emergency Coastal Development Permit (ECDP) for the emergency work. The reinforcement and repairs to the retaining wall were then authorized under ECDP 231101, which was issued in accordance with SCCC 13.20.090. The ECDP allowed for the removal of the existing concrete piers and portions of existing wood soldier pile wall that had been undermined, and approved the addition of new helical anchor tiebacks with a waler beams in two locations along a total of 45 linear feet of the existing retaining wall.

On March 15, 2023, Building Permit B-232224 was issued for the approved reinforcement and repairs to the retaining wall, as authorized under ECDP 231101. This work, along with the placement of new erosion-control netting and new drainage improvements, has since been completed. It should be noted that, although no building permit was required for this work, the erosion-control netting and drainage improvements were not part of the original application and, therefore, were not authorized under ECDP 231101.

This application is necessary to recognize the work done under Emergency CDP 231101 and will also recognize the erosion netting installed in conjunction with Building Permit B-232224. A separate Coastal Development Permit will be required to recognize the installed drainage improvements.

### **Zoning & General Plan Consistency**

The subject property is an approximately 30,100 square foot lot, located within both the R-1-6 (Single-Family Residential, 6,000 square feet per unit) and PR (Parks and Recreation) zone districts. Both zones allow residential uses. The proposed recognition of the repairs to the existing retaining wall and erosion control netting are situated entirely within the PR zoned area of the property. Residential accessory uses such as walls, are an allowed use within the PR zone district, and the zoning designations align with the site's General Plan designations of R-UL and O-U (Urban Low Density Residential and Urban Open Space).

### **SCCC 16.10 Geologic Hazards**

The project complies with the County Geologic Hazards Ordinance, SCCC Chapter 16.10, in that - although the existing retaining wall is located within 25 feet of the coastal bluff and is considered development per SCCC 16.10.040(19)-- the repair and reinforcement of the wall represents the least environmentally damaging feasible alternative to protect the existing dwelling on the parcel. Additionally, since the project is not located within the FEMA flood zone and does not involve alterations to the existing house or garage, the substantial improvement standards of SCCC 16.10.040(65) are not applicable. As such, the project complies with all elements of the County's Geologic Hazards Ordinance.

### **Local Coastal Program Consistency**

The repairs and reinforcement of the existing retaining wall, and placement of erosion-control netting are in conformance with the County's certified Local Coastal Program, in that this work is

sited and designed in a manner that is visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Many other properties located close to the coastal bluff also contain single family dwellings that are protected by retaining walls along the bluff edge, and the repaired wall on the subject property is consistent with this setting. Furthermore, the erosion-control netting that has been installed allows for native grasses and other vegetation to grow along the bluff which, over time, will further screen the existing retaining walls from public view. Additionally, although the project site is located between the shoreline and the first through public road, there is a steep inaccessible cliff that prevents direct access to the shoreline through the property. As a result, the repairs and reinforcement of the existing retaining wall and placement of erosion-control netting will not interfere with public access to the beach, ocean, or other nearby body of water. Furthermore, the parcel is not identified as a priority acquisition site in the County's Local Coastal Program.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241212**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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**Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. 231101 Emergency CDP Plans



# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241212  
Assessor Parcel Number: 04308115  
Project Location: 310 Kingsbury Drive

**Project Description: Recognize emergency repairs to an existing retaining wall located along the coastal bluff and placement of erosion-control netting.**

**Person or Agency Proposing Project: Megan Walls**

**Contact Phone Number: 831-247-5466**

- A. \_\_\_\_\_ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. \_\_\_\_\_ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. \_\_\_\_\_ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. \_\_\_\_\_ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).  
E.   X   **Categorical Exemption**

Specify type: Class 1 – Existing Facilities (Section 15301), Class 2 -Reconstruction and Replacement (Section 15302)

**F. Reasons why the project is exempt:**

Repair of an existing retaining wall and associated erosion control measures.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Alexandra Corvello, Project Planner

Date:\_\_\_\_\_

## **Coastal Development Permit Findings**

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, as the property is zoned within the R-1-6 (Single-Family Residential, 6,000 square feet per unit) and PR (Parks and Recreation) zone districts, both of which allow residential uses. The existing retaining wall is a principal permitted accessory use within these zone districts and the proposed recognition of emergency repairs to the wall that include the installation of helical anchor tiebacks with a waler beam in two locations, totaling 45 total linear feet of work, is consistent with the existing uses on the property. Furthermore, the zoning is consistent with the site's R-UL and O-U (Urban Residential – Low Density and Urban Open Space) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, as there are no known easements or restrictions that encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, as the development is consistent with the surrounding neighborhood in terms of architectural style. The site is surrounded by lots developed to an urban density, several of which are also protected by retaining walls located along the top of the bluff. The repairs and reinforcement of the existing retaining wall on the subject property were done using natural, darker colors that help blend the structure into the surrounding bluff. Additionally, the associated erosion-control netting provides spaces for the establishment of native grasses and other vegetation which, over time, will further screen the repaired retaining wall. Although the development is situated on a bluff top, it does not significantly change public views from the nearby beach and no expansion or other work is proposed to the existing house or garage on the property.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, as the project site is not identified as a priority acquisition site in the County Local Coastal Program, and public beach access is available at the two state beach access areas below along Beach Drive and Rio Del Mar Blvd.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the repaired structure is sited along the top of the coastal bluff, within the portion of the parcel that is zoned PR (Parks and Recreation) and is visually compatible with and integrated into the character of the surrounding neighborhood. Accessory uses such as retaining walls are allowed within the PR zone district zone district in association with an existing residential use. The wall is also consistent with the General Plan and Local Coastal Program land

use designation in that it does not block any existing public coastal access or public views to the beach and ocean. Developed parcels in the area contain single family dwellings, many of which are protected by retaining walls where the dwelling is located along the coastal bluff. The size and architectural styles of these walls vary, and the design of the repaired retaining wall and associated erosion-control netting aligns with the development pattern in the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first through public road, there is a steep inaccessible cliff that prevents direct access to the shoreline through the property. As a result, the proposed recognition of the repairs and reinforcement of the existing retaining wall and placement of erosion-control netting will not interfere with public access to the beach, ocean, or any nearby body of water. Additionally, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## **Discretionary Permit Findings**

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, as the project is located in an area designated for residential uses. Repairs to the existing retaining wall were completed in compliance with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity. Additionally, the installation of erosion-control netting will help to stabilize the site and prevent further damage.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the location of the reinforcement and repairs to the existing retaining wall and installation of erosion-control netting, along with the conditions under which it will be operated or maintained, are in substantial conformance with all pertinent County ordinances. The project site is located within the R-1-6 (Single-Family Residential, 6,000 square feet per unit) and PR (Parks and Recreation) zone districts, both of which allow for residential uses. The primary use of the property will continue to be one single-family dwelling with a detached garage that are located within the portion of the parcel that is zoned R-1-6 and , and an accessory retaining wall that is located fully within the portion of the parcel that is zoned PR.

The project also complies with the County Geologic Hazards Ordinance, SCCC Chapter 16.10, in that although the existing retaining wall is located within 25 feet of the coastal bluff and is considered development per SCCC 16.10.040(19), the repair and reinforcement of the wall represents the least environmentally damaging feasible alternative to protect the existing dwelling on the parcel. Additionally, since the project is not located within the FEMA flood zone and does not involve alterations to the existing house or garage, the substantial improvement standards of SCCC 16.10.040(65) are not applicable. As such, the project complies with all elements of the County's Geologic Hazards Ordinance.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the existing single-family dwelling, detached garage and repaired retaining wall with erosion-control netting are in substantial conformance with the use and density requirements specified for the R-UL and O-U General Plan designation (Urban Residential – Low Density and Urban Open Space) land use designation in the County General Plan. The existing residential use of the property will not change as a result of the project.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed recognition of the project will not result in the construction of any additional residential units and there will continue to be only one residential unit on the property. The level of traffic currently generated is only 1 peak trip per day (1 peak trip per dwelling unit) and the repair and reinforcement of the existing retaining wall on the property and installation of erosion-control netting will not result in any increase in traffic. In addition, all construction was completed in compliance with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the repair and reinforcement of the existing retaining wall on the property and installation of erosion-control netting is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

The required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program. Therefore, this finding can be made.

### **Site Development Permit Findings**

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, as the project was designed to complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The proposed reinforcement and repair of existing retaining walls along the bluff were done using natural, darker

colors that help blend the structure into the surrounding bluff. Additionally, the associated erosion-control netting provides space for the establishment of native grasses and other vegetation which, over time, will further screen the repaired retaining wall. Although the development is situated on a bluff top, it does not significantly change public views from the nearby beach and no expansion or other work is proposed to the existing house or garage on the property.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, as the project is in substantial conformance with the requirements of the County Design Review Ordinance. The repaired and reinforced retaining wall is appropriate in scale and character, in that many other properties located close to the coastal bluff also contain single family dwellings that are protected by retaining walls along the bluff edge. The wall on the subject property is consistent with this setting in that the repairs utilized natural, darker colors to help blend the structure into the surrounding bluff. Furthermore, the associated erosion-control netting allows for native grasses and other vegetation to grow along the bluff which, over time, will further screen the existing retaining walls from public view.

## Conditions of Approval

Exhibit D: Project plans, prepared by Haro, Kasunich and Associates, dated 10/16/24.

- I. This permit authorizes the removal of undermined concrete piers and a portion of wood soldier pile wall, and construction of waler beams tied to tiebacks, in two locations spanning a total of 45 linear feet along the existing retaining wall, and the installation of erosion-control netting as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a regular Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
  - D. Submit an application to the County of Santa Cruz for a separate Coastal Development Permit to recognize all drainage improvements that were constructed in association with the authorized repairs to the existing retaining wall.
- II. Prior to issuance of a regular Building Permit recognizing the work done under B-232224 the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color

and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.

3. Grading, drainage, and erosion control plans, if required.
  4. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to the issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
  2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- E. Submit a soils report prepared and stamped by a licensed Geotechnical Engineer. If the soils report and report review conditions of approval results in a significant change to the project, either a minor variation or an amendment of this permit is required.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all the recommendations of the approved soils reports.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this



development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

#### IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

#### V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When

representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator  
\_\_\_\_\_

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



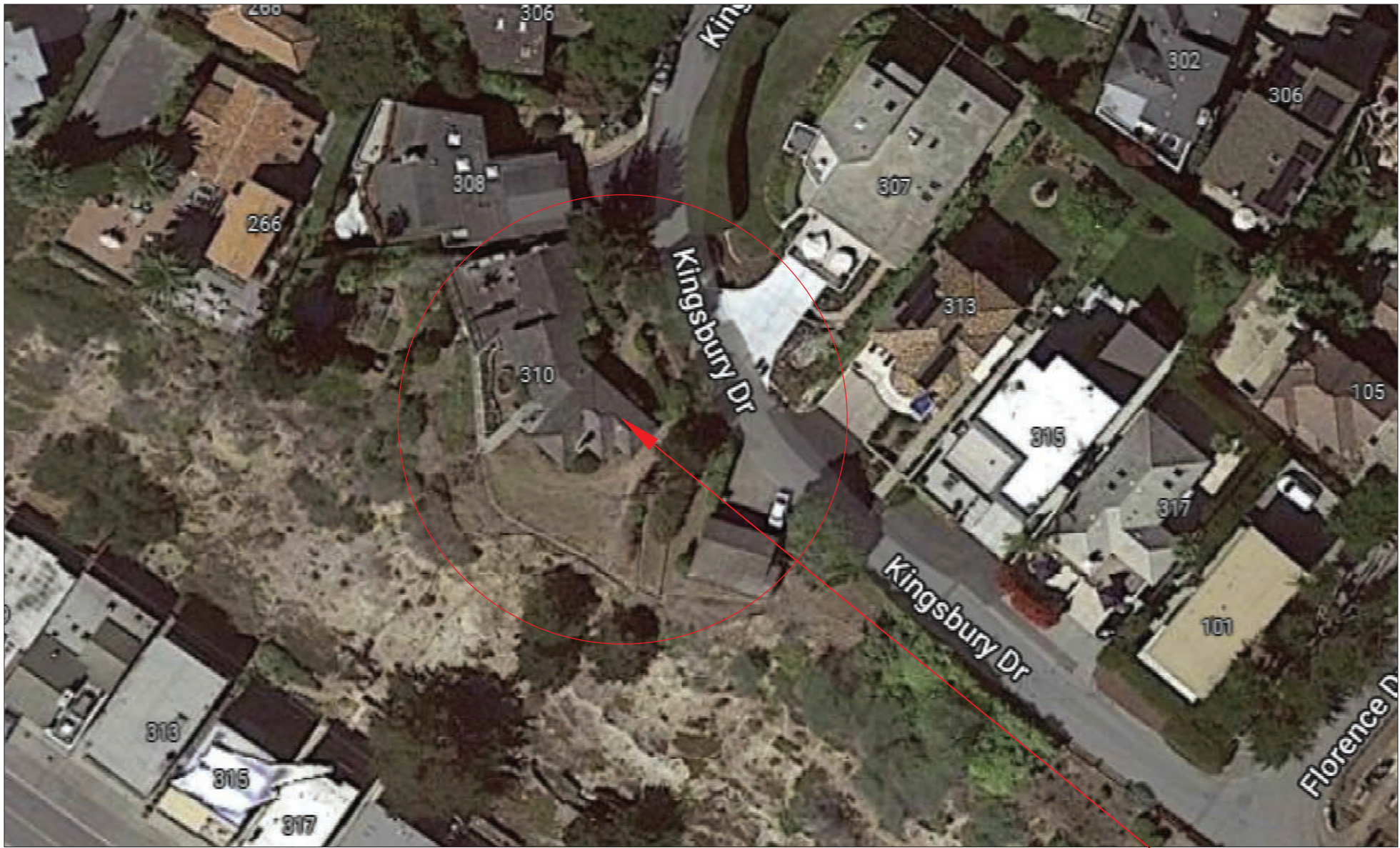
# UNDERMINED RETAINING WALL REPAIR PLAN

310 KINGSBURY DRIVE  
APTOS, CALIFORNIA 95003  
APN 043-081-15



REGIONAL MAP  
N.T.S. (GOOGLE EARTH)

PROJECT  
LOCATION



VICINITY MAP  
N.T.S. (GOOGLE)

SUBJECT  
PROPERTY

## SHEET INDEX

- C1 TITLE SHEET
- C2 EXISTING SITE CONDITIONS
- C3 PROPOSED REPAIR PROFILES
- C4 EROSION CONTROL NOTES

## GENERAL NOTES

- TOPOGRAPHIC MAPPING WAS PERFORMED BY:  
BRIDGETTE LAND SURVEYING  
64 PENNY LANE, SUITE B  
WATSONVILLE, CA 95076  
DATE: 08/03/2023
- SUPPLEMENTAL TOPOGRAPHIC MAPPING TO INCLUDE CONTOURS NEAR THE GARAGE WAS PERFORMED BY:  
BRIDGETTE LAND SURVEYING  
64 PENNY LANE, SUITE B  
WATSONVILLE, CA 95076  
DATE: 09/23/2024
- ELEVATION DATUM: NGVD29 UNADJUSTED, ESTABLISHED FROM SANTA CRUZ COUNTY BENCHMARK 33A
- GEOTECHNICAL & CIVIL ENGINEER:  
JOHN KASUNICH  
831-722-4175  
HARO, KASUNICH AND ASSOCIATES, INC.  
116 EAST LAKE AVE.  
WATSONVILLE, CA 95076  
PROJECT NO. SC7272
- OWNER:  
RICHARD ANDRE  
310 KINGSBURY DRIVE  
APTOS, CALIFORNIA 95003
- ALL WORK INDICATED ON THE PLANS SHALL CONFORM WITH THE FOLLOWING CODES; 2022 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24) WITH COUNTY OF SANTA CRUZ ADOPTED AMENDMENTS AND CAL GREEN.

## ABBREVIATIONS

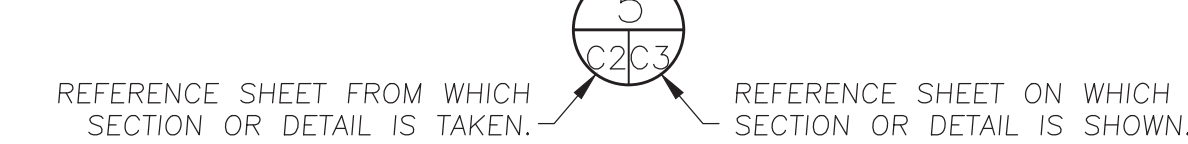
AVG.	AVERAGE
CC	CONCRETE
CY	CUBIC YARDS
DIA.	DIAMETER
E	EXISTING
EG.	EXISTING GROUND
ELEV.	ELEVATION
FG	FINISHED GRADE
FT	FEET
INV	INVERT
IN	INCH
MIN.	MINIMUM
N	NEW
NTS	NOT TO SCALE
O.C.	ON CENTER
SF	SQUARE FOOT
T	TREE
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL

## PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF REPAIRING PARTIALLY UNDERMINED RETAINING WALL FOUNDATIONS ALONG THE COASTAL BLUFF WITH TIED BACK WALER BEAMS. TIEBACKS WILL BE 20 FOOT LONG DOUBLE HELIX ANCHORS WITH 6 INCH MINIMUM DIAMETER. ANCHORS TO BE INSTALLED AT 15 DEGREE ANGLE FROM HORIZONTAL AND TENSIONED TO ACHIEVE A LOCK OFF LOAD OF 1 KIP MINIMUM. COMPLETELY UNDERMINED PIER FOUNDATIONS WILL BE REMOVED BY THE CONTRACTOR. RECENT SLIDE SCARPS WILL BE ROUNDED AND DRESSED WITH FUTERRA R-45 TURF REINFORCEMENT MATTING (TRM) EROSION CONTROL MATERIALS SECURED WITH 3 FOOT LONG PLATIPUS CABLE EARTH ANCHORS. R-45 TRM WILL BE HYDROSEEDDED. EROSION CONTROL TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR.

## SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION  
(NUMBER OR LETTER)



DATE	REVISION	BY
10/16/24	ADDRESS COUNTY COMMENTS	MW

HARO, KASUNICH & ASSOCIATES  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4175 PHONE AND (831) 722-3202 FAX

TITLE SHEET  
RICHARD ANDRE  
310 KINGSBURY DR  
APTOS, CA 95003  
APN 043-081-15

PROJECT:	SC7272
DATE:	FEB. 2023
DESIGN:	JK
DRAWN:	MW
SCALE:	AS SHOWN

C1



1. TOPOGRAPHIC MAPPING WAS PERFORMED BY:  
BRIDGETTE LAND SURVEYING  
64 PENNY LANE, SUITE B  
WATSONVILLE, CA 95076  
DATE: 08/02/2005  
SUPPLEMENTAL SURVEY DATE: 09/23/2024
2. ELEVATION DATUM: NVGD29, UNADJUSTED, ESTABLISHED  
FROM SANTA CRUZ COUNTY BENCHMARK 33A.
3. CONTOUR INTERVAL IS TWO FEET. ELEVATIONS AND  
DISTANCES SHOWN ARE IN DECIMAL FEET.

APN 43-081-06

Found 1/2" pipe  
tagged LS 4134

### Elevation Datum Equation

Elev. (NGVD29) = Elev. (NAVD88) - 2.76'

NOTE: Franich & Lomonaco elevations of  
2023 were mapped on NAVD88 Datum.

### Notes

Distances are in feet and decimals thereof.  
All data points represent ground elevations unless  
otherwise noted.

### Legend

ABS ..... Acrylonitrile Butadiene Styrene  
AC ..... Asphalt Concrete  
AD ..... Area Drain  
BF ..... Black Flex  
CB ..... Catch Basin  
CD ..... Curb Drain  
DS ..... Down Spout  
ES ..... Electrical Christy  
EP ..... Edge of Pavement



BY	REVISION	DATE	ADDRESS	COUNTY COMMENTS
		10/16/24		

HARO, KASUNICH & ASSOCIATES

GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4175 PHONE AND (831) 722-3202 FAX

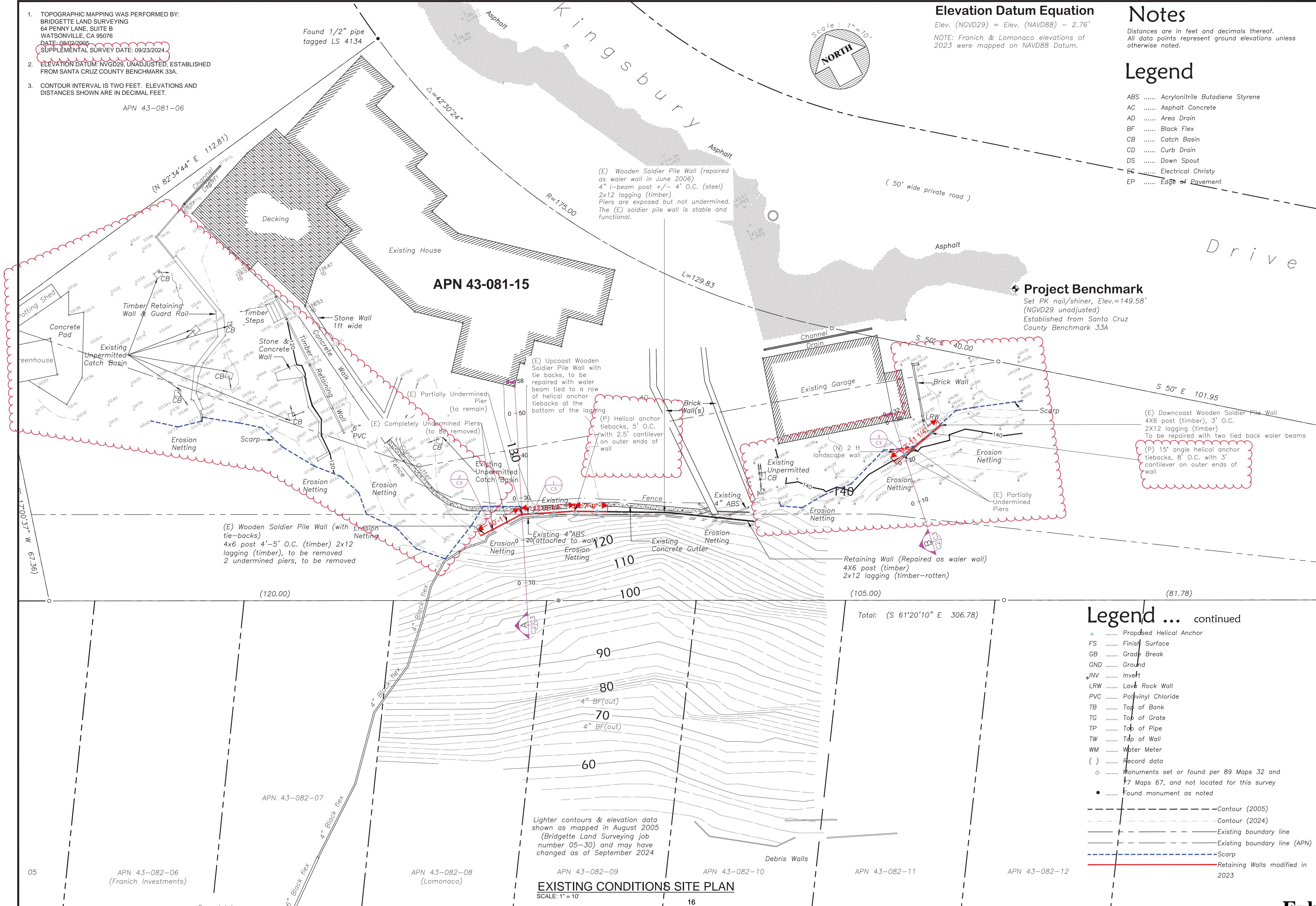
EXISTING SITE CONDITIONS

RICHARD ANDRE  
310 KINGSBURY DR  
APTOS, CA 95003  
APN 043-081-15

PROJECT:	SC7272
DATE:	FEB. 2023
DESIGN:	JK
DRAWN:	MW
SCALE:	1" = 10'

C2

Exhibit D



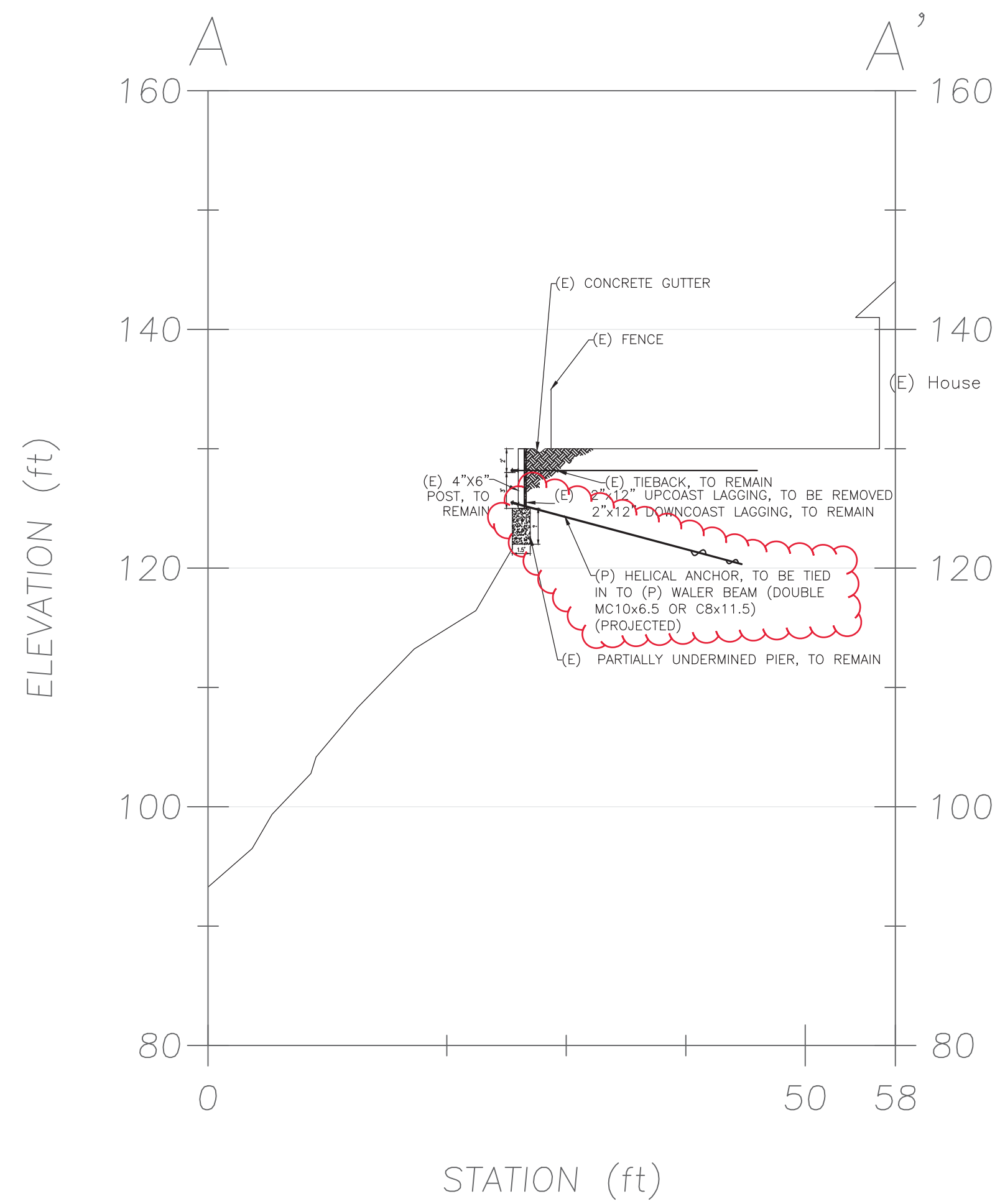
### Legend ... continued

..... Proposed Helical Anchor  
FS ..... Finish Surface  
GB ..... Grade Break  
GND ..... Ground  
INV ..... Invert  
LRW ..... Lava Rock Wall  
PVC ..... Polyvinyl Chloride  
TB ..... Top of Bank  
TG ..... Top of Gate  
TP ..... Top of Pipe  
TW ..... Top of Wall  
WM ..... Water Meter  
( ) ..... Record data  
o ..... Monuments set or found per 89 Maps 32 and  
77 Maps 67, and not located for this survey  
• ..... Found monument as noted  
--- Contour (2005)  
--- Contour (2024)  
--- Existing boundary line  
--- Existing boundary line (APN)  
--- Scarp  
--- Retaining Walls modified in  
2023

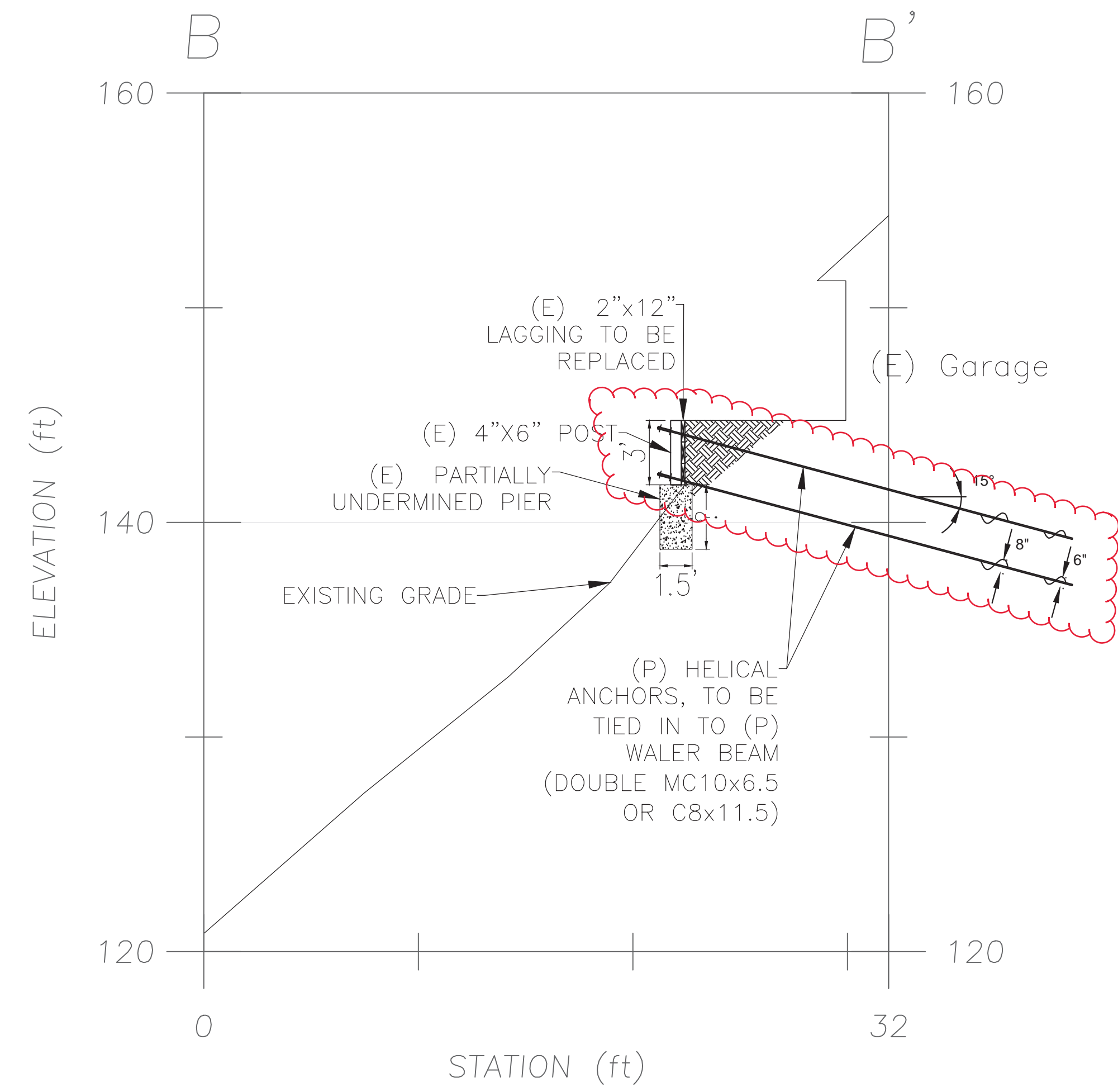
### EXISTING CONDITIONS SITE PLAN

SCALE: 1" = 10'

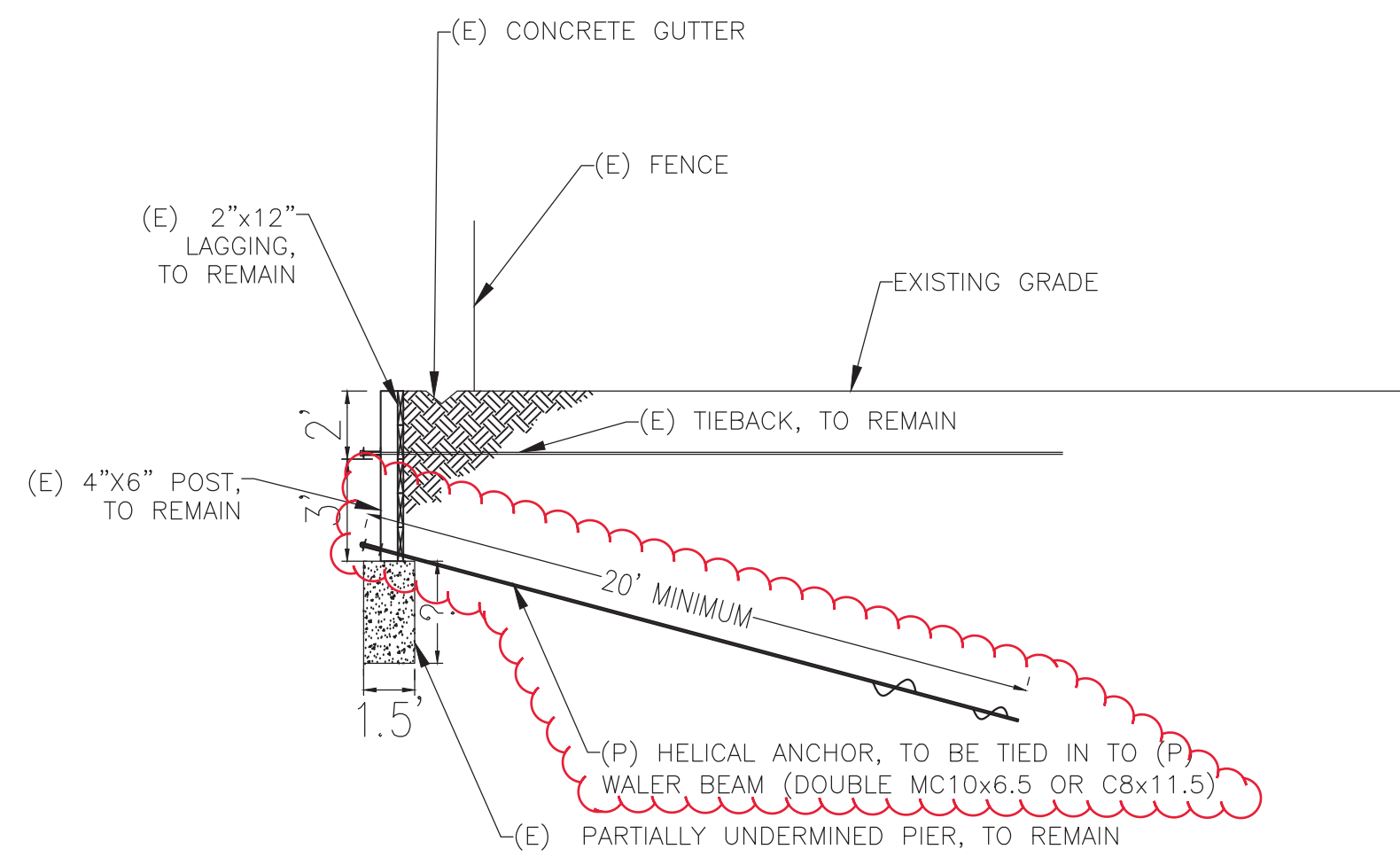




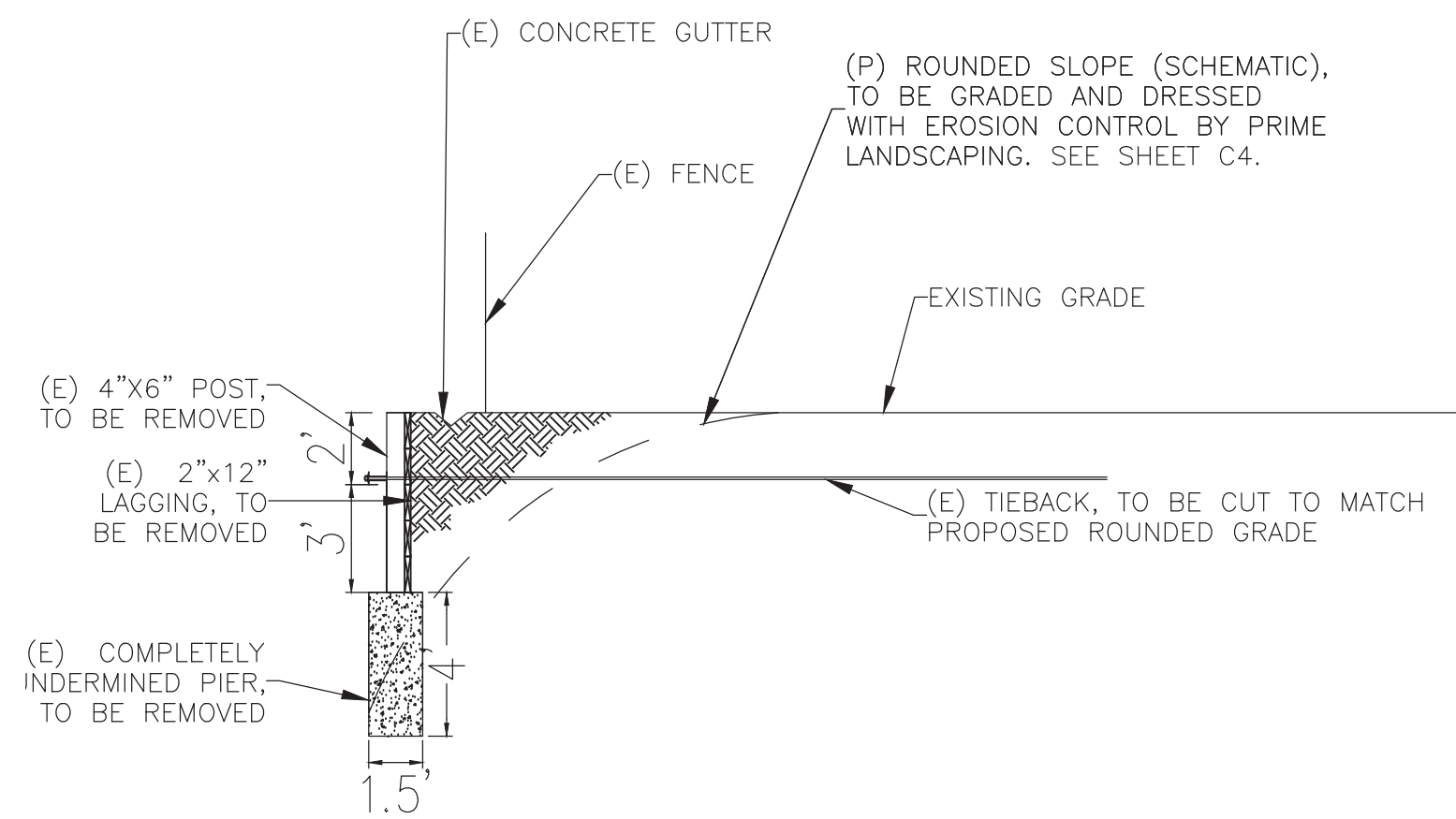
UPCOAST SECTION  
SCALE: 1" = 10'



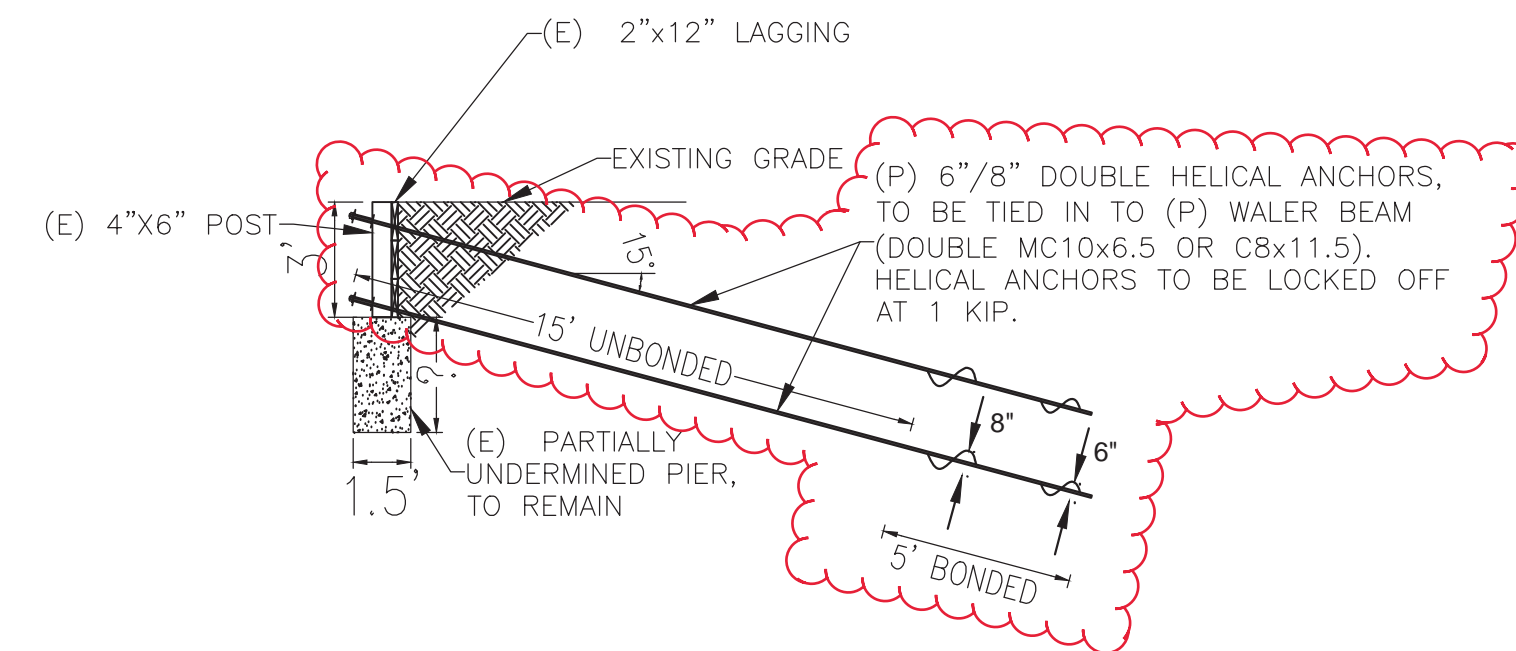
DOWNCOAST SECTION  
SCALE: 1" = 5'



DETAIL  
SCALE: 1" = 5'



DETAIL  
SCALE: 1" = 5'



DETAIL  
SCALE: 1" = 5'



DATE	REVISION	BY	MW
10/16/24			
	ADDRESS	COUNTY	COMMENTS

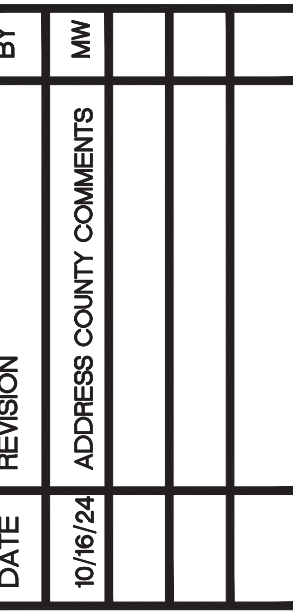
**HARO, KASUNICH & ASSOCIATES**  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4175 PHONE AND (831) 722-3202 FAX

**PROPOSED REPAIR PROFILES**  
RICHARD ANDRE  
310 KINGSBURY DR  
APTOS, CA 95003  
APN 043-081-15

PROJECT:	SC7272
DATE:	FEB. 2023
DESIGN:	JK
DRAWN:	MW
SCALE:	AS SHOWN

C3





**EROSION CONTROL PLAN**  
RICHARD ANDRE  
310 KINGSBURY DR  
APTOS, CA 95003  
APN 043-081-15

C4



AREAS REQUIRING EROSION CONTROL SHOULD BE ENHANCED AS FOLLOWS:

1. REMOVE AND HAUL AWAY ANY UNWANTED VEGETATION
2. PERFORM MINOR HAND GRADING AND COMPACTION FOR EVEN CONTOURS
3. INSTALL PROFILE FUTERRA R-45 HP TURF REINFORCEMENT MATTING (TRM) SECURED WITH 18" AND 12" PINS, AND PLATIPUS 3' LONG STAINLESS STEEL CABLE EARTH ANCHORS AT 4 FEET ON CENTER MINIMUM WHERE AND AS DIRECTED BY ENGINEER.
4. APPLY PER 1000 SQ FT THROUGH OR UNDER R-45 TRM:
  - 100 LB PROGANICS BIOTIC SOIL MEDIA SOIL BUILDER
  - 25 LB NATIVE 6-SEED EROSION GRASS BLEND
  - 25 LB BIOSOL 7-2-1 FERTILIZER
  - 2 LB M-BINDER TACKIFIER
5. HYDRAULICALLY APPLY PAPER MULCH OVER TRM
  - 70 LB PER 1000 SQ FT FUTERRA HP FLEXIBLE GROWTH MEDIUM PAPER MULCH

**HARD ARMOR**

**REINFORCED VEGETATION**

**NATURAL VEGETATION**

Rock/Concrete

Futerra® HP-TRM

GreenArmor™ System

Futerra® TRM

Turf Reinforcement Mat (TRM)

CocoFlex™ ET-FGM

Flexterra® HP-FGM™

Fiber Reinforced Matrix (FRM)

ProMatrix™ EFM™

Bonded Fiber Matrix (BFM)  
Erosion Control Blanket (ECB)

Wood Mulch With Tackifier  
Wood Mulch

Straw/Paper Mulch

STEEPER SLOPES, HIGHER SHEAR STRESS & VELOCITIES

Today, the fully vegetated GreenArmor R45 can protect against velocities as high as 30 ft/sec (9.1 m/sec) and shear stresses up to 20 lb/ft² (958 N/m²).



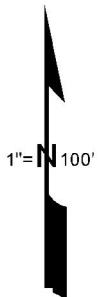
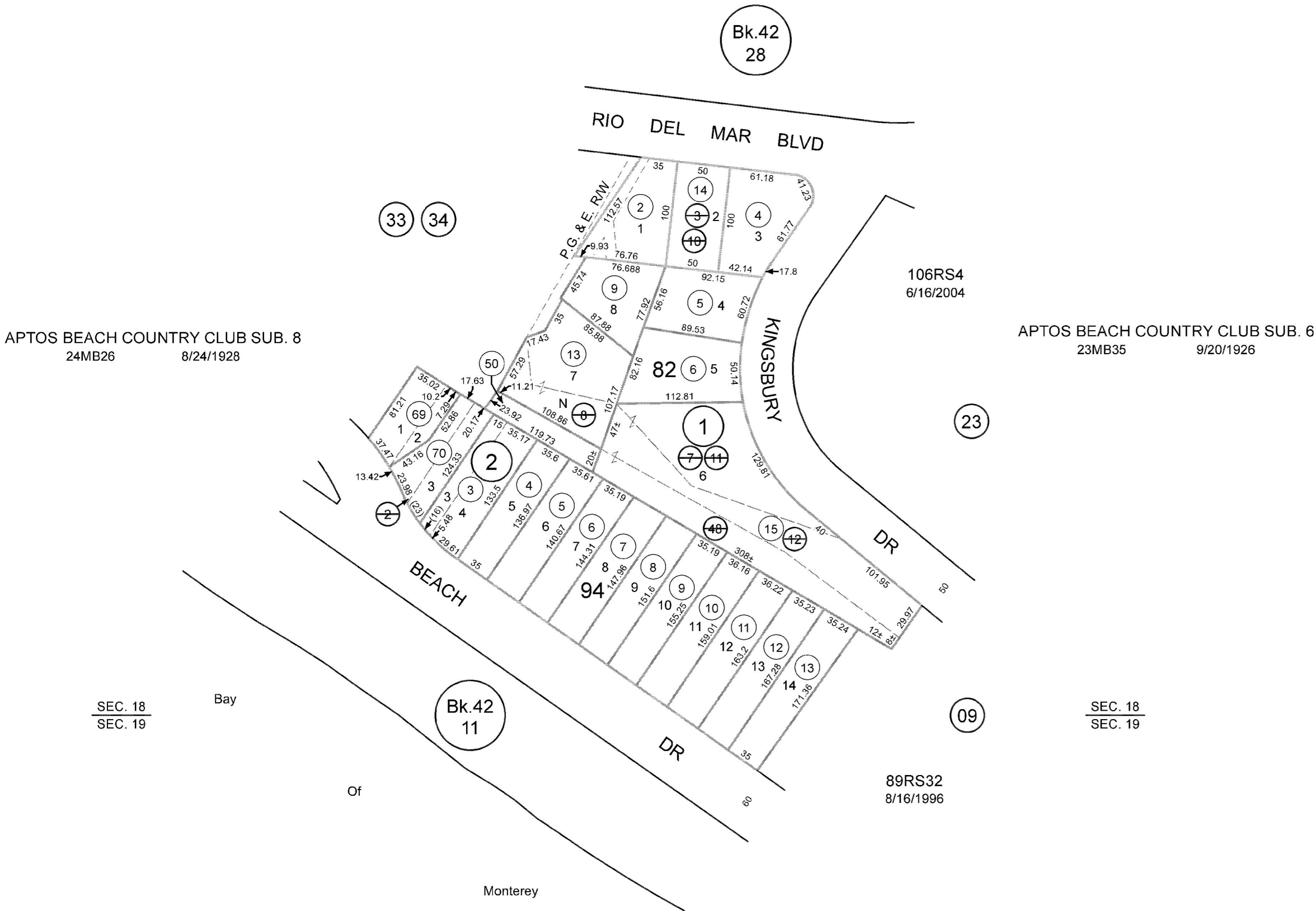
FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
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POR. APTOS RANCHO  
S.E. 1/4 SEC. 18, & N.E. 1/4  
T.11S., R.1E., M.D.B. & M

Tax Area Code  
69-273

43-08



Electronically Redrawn 2/5/99 rw  
Rev. 5/25/01 mvm (changed page refs.)  
Rev. 6/29/04 CB (106RS4)  
Rev. 3/31/05 DD (Cor. as per 106RS4, 1-02, 04 & 14)  
Rev. 1/31/07 CB (Comb. form 1-15)  
Rev. 9/23/13 mc (cor. to map ref, 23MB35)

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 43-08  
County of Santa Cruz, Calif.  
February, 1999



# Santa Cruz County Planning Department

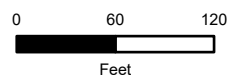
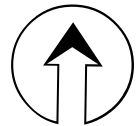
## Parcel Location Map



**Parcel: 04308115**

☐ Subject Parcel

Map printed: 13 Mar. 2025

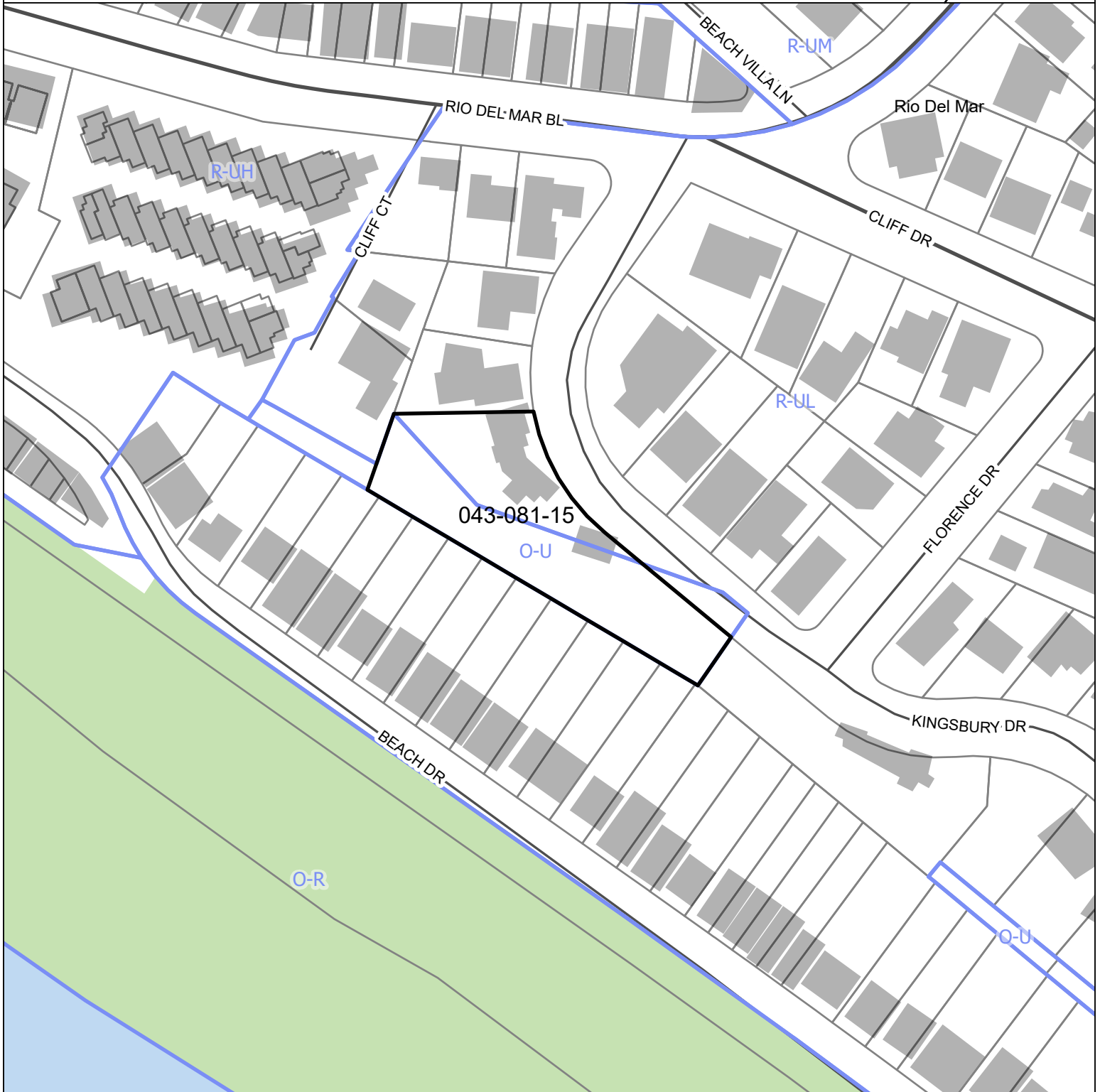




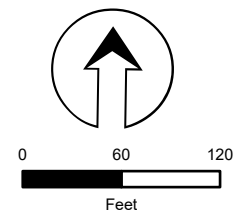


Santa Cruz County Planning Department

Parcel General Plan Map



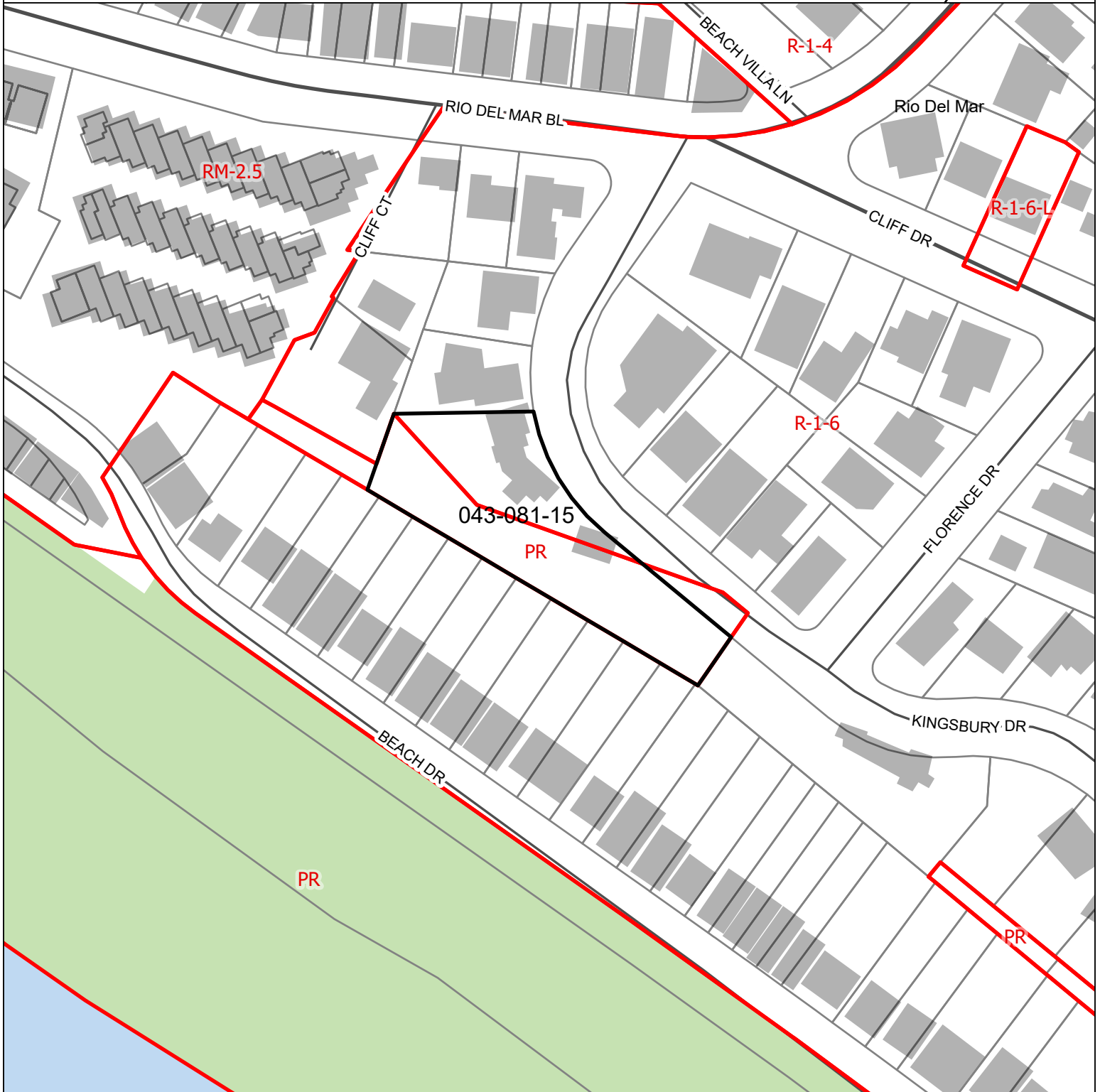
 Subject Parcel



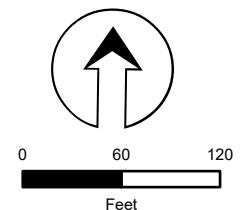


Santa Cruz County Planning Department

Parcel Zoning Map



 Subject Parcel



## Parcel Information

### Services Information

Urban/Rural Services Line:	<u>X</u> Inside <u>  </u> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	Santa Cruz Sanitation District
Fire District:	Central Fire Protection District
Drainage District:	Flood Control Zone 6

### Parcel Information

Parcel Size:	30,187 square feet
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Kingsbury Drive
Planning Area:	Aptos General Plan Boundary
Land Use Designation:	R-UL, O-U (Urban Residential – Low Density, Urban Open Space)
Zone District:	R-1-6 (Single Family Residential, 6,000 square feet minimum per unit) and PR (Parks and Recreation)
Coastal Zone:	<u>X</u> Inside <u>  </u> Outside
Appealable to Calif. Coastal Comm.	<u>X</u> Yes <u>  </u> No

### Technical Reviews:

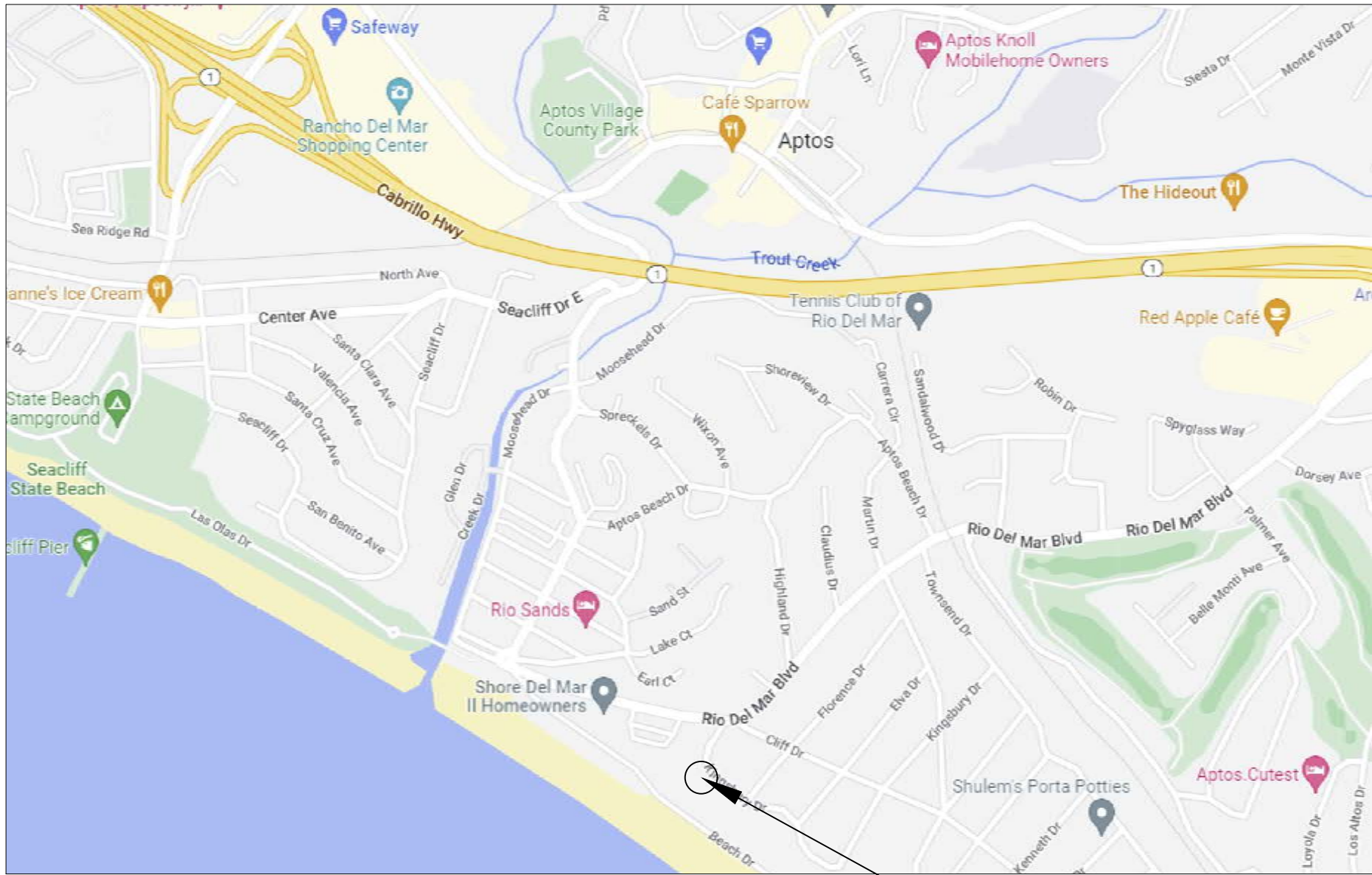
### Environmental Information

Geologic Hazards:	Project located on a coastal bluff
Fire Hazard:	Not a mapped constraint
Slopes:	Steep slopes exceeding 50 percent (coastal bluff)
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	Withing a mapped scenic area but no significant impact to public views is anticipated.
Archeology:	Not mapped/no physical evidence on site



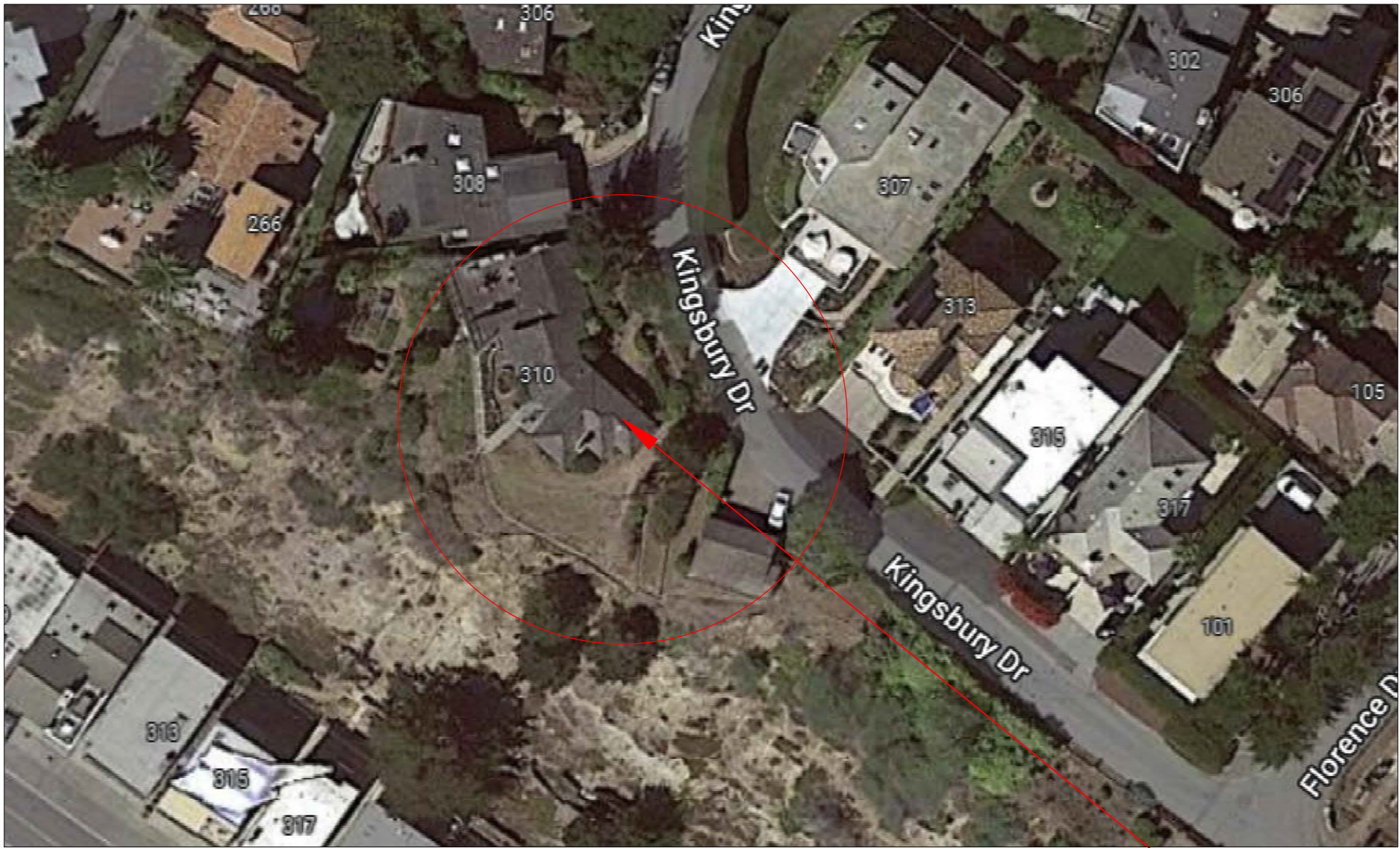
# UNDERMINED RETAINING WALL REPAIR PLAN

310 KINGSBURY DRIVE  
APTOS, CALIFORNIA 95003  
APN 043-081-15



REGIONAL MAP  
N.T.S. (GOOGLE EARTH)

PROJECT  
LOCATION



VICINITY MAP  
N.T.S. (GOOGLE)

SUBJECT  
PROPERTY

## SHEET INDEX

- C1 TITLE SHEET
- C2 EXISTING SITE CONDITIONS
- C3 PROPOSED REPAIR PROFILES

## GENERAL NOTES

- TOPOGRAPHIC MAPPING WAS PERFORMED BY:  
BRIDGETTE LAND SURVEYING  
64 PENNY LANE, SUITE B  
WATSONVILLE, CA 95076  
DATE: 08/02/2005
- ELEVATION DATUM: NGVD29 UNADJUSTED, ESTABLISHED FROM SANTA CRUZ COUNTY BENCHMARK 33A
- GEOTECHNICAL & CIVIL ENGINEER:  
JOHN KASUNICH  
831-722-4175  
HARO, KASUNICH AND ASSOCIATES, INC.  
116 EAST LAKE AVE.  
WATSONVILLE, CA 95076  
PROJECT NO. SC7272
- OWNER:  
RICHARD ANDRE  
310 KINGSBURY DRIVE  
APTOS, CALIFORNIA 95003
- ALL WORK INDICATED ON THE PLANS SHALL CONFORM WITH THE FOLLOWING CODES; 2019 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24) WITH COUNTY OF SANTA CRUZ ADOPTED AMENDMENTS AND CAL GREEN.

## ABBREVIATIONS

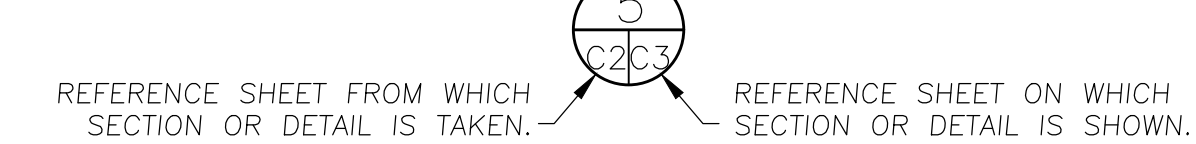
AVG.	AVERAGE
CC	CONCRETE
CY	CUBIC YARDS
DIA.	DIAMETER
E	EXISTING
EG	EXISTING GROUND
ELEV.	ELEVATION
FG	FINISHED GRADE
FT	FEET
INV	INVERT
IN	INCH
MIN.	MINIMUM
N	NEW
NTS	NOT TO SCALE
O.C.	ON CENTER
SF	SQUARE FOOT
T	TREE
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL

## PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF REPAIRING PARTIALLY UNDERMINED RETAINING WALL FOUNDATIONS ALONG THE COASTAL BLUFF WITH TIED BACK WALER BEAMS. RETAINING WALLS WITH COMPLETELY UNDERMINED PIER FOUNDATIONS WILL BE REMOVED BY THE CONTRACTOR. RECENT SLIDE SCARPS WILL BE ROUNDED AND DRESSED WITH PROPER EROSION CONTROL MATERIALS BY THE LANDSCAPE CONTRACTOR. SURFACE DRAINAGE IMPROVEMENTS WILL BE REPAIRED AND ENHANCED TO COLLECT ACCUMULATED STORM WATER ALONG THE TOP OF THE BLUFF AND CARRY IT DOWN TO THE BASE OF THE BLUFF IN HISTORIC STORM DRAIN PIPES ATTACHED TO THE BLUFF WITH ANCHOR AND STAKING FOLLOWING APPROVED EXISTING ALIGNMENTS WITH PERMISSION FROM THE NEIGHBORING PROPERTY OWNER AT THE BASE OF THE BLUFF.

## SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION  
(NUMBER OR LETTER)



DATE	REVISION	BY

HARO, KASUNICH & ASSOCIATES  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4175 PHONE AND (831) 722-3202 FAX

TITLE SHEET  
RICHARD ANDRE  
310 KINGSBURY DR  
APTOS, CA 95003  
APN 043-081-15

PROJECT:	SC7272
DATE:	FEB. 2023
DESIGN:	JK
DRAWN:	MW
SCALE:	AS SHOWN

C1





1. TOPOGRAPHIC MAPPING WAS PERFORMED BY:  
BRIDGETTE LAND SURVEYING  
64 PENNY LANE, SUITE B  
WATSONVILLE, CA 95076  
Date: 08/02/2005
2. ELEVATION DATUM: NVGD29, UNADJUSTED, ESTABLISHED  
FROM SANTA CRUZ COUNTY BENCHMARK 33A.
3. CONTOUR INTERVAL IS TWO FEET. ELEVATIONS AND  
DISTANCES SHOWN ARE IN DECIMAL FEET.

PN 43-081-06

Distances are in feet and decimals thereof



DATE	REVISION	BY

**HARO, KASUNICH & ASSOCIATES**  
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**EXISTING SITE CONDITIONS**

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DATE:	FEB. 2023
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SCALE:	1" = 10'

C2

~~Exhibit G~~

