



## Staff Report to the Zoning Administrator

Application Number: **231347**

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**Applicant:** Fuse Architects

**Owner:** Kathleen & Glen Wells

**APN:** 054-191-30

**Site Address:** 745 Via Gaviota, Aptos

**Agenda Date:** June 06, 2025

**Agenda Item #:**

**Time:** After 9:00 a.m.

**Project Description:** Proposal to recognize work authorized under Emergency Coastal Development Permit (ECDP) 231307 to construct a new retaining wall behind an existing single family dwelling.

**Location:** Project located at the north end of Via Gaviota approximately 800 feet north of the intersection with Clubhouse Drive in the Seascape Beach Estates Subdivision, Aptos.

**Permits Required:** Coastal Development Permit

**Supervisory District:** Second District (District Supervisor: Kim De Serpa)

### **Staff Recommendation:**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 231347, based on the attached findings and conditions.

### **Project Description & Setting**

This is a proposal to recognize the construction of 94 linear feet of retaining wall, ranging in height from nine to fourteen feet. The proposed retaining wall replaces 52 linear feet of retaining wall ranging in height from five to seven feet, located at the rear of an existing single-family dwelling.

The subject parcel is located at the northeast side of a cul-de-sac, situated at the base of a coastal bluff south of Hidden Beach County Park. The project site is relatively steep in topography and located entirely within a mapped scenic resource area.

A Coastal Development Permit is required due to the location of the proposed development being situated at the base of a coastal bluff and within a mapped scenic area as defined in the County General Plan/LCP.

## **Project Background**

On July 20, 2023, an Emergency Coastal Development Permit (ECDP 231307) was issued to allow for immediate remediation of a failed slope and installation of an in-kind replacement of an existing failed wooden soldier pile wall located behind the existing single family dwelling. During the site preparation, an unpermitted cut into the base of the coastal bluff occurred which was beyond the original scope of the approved ECDP and associated emergency building permit B-235945.

As a result of the excessive grading, a revised design for the replacement retaining wall was prepared by Haro Kasunich and Associates. The ECDP was accordingly amended on January 3, 2024, to reflect the proposed work. The revised design differed from the original proposal by lengthening the wall from 52 linear feet to 94 linear feet, wrapping the entire rear of the existing home and increasing the height of the original wall by approximately five feet.

Building permit B-235621 is currently under review pending approval of the associated Coastal Development Permit as a means of perfecting the permitting of the revised design. A condition of approval requires all inspections associated with B-235621 be completed and all agency requirements be met. Final Geotechnical observation letters have been provided by the project's Geotechnical Engineer which verify the wall has been installed in accordance with the design team's recommendations.

## **Zoning & General Plan Consistency**

The subject property is an approximately 5,700 square foot lot, located in the R-1-6-SBE (Single Family Residential (minimum 6,000 square foot parcel), Seascape Beach Estates Combininig District) zone district, a designation which allows residential uses. The proposed retaining wall is ancillary to a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation. As proposed, the replacement retaining wall complies with all applicable site and development standards of the SBE Combining district and the R-1-6 zone district where applicable.

## **Local Coastal Program Consistency**

The proposed retaining wall is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings and associated site improvements including similar retaining walls on parcels situated at the base of coastal bluffs. The project site is noted as being within a mapped scenic area. As depicted in the site photos below, the retaining wall is located behind an existing single family dwelling. Due to the location of the wall, impacts to scenic resources are expected to be negligible.

The project site is located between the shoreline and the first public road however it is not identified as a priority acquisition site in the County's Local Coastal Program. The nearest beach access is located approximately 200 feet north of the project site at Hidden Beach County Park therefore, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.



## Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **231347**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

Report Prepared By: Nathan MacBeth  
Santa Cruz County Planning  
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Santa Cruz CA 95060  
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E-mail: [nathan.macbeth@santacruzcountyca.gov](mailto:nathan.macbeth@santacruzcountyca.gov)

## **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letter

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 231347  
Assessor Parcel Number: 054-191-30  
Project Location: 745 Via Gaviota, Aptos

**Project Description: Retaining wall**

**Person or Agency Proposing Project: Fuse Architects Attn Courtney Christiansen**

**Contact Phone Number: (831) 251-6705**

- A. \_\_\_\_\_ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. \_\_\_\_\_ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. \_\_\_\_\_ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. \_\_\_\_\_ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).  
E.   X   **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of small structures (Section 15303)

**F. Reasons why the project is exempt:**

Construction of a retaining wall for protection of an existing single family residence in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Nathan MacBeth, Project Planner

Date: \_\_\_\_\_

## **Coastal Development Permit Findings**

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6-SBE (Single Family Residential (minimum 6,000 square foot parcel), Seascape Beach Estates Combininig District), a designation which allows residential uses. The proposed retaining wall is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the thought the development site is located at the base of a coastal bluff and within a mapped scenic area, the location of the proposed wall (behind an existing single family dwelling) does not pose a significant impact to public views.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Hidden Beach County Park, approximately 200 feet north of the project site.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6-SBE (Single Family Residential (minimum 6,000 square foot parcel), Seascape Beach Estates Combininig District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings and retaining walls of similar design are typical for protection of existing homes situated at the base of a coastal bluff.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road however, the proposed retaining wall will not interfere with public access to the beach, ocean, or any nearby body of water in that it will be sited in the rear yard of a private residence and the nearest existing beach access is located approximately 200 feet north of the project site at Hidden Beach County Park. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## **Discretionary Permit Findings**

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

Limited Geotechnical Investigation prepared by Haro Kasunich and Associates Inc dated July 7, 2023, Response to County comments dated September 23, 2023, and Final Geotechnical letter dated March 11, 2024, were prepared for the proposed development. In a letter dated February 3, 2024, Planning staff accepted the subject geotechnical investigation and construction observation reports for the recently completed bluff toe retaining wall system.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the retaining wall and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-6-SBE (Single Family Residential (minimum 6,000 square foot parcel), Seascape Beach Estates Combininig District) zone district as the primary use of the property will be one single family residence and associate site improvements including the proposed retaining wall which meets all current site standards for the zone district and Seascape Beach Estates Combining District as applicable.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

The project site is located within the Seascape Beach Estates Combining District however a specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further

review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed retaining wall will not result in an increase to the existing level of traffic generated by the existing use on the project site. Therefore, the project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed retaining wall is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The proposed retaining wall will not be readily visible from any public vantage point in that the wall will be located behind an existing single family dwelling at the base of a coastal bluff within a gated private community.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

### **Site Development Permit Findings**

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed retaining wall is designed and located on the site in a manner that will not detract from or interrupt the harmony of the physical design aspects of existing and proposed development in the neighborhood.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also

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in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed retaining wall is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design and will not degrade the aesthetic qualities of the subject property and surrounding land uses or adversely impact the visual resources.

## Conditions of Approval

Exhibit D: Project plans, prepared by Fuse Architects, dated 12/22/23.

- I. This permit authorizes the construction of a retaining wall as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit (B-235621) from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. Grading, drainage, and erosion control plans.
  - B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
    1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.

2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
    3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
  - C. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
  - D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
  - E. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all recommendations of the approved soils reports.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a**

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Owner: Kathleen & Glen Wells

**building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

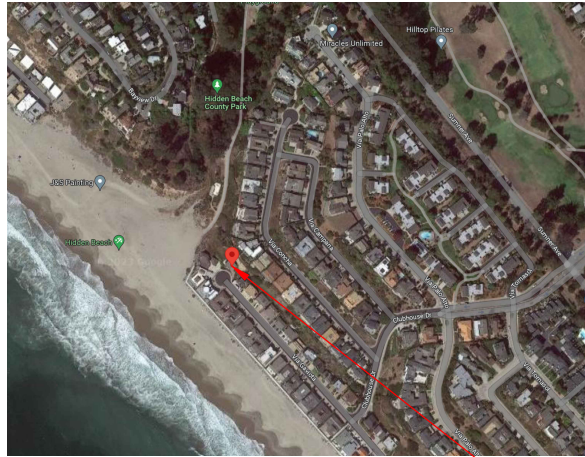
\_\_\_\_\_  
Deputy Zoning Administrator

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

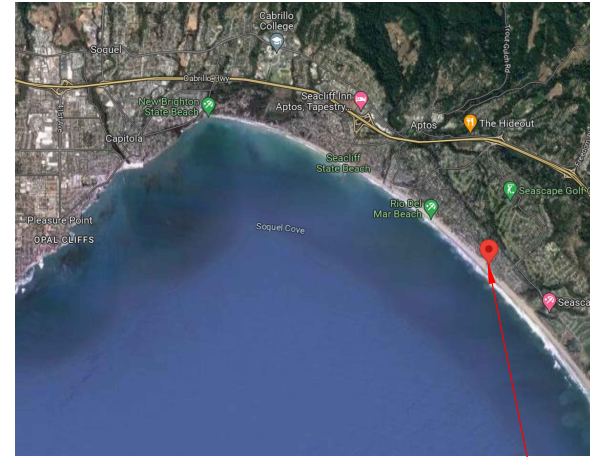
# REPLACEMENT SITE RETAINING WALL REDESIGN

745 VIA GAVIOTA  
APTOS, CALIFORNIA 95003  
APN 054-191-30



VICINITY MAP  
N.T.S. (GOOGLE)

SUBJECT  
PROPERTY



REGIONAL MAP  
N.T.S. (GOOGLE)

PROJECT  
LOCATION

## SHEET INDEX

- C1 TITLE SHEET
- C2 2012 SURVEY WITH 2023 SITE CONDITIONS
- C3 RETAINING WALL PLAN + PROFILE
- C4 DETAILS
- C5 NOTES

## GENERAL NOTES

1. ORIGINAL TOPOGRAPHIC MAPPING WAS PERFORMED BY:  
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS  
1011 CEDAR STREET  
SANTA CRUZ, CA 95060  
SURVEY DATE: DECEMBER 2012
2. SUPPLEMENTAL TOPOGRAPHIC MAPPING ON THE BACK SLOPE WAS PERFORMED BY:  
SHEDDEN ENGINEERING & SURVEYING, INC.  
148 BELMONT ST  
SANTA CRUZ, CA 95060  
SURVEY DATE: 10 OCT 2023  
SURVEY TIED INTO CONTROL BENCHMARKS FROM THE BOWMAN & WILLIAMS DEC 2012 SURVEY
3. ELEVATION DATUM: ELEVATIONS SHOWN ON THIS MAP ARE BASED UPON THE NAVD83 DATUM AS DERIVED FROM THE FIRST ORDER, CLASS 1 NGS (NATIONAL GEODETIC SURVEY) BENCHMARK.  
DESIGNATION G 1237  
PID GU2276
4. BASIS OF BEARINGS: BEARINGS ARE BASED ON THE SOUTHWESTERN SIDELINE OF VIA GAVIOTA AS SHOWN ON SANTA CRUZ COUNTY RECORDS MAP FILED IN VOLUME 48 OF MAPS AT PAGE 43, AND ESTABLISHED BETWEEN MONUMENTS FOUND.  
= SOUTH 41°15'10" EAST
5. GEOTECHNICAL & CIVIL ENGINEER:  
MOSES CUPRILL  
(831) 722-4175  
HARO, KASUNICH AND ASSOCIATES, INC.  
116 EAST LAKE AVE.  
WATSONVILLE, CA 95076  
PROJECT NO. 12261
6. OWNER:  
GLEN & KATHY WELLS  
745 VIA GAVIOTA  
APTOS, CALIFORNIA 95003
7. ALL WORK INDICATED ON THE PLANS SHALL CONFORM WITH THE FOLLOWING CODES: 2022 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24) WITH COUNTY OF MONTEREY ADOPTED AMENDMENTS AND CAL GREEN.

## ABBREVIATIONS

AVG.	AVERAGE
CC	CONCRETE
CY	CUBIC YARDS
DIA.	DIAMETER
E	EXISTING
EG	EXISTING GROUND
ELEV.	ELEVATION
FG	FINISHED GRADE
FT	FEET
INV	INVERT
IN	INCH
MIN.	MINIMUM
N	NEW
NTS	NOT TO SCALE
O.C.	ON CENTER
SF	SQUARE FOOT
T	TREE
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL

## PROJECT DESCRIPTION

THE ORIGINAL PROJECT ("REPLACEMENT SITE RETAINING WALL" PLANS, DATED JUNE 15, 2023) CONSISTED OF REPLACING THE FAILED WOODEN SOLDIER PILE SITE WALL IN KIND. WITHOUT NOTIFICATION TO HARO, KASUNICH AND ASSOCIATES, INC. (HKA), AN ILLEGAL CUT AND BENCH WAS EXCAVATED IN THE COASTAL BLUFF FOR EXCAVATOR ACCESS DURING THE INITIAL CONSTRUCTION OF THE ORIGINAL PROJECT IN OCTOBER 2023.

THE PROPOSED PROJECT CONSISTS OF REPLACING THE FAILED SITE WALL WITH A 9-FOOT-TALL STEEL WIDE FLANGE BEAM AND PRESSURE TREATED WOOD LAGGING SOLDIER PILE SITE WALL FLUSH AGAINST THE ILLEGAL CUT IN THE COASTAL BLUFF. THE REPLACEMENT SITE RETAINING WALL WILL STEP UP 5 FEET ON THE DOWNCOAST END TO RETAIN THE ILLEGAL BENCH. A REINFORCE CONCRETE PIER AND GRADE BEAM SYSTEM IS PROPOSED TO RETAIN THE 5 FOOT CUT NORMAL TO THE SOLDIER PILE WALL ALIGNMENT.

THE PROPOSED SOLDIER PILE SITE WALL IS NOT DESIGNED TO MITIGATE TOE FAILURE OF THE BLUFF, ROCK FALLS, OR IMPACTS. THE SITE RETAINING WALL WILL ONLY PROVIDE SUPPORT FOR THE PORTION OF THE BLUFF THAT WAS ILLEGALLY EXCAVATED IN OCTOBER 2023 AND WILL NOT PROVIDE ANY STABILITY TO THE COASTAL BLUFF.



DATE	REVISION	BY

HARO, KASUNICH & ASSOCIATES  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4175 PHONE AND (831) 722-3202 FAX

TITLE SHEET  
GLEN & KATHY WELLS  
745 VIA GAVIOTA  
APTOS, CA 95003  
APN 054-191-30

PROJECT	12261
DATE	12/22/2023
DESIGN	MC
DRAWN	MM
SCALE	AS SHOWN



C1

## BOWMAN + WILLIAMS NOTES

### LEGEND

- ⊙ EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- TEL EXISTING TELEPHONE PEDESTAL
- ELEC EXISTING ELECTRIC VAULT
- MONUMENT FOUND AS NOTED

PARCEL 12  
38-M-30  
COUNTY OF SANTA CRUZ  
APN 054-621-01

### NOTE ON SETBACKS:

THE ORIGINAL SUBDIVISION MAP, 48-M-43, "SEASCAPE BEACH ESTATES TRACT 483 UNIT ONE", RECORDED 22 DEC. 1967, SHOWS A 20' FRONT YARD SETBACK FOR LOTS 26 THROUGH 40 BUT DOES NOT SHOW A SETBACK FOR LOT 25. THE STRUCTURE WAS BUILT WITH PERMITS AND WOULD BE CONSIDERED LEGAL AND NON-CONFORMING. A VARIANCE TO CURRENT SETBACK LINES MAY BE REQUIRED FOR ANY ADDITIONAL CONSTRUCTION.

### ZONING

THIS PROPERTY IS ZONED R-1-6 AND IS IN THE COASTAL ZONE.

### FLOOD DESIGNATION

THE AREA OF THE SUBJECT PROPERTY LYING BELOW THE 24' FOOT CONTOUR IS IN A ZONE "VE", AS SHOWN ON FIRM MAP DESIGNATED "FIRM FLOOD INSURANCE RATE MAP, SANTA CRUZ COUNTY, CALIFORNIA-PANEL 359 OF 470 - COMMUNITY NUMBER 060353, PANEL 03599E", MAP REVISION DATE, MAY 16, 2012.

ZONE "VE" = "AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT WITH ADDITIONAL HAZARDS DUE TO STORM-INDUCED VELOCITY WAVE ACTION. BASE FLOOD ELEVATIONS (BFES) DERIVED FROM DETAILED HYDRAULIC ANALYSES ARE SHOWN. MANDATORY FLOOD INSURANCE PURCHASE REQUIREMENTS AND FLOODPLAIN MANAGEMENT STANDARDS APPLY"

### BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED UPON THE NAVD88 DATUM AS DERIVED FROM THE FIRST ORDER, CLASS 1 NGS (NATIONAL GEODETIC SURVEY) BENCHMARK

DESIGNATION G 1237  
PID GU2276

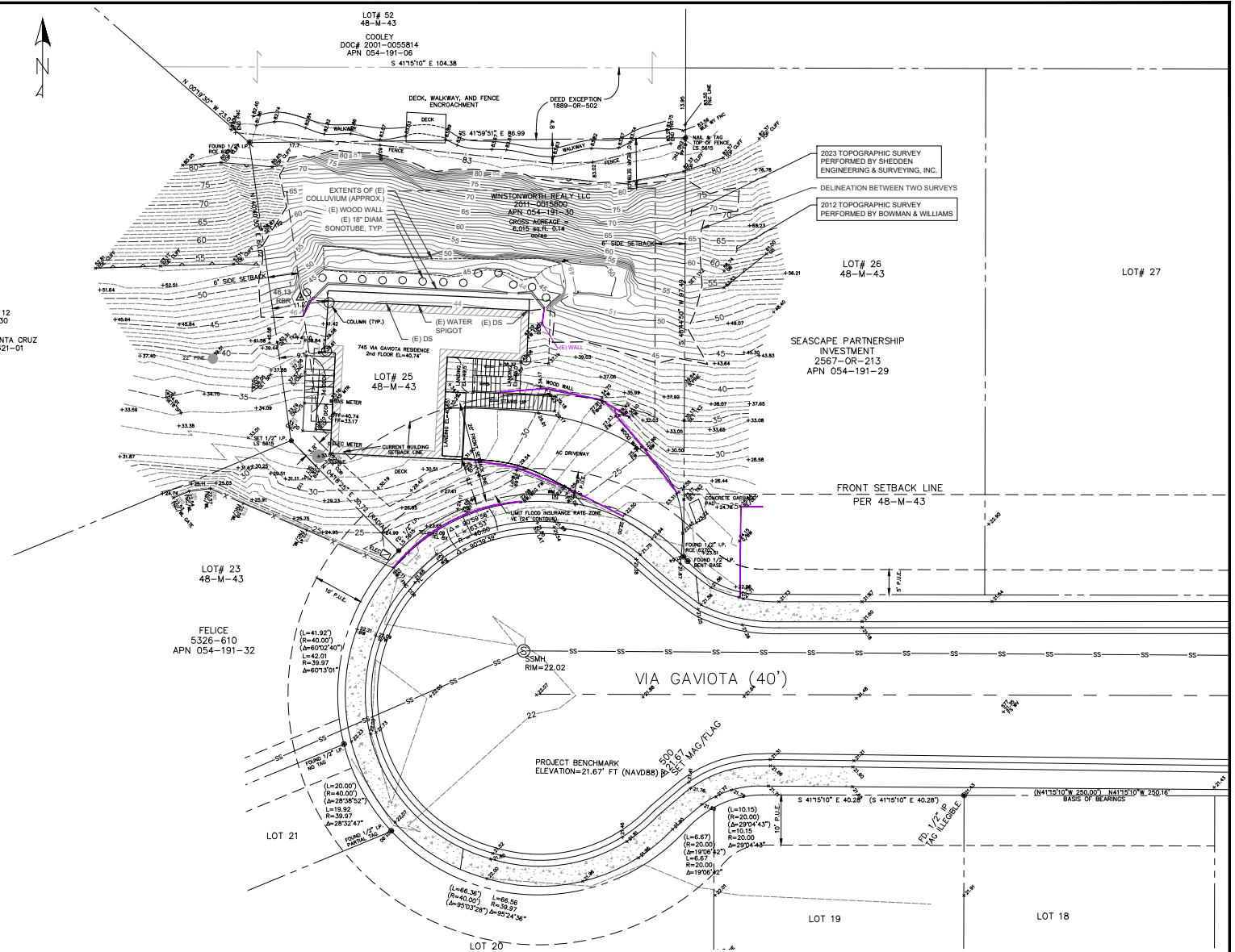
ELEVATION = 125.18' FEET NAVD88

DESCRIBED AS 9.2 MILES EAST ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE WEST CLIFF DRIVE OVERPASS AT SANTA CRUZ, AT THE CROSSING OF CLUBHOUSE DRIVE, IN THE TOP AND 0.5 FOOT NORTHWEST OF THE SOUTHEAST CORNER OF A CONCRETE CATCH BASIN WHICH IS IN THE CURBRETURN OF A CURB BETWEEN THE DRIVE AND SUMNER AVENUE, 31 FEET SOUTHEAST OF THE CENTER LINE OF THE SOUTHEAST LANES OF THE DRIVE, 109.5 FEET NORTHEAST AND ACROSS SUMNER AVENUE FROM THE NORTHEAST RAIL, 36 FEET NORTHEAST OF THE CENTER LINE OF THE AVENUE, ABOUT 1 FOOT HIGHER THAN THE TRACH, AND 1/2 FOOT HIGHER THAN THE DRIVE.

### BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE SOUTHWESTERN SIDELINE OF VIA GAVIOTA AS SHOWN ON THAT MAP FILED IN VOLUME 48 OF MAPS AT PAGE 43, SANTA CRUZ COUNTY RECORDS, AND ESTABLISHED BETWEEN MONUMENTS FOUND.

= SOUTH 41°15'10" EAST



2012 SURVEY WITH OCTOBER 2023 SITE CONDITIONS BEHIND HOME  
SCALE: 1" = 10'

16

0 10 20  
SCALE: 1" = 10'

**811** Know what's below.  
Call before you dig.



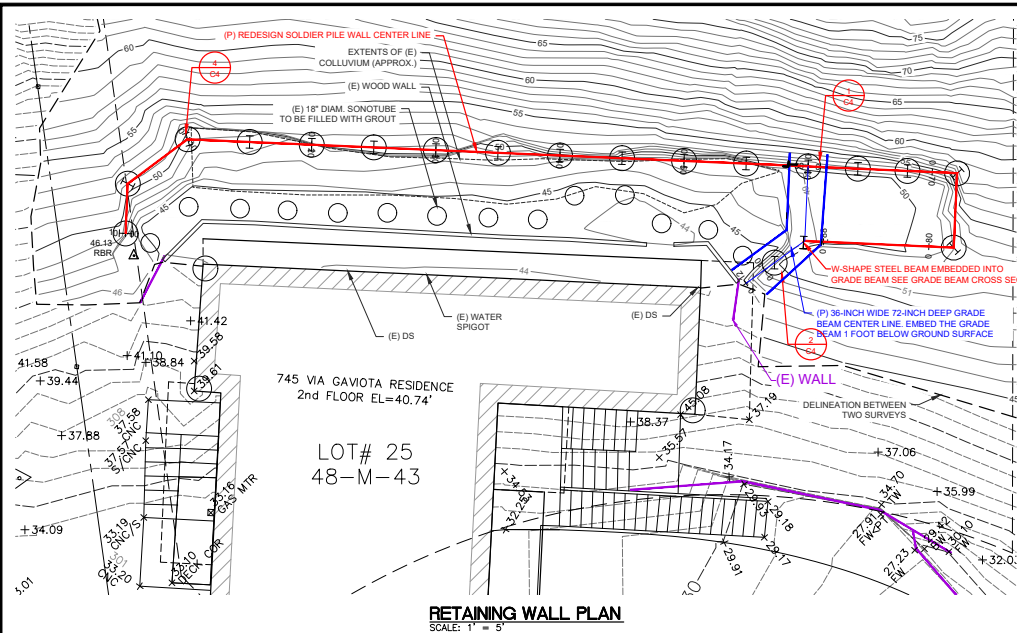
DATE	REVISION	BY

**HARO, KASUNICH & ASSOCIATES**  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4775 PHONE AND (831) 722-3202 FAX

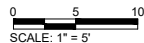
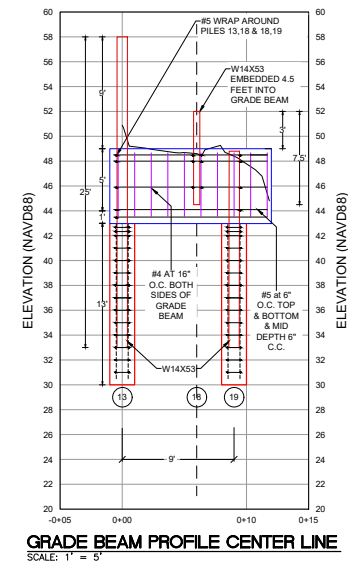
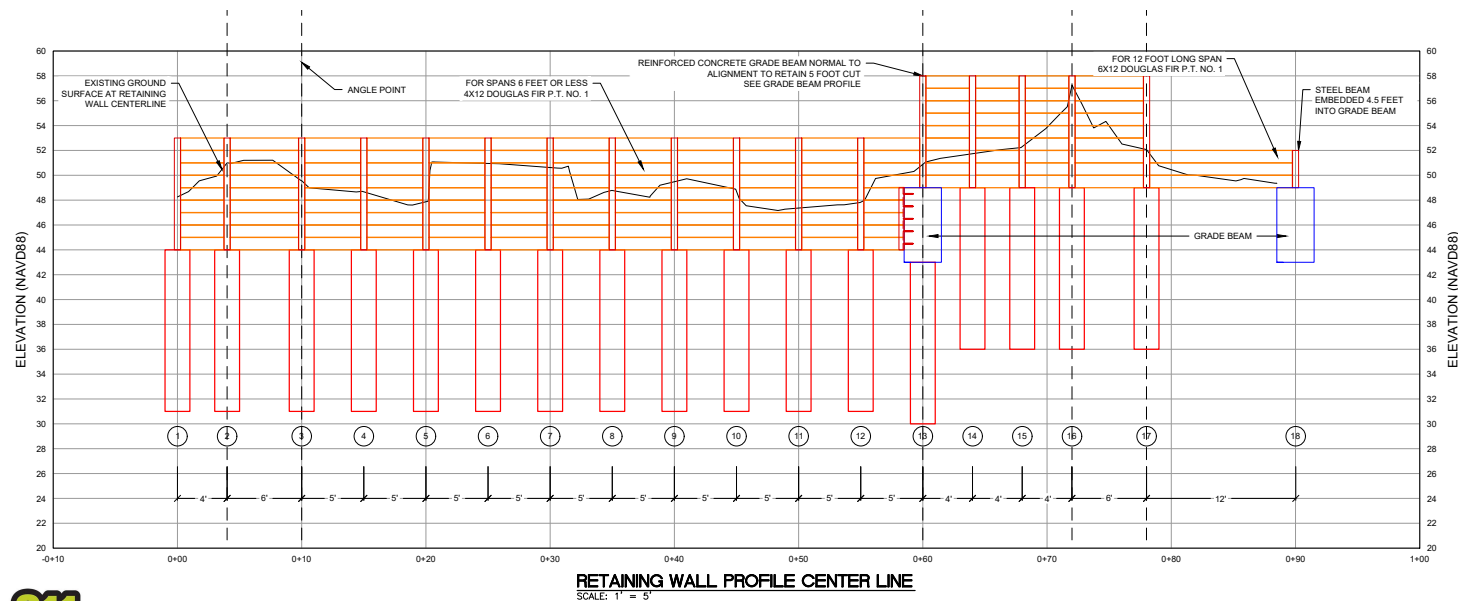
**2012 SURVEY WITH  
2023 SITE CONDITIONS**  
CLEN + KATHY WELLS  
745 VIA GAVIOTA  
APTOS, CA 95003  
APN 054-621-01

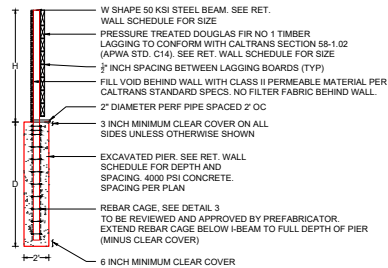
PROJECT	12261
DATE	12/22/2023
DESIGN	MC
DRAWN	MM
SCALE	1" = 10'

C2

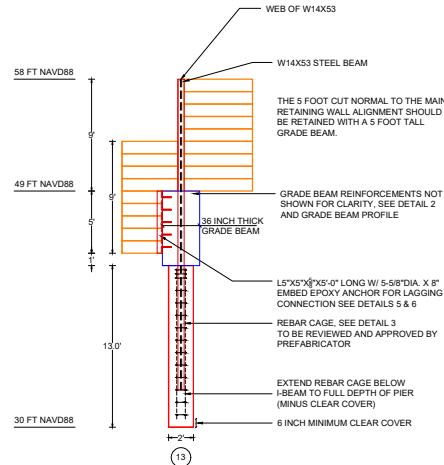


**RETAINING WALL PLAN**  
SCALE: 1' = 5'

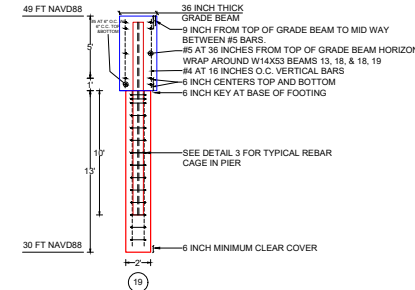




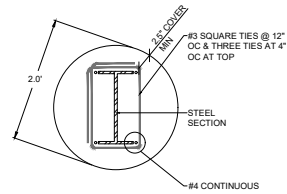
**TYPICAL RETAINING WALL DETAIL**  
NTS



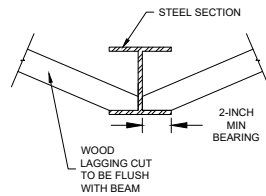
**DETAIL 1: PIER 13**  
1" = 5'



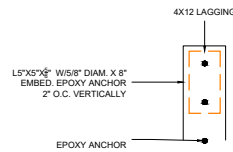
**DETAIL 2: PIER 19**  
1" = 5'



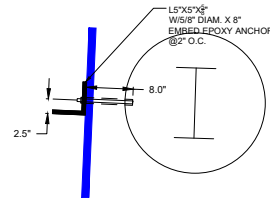
**DETAIL 3: TYPICAL REBAR CAGE**  
NTS



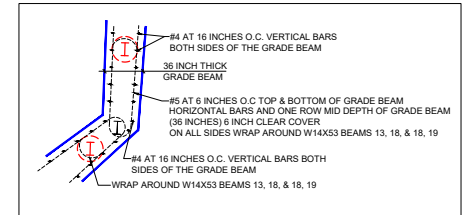
**DETAIL 4: LAGGING AT ANGLE POINT**  
NTS



**DETAIL 5: DOWELS**  
NTS



**DETAIL 6: ANGLE PLATE**  
NTS



**DETAIL 7: GRADE BEAM**  
NTS



DATE	REVISION

**HARO, KASUNICH & ASSOCIATES**  
GEOTECHNICAL AND COASTAL ENGINEERS  
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076  
(831) 722 4775 PHONE AND (831) 722-3202 FAX

**DETAILS**  
GLEN + KATHY WELLS  
745 VIA GAVOTA  
APTOS, CA 95003  
APN 058-81-30

PROJECT	12201
DATE	12/22/2023
DESIGN	MC
DRAWN	MM
SCALE	1" = 5'

**C4**

## SPECIAL TESTS AND INSPECTION SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2022 CBC 1704.7 SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ	REMARKS
SONOTUBE GROUTING	YES	BY SOIL ENGINEER
PIER EXCAVATIONS	YES	BY SOIL ENGINEER
STEEL REINFORCEMENT	YES	HKA INSPECTION PRIOR TO CONCRETE PLACEMENT
CONCRETE TEST CYLINDERS	YES	1 SET OF 5 CYLINDERS EACH DAY CONCRETE IS PLACED

SOILS ENGINEER TO PROVIDE OBSERVATION DURING CONSTRUCTION  
HARO KASUNICH AND ASSOCIATES 831-722-4175. EXT. 104 CONTACT OFFICE MINIMUM 4 DAYS PRIOR TO START OF WORK

## GEOTECHNICAL DESIGN NOTES:

1. DRILLED SHAFTS SHOULD BE A MINIMUM 24 INCHES IN DIAMETER.
2. A REPRESENTATIVE OF HARO, KASUNICH & ASSOCIATES SHOULD OBSERVE SONOTUBE GROUTING, SHAFT DRILLING OPERATIONS, EMBEDMENT DEPTH OF THE STEEL BEAMS, INSTALLATION OF LAGGING, AND PLACEMENT OF DRAINAGE MATERIALS BEHIND THE RETAINING WALL.
3. DO NOT EXCAVATE INTO THE COASTAL BLUFF.

## NOTES:

### GENERAL NOTES

1. THE NEW RETAINING WALL SHOULD BE SUPPORTED BY SOLIDER PILES EMBEDDED INTO 24-INCH DIAMETER CONCRETE FILLED SHAFTS.
2. SHAFTS MAY REQUIRE ADEQUATE CASING TO PREVENT COLLAPSE DURING EXCAVATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH CAL-OSHA REGULATIONS SPECIFICALLY FOR WORKERS THAT WILL BE ENTERING THE CASED SHAFTS.
4. DETERMINING THE EXISTENCE, LOCATION, AND DEPTH OF UNDERGROUND UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS SHOULD BE DONE PRIOR TO COMMENCEMENT OF WORK. THE ENGINEER SHOULD BE NOTIFIED IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROVIDE INGRESS AND EGRESS FOR PRIVATE PROPERTIES ADJACENT TO THE WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
6. ALL WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREIN OR CONTAINED IN THE SOILS REPORT.
7. CASED SHAFTS SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT OF SOLIDER PILES.
8. HKA SHALL BE NOTIFIED AT LEAST (4) WORKING DAYS BEFORE BEGINNING WORK AT TELEPHONE NUMBER (811)722-4175. HKA SHALL NOT BE RESPONSIBLE FOR WORK THAT HAS NOT BEEN OBSERVED AND DOCUMENTED BY HKA.
9. THE CONTRACTOR SHALL OBTAIN INSPECTION OF ALL WORK BY THE CONTROLLING AGENCY.
10. HKA SHALL REVIEW THE FINAL PLANS TO ENSURE COMPLIANCE WITH, AND ADHERENCE TO, THE REQUIREMENTS SET FORTH IN THEIR REPORT(S).

11. DRAINAGE PATHS WILL NOT BE ALTERED DUE TO REPLACEMENT OF RETAINING WALL.
12. DIMENSIONS UNLESS OTHERWISE SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS.
13. ACTUAL LENGTH OF WALLS TO BE DETERMINED ON-SITE DURING CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. PLEASE NOTIFY HKA OF ANY DIMENSION VARIATIONS PRIOR TO THE START OF CONSTRUCTION.
15. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-11 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
16. ALL CONCRETE SHALL BE REGULAR WEIGHT HARD ROCK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. USE TYPE II CEMENT ASTM C150 MAX. AGGREGATE SIZE 3".
17. LUMBER  
USE PRESSURE TREATED DOUGLAS FIR #2  
TIMBER LAGGING (AWPA USE CATEGORY UC4B GROUND CONTACT HEAVY DUTY). SEE RETAINING WALL SCHEDULE FOR SIZE, PRESSURE TREATMENT TO CONFORM WITH CALTRANS SECTION 58-1.02 (AWPA STANDARD C14).
18. SPACE LAGGING BOARDS VERTICALLY BY 1" TO ALLOW FOR ADEQUATE DRAINAGE.
19. WOOD AND WOOD BASED MATERIALS USED IN CONTACT WITH THE GROUND EITHER IN SEVERE ENVIRONMENTS, IN CLIMATES WITH HIGH POTENTIAL FOR DETERIORATION, IN CRITICALLY IMPORTANT COMPONENTS.
- 19.1. SERVICE CONDITIONS: GROUND CONTACT, FRESH WATER, IMPORTANT CONSTRUCTION COMPONENTS, OR IN SALT WATER SPLASH ZONES.
- 19.2. USE ENVIRONMENT: SEVERE GROUND CONTACT OR SALT WATER SPLASH, EXPOSED TO ALL WEATHER CYCLES.
- 19.3. COMMON AGENTS OF DETERIORATION: DECAY FUNGI AND INSECTS WITH INCREASED POTENTIAL FOR BIODETERIORATION.
- 19.4. TYPICAL APPLICATIONS: PERMANENT WOOD FOUNDATIONS, BUILDING POLES, HORTICULTURE POSTS, UTILITY POLES, DECKING ON OR ABOVE TIDAL ZONE, STRUCTURAL COMPONENTS IN PIERS OR DOCKS, REGIONS OF HIGH POTENTIAL FOR DECAY.

## FIELD TREATING METHODS

20. COPPER NAPHTHENATE-BASED SOLUTIONS MAY BE USED FOR FIELD TREATMENT OF MATERIALS ORIGINALLY TREATED WITH PENTACHLOROPHENOL, CREOSOTE, OR WATERBORNE PRESERVATIVES AS SPECIFIED IN AWPA STANDARD M4. THE PRESERVATIVES CONCENTRATION SHALL CONTAIN NO LESS THAN 2 PERCENT COPPER METAL.

21. NEARLY EXPOSED SURFACES RESULTING FROM FIELD FABRICATION AND/OR HANDLING ABUSE SHALL BE FIELD TREATED BY BRUSHING, DIPPING, OR SOAKING. PROTECTIVE CLOTHING AND HAND PROTECTION SHALL BE WORN WHEN APPLYING PRESERVATIVES. THE APPLICATION SHOULD BE DONE IN A MANNER THAT THE PRESERVATIVE DOES NOT DRIP OR SPILL INTO THE SURROUNDING SOIL.

22. ALL WOOD CUTOFFS AND SAWDUST SHALL BE BAGGED AND DISPOSED OF OFF SITE AT THE LANDFILL.

## HANDLING PRECAUTIONS

23. USERS SHOULD FOLLOW THE INSTRUCTIONS PROVIDED IN AN EPA-APPROVED CONSUMER INFORMATION SHEET (CIS) OR CONSUMER SAFETY INFORMATION SHEET (CSIS) OR OTHER SAFE HANDLING INFORMATION PROVIDED BY THE SUPPLIER OF THE TREATED WOOD MATERIAL. MAKE CERTAIN JOB-SITE EMPLOYEES ARE AWARE OF THE INFORMATION IN THE CIS OR CSIS AND FOLLOWS THE GUIDELINES. WHEN HANDLING TREATED WOOD, WEAR PROTECTIVE CLOTHING SUCH AS LONG SLEEVED SHIRT AND LONG PANTS AND USE GLOVES. AFTER WORKING WITH TREATED MATERIAL, WASH ANY EXPOSED AREA BEFORE EATING, DRINKING, GOING TO THE TOILET, OR USING TOBACCO PRODUCTS. WHEN SAWING AND MACHINING THE TREATED MATERIAL, WEAR GOGGLES TO PROTECT EYES FROM FLYING PARTICLES. WEAR A DUST MASK AND IF POSSIBLE WORK OUTDOORS TO AVOID INHALATION OF SAWDUST.

## STEEL

24. USE A440 (Fy=50KSI) STEEL.  
25. STEEL SECTION IS SUFFICIENTLY SIZED TO WITHSTAND CORROSION WITHOUT COMPROMISING STRENGTH.

## EROSION CONTROL NOTES

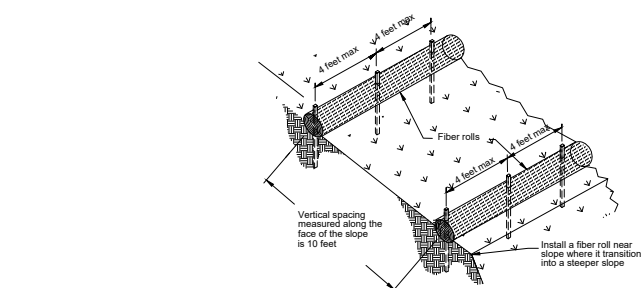
1. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION, SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES.
3. THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND EROSION.
4. CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES TO PREVENT THE DISCHARGE OF EARTHEN MATERIALS TO WATERCOURSES FROM DISTURBED AREAS UNDER CONSTRUCTION AND FROM COMPLETED CONSTRUCTION AREAS.
5. INSTALL ALL PROTECTIVE DEVICES AT THE END OF EACH WORK DAY WHEN THE FIVE-DAY RAIN PROBABILITY EQUALS OR EXCEEDS 50 PERCENT AS DETERMINED FROM THE NATIONAL WEATHER SERVICE FORECAST OFFICE: WWW.NWS.NOA.GOV.
6. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM INLETS, CATCH BASINS, SILT FENCES, FIBER ROLLS, ETC. AND INSPECTED FOR ANY DAMAGE. REPAIR ANY BMP THAT IS DAMAGED OR NOT FUNCTIONING.
7. THE CONTRACTOR IS RESPONSIBLE TO KEEP IN FORCE ALL EROSION CONTROL DEVICES AND TO MODIFY THOSE DEVICES AS SITE PROGRESS DICTATES.
8. THE CONTRACTOR SHALL MONITOR THE EROSION CONTROL DEVICES DURING STORMS AND MODIFY THEM IN ORDER TO PREVENT PROGRESS OF ANY ONGOING EROSION.
9. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ANY EROSION OR DEBRIS SPILLING ONTO A PUBLIC STREET.
10. CONTRACTOR SHALL BE FAMILIAR WITH THE CONDITIONS OF APPROVAL OF ALL REQUIRED PROJECT PERMITS AND SHALL IMPLEMENT ALL REQUIRED BMP'S PRIOR TO COMMENCING GRADING OPERATIONS.
11. EROSION AND SEDIMENT CONTROL BMP'S SHALL BE IN PLACE AND IMPLEMENTED, AS APPROPRIATE, PRIOR TO COMMENCING GRADING OR VEGETATION REMOVAL. THESE MEASURES SHALL BE MAINTAINED ON ALL DISTURBED AREAS IN ORDER TO MINIMIZE THE RELEASE OF SEDIMENT IN A SITE'S STORM WATER DISCHARGE.
12. PROTECT AND PRESERVE TOPSOIL TO MINIMIZE EROSION AND RETAIN INFILTRATION CAPACITY.
13. MINIMIZE LAND DISTURBANCE SUCH AS CUTS AND FILLS. STABILIZE SLOPES AND ALL DISTURBED AREAS AS SOON AS GRADING IS FINISHED OR CUT-AND-FILLS ARE MADE.
14. COVER BARE SOILS AND SLOPES AS SOON AS POSSIBLE. USE ONE OR MORE OF THE FOLLOWING TO REDUCE THE EROSION POTENTIAL FROM BARE, EXPOSED, OR DISTURBED SOIL: ROLLED EROSION CONTROL PRODUCTS (E.G., FILTER FABRIC, EROSION CONTROL BLANKETS, GEOTEXTILES), HYDRAULIC MULCH OR HYDROSEEDING, STRAW OR WOOD MULCH, SEEDING, VEGETATION PLANTING, OR OTHER APPROPRIATE COVER MATERIAL.
15. ESTABLISH A UNIFORM VEGETATIVE COVER WITH A MINIMUM OF 70 PERCENT COVERAGE.
16. PROPERLY INSTALL AND MAINTAIN ALL ON-SITE EROSION CONTROL MEASURES AND STRUCTURAL DEVICES, BOTH TEMPORARY AND PERMANENT. PROMPTLY REPAIR OR REINSTALL ANY EROSION CONTROL MEASURES AND STRUCTURAL DEVICES THAT WERE DAMAGED DURING CONSTRUCTION TO MAINTAIN THEM SO THAT THEY DO NOT BECOME NUISANCES WITH STAGNANT WATER, ODORS, INSECT BREEDING, HEAVY ALGAE GROWTH, DEBRIS, AND/OR SAFETY HAZARDS.
17. A QUALIFIED PERSON SHOULD CONDUCT INSPECTIONS OF ALL ON-SITE BMP'S DURING EACH RAINSTORM, IF POSSIBLE, AND AFTER A STORM IS OVER TO ENSURE THAT THE BMP'S ARE FUNCTIONING PROPERLY.

## SEDIMENT CONTROL NOTES:

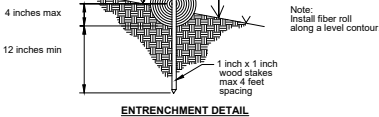
1. USE FIBER ROLLS DOWNSLOPE AS PERIMETER CONTROL TO PREVENT SEDIMENT FROM LEAVING THE SITE DURING THE WINTER SEASON. FIBER ROLLS ARE APPROPRIATE IN COMBINATION WITH EROSION CONTROL COVER ON SLOPES TO SHORTEN SLOPE LENGTH AND SPREAD RUNOFF AS SHEET FLOW.
2. SILT FENCES ARE NOT APPROPRIATE IN CONCENTRATED RUNOFF FLOW AREAS (STREAMS, SWALES, GULLIES, ETC.), IN AREAS WHERE FLOODING IS A CONCERN, OR ALONG SLOPES.
3. LONG-TERM SEDIMENT CONTROL MEASURES ARE REQUIRED TO ENSURE THAT EROSION AND SEDIMENTATION DO NOT BECOME AN OBSTACLE AS SOON AS POSSIBLE. IS COMPLETED, THE FOLLOWING MEASURES CAN BE EFFECTIVE FOR LONG TERM SEDIMENT CONTROL ONCE THE PLANTINGS AND ROOTS HAVE GROWN TO SUFFICIENT SIZE.
  - 3.1. SEEDING SLOPES BY HYDRO-SEEDING OR WITH SEEDED BLANKETS; PREFERABLY USING NATIVE SEEDS WITH WINTER BARLEY OR OATS.
  - 3.2. LANDSCAPING WITH PLANT SPECIES THAT GROW RAPIDLY AND HAVE ROOT SYSTEMS THAT ARE EFFECTIVE AT "HOLDING" SOIL.

## SITE HOUSEKEEPING NOTES

1. INSPECT EQUIPMENT AND VEHICLES FREQUENTLY AND REPAIR ANY LEAKS AS SOON AS POSSIBLE AND CLEAN AND CLEAN UP LEAKS, SPILLS, AND DROPS OF HAZARDOUS MATERIALS AND CHEMICALS AS QUICKLY AS POSSIBLE TO MINIMIZE RUN-OFF OR SOAK IN. THIS INCLUDES FUEL AND MOTOR OIL, HYDRAULIC FLUID, AND GLYCOL.
2. IF REPAIR OR FUELING OF VEHICLES USE DRY CLEANUP METHODS IF POSSIBLE. PERFORM MAJOR MAINTENANCE AND REPAIRS OFF-SITE.
3. IF REPAIR OR FUELING OF VEHICLES USE DRY CLEANUP METHODS IF POSSIBLE. PERFORM MAJOR MAINTENANCE AND REPAIRS OFF-SITE.
4. USE A DESIGNATED LOCATION AWAY FROM STORM DRAIN INLETS, WATER BODIES, AND OTHER SENSITIVE AREAS.
5. IF EQUIPMENT IS WASHED ON-SITE, WASH WATER MAY NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. IF POSSIBLE, WASH VEHICLES AT AN APPROPRIATE OFF-SITE FACILITY.
6. RECYCLE USED MOTOR OIL, OTHER VEHICLE FLUIDS, AND VEHICLE PARTS WHENEVER POSSIBLE.
7. MATERIAL STORAGE AND SOIL STOCKPILES
  - 7.1. LOCATE MATERIALS AND SOIL STOCKPILES AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES. IN ADDITION, KEEP STOCKPILES AWAY FROM STEEP SLOPES AND UNSTABLE SOIL IN ORDER TO MINIMIZE THE CHANCE OF AN ACCIDENTAL RELEASE TO THE ENVIRONMENT.
  - 7.2. ALL LOOSE STOCKPILED MATERIAL THAT ARE NOT BEING ACTIVELY USED, SHALL BE UNDER COVER AND/OR BERMED AND PROTECTED FROM WIND, RAIN, AND RUNOFF.
  - 7.3. STORE OPEN BAGS OF PARTICULATE, GRANULAR, OR POWDER MATERIALS (SUCH AS PLASTER OR CONCRETE) INDOORS IF POSSIBLE. IF STORED OUTSIDE, THEY MUST BE COVERED OR CLOSED, AND DURING THE RAINY SEASON THEY MUST BE KEPT WITHIN SECONDARY CONTAINMENT.
  - 7.4. STORE PAINTS, CHEMICALS, SOLVENTS, AND OTHER HAZARDOUS MATERIALS INSIDE OR WITHIN A SHED WITH DOUBLE CONTAINMENT.
  - 7.5. KEEP DUMPER LIDS CLOSED AND SECURED. FOR DUMPSHEDS OR BINS THAT DO NOT HAVE A LID, COVER THEM WITH PLASTIC SHEETING OR A TARP DURING RAINY OR WINDY WEATHER.
8. WASTE MANAGEMENT: BUILDING MATERIALS, DEMOLITION WASTE, AND VEGETATION
  - 8.1. ON-SITE STORAGE OF CONSTRUCTION MATERIALS. STORE WASTES IN CONTAINERS OR COVERED PILES WHENEVER POSSIBLE. COVER PILES OF UNCONSTRUCTED WASTES AND WASTES STORED IN OPEN CONTAINERS DURING WINDY CONDITIONS AND PRIOR TO SIGNIFICANT FORECASTED RAIN (0.25 INCHES IN A 24-HOUR PERIOD). DO NOT LOOSE DUMPSHEDS OUT ON THE CONSTRUCTION SITE.
  - 8.2. USE CONSTRUCTION PRODUCTS MADE FROM OR PACKAGED IN POLYSTYRENE/PLASTIC FOAM IN A MANNER PREVENTING THE POLYSTYRENE/PLASTIC FOAM FROM BEING RELEASED INTO THE ENVIRONMENT.
  - 8.3. NEVER LEAVE OR ABANDON MATERIALS OR EXCAVATION SPOILS AT A PROJECT SITE. AT THE END OF A CONSTRUCTION PROJECT, COLLECT ALL UNUSED OR WASTE MATERIALS AND DISPOSE OF PROPERLY. DO NOT LEAVE DISCARDED BUILDING MATERIALS, DEMOLITION WASTES, WASTE VEGETATION, SOIL, MULCH, VEGETATION, AND OTHER LANDSCAPE PRODUCTS IN A STREET, GULLY, OR WATERWAY.
9. PORTABLE TOILET FACILITIES
  - 9.1. ALL SANITARY WASTES SHALL BE COLLECTED AND MANAGED THROUGH THE USE OF PORTABLE TOILET FACILITIES. ENSURE THAT THE LEASING COMPANY PROPERLY MAINTAINS THE TOILETS AND PROMPTLY MAKES REPAIRS AS NEEDED. CONDUCT INSPECTIONS FOR LEAKS.
  - 9.2. PLACE PORTABLE TOILETS ON A LEVEL SURFACE AND AT A SAFE DISTANCE AWAY FROM PAVED AREAS AND, TO THE EXTENT PRACTICAL, STORM DRAIN INLETS. SECURE THEM TO PREVENT BLOWING OVER.
  - 9.3. PROVIDE SECONDARY CONTAINMENT FOR PORTABLE TOILETS LOCATED WITHIN 20 FEET OF A STREAM, STORM DRAIN, OR STREET.
  - 9.4. DURING PUMP-OUT, TAKE APPROPRIATE MEASURES TO AVOID SPILLAGE. IF SPILLAGE OCCURS IT SHALL BE CLEANED UP IMMEDIATELY.
10. SITE CLEANUP
  - 10.1. WHEN CLEANING UP, SWEEP WHENEVER POSSIBLE. LITTER AND DEBRIS MUST BE PICKED UP AND DISPOSED OF PROPERLY.
  - 10.2. IN THE ROADWAY AND/OR ON THE SIDEWALK, MATERIAL STOCKPILES MUST BE REMOVED AND CLEANED UP BY THE END OF EACH DAY.
  - 10.3. SWEEP AND REMOVE ANY SOLID WASTE THAT ACCUMULATES AT EROSION AND SEDIMENT CONTROL DEVICES AS SOON AS POSSIBLE.
  - 10.4. DO NOT CLEAN THE STREET, SIDEWALK, OR OTHER PAVED AREAS BY WASHING OR BY DIRECTING SEDIMENT, CONCRETE, ASPHALT, OR OTHER PARTICLES INTO THE STORM DRAIN SYSTEM. IF USING WATER, DIRECT IT TO A LANDSCAPED OR GRASSY AREA LARGE ENOUGH TO ABSORB ALL THE WATER.
11. MASONRY AND CONCRETE WORK
  - 11.1. CONCRETE, CEMENT, AND MASONRY PRODUCTS MAY NEVER BE DISCHARGED INTO THE STORM DRAIN. STORM DRAIN, CONCRETE, CEMENT, AND MASONRY MIXED CONTAINERS MAY NOT BE WASHED OR RINSED INTO THE STREET OR STORM DRAIN SYSTEM. IF A CONCRETE TRANSIT MIXER IS USED, A SUITABLE WASHOUT BOX, EXCAVATION OR SELF-WASHING MIXER ABLE TO CONTAIN THE WASTE MATERIAL, SHALL BE PROVIDED ON-SITE.
  - 11.2. DO NOT MIX FRESH CONCRETE OR CEMENT MORTAR IN A GUTTER, OVER A STORM DRAIN INLET, OR IMMEDIATELY ADJACENT TO A WATER BODY.
  - 11.3. STORE MATERIALS UNDER COVER AND PROTECTED FROM WIND, RAIN, AND RUNOFF.
  - 11.4. SMALL AMOUNTS OF EXCESS CONCRETE, GROUT, OR MORTAR MAY BE DISPOSED OF IN THE TRASH.
  - 11.5. WASH OUT FROM CONCRETE MIXERS MAY NEVER BE DISPOSED OF IN THE STREET OR STORM DRAIN SYSTEM. IF POSSIBLE, PUMP THE WASHOUT BACK INTO THE MIXER FOR REUSE.



TYPICAL FIBER ROLL INSTALLATION



ENTRENCHMENT DETAIL

## NOTES:

1. Place fiber rolls at 10 foot spacing on 2:1 (H:V) or steeper slopes
2. Place rolls into key trench 3 inches deep
3. Place excavated soil on uphill or flow side of the roll.
4. Rolls should be abutted at the ends, not overlapped
5. Alternate stakes on both sides of the roll, every six inches
6. Eroded sediment that accumulates against the fiber roll shall be removed prior to the fiber roll being overtopped

## FIBER ROLL DETAILS & NOTES

NO SCALE

# FOR TAX PURPOSES ONLY

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POR. APTOS RANCHO  
SEC. 20, T.11S., R.1E., M.D.B. & M.

Tax Area Code  
69-267

54-19

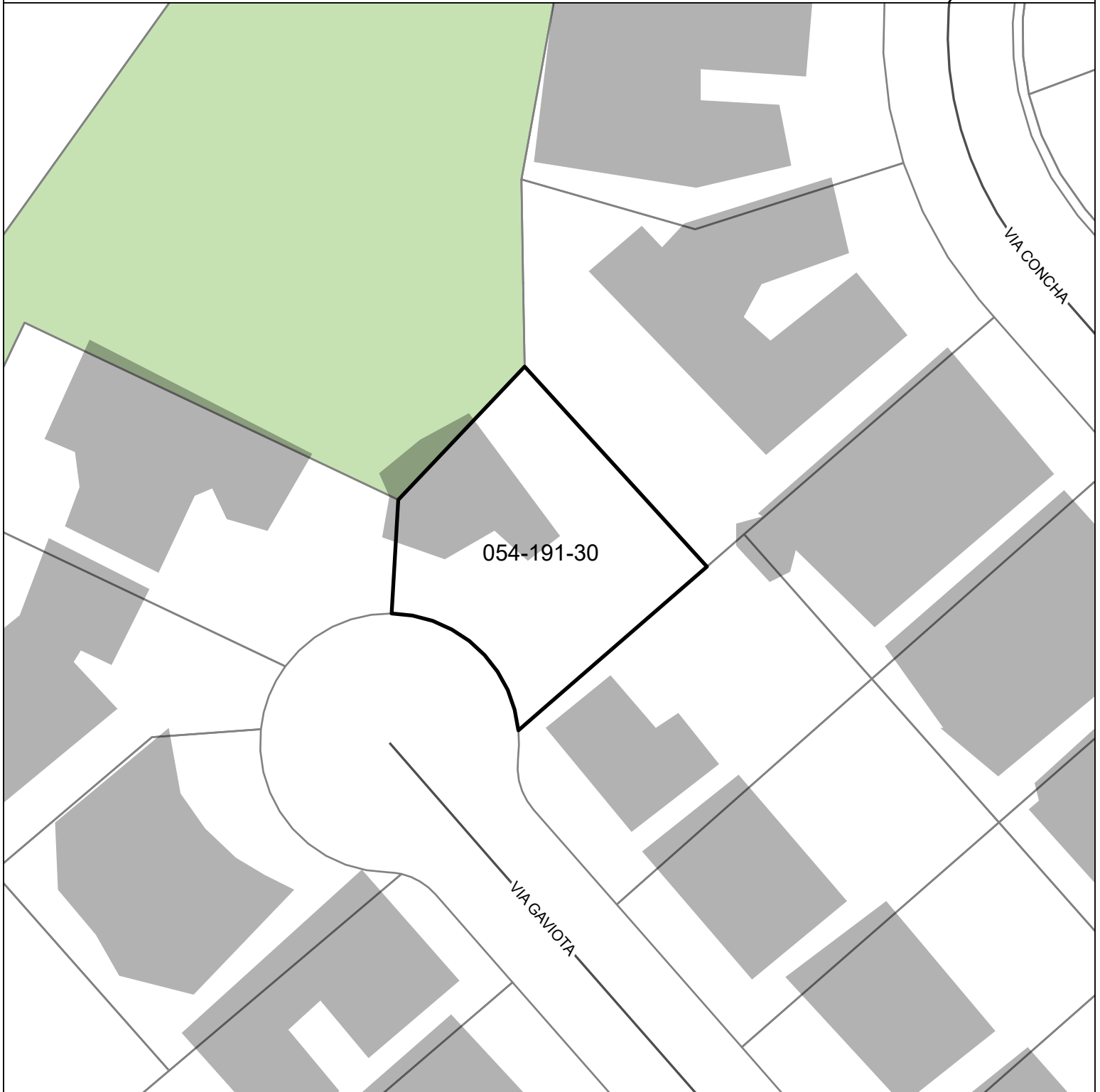


Electronically redrawn 10/10/00 KSA  
Rev. 10/10/00 KSA (Por. to Pg. 62)  
Rev. 6/15/01 mm (changed page refs.)  
Rev. 6/23/06 CB (Combo Form, 1-31)  
Rev. 04/2019 AN (Por. to page 23)



# Santa Cruz County Planning Department

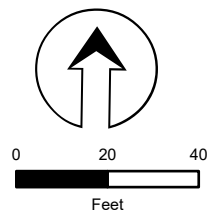
## Parcel Location Map



**Parcel: 05419130**

☐ Subject Parcel

Map printed: 14 Apr. 2025

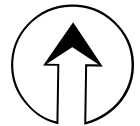




# Parcel General Plan Map

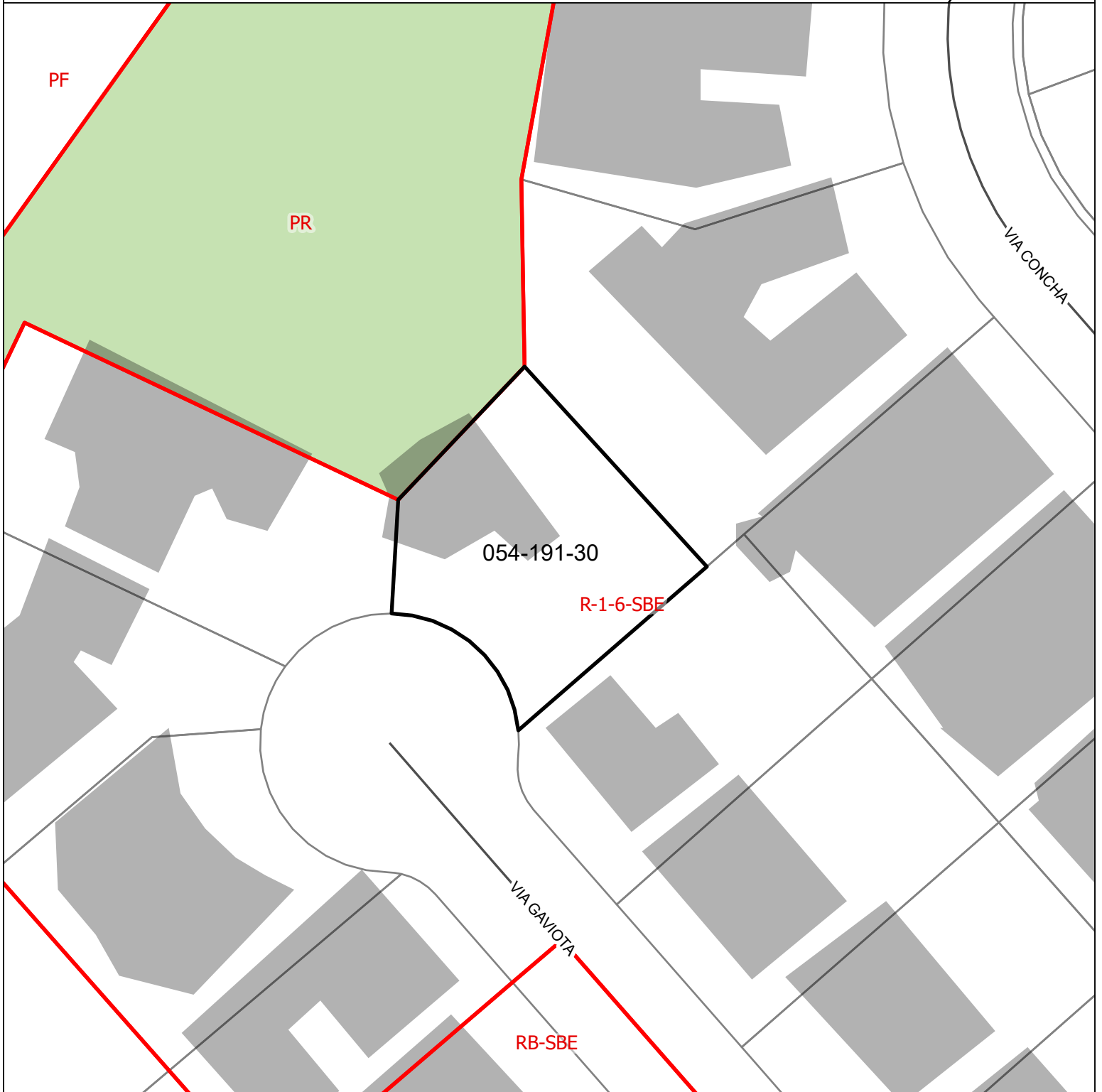


 Subject Parcel





# Parcel Zoning Map



 Subject Parcel



0 20 40  
Feet

## Parcel Information

### Services Information

Urban/Rural Services Line:   X   Inside      Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: Santa Cruz Sanitation District  
Fire District: Central Fire Protection District  
Drainage District: Flood Control District 6

### Parcel Information

Parcel Size: 5,700 square feet  
Existing Land Use - Parcel: Residential  
Existing Land Use - Surrounding: Residential  
Project Access: Via Gaviota  
Planning Area: Aptos  
Land Use Designation: R-UL (Urban Low Density Residential)  
Zone District: R-1-6-SBE (Single Family Residential (minimum 6,000 square foot parcel), Seascape Beach Estates Combininig District)  
  
Coastal Zone:   X   Inside      Outside  
Appealable to Calif. Coastal Comm.   X   Yes      No

**Technical Reviews:** REV231149 - Soils Report Review

### Environmental Information

Geologic Hazards: Coastal Erosion  
Fire Hazard: Not a mapped constraint  
Slopes: Coastal bluff  
Env. Sen. Habitat: Not mapped  
Grading: Landslide remediation  
Tree Removal: No trees proposed to be removed  
Scenic: Mapped scenic resource  
Archeology: Not mapped



## County of Santa Cruz

### Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580      Public Works (831) 454-2160  
sccoplanning.com      dpw.co.santa-cruz.ca.us

3 February 2025

Glen Wells <gwells@wellsconstruction.com>  
745 Via Gaviota  
Aptos, CA 95003

Subject: Review of the Limited Geotechnical Investigation, Proposed Retaining Wall, report dated 7 July 2023, Response to County Comments, Dated 29 September 2023 dated 3 October 2023; and the Final Geotechnical Letter – Replacement Retaining Wall dated 11 March 2024 by Haro, Kasunich and Associates, Inc. – Project No. SC12261

Project Site: 745 Via Gaviota  
APN 054-191-30  
Application No. B-235621

Dear Applicant,

The Planning Division has accepted the subject geotechnical investigation and construction observation reports for the recently completed bluff toe retaining wall system at 745 Via Gaviota in the Aptos area of Santa Cruz County, California.

If we may be of any further assistance, please contact the undersigned at: 831.454.3168 or rick.parks@santacruzcounty.us

Respectfully,



Rick Parks, GE 2603  
Civil Engineer – Environmental Planning Section  
County of Santa Cruz Planning Division

Cc: Environmental Planning, Attn: Jessica deGrassi  
Haro, Kasunich and Associates, Attn: Moses Cuprill, PE  
Applicant: Courtney Christiansen <Courtney@fusearchitecture.com>