



## Staff Report to the Zoning Administrator

Application Number: **241365**

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**Applicant:** Stephanie Barnes-Castro

**Agenda Date:** June 20, 2025

**Owner:** Jane Thornton

**Agenda Item #:** 1

**APN:** 028-221-12

**Time:** After 9:00 a.m.

**Site Address:** 120 Sunny Cove Drive, Santa Cruz 95062

**Project Description:** Proposal to demolish an existing non-conforming 1,741 square-foot dwelling and 240 square-foot detached garage and to construct a new, 2,315 square-foot two-story single-family dwelling with an attached 225 square-foot garage.

**Location:** Project site is located on the eastern side of Sunny Cove Drive, approximately 340-feet south of the intersection of Sunny Cove Drive and East Cliff Drive in Santa Cruz.

**Permits Required:** Coastal Development Permit, Minor Site Development Permit

**Supervisory District:** 1st District (District Supervisor: Manu Koenig)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241365, based on the attached findings and conditions.

### Project Description & Setting

The subject property is approximately 4,000 square feet in size and developed with a single-family dwelling that contains four bedrooms and three bathrooms. The dwelling was originally constructed in 1930 and subsequently remodeled in 1984 and 2002 with permits. The site is also developed with a 247 square-foot detached garage located within the side and rear yard setbacks. The parcel is zoned R-1-4 (Single-Family Residential, 4,000 square-foot minimum) with an R-UM (Urban Medium Density Residential) General Plan designation. The surrounding parcels are similar in size and developed with one- and two-story single-family dwellings constructed in various architectural styles.

The project proposes to demolish the existing non-conforming single-family dwelling and garage and construct a new, 2,315 square-foot two-story single-family dwelling with an attached 225 square-foot garage. The proposed dwelling will consist of three bedrooms, five bathrooms, a living room, kitchen, dining room, laundry room, and a 206 square-foot second-story deck. The project includes a new permeable paver driveway, new landscaping and fencing.

## **Zoning & General Plan Consistency**

The subject property is a 4,000 square foot lot, located in the R-1-4 (Single-Family Residential, 4,000 square-foot minimum) zone district. The proposed single-family dwelling and attached garage is a principally permitted use within the district. The zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

The proposed single-family dwelling and garage comply with all site standards for the R-1-4 zone district including height, setbacks, floor area ratio, and lot coverage. The proposed 58% floor area ratio complies with the zone district maximum of 60%. The proposed improvements would cover approximately 36% of the parcel, which is below the 45% lot coverage allowed for the R-1-4 zone district. The dwelling and attached garage would maintain the minimum five-foot side-yard and 15-foot front yard setbacks. The minimum required rear yard setback is 15 feet; however, the dwelling would be constructed 32.5 feet from the property line.

## **Site Development Permit & Design Review**

Pursuant to Santa Cruz County Code 13.11.040, Design Review shall be required for new residences located within special coastal communities or on sensitive sites. The subject parcel is located adjacent to a coastal bluff and in an area where development may impact public views; therefore, design review is required. Additionally, construction of a single-family dwelling on a sensitive site requires a Minor Site Development Permit.

Minor Site Development Permits are typically processed as administrative permits with no public notice; however, due to the site's location in the Coastal Zone it is being processed with the required Coastal Development Permit in accordance with SCCC 13.20.

The proposed single-family dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The second story living space is further set back from the front property line than the first floor; this pushes the bulk and massing of the structure towards the middle of the parcel to reduce the impact on the neighboring parcels.

The exterior colors and materials are chosen to complement and harmonize with the surrounding landscape and development. The sandy colored stucco with natural wood-looking wall tile will match the surrounding coastal environment.

The front yard adjoining Sunny Cove Drive incorporates new landscaping and hardscaping consistent with SCCC 13.11.070(D). The proposed plants include hydrangea, jade, and lavender, while the proposed hardscape materials will be permeable paver block and stone tile. The proposed solid wood fence complies with the design review criteria for appearance and with SCCC 13.10.525 for height and location.

## **Coastal Development Permit/Local Coastal Program Consistency**

Santa Cruz County Code 13.20.130 establishes design criteria for all development requiring a Coastal Development Permit. This section outlines standards related to visual compatibility, site

disturbance, ridgeline and blufftop development, landscaping, and the protection of rural scenic resources.

The proposed single-family dwelling and garage will be visually compatible, in scale with, and integrated into the character of the surrounding neighborhood. The proposed color palette will be natural in appearance and complementary to the site and the surrounding environment. Although the site is located adjacent to a bluff top which is visible from Sunny Cove Beach, the site is surrounded by lots developed with single-family dwellings. The second story element is sited and designed so that it does not loom over or adversely impact neighboring properties or public viewsheds.

Although the project site is located between the shoreline and the first public road, the property is not identified as a priority acquisition site in the County's Local Coastal Program. Additionally, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241365**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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## **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters



# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241365

Assessor Parcel Number: 028-221-12

Project Location: 120 Sunny Cove Drive, Santa Cruz 95062

**Project Description: Proposal to demolish an existing non-conforming dwelling to construct a new, 2,315 square-foot two-story single-family dwelling with an attached garage.**

**Person or Agency Proposing Project: Stephanie Barnes-Castro**

**Contact Phone Number: (831) 239-0603**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

One single-family dwelling on a developed site in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Michael Lam, Project Planner

Date: \_\_\_\_\_

## **Coastal Development Permit Findings**

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-4 (Single-Family Residential, 4,000 square-foot minimum), a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the neighboring homes along Sunny Cove Drive are one- and two-story homes that vary in style and appearance. The colors will be natural in appearance and complementary to the site and the surrounding environment. Although the site is located on a bluff top visible from Sunny Cove Beach, the site is surrounded by lots developed with single-family dwellings. The second story element is sited and designed so that it does not loom over or adversely impact neighboring properties. The façade incorporates an open projection over the front deck, which adds additional articulation and shade/shadow patterns to help break up the massing.

The proposed single-family dwelling will conform to current site standards for the zone district and will be consistent with the design criteria and special use standards in County Code.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at the end of Sunny Code Drive and at the end of Johan's Beach Drive, approximately 0.25 miles northwest.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4 (Single-Family Residential, 4,000 square-foot minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain one- and two-story single-family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road. However, the single-family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water as noted in finding (D). Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## **Discretionary Permit Findings**

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single-family dwelling and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-4 (Single-Family Residential, 4,000 square-foot minimum) zone district as the primary use of the property will be one single-family dwelling that meets all current site standards for the zone district. Additionally, the project complies with the design review and site development permit regulations set forth in SCCC 13.11 and 13.20 in that the dwelling is designed and sited to minimize impacts to the surrounding properties.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family dwelling will not add additional residential units on the existing developed lot. The parcel is already developed with a single-family dwelling; therefore, the expected level of traffic generated by the replacement dwelling is not anticipated to increase beyond 1 peak trip per day (1 peak trip per dwelling unit). The project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single-family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

## **Site Development Permit Findings**

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single-family dwelling is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed single-family dwelling is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

## Conditions of Approval

Exhibit D: Project plans, prepared by Stephanie Barnes-Castro, dated 01/22/2025.

- I. This permit authorizes the construction of a 2,315 square-foot single-family dwelling and attached 225 square-foot garage as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
    3. Grading, drainage, and erosion control plans.

4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
  5. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  2. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Santa Cruz Water District. Proof of water service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- E. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- G. Submit copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- H. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings.
- I. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for single family dwellings.
- J. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 2,000 square feet is \$2 per square foot.
- K. Provide required off-street parking for two cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way.



Parking must be clearly designated on the plot plan.

- L. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all recommendations of the approved soils reports.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification
- The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation

reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Application #: 241365  
APN: 028-221-12  
Owner: Jane Thornton

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.





# THORNTON RESIDENCE

# SHEET INDEX

COVER SHEET :	COVER SHEET, SHEET INDEX, PROJECT DATA, NOTES
<u>CIVIL SHEETS:</u>	
SHEET C1:	NOTES, EARTHWORK ESTIMATE, & DRAINAGE ANALYSIS
SHEET C2:	EXISTING SITE SURVEY
SHEET C3:	GRADING & DRAINAGE PLAN
SHEET C4:	SITE CROSSE SECTIONS
SHEET C5:	STORMWATER POLLUTION & EROSION CONTROL PLAN

ARCHITECTURAL SHEETS:

SHEET A1:	SITE PLAN, EXISTING FLOOR PLANS
SHEET A2:	UPPER LEVEL FLOOR PLAN
SHEET A3:	LOWER LEVEL FLOOR PLAN
SHEET A4:	ROOF PLAN, SECTIONS
SHEET A5:	EXTERIOR ELEVATIONS
SHEET A6:	FAIR & LOT COVERAGE CALCULATION
SHEET A7:	PHOTO RENDERINGS, COLORS & MATERIALS
SHEET A8:	NEIGHBORHOOD PHOTOS

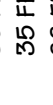
## IMPERVIOUS AREA CALCS

SEE CIVIL DRAWINGS

## R-1-4 DEVELOPMENT STANDARDS

35 FEET  
MINIMUM SITE WIDTH:  
MINIMUM BUILDING FRONTAGE:  
MAXIMUM BUILDING HEIGHT:  
MAXIMUM NUMBER OF STORIES:  
MAXIMUM FLOOR AREA RATIO:  
MAXIMUM LOT COVERAGE:  
FRONT YARD SETBACK:  
GARAGE SETBACK:  
SIDE YARD SETBACKS:  
REAR YARD SETBACK:

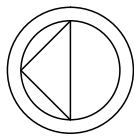
28 FEET  
36 FEET  
20 FEET  
2  
46%  
15 FEET  
18 FEET  
5 & 5 FEET  
15 FEET



# FIRE PROTECTION NOTES

1. THESE PLANTS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (CURRENT EDITION) AND DISTRICT REGULATIONS.
2. OCCUPANCY CLASSIFICATION: R-3/U
3. BUILDING CONSTRUCTION TYPE: TYPE IVb
4. FIRE RATING: SPRINKLERED
5. PLANTS SHALL BE MAINTAINED TO FLAMMABLE VEGETATION AROUND ALL STRUCTURES, SINGLE GREENINGS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER. PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROUND TO ANY STRUCTURES, ARE EXEMPT.
6. THE ROOF COVERING SHALL NOT BE LESS THAN CLASS "B" RATED ROOF.
7. 4 INCH HIGH ADDRESS NUMBERS OF CONTRASTING COLOR WITH BACKGROUND SHALL BE PROVIDED.
8. ALL DETAILS OF THE BUILDING PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.
9. THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 130 IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
10. THE DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALCULATIONS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM TO THE AGENCIES FOR REVIEW AND APPROVAL.
11. THE AGENCIES SHALL PROVIDE FOR NON-CODE DETECTORS PER THE CALIFORNIA BUILDING, RESIDENTIAL AND FIRE CODES.




# VICINITY MAP



**PROPOSED SQUARE FOOTAGE:**

SEE SHEET A5 FOR FAR & LOT COVERAGE CALCULATIONS

## PROJECT DATA

		ALLOWABLE	PROPOSED
LOT AREA:	4,007 SQ. FT.	-	-
LOT COVERAGE:	48% OF LOT AREA	1,800.45 SQ. FT.	1,441 SQ. FT. = 36%
F.A.S.:	60% OF LOT AREA 	2,400.6 SQ. FT.	2,315 = 57.8%
LOWER LEVEL : RESIDENCE: GARAGE:		1,800.45 SQ. FT.	1,305 SQ. FT. 1,080 SF LL GARAGE 225 SF
UPPER LEVEL:		 1,334.6 SQ. FT.	1,235 SF
HOUSE AREA (CONDITIONED):			
LOWER LEVEL:	 1,080 SQ. FT.		
UPPER LEVEL:	1,235 SQ. FT.		
TOTAL HOUSE AREA:	2,315 SQ. FT.		
GARAGE:	225 SQ. FT.		
UPPER LEVEL DECK:	206.5 SQ. FT.		

# PROJECT DATA

APN:	028-221-12
SITE ADDRESS:	120 SUNNY COVE DRIVE SANTA CRUZ, CA 95062
ZONE:	R-1-4
OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	V8, SPRINKLERED
PROJECT DESCRIPTION:	DEMOLISH AN (E) 1741 SQ. FT. 4 BEDROOM, 3 BATH RESIDENCE WITH 500 SQ. FT. DECK & 240 SQ. FT. GARAGE. CONSTRUCT A NEW 2316 SQ. FT. 3 BEDROOM, 4 1/2 BATH SINGLE FAMILY RESIDENCE WITH 225 SQ. FT. GARAGE AND 2063 SQ. FT. UPPER LEVEL DECK.

## CODE COMPLIANCE NOTES

2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRIC CODE, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA ENERGY STANDARDS, SCMI TITLE 18

## PROJECT CONTACTS

**OWNER:**

JANE THORNTON  
126 POPLAR DRIVE  
KENTFIELD, CA 94044  
janemallothornton50@gmail.com

**ARCHITECT:**

STEPHANIE BARNES- CASTRO  
424 LAURENT STREET  
SANTA CRUZ, CA 95060  
sbc@sbcarth.com  
(831) 239-0603

**CIVIL ENGINEER:**

LUKE BEAUTZ, C.E., L.S.  
lukebeautz@gmail.com  
(831) 475-5695

**GEOTECHNICAL ENGINEER:**

CMAG ENGINEERING, INC.  
41 HANGAR WAY SUITE D  
WATSONVILLE, CA 95076  
info@cmagengineering.com  
831-475-1411

**GEOLOGIST:**

BAYSIDE GEOLOGY  
ENGINEERING GEOLOGISTS  
202 ANITA STREET  
SANTA CRUZ, CA 95060  
jim@baysidegeology.com  
(831) 234-7825

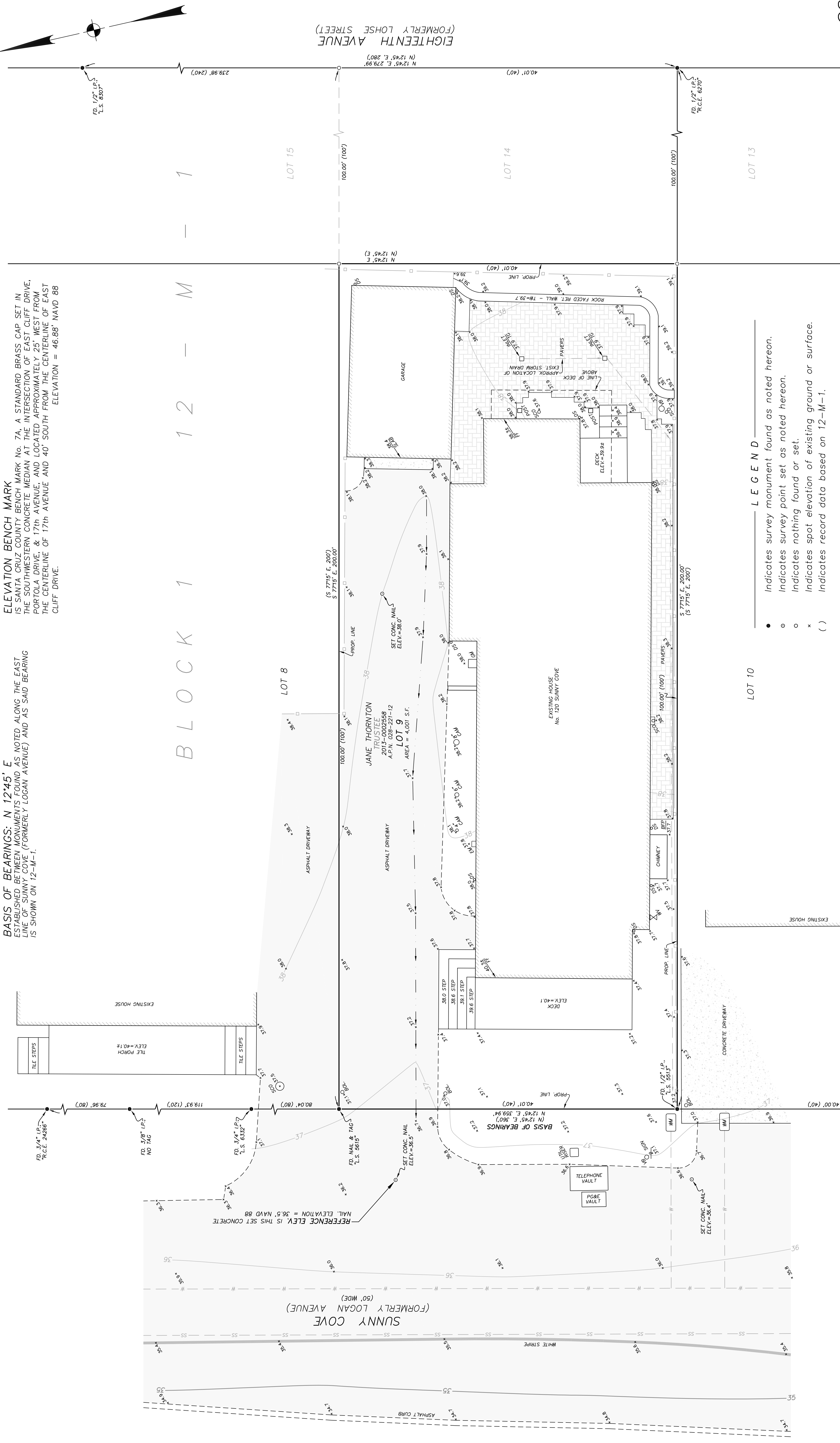






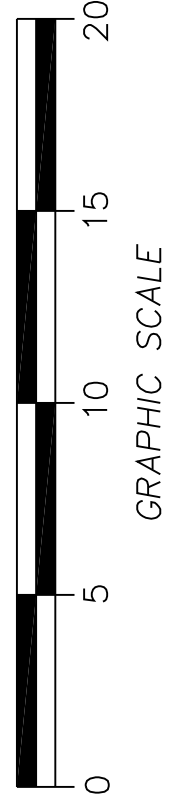
BASIS OF BEARINGS: N 12°45' E  
ESTABLISHED BETWEEN MONUMENTS FOUND AS NOTED ALONG THE EAST  
LINE OF SUNNY COVE (FORMERLY LOGAN AVENUE) AND AS SAID BEARING  
IS SHOWN ON 12-M-1.

ELEVATION BENCH MARK  
IS SANTA CRUZ COUNTY BENCH MARK No. 7A, A STANDARD BRASS CAP SET IN  
THE SOUTHWESTERN CONCRETE MEDIAN AT THE INTERSECTION OF EAST CLIFF DRIVE,  
PORTOLA DRIVE, & 17th AVENUE, AND LOCATED APPROXIMATELY 25' WEST FROM  
THE CENTERLINE OF 17th AVENUE AND 40' SOUTH FROM THE CENTERLINE OF EAST  
CLIFF DRIVE.  
ELEVATION = 46.88' NAVD 88



- LEGEND
- Indicates survey monument found as noted hereon.
  - Indicates survey point set as noted hereon.
  - Indicates nothing found or set.
  - × Indicates spot elevation of existing ground or surface.
  - ( ) Indicates record data based on 12-M-1.

A B B R E V I A T I O N S	
BFP	BACKFLOW PREVENTER
BOL	BOLLARD
CAM	CAMELLIA
CONC	CONCRETE
DS	DOWNSPOUT
ELEV	ELEVATION
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
GM	GAS METER
IP	IRON PIPE
PROP	PROPERTY
RET	RETAINING
TG	TOP OF GRATE
TW	TOP OF WALL
SCO	SEWER CLEAN OUT
SS	SANITARY SEWER
UTIL	UTILITY
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE



EXISTING SITE SURVEY

REGISTERED  
PROFESSIONAL ENGINEER  
LUKE R. BEAUTZ  
No. 61496  
STATE OF CALIFORNIA  
CIVIL

*Luke Butz*

IMPROVEMENT PLAN  
SHOWING GRADING, DRAINAGE, & EROSION  
CONTROL FOR A NEW RESIDENCE ON  
LOT 9 BLOCK 1 12-M-1  
"SANTA MARIA DEL MAR"  
SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1" = 5'  
BY: LUKE R. BEAUTZ, C.E., L.S.  
FOR: JANE THORNTON, OWNER  
A.P.N. 028-221-12

SHEET C2



## REFERENCE NOTES

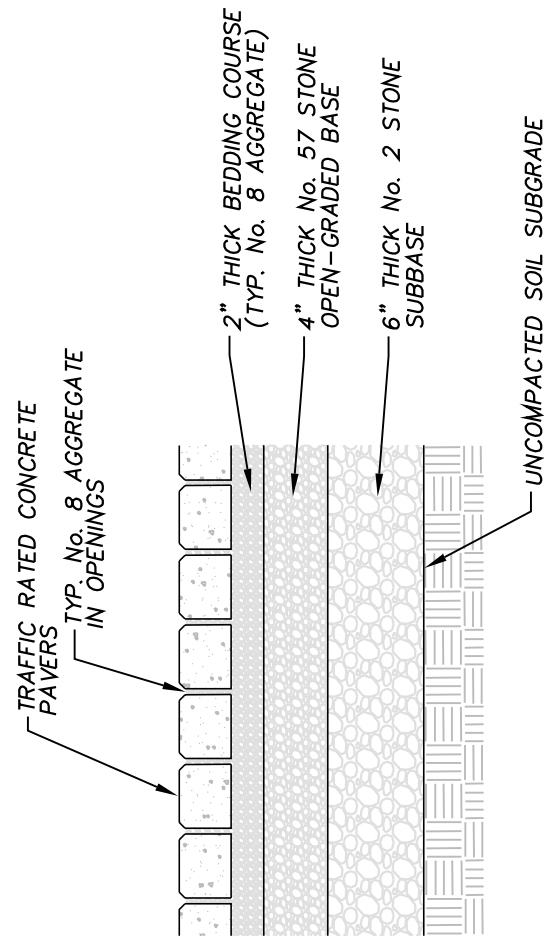
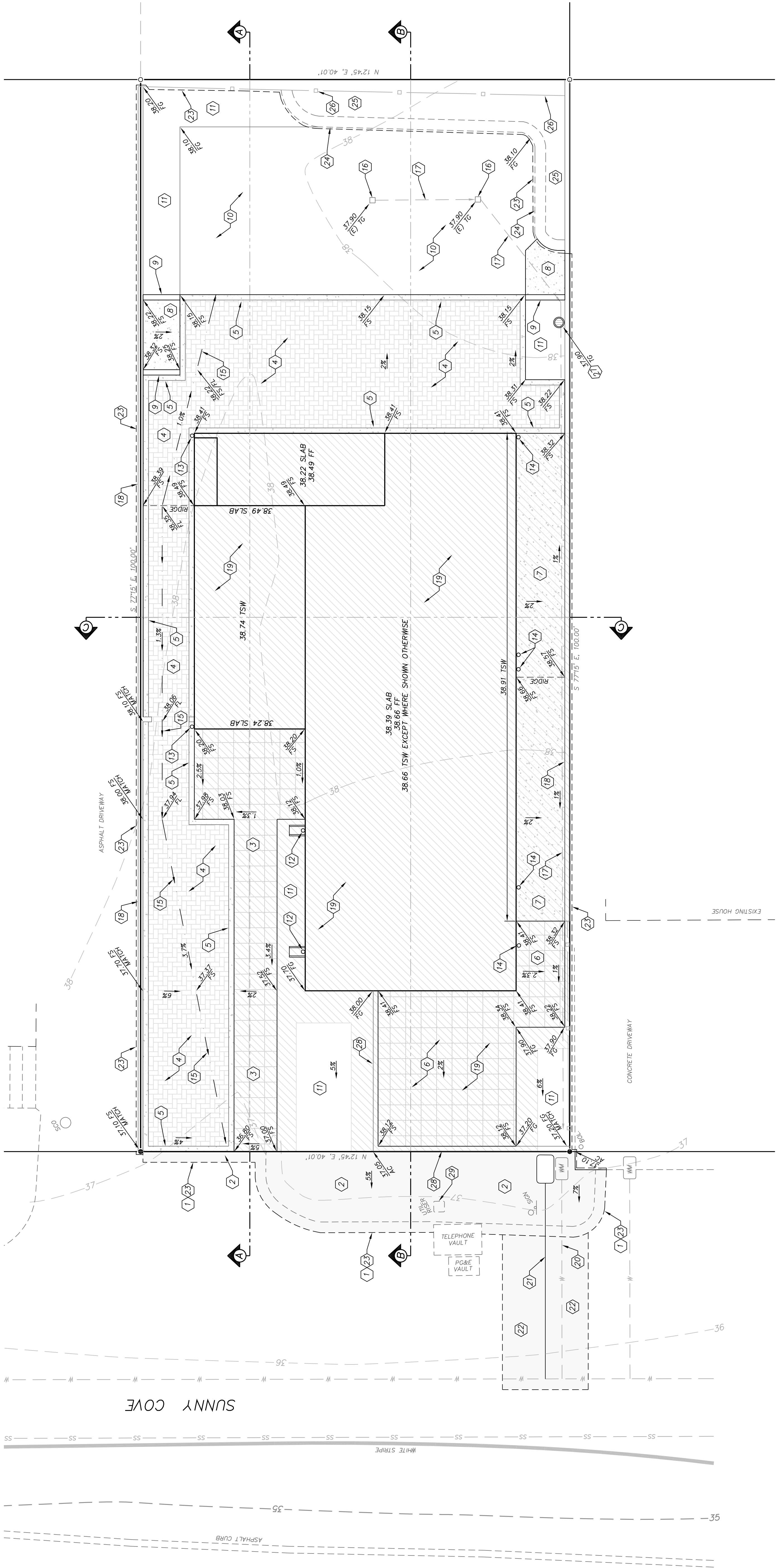
- 1 SAWCUT EXISTING PAVEMENT AS REQUIRED TO PROVIDE A STRAIGHT VERTICAL FACE AGAINST WHICH TO BUILT THE NEW PAVEMENT SECTION.
- 2 INSTALL 3" TYPE B ASPHALT CONCRETE OVER 9" CL. 2 AGC. BASE (95% R.C.)
- 3 INSTALL STONE TILE PAVEMENT WALKWAY OVER 18" OF ENGINEERED FILL PER GEOTECHNICAL REPORT.
- 4 INSTALL STONE TILE PAVEMENT WALKWAY OVER 18" OF ENGINEERED FILL PER GEOTECHNICAL REPORT.
- 5 INSTALL PERMEABLE INTERLOCKING PAVEMENT BLOOMS PER DETAIL C3-A.
- 6 INSTALL FLUSH CONCRETE EDGE RESTRAINT PER DETAIL C3-B.
- 7 INSTALL STONE TILE PAVEMENT PATIO OVER 18" OF ENGINEERED FILL PER GEOTECHNICAL REPORT.
- 8 INSTALL CONCRETE WALKWAY OVER 18" OF ENGINEERED FILL PER GEOTECHNICAL REPORT.
- 9 CONCRETE PAD PER ARCHITECTURAL PLANS.
- 10 WALL PER ARCHITECTURAL PLANS.

- (10) ASTROTUF AREA PER ARCHITECTURAL PLANS.
- (11) NEW PLANTING AREA.
- (12) OUTLET DOWNSPOUT ON TO CONCRETE SPLASH BLOCK AND IN TO PLANTING AREA.
- (13) OUTLET DOWNSPOUT ON TO PERMEABLE PAVK BLOCKS.
- (14) OUTLET DOWNSPOUT ON TO CONCRETE WALKWAY OR PATIO.
- (15) CONSTRUCT SWALE IN PERMEABLE PAVK BLOCK SURFACE.
- (16) EXISTING AREA DRAIN TO REMAIN.
- (17) EXISTING STORM DRAIN TO REMAIN.
- (18) NEW FENCE PER ARCHITECTURAL PLANS. MAKE UP ANY GRADE DIFFERENCE BETWEEN ADJACENT PROPERTY WITH PRESSURE TREATED BOARD ALONG BOTTOM OF FENCE.
- (19) CROSS-HATCHED AREA INDICATES REMOVAL OF NATIVE MATERIAL AND REPLACEMENT WITH ENGINEERED FILL PER PROJECT GEOTECHNICAL REPORT.

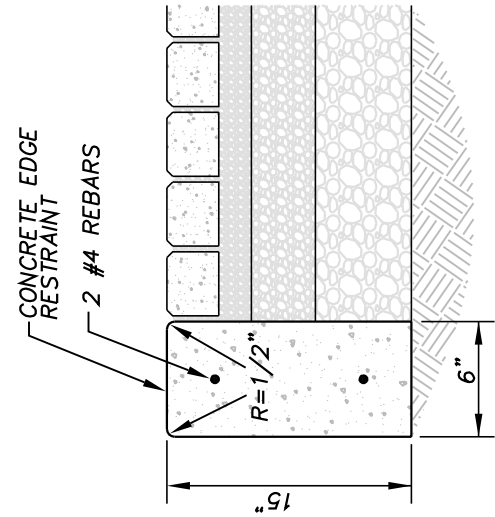
- |    |   |
|----|---|
| 20 | RETIRE EXISTING SANTA CRUZ WATER DEPARTMENT STANDARD WATER SERVICE.   |
| 21 | INSTALL NEW 1" FIRE X DOMESTIC WATER SERVICE PER SANTA CRUZ WATER DEPT. STANDARD DETAILS. METER BOX SHALL BE TRAFFIC RATED. |
| 22 | RESTORE UTILITY TRENCH PER FIG. EP-2 OF THE SANTA CRUZ COUNTY DESIGN CRITERIA.  |
| 23 | LIMITS OF GRADING/DISTURBANCE.  |
| 24 | EXISTING ROCK FACED RETAINING WALL TO REMAIN.   |
| 25 | EXISTING RAISED PLANTER AREA TO REMAIN.   |
| 26 | EXISTING FENCE TO REMAIN.   |
| 27 | INSTALL CHRISTY V1 DRAIN BOX WITH CAST IRON GRATE OVER EXISTING STORM DRAIN TO REMAIN.                                      |
| 28 | NEW 36" HIGH ACCOYA WOOD FENCE PER ARCHITECTURAL PLANS.   |
| 29 | REPLACE UTILITY RISER WITH UNDERGROUND VAULT.   |

NOTE REGARDING EXISTING SEWER LATERAL:

Prior to the issuance of any permit for the demolition of the existing residence, a sewer lateral abandonment permit shall be obtained from the Santa Cruz County Sanitation District, and the lateral shall be abandoned per Fig. SS-15 of the Santa Cruz County (Sanitation District) Design Criteria. Prior to demolition work, the contractor shall locate and cap the existing sewer lateral and then call for a sewer lateral abandonment inspection. If a new lateral is necessary, it shall be installed per Fig. SS-12 of the Santa Cruz County (Sanitation District) Design Criteria.



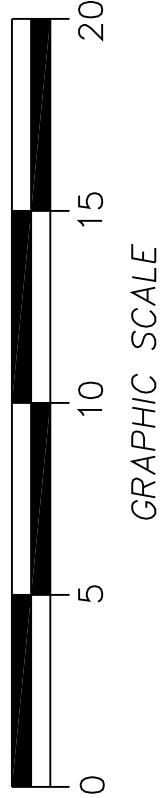
*DETAIL C3-A*  
TYPICAL PERMEABLE PAVER BLOCK CROSS SECTION  
N.T.S.



DETAIL C3-B

---

PERMEABLE PAVER BLOCK EDGE RESTRAINT  
N.T.S.



# GRADING AND DRAINAGE PLAN

30

# IMPROVEMENT PLAN

# SHOWING GRADING, DRAINAGE, & EROSION CONTROL FOR A NEW RESIDENCE ON

LOT 9 BLOCK 1 12-M-1  
"SANTA MARIA DEI MAR"

SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1" = 5'

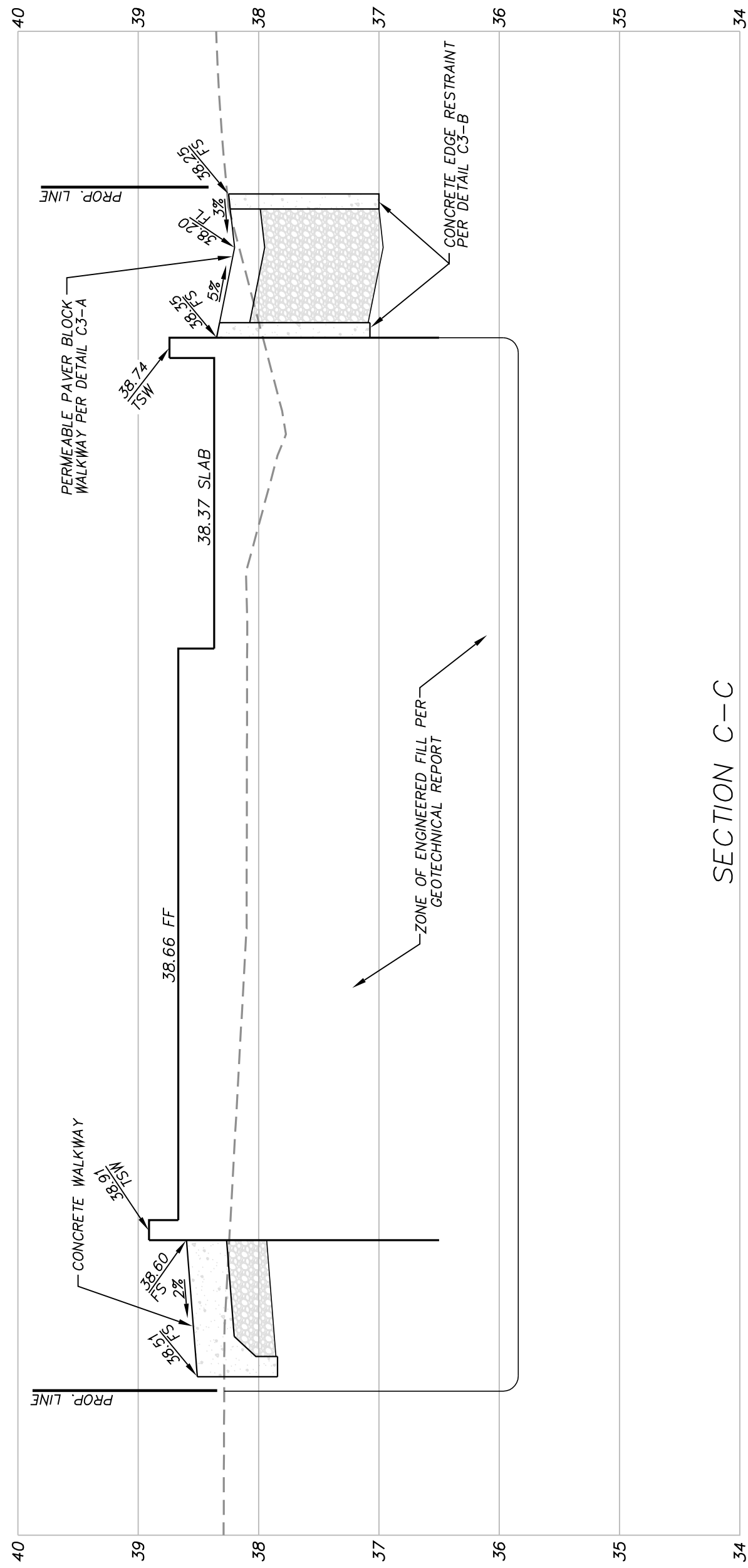
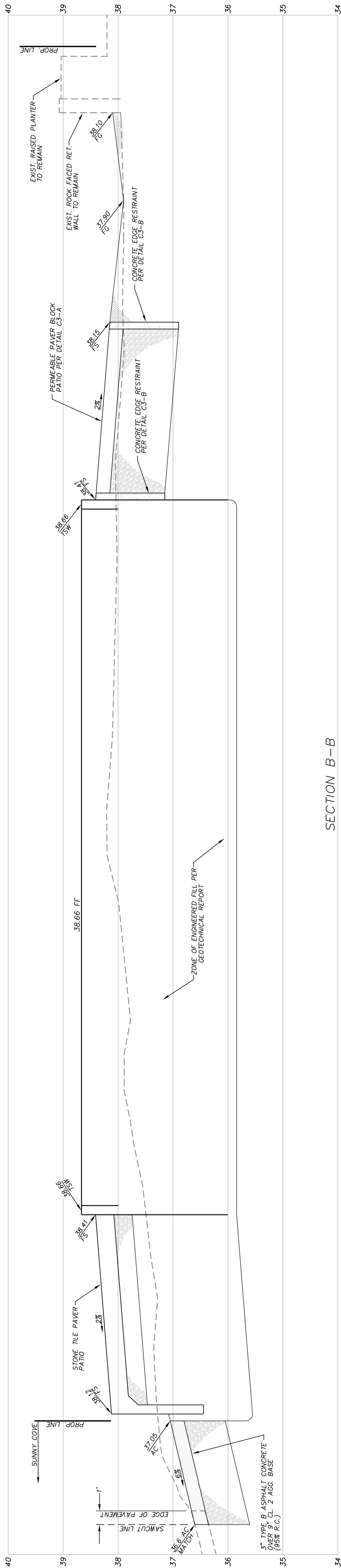
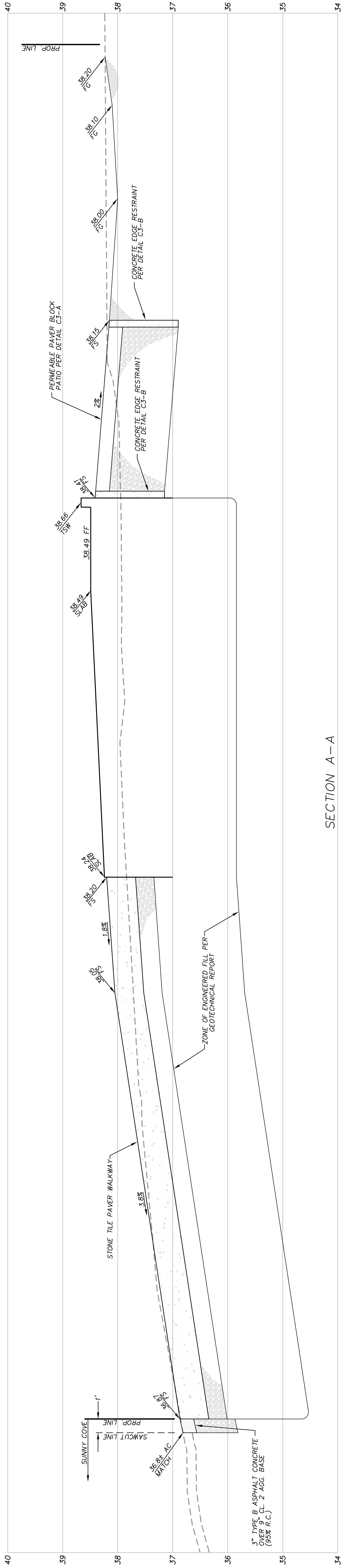
BY: LUKE R. BEAUTZ, C.E., L.S.

FOR: JANE THORNTON, OWNER  
A.P.N. 028-221-12  
SHEET C3

Luke Bratcher

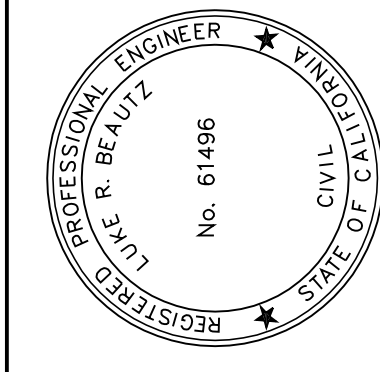
# EXHIBIT D





SITE CROSS SECTIONS

SCALE: 1" = 4' HORIZ.  
1" = 1' VERT.



LUKE R. BEAUTZ

C4

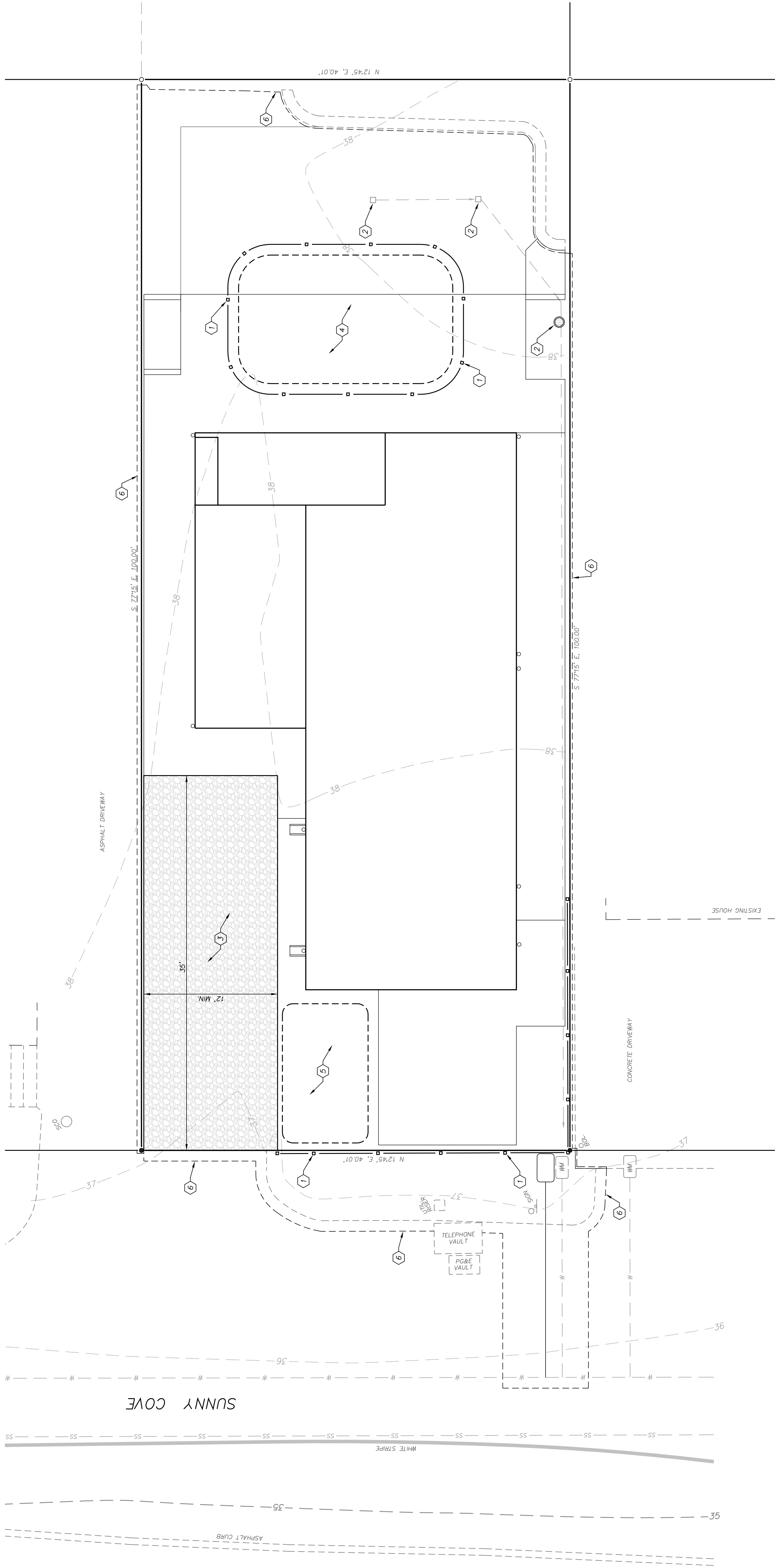
IMPROVEMENT PLAN  
SHOWING GRADING, DRAINAGE, & EROSION  
CONTROL FOR A NEW RESIDENCE ON  
LOT 9 BLOCK 1 12-M-1  
"SANTA MARIA DEL MAR"  
SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1" = 4'  
BY: LUKE R. BEAUTZ, C.E., L.S.  
FOR: JANE THORNTON, OWNER  
A.P.N. 028-221-12 SHEET C4



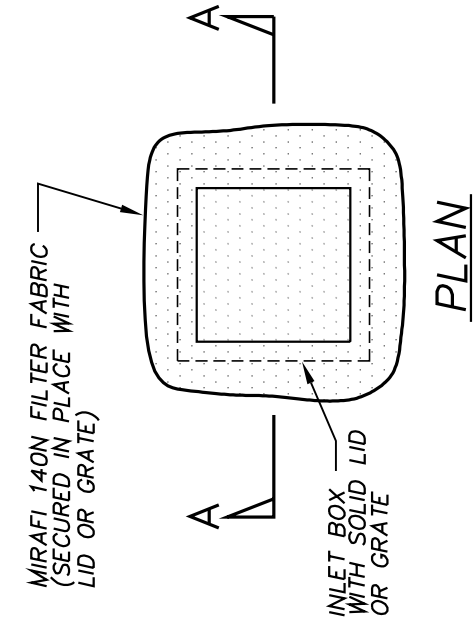
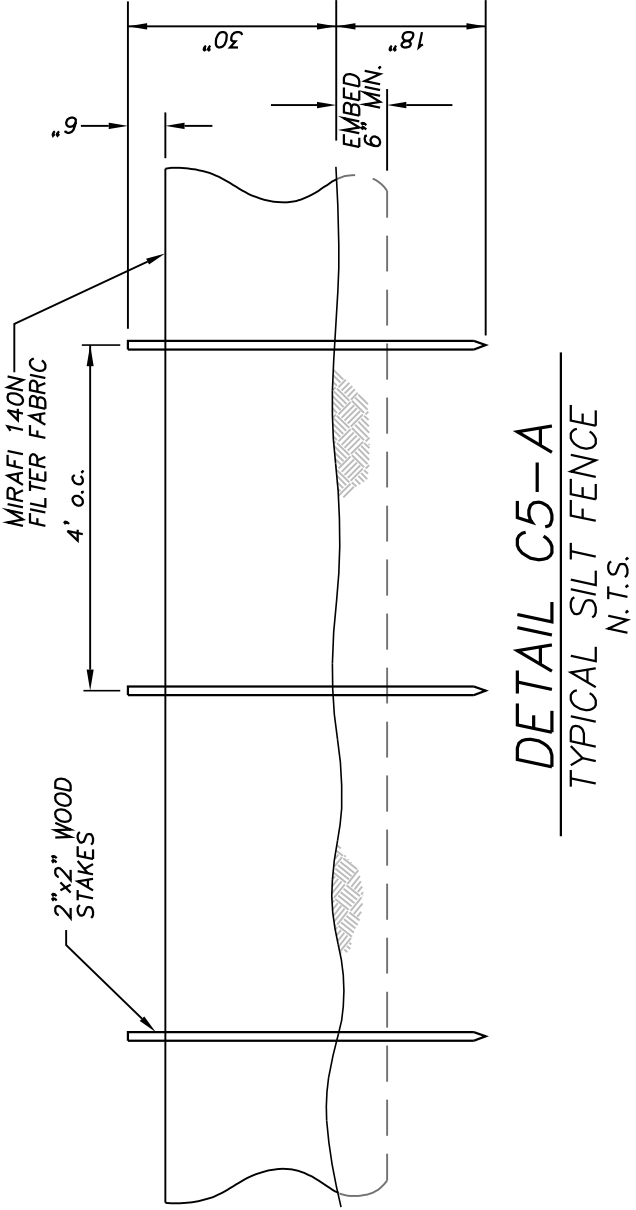
NOTE:  
REFER TO SHEET C1 FOR EROSION CONTROL NOTES, SEDIMENT CONTROL NOTES,  
CONSTRUCTION WASTE CONTROL MEASURES, AND SITE HOUSEKEEPING REQUIREMENTS.

STOCKPILE MANAGEMENT:  
STOCKPILE SHALL BE PLACED ON A FLAT PORTION OF THE SITE. THE STOCKPILE  
SHALL BE SURROUNDED WITH SLOTTED EROSION CONTROL MATS. WHEN ACTIVE WORK IS  
BEING PERFORMED, THE STOCKPILE SHALL BE SURROUNDED WITH SLOTTED EROSION  
CONTROL MATS. PLASTIC SHALL BE SECURED IN PLACE WITH ROPES AND SANDBAGS AS REQUIRED.

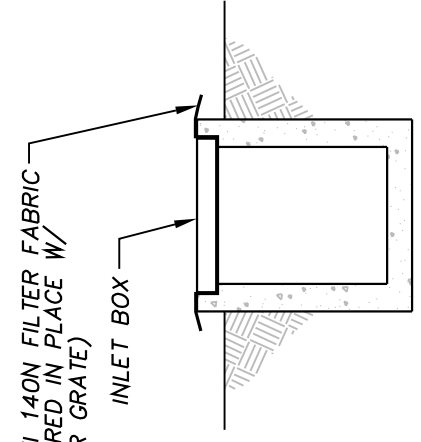
- REFERENCE NOTES
- 1 CONSTRUCT SILT FENCE PER DETAIL C5-A.
  - 2 INSTALL STORM DRAIN INLET SEDIMENT BARRIER PER DETAIL C5-B.
  - 3 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL C5-C.
  - 4 SOIL STOCKPILE AREA.
  - 5 EQUIPMENT STORAGE AND STAGING AREA.
  - 6 LIMITS OF GRADING/DISTURBANCE - AREA = ±4,300 S.F.



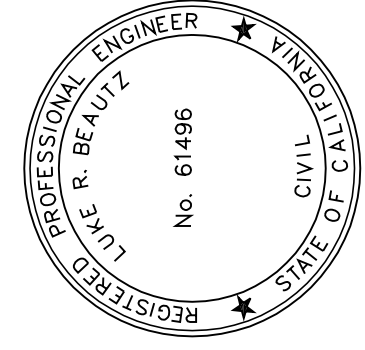
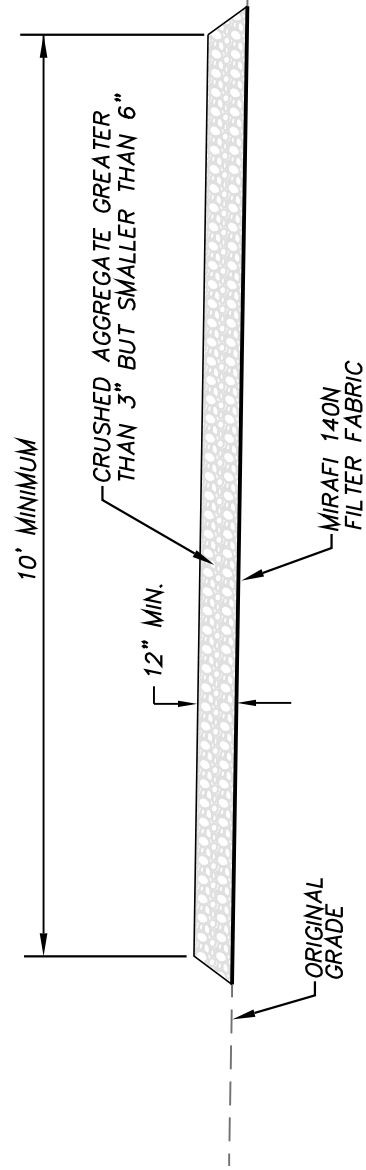
NOTE:  
FOR ADDITIONAL SILT FENCE DETAILS, REFER TO FIGURE SC-2 OF THE "COUNTY OF SANTA CRUZ  
CONSTRUCTION SITE STORMWATER POLLUTION CONTROL BMP MANUAL," AVAILABLE THROUGH THE  
SANTA CRUZ COUNTY PLANNING DEPARTMENT'S WEBSITE.



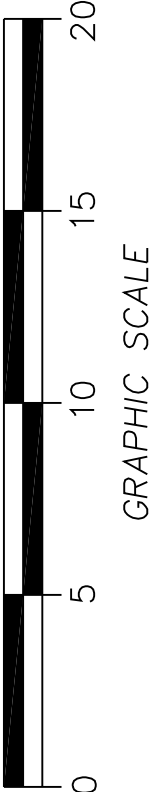
DETAIL C5-B  
STORM DRAIN INLET SEDIMENT BARRIER  
N.T.S.



DETAIL C5-C  
ROCKED CONSTRUCTION ENTRANCE  
N.T.S.



IMPROVEMENT PLAN  
SHOWING GRADING, DRAINAGE, & EROSION  
CONTROL FOR A NEW RESIDENCE ON  
LOT 9 BLOCK 1 12-M-1  
"SANTA MARIA DEL MAR"  
SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1" = 5'  
BY: LUKE R. BEAUTZ, C.E., L.S.  
FOR: JANE THORNTON, OWNER  
A.P.N. 028-221-12







424 Laurent St.  
Santa Cruz CA 95060  
PH: (831) 239-0603  
Email: sbc@sbcarch.com

STEPHANIE  
BARNES - CASTRO

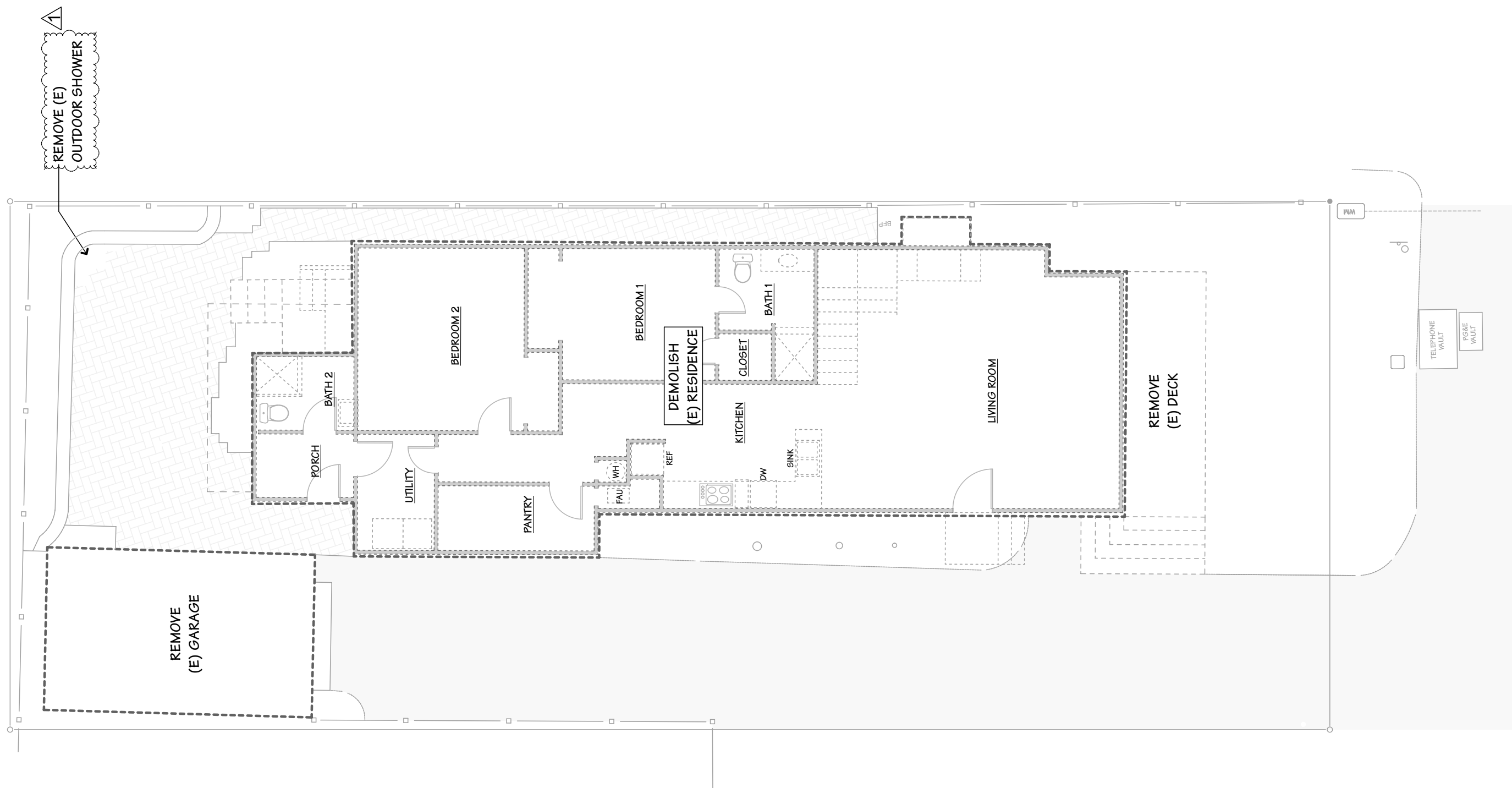
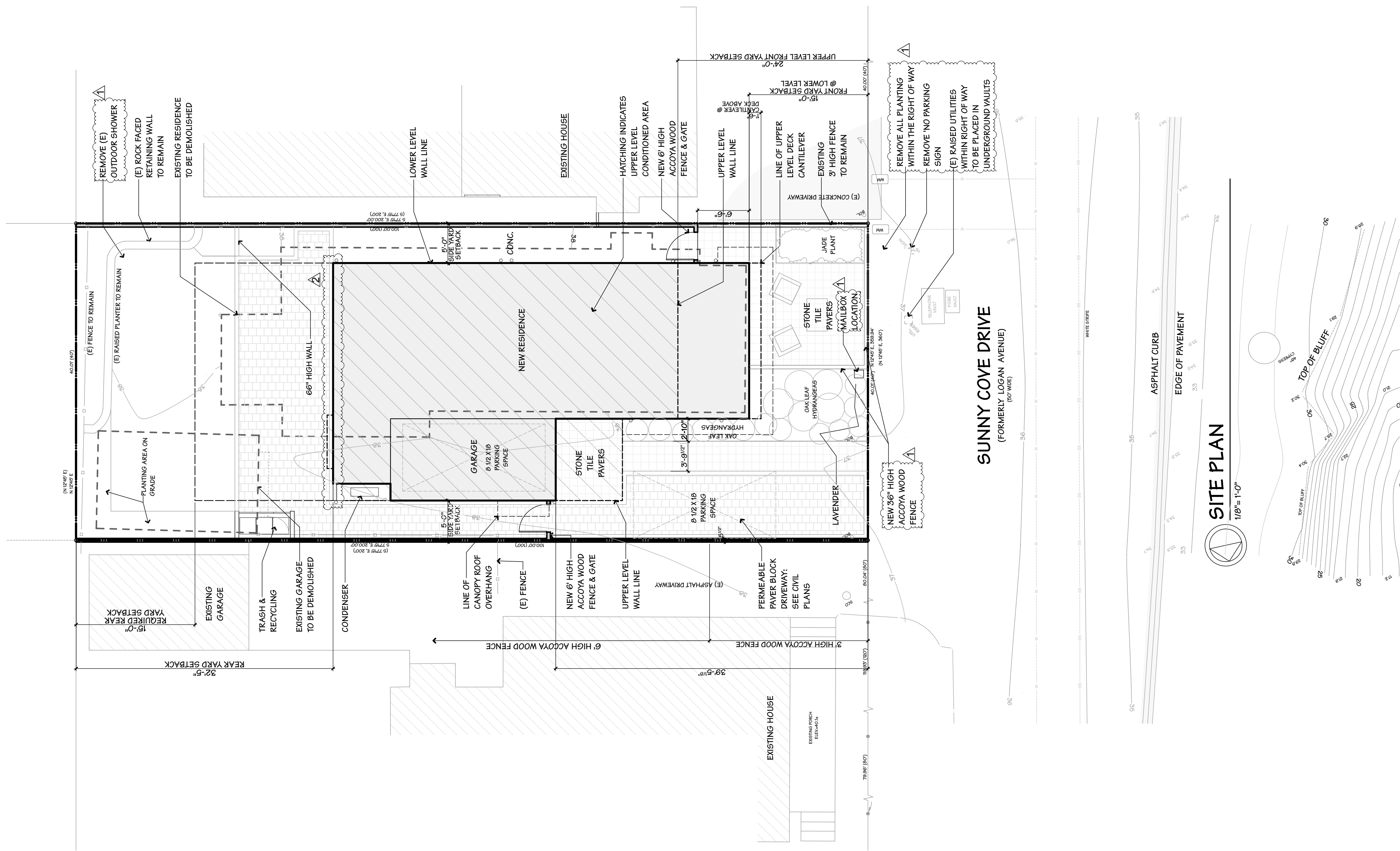
SITE PLAN  
& EXISTING  
LOOK PLAN

THORNTON RESIDENCE  
120 SUNNY COVE DRIVE  
SANTA CRUZ, CA 95062  
APN# 028-221-12

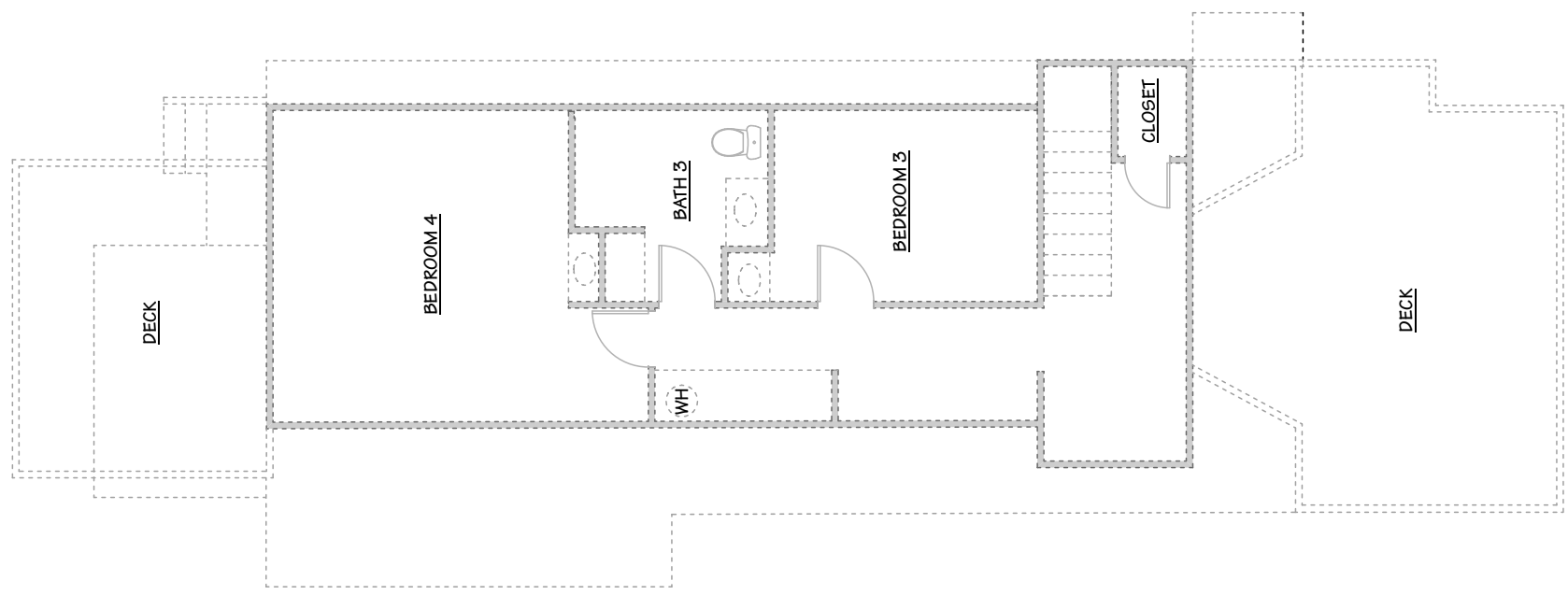
APN# 028-221-12

Δ	DATE	REVISION
9/18/24		
SUBMITTAL DATE		

SHEET  
**A1**  
OF  
SHEETS



(E) SITE PLAN/ (E) LOWER LEVEL FLOOR PLAN  
(RESIDENCE TO BE DEMOLISHED)  
1/8" = 1'-0"



**EXISTING UPPER LEVEL FLOOR PLAN**  
**(TO BE DEMOLISHED)**  
1/8"= 1'-0"





424 Laurent St.  
Santa Cruz CA 95060  
PH: (831) 239-0603  
Email: sbc@sbcarch.com

STEPHANIE  
BARNES - CASTRO

FLOOR PLAN  
& EXTERIOR  
ELEVATIONS

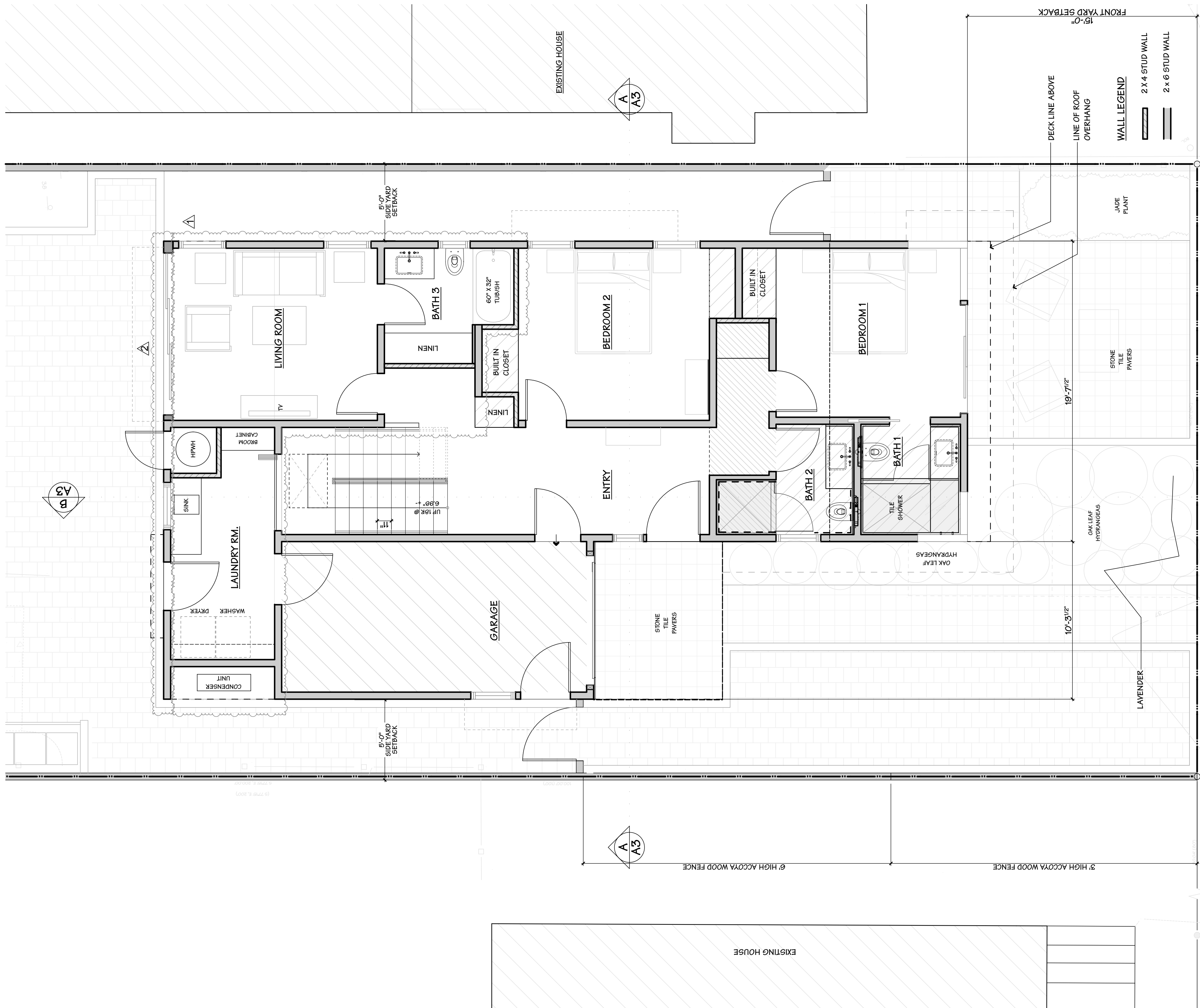
THORNTON RESIDENCE  
120 SUNNY COVE DRIVE  
SANTA CRUZ, CA 95062  
APN # 028-221-12

APN# 028-221-12

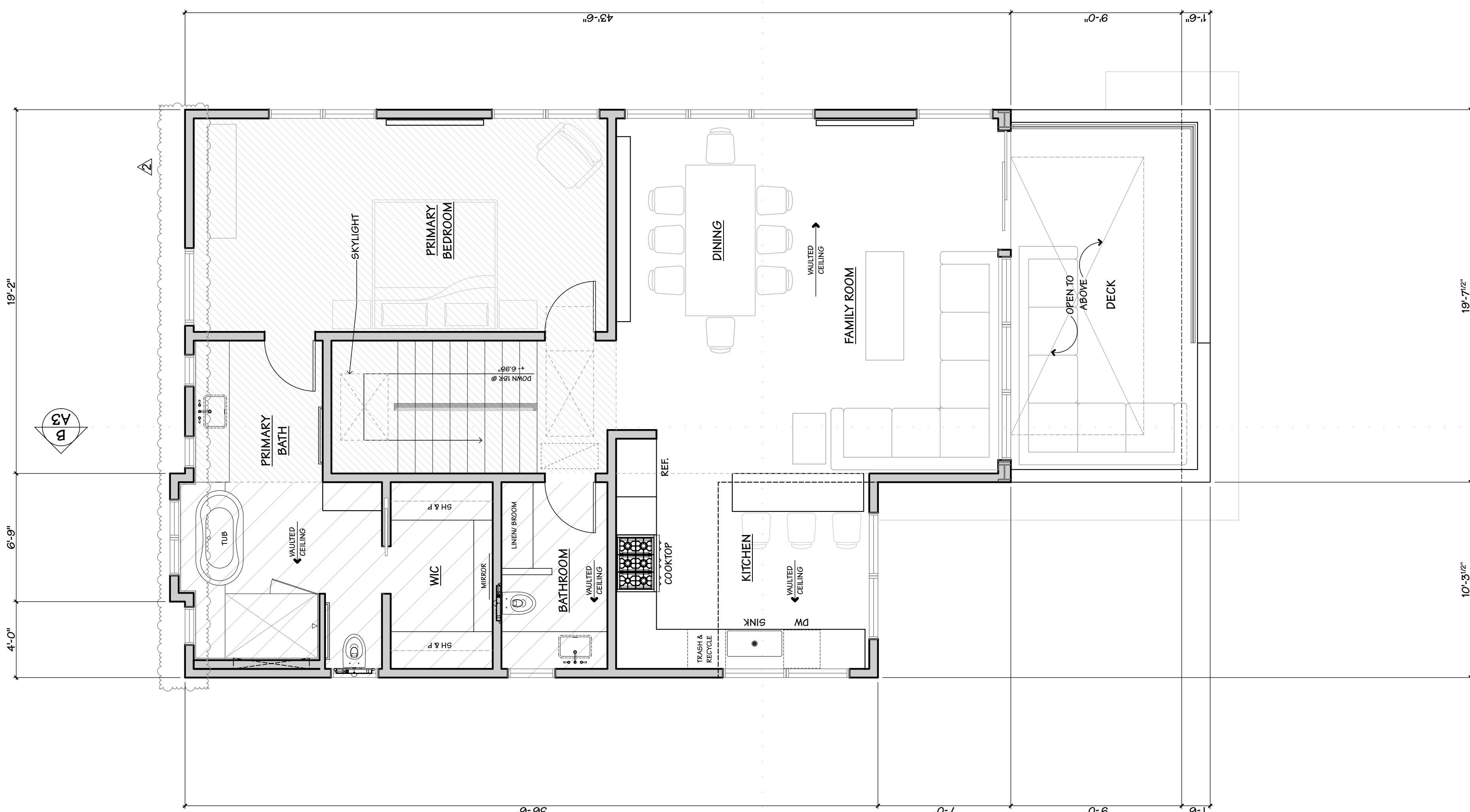
SUBMITTAL DATE	
9/18/24	
DATE	REVISION
1/25/24	PLAN CHECK

**A2**

Stephanie Barnes-Castro Architect



# FIRST FLOOR PLAN



## SECOND FLOOR PLAN

1,117.5 SQ. FT. CONDITIONED







424 Laurent St.  
Santa Cruz CA 95060  
Ph: (831) 239-0603  
Email: sbc@sbcarh.com

STEPHANIE  
BARNES - CASTRO

EXTERIOR  
ELEVATIONS

THORNTON RESIDENCE  
120 SUNNY COVE DRIVE  
SANTA CRUZ, CA 95062  
APN # 028-221-12

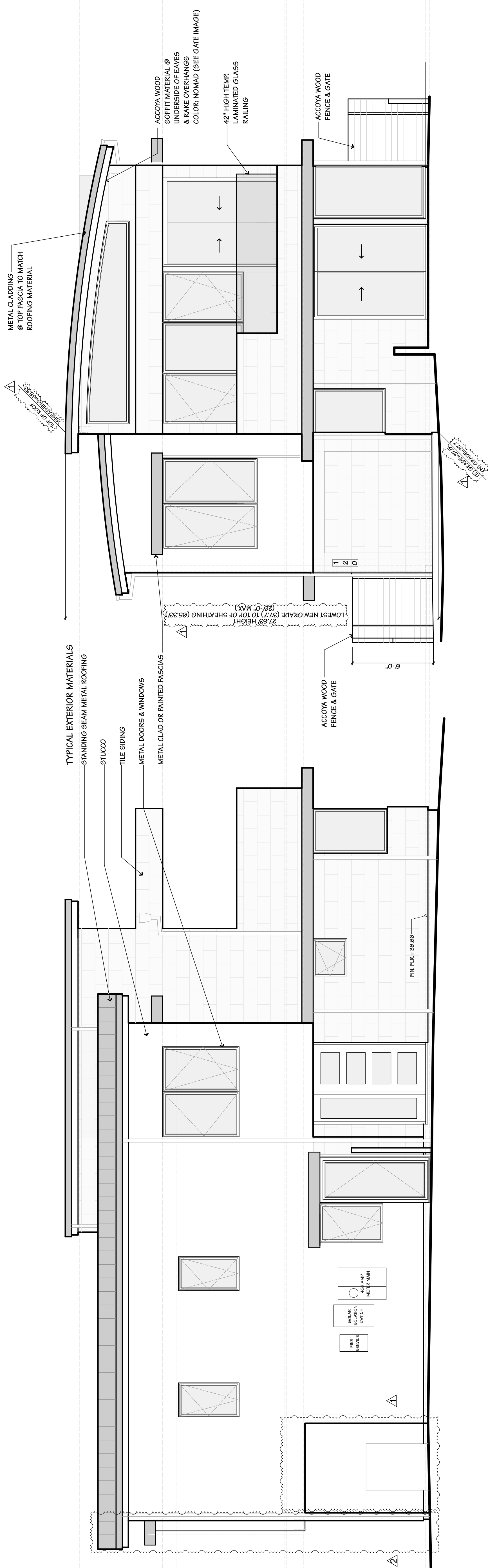
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Δ	DATE	REVISION
SUBMITTAL DATE		
9/18/24		

SHEET

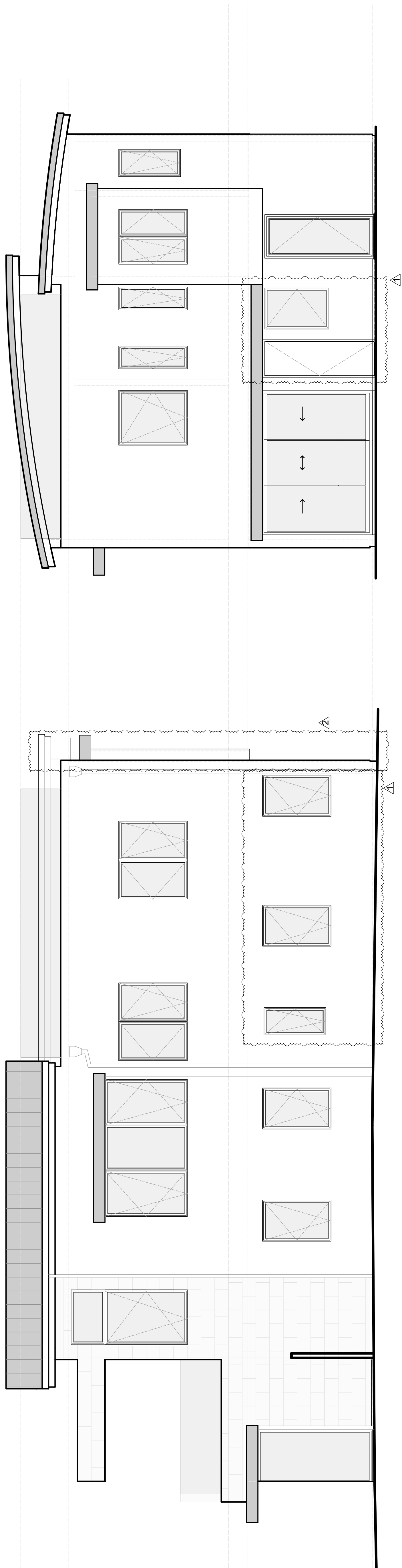
A4

Stephanie Barnes-Castro Architect



**NORTH ELEVATION (LEFT SIDE ELEVATION)**

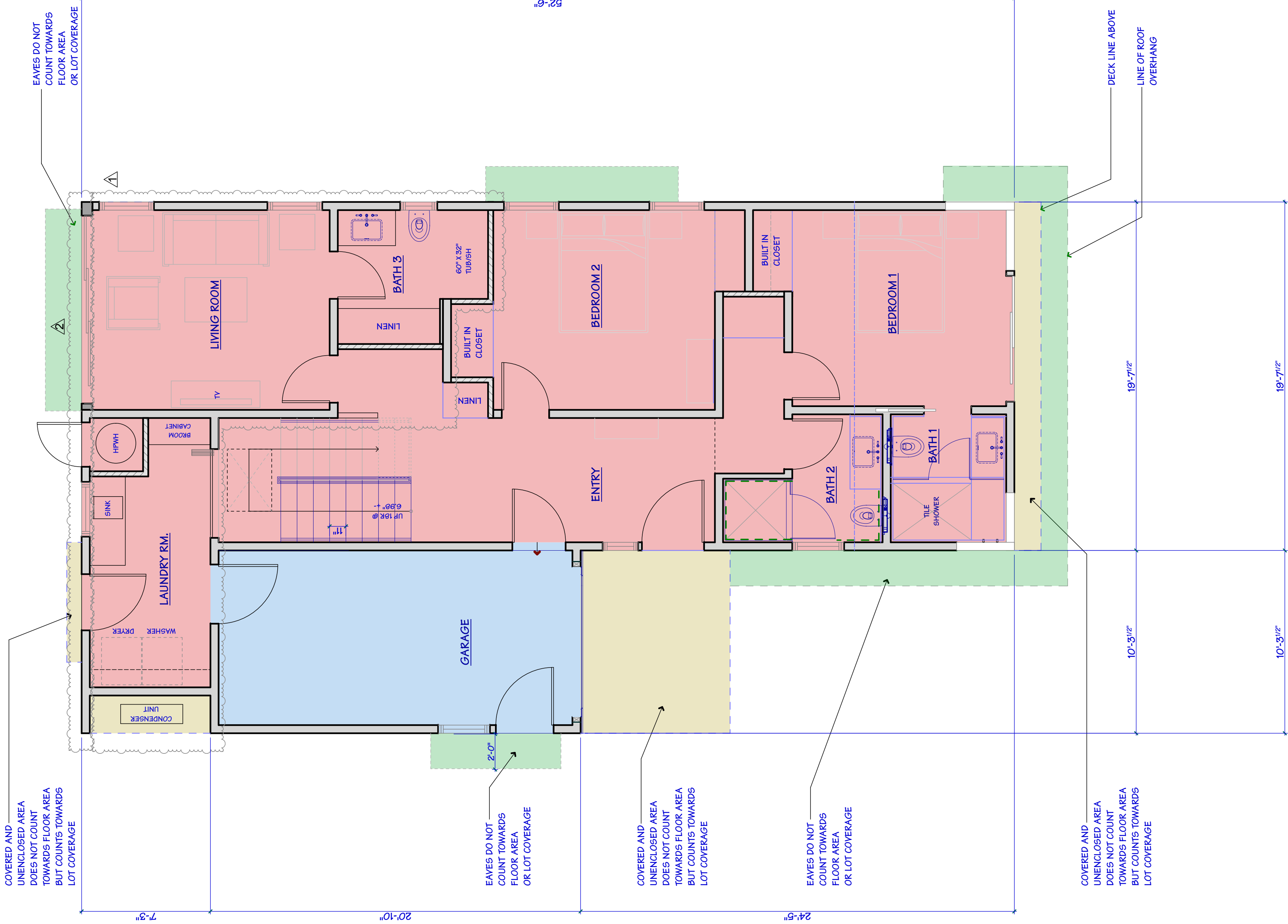
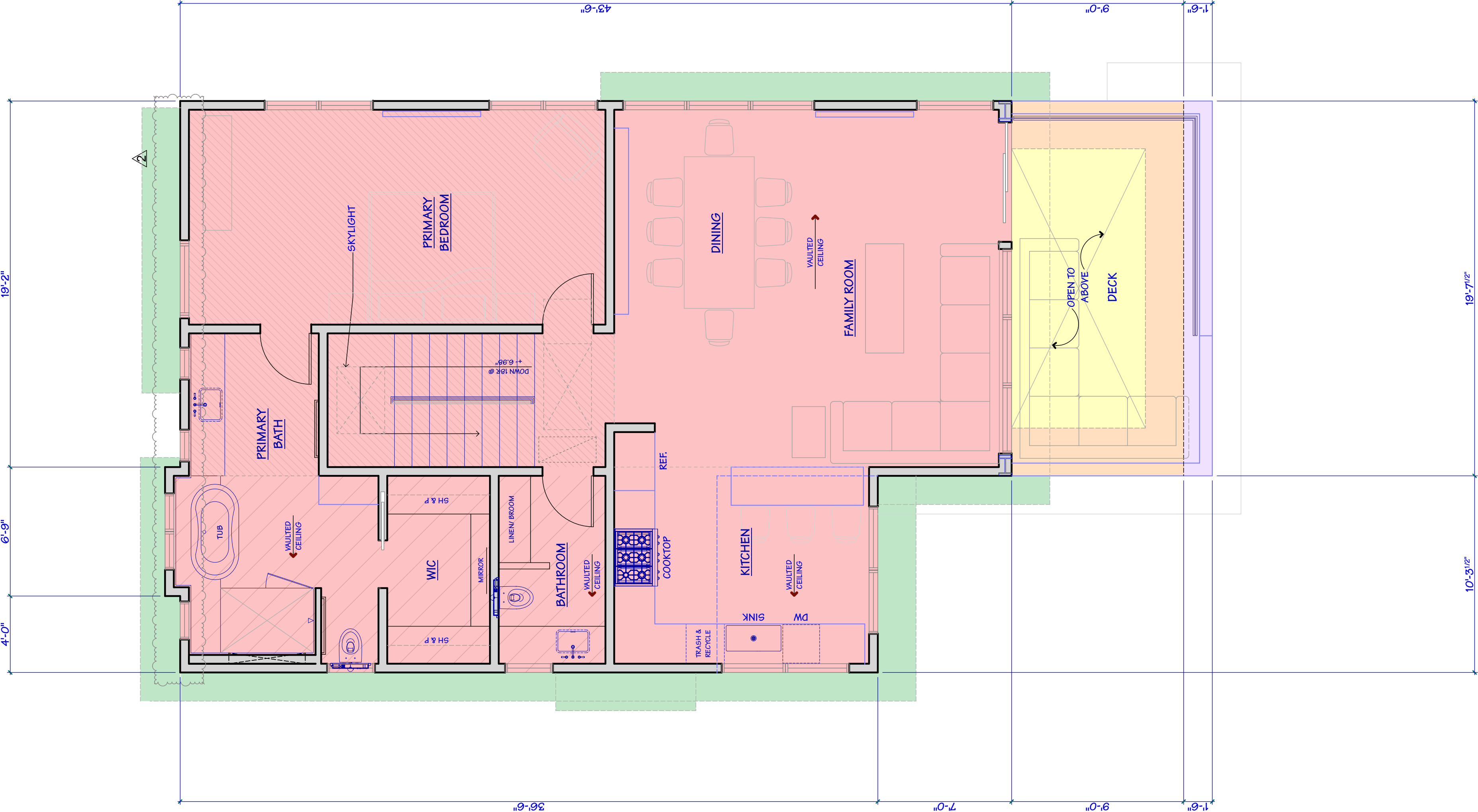
**1/4" = 1'-0"**



**WEST ELEVATION (FRONT ELEVATION)**

EAST ELEVATION (REAR ELEVATION)

**SOUTH ELEVATION (RIGHT SIDE ELEVATION)**



LEGEND

- CONDITIONED SPACE COUNTS TOWARDS FAR
- GARAGE (UP TO 225 SQ. FT. DOES NOT COUNT TOWARDS FAR BUT DOES COUNT TOWARDS LOT COVERAGE)
- EAVES DO NOT COUNT TOWARDS FAR OR LOT COVERAGE
- COVERED AND UNENCLOSED DECK AREA DOES NOT COUNT TOWARDS FAR BUT COUNTS TOWARDS LOT COVERAGE
- DECK, UNENCLOSED DOES NOT COUNT TOWARDS FAR BUT COUNTS TOWARDS LOT COVERAGE
- DECK, UNENCLOSED & COVERED DOES NOT COUNT TOWARDS FAR
- COVERED AND UNENCLOSED AREA DOES NOT COUNT TOWARDS FLOOR AREA BUT COUNTS TOWARDS LOT COVERAGE

MAXIMUM & PROPOSED LOT COVERAGE & FAR CALCULATIONS:

MAXIMUM ALLOWABLE LOT COVERAGE: LOT AREA X 45% = 4,001 SF X 45% = 1,800.46 SF

PROPOSED LOT COVERAGE: 1,441 SF = 36%

PROPOSED LOWER LEVEL FOOTPRINT (INCL. GARAGE): 1,441 SF = 36%

MAXIMUM ALLOWABLE F.A.R.: LOT AREA X 60% = 4,001 SF X 60% = 2,400.6 SF

PROPOSED F.A.R.: ( \*\* INDICATES COUNTING TOWARDS F.A.R.)

LOWER LEVEL: 1,080 + SF

UPPER LEVEL: 1,288 + SF

TOTAL CONDITIONED AREA: 2,368 + SF

UNCONDITIONED GARAGE: 225 SF

TOTAL F.A.R.: 2,395 SF = 57.8%

SECOND FLOOR SQUARE FOOTAGE PLAN

FIRST FLOOR SQUARE FOOTAGE PLAN





VIEW FACING SOUTHEAST



VIEW FACING NORTHEAST

METAL ROOFING:  
AEP SPAN STANDING SEAM METAL ROOFING  
COOL METALLIC SILVER CLOR  
<https://www.aepspan.com/product/design-span-hip-metal-roofing/>  
SAME COLOR AT GUTTERS AND DOWNSPOUTS &  
FLAT ROOF OVERHANG FASCIAS



ACCOYA WOOD FENCING  
& UNDERSIDE OF EAVES AND  
FLAT ROOF SOFFITS  
COLOR SADDLE



Accoya | Smooth | Saddle

**Seapearl**  
OC-19

STUCCO COLOR:  
BENJAMIN MOORE OC-19  
SEAPEARL  
<https://www.benjaminmoore.com/en-us/paint-colors/color/oc-19/seapearl>

Cool gray undertones freshen up this shade of white.

LRV ⓘ

76.43

Also Known As  
WET PINK-00 OC-141

METAL WINDOWS & DOORS:  
ANODIZED BLACK ACCO



WALL TILE:  
MATRIX 12 X 24 CLASSIC TAN  
MATTE FABRIC LOOK  
PORCELAIN TILE  
<https://www.manplesystems.com/product/matrix-classic-tan-matte-porcelain-tiles-12-24/>



@ WALKWAY TO FRONT DOOR AND FRONTYARD PATIO:  
MSI EARTH TUSCANY BEIGE MIXED SIZE EXTERIOR  
NATURAL PAVING STONES  
<https://www.msiurfaces.com/pavers/natural-stone/tuscany-beige/>  
\_glit="hsab8m" \_up="MQ\_dgclid=CjwKCAjwufq2BhAmEiwAnZqWb9hQ7GhCjlgmf7ChQHdKEL\_z-BDxKMG6-TITZghVOq2Cjwmp4EVP\_xoC7xiQAVD\_BwE



ACERSTONE PERMEABLE PAVERS  
4 X 12 RUNNING BOND PATTERN  
COLOR: HORY



## COLORS & MATERIALS









# Santa Cruz County Planning Department

## Parcel Location Map



**Parcel: 02822112**

 Subject Parcel

Map printed: 12 Jun. 2025



0 20 40  
Feet

**EXHIBIT E**

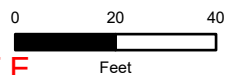


Santa Cruz County Planning Department

# Parcel General Plan Map



 Subject Parcel

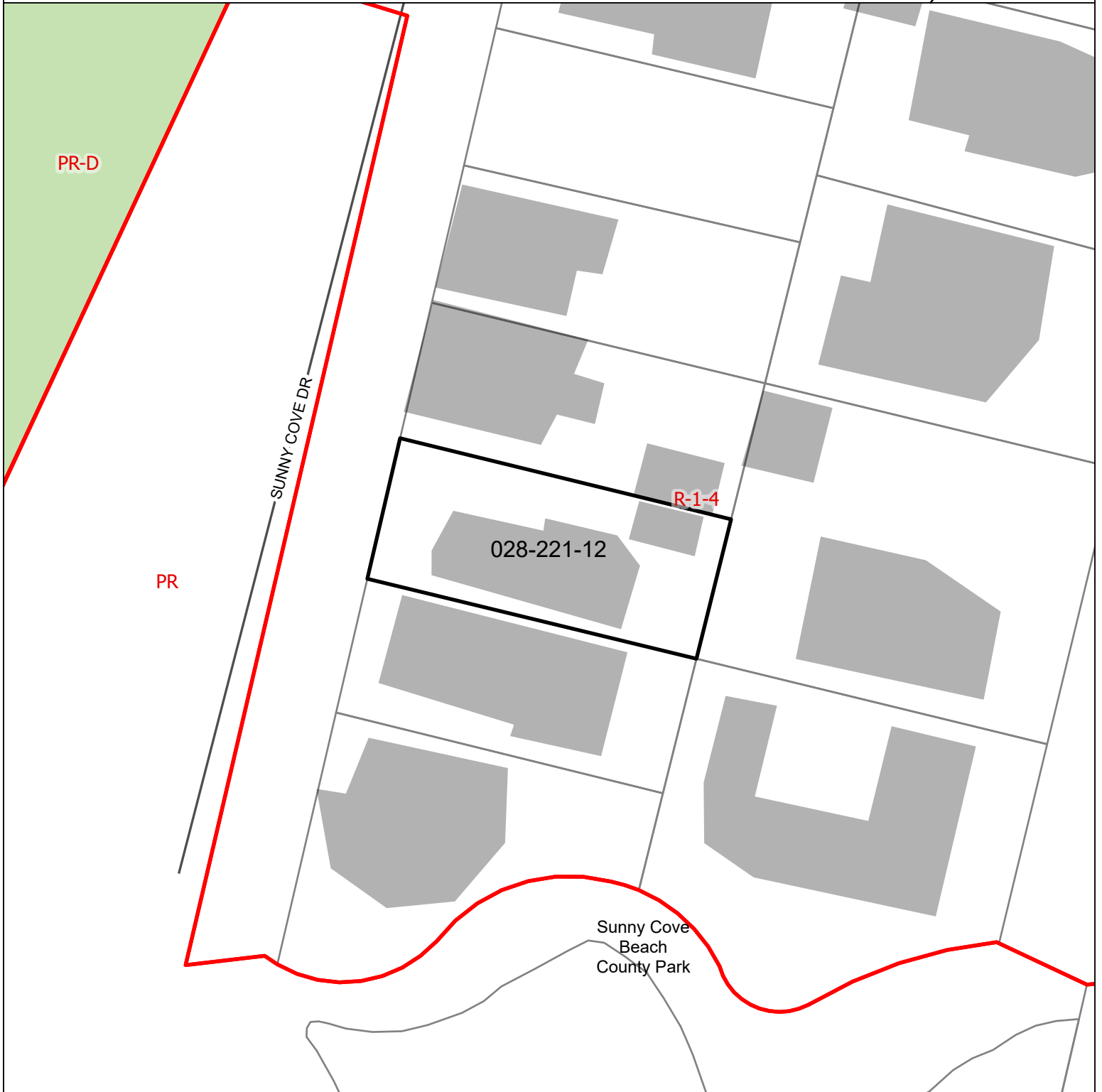


**EXHIBIT E**



# Santa Cruz County Planning Department

## Parcel Zoning Map



 Subject Parcel



**EXHIBIT E**

FOR TAX PURPOSES ONLY

THE ASSESSORS OFFICE MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

POR. OF N.E. 1/4 SEC. 20,  
T.11S., R.1W., M.D.B. & M.

Tax Area Code  
82-040

28-22

16

118M28  
12/1/2011

SANTA MARIA DEL MAR  
012M01 12/14/1991

059M34  
12/11/1973

016PM37  
9/18/1974

17



059M32  
11/19/1973

MONTEREY

OF

BAY

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 28-22  
County of Santa Cruz, Calif.  
Aug. 1998

Electronically Redrawn 8/27/98 (For to pg. 46) rw  
Rev. 8/27/98 (For to pg. 46) rw  
Rev. 8/9/12 mc (118RS28)  
Rev. 8/18/20 jg (129M38)

## Parcel Information

### Services Information

Urban/Rural Services Line:   X   Inside      Outside  
Water Supply: Santa Cruz Water Service Area  
Sewage Disposal: Santa Cruz Sanitation District  
Fire District: Central Fire Protection District  
Drainage District: Flood Control Zone 5

### Parcel Information

Parcel Size: 4,001 square-feet  
Existing Land Use - Parcel: Residential  
Existing Land Use - Surrounding: Residential  
Project Access: Sunny Cove Drive  
Planning Area: Live Oak  
Land Use Designation: R-UM (Urban Medium Density Residential)  
Zone District: R-1-4 (Single-Family Residential, 4,000 square-foot minimum)  
Coastal Zone:   X   Inside      Outside  
Appealable to Calif. Coastal Comm.:   X   Yes      No

Technical Reviews: REV241189

### Environmental Information

Geologic Hazards: No physical evidence on site  
Fire Hazard: Not a mapped constraint  
Slopes: 0-15%  
Env. Sen. Habitat: No physical evidence on site  
Grading: No grading proposed  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Archeology: Not a mapped resource



# County of Santa Cruz

## Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580      Public Works (831) 454-2160  
sccoplanning.com      dpw.co.santa-cruz.ca.us

6 January 2025

Stephanie Barnes-Castro, Architect <sbc@sbcarch.com>  
424 Laurent Street  
Santa Cruz, CA 95060

Subject:      Review of the Response to Review Letter dated 24 November 2024 and the  
                 Geologic Investigation dated 3 July 2024 by Bayside Geology, Inc.  
                 Job No. 24004-SC

Review of the Geotechnical Investigation dated 5 July 2024 by CMAG Engineering,  
Inc., Project No. 24-105-SC

Project Site:    120 Sunny Cove Drive  
                      APN 028-221-12  
                      Application Nos. REV241189 & 241365

Dear Applicant(s):

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports, and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports.
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please request both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by the last revision date.
4. A Geologic Hazards Declaration shall be recorded prior to issuance of building permit(s) for the proposed project. Please find the declaration form attached along with instructions for recording.

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports.

EXHIBIT G



Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website: [cdi.santacruzcountyca.gov](http://cdi.santacruzcountyca.gov), under "Assistance and Forms."

After building permit issuance the soils engineer and engineering geologist *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.

Please contact Rick Parks at (831) 454-3168/email: [Rick.Parks@santacruzcountyca.gov](mailto:Rick.Parks@santacruzcountyca.gov) or Craig Stewart at (831) 454-3175/email: [Craig.Stewart@santacruzcountyca.gov](mailto:Craig.Stewart@santacruzcountyca.gov) if we can be of any further assistance.

Sincerely,



Rick Parks GE 2603  
Civil Engineer  
County of Santa Cruz  
CDI - Planning Division

A handwritten signature in black ink, appearing to read "Craig Stewart".



Craig Stewart CEG 2779  
County Geologist  
County of Santa Cruz  
CDI - Planning Division

Cc: Environmental Planning, Attn: Jessica deGrassi  
Bayside Geology, Inc., Attn: James Olsen CEG  
CMAG Engineering, Inc., Attn: Adrian Garner GE  
Owners: Jane Thornton <[janemalloythornton50@gmail.com](mailto:janemalloythornton50@gmail.com)>

Attachments: Notice to Permit Holders  
Declaration of Geologic Hazards  
Steps for Recording

**NOTICE TO PERMIT HOLDERS WHEN SOILS AND GEOLOGY REPORTS HAVE BEEN  
PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer and engineering geologist to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils and geology reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer and/or geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer and/or geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.