



Staff Report to the Zoning Administrator

Application Number: **241376**

Applicant: Mike Tinsley
Owner: Vicki and Richard Nelson
APN: 043-152-51
Site Address: 526 Beach Drive, Aptos

Agenda Date: 8/15/25
Agenda Item #: 7
Time: After 9:00 a.m.

Project Description: Proposal to demolish five existing wooden retaining walls/planters on the coastal bluff, construct three replacement concrete retaining walls, repair the existing wooden deck and stairs at the rear of the dwelling, including replacement of the railing and expansion of the existing wind screen.

Location: Parcel is located on the north side of Beach Drive (526 Beach Drive, private road), approximately 4,055 feet southeast of the intersection of Aptos Beach Drive and Beach Drive in the Aptos Planning Area.

Permits Required: Coastal Development Permit and a Variance to reduce the side yard setback from 5 feet to approximately 2 feet for the wind screen

Supervisory District: 2nd District (District Supervisor: Kimberly De Serpa)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241376, based on the attached findings and conditions.

Project Description & Setting

The subject property is situated at the base of coastal bluffs, on the northern side of Beach Drive and visible from Rio Del Mar Beach. This section of Beach Drive is located behind a gate that is not accessible to the public, with the neighborhood made up of one-, two-, and three-story single-family homes located lots that have been developed on the beach and that are either located along the base of the coastal bluff, or across the street fronting onto the ocean, with. The property is located at the base of the bluff and is within the appeals jurisdiction of the Coastal Zone.

The subject parcel is currently developed with a non-conforming three-story, four-bedroom single-family dwelling with an attached garage and decks at the front and rear of the structure, that was originally built in 1966 with a major remodel in 2005. In 2024, there was an additional remodel, with a new elevator and deck at second floor at the front of the house, approved by Discretionary Permit 231333 and with issued Building Permit B-245413. The proposed project includes

demolition of five existing wooden retaining walls/planters on the coastal bluff behind the home, and construction of three concrete replacement retaining walls. Removal of the existing retaining walls will correct an existing encroachment across the western side property line onto State Park property, and the proposed retaining walls will meet all of the standards set out in SCCC 13.10.525. The project also includes repair of an existing nonconforming wooden deck and stairs at the rear of the dwelling, that extend into the required 5-foot side yard setback, as well as a small expansion of the existing wind screen that extends above the deck railing. No other changes to the single-family dwelling are proposed. A Coastal Development Permit is required for any development located on a beach, including improvements to an existing single-family dwelling, and a Variance is required for a reduced side yard setback from 5 feet to approximately 2 feet for the new wind screen.

Zoning & General Plan Consistency

The subject property is a 4,952 square foot lot, located in the RB (Single Family Ocean Beach Residential) zone district, a designation which allows residential uses. The proposed retaining walls, replacement in kind of the rear deck and stairs, and extension of the wind screen are permitted by right uses within the zone district. The zoning is consistent with the site's R-UL (Urban Residential - Low Density) General Plan designation. Pursuant to SCCC 13.10.323, the site and development standards relevant to the proposed wind screen, are approximately 2 feet from the western side property line, within the 5-foot side yard setback, because the existing dwelling and decking do not comply with the side yard setback.

SCCC 13.10.262 Nonconforming structures

Per County Code section 13.10.262 – “Nonconforming Structures”, structural alterations may be made to an existing nonconforming structure without additional permit requirements, where such modifications do not constitute reconstruction, which is defined by County Code 13.10.260(B)(6), as modifications that alter 65% or more of the major structural components. Decking is not considered a major structural component and therefore, no additional permits are required for alterations to the nonconforming structure.

SCCC 13.10.525 Regulations for fences and retaining walls within required yards

Within interior side yard and rear yard setbacks, walls and fences of up to 8 feet in height are allowed by right. The proposed retaining walls inside the side yards will not exceed 7 feet in height and therefore, comply with this standard.

SCCC 13.10.230 Variance approvals

The existing deck and windscreen are located within the northern side yard setback, approximately 2 feet from the property line. The proposed project includes an extension of the windscreen within the setback area. Because the project would result in an increase in the nonconforming dimensions of the deck, a Variance is required to reduce the side yard setback from 5 feet to 2 feet for the new screen.

Approval of a Variance for the extended wind screen is considered appropriate, in that the existing footprint of the deck creates a special circumstance because a windscreen that is not located above the existing railing would not be practical. Additionally, because the property borders an undeveloped portion of the bluff that is owned by State Parks, there are no other structures adjacent

to the deck that could potentially be affected by the extended wind screen. Furthermore, the majority of the surrounding dwellings are also nonconforming with current zoning standards, therefore the requested Variance does not constitute a special privilege. A complete list of variance findings is included with this report.

SCCC 16.10.040 Geologic Hazards

As proposed, the project does not meet the definition of “Development/Development Activities” set out in the Geologic Hazards Ordinance, SCCC 16.10.040. Therefore, the proposed project does not require additional considerations under the Geologic Hazards ordinance.

SCCC 16.13 Floodplain Management Regulations

The proposed improvements do not constitute substantial improvement of the existing dwelling pursuant to SCCC 16.13 and moreover, will be located on the coastal bluff above the flood hazard area; therefore, the project does not require additional considerations under the Floodplain Management Regulations.

Design Review

A design review is required for this project. The scope includes three proposed concrete retaining walls to replace existing wooden walls and planters, as well as the repair of the existing wooden deck and stairs at the rear of the dwelling. This repair involves replacing the railing and expanding the existing windscreen. These elements are located on a coastal bluff and beach and will be slightly visible from the public beach. The proposed and conditioned project will be compliant with the County Design Review Ordinance.

As a condition of permit approval, the retaining walls, repaired deck, and windscreen must be finished in natural colors that blend with the surrounding bluff face and natural landscape. This requirement ensures that the project harmonizes with the coastal environment.

Local Coastal Program Consistency

The three proposed concrete retaining walls to replace existing wooden walls/planters, repair of the existing wooden deck and stairs at the rear of the dwelling that include replacement of the railing and expansion of the existing wind screen, are in conformance with the County's certified Local Coastal Program. The proposed walls, repaired deck and extended wind screen will be located behind the existing nonconforming single-family dwelling and are accessory to the main residential use of the parcel. The proposed structures are therefore sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings, and many of which also include nonconforming decks, and that have retaining structures at the rear along the bluff. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range.

While the project site is located between the shoreline and the first public road, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water in that the site is located on the inland side of Beach Drive behind a private gate. Public beach access is available from the public parking area located immediately outside the gated community and

across Beach Drive from the project site. Furthermore, the site is not identified as a priority acquisition site in the County's Local Coastal Program.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241376**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Alexandra Corvello
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3209
E-mail: alexandra.corvello@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letter

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241376
Assessor Parcel Number: 043-152-51
Project Location: 526 Beach Drive, Aptos

Project Description: Demolition of five existing wooden retaining walls/planters on the coastal bluff, construction of three concrete replacement retaining walls and minor alterations to an existing nonconforming deck

Person or Agency Proposing Project: Mike Tinsley

Contact Phone Number: 408-705-6763

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (15301)

F. Reasons why the project is exempt:

Construction of replacement retaining walls and minor repairs to a deck associated with an existing nonconforming dwelling located in a residential zone district.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned RB (Single Family Ocean Beach Residential), a designation which allows residential uses. The construction of three concrete retaining walls to replace five existing wood walls/planters, repair of the existing wooden deck and stairs at the rear of the dwelling, replacement of the deck railing and expansion of the existing wind screen are principal permitted uses within the zone district, and the zoning is consistent with the site's R-UL (Urban Residential - Low Density) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the proposed development is minor in nature and will be consistent with the surrounding neighborhood in terms of architectural style. The site is surrounded by lots developed to an urban density. As a condition of approval of this permit, the colors of the retaining walls, repaired deck and wind screen will be required to natural in tone to blend with the surrounding bluff face and natural landscape.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the proposed improvements are sited behind the existing dwelling where they will not be significantly visible and so will be visually compatible and integrated with the character of the surrounding neighborhood. Residential accessory uses and structures, such as decks and retaining walls, are allowed in the RB zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings, many of which also include nonconforming decks, and that have retaining structures at the rear along the bluff. Architectural styles vary in the area, and the design submitted for the walls deck and wind screen is consistent with similar structures associated with other dwellings along Beach Drive.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structures are sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses that include decks and retaining walls are allowed in the RB (Single Family Ocean Beach Residential) zone district, as well as the General Plan and Local Coastal Program land use

designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted for the walls and deck with a wind screen will not substantially alter the appearance of the existing dwelling, which is consistent with the pattern of development within the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

Although the project site is located between the shoreline and the first public road, the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act and will not impact public access or recreation. Public beach access is available from the public parking area located immediately outside the gated community and across Beach Drive from the project site. As such, the proposed project does not interfere with or change any existing public beach access. Furthermore, the site is not identified as a priority acquisition site in the County's Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the improvements and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the RB (Single Family Ocean Beach Residential) zone district. The primary use of the property will continue to be one nonconforming single-family dwelling with an extended wind screen permitted pursuant to a Variance. The proposed retaining walls will meet all current site standards for the zone district and SCCC 13.10.525.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the ongoing residential use is in substantial conformance with the use and density requirements specified for the R-UL (Urban Residential - Low Density) land use designation in the County General Plan. In addition, the proposed project complies with the Local Coastal Program (see findings above).

A specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed improvements will not increase the density of on an already developed lot. As such, the expected level of traffic generated by the proposed project is not anticipated to increase and therefore the project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed improvements are consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed improvements are designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The surrounding area features a wide variety of single-family homes, many of which also feature decks and that have retaining walls along the base of the coastal bluff.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed improvements are in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses. Additionally, as a condition of approval of this permit, the colors of the retaining walls, repaired deck and wind screen are required to natural in tone to blend with the surrounding bluff face and natural landscape.

Variance Findings

(1) That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

The proposed project is located in a mixed area of older and newer homes that include a wide variety of architectural styles, many of which are also nonconforming to setbacks. The nonconforming footprint of the existing deck, which extends to within two feet of the property line where a five-foot setback is required, creates a special circumstance, in that a windscreen that is not located above the existing railing would not be practical. An additional special circumstance that is relevant is that because the property borders an undeveloped portion of the bluff that is owned by State Parks, there are no other structures adjacent to the deck that could potentially be affected by the extended wind screen. Therefore, this finding can be made.

(2) That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made in that the intent and purpose of the residential zone district is to provide for residential uses. The proposed windscreen that will be constructed atop an existing nonconforming deck rail, will not impact public health, safety or welfare, or injurious to property or improvements. The extended wind screen will also be consistent with similar structures located on other decks within the neighborhood. Therefore, the proposed minor change is in harmony with the general intent and purpose of the zoning objectives.

(3) That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

Many of the properties in the surrounding neighborhood are nonconforming with respect to setbacks, several of which are located closer to the property line than the dwelling and decks on the subject property. As such, the minor extension of the existing wind screen will be consistent with other similar wind screens located on other existing nonconforming dwellings in the area. As such, the project does not constitute a grant of special privileges that would be inconsistent with the limitations imposed on other properties in the vicinity and zoning district and this finding can be made.

Conditions of Approval

Exhibit D: Project plans, prepared by Studio 528 Art and Architecture, dated 1.10.2025.

This permit authorizes the demolition of five existing wooden retaining walls/planters on the coastal bluff, construction of three replacement concrete retaining walls, repair of the existing wooden deck and stairs at the rear of the dwelling, including replacement of the railing and expansion of the existing wind screen as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:

- A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 - 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
- A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 - 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 - 2. Colors of the retaining walls, repaired deck and wind screen shall be to natural in tone to blend with the surrounding bluff face and natural landscape. One elevation shall indicate materials and colors and, since specific materials and colors have not been approved, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 - 3. Grading, drainage, and erosion control plans.
 - 4. Details showing compliance with fire department requirements.

- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 - 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 - 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
 - C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
 - D. Submit copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - E. Provide a copy of an Entry Permit from State Parks to conduct work on state property.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Public Beach Access to Rio Del Mar Beach from the public parking area on Beach Drive shall remain unimpeded during construction.
 - E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

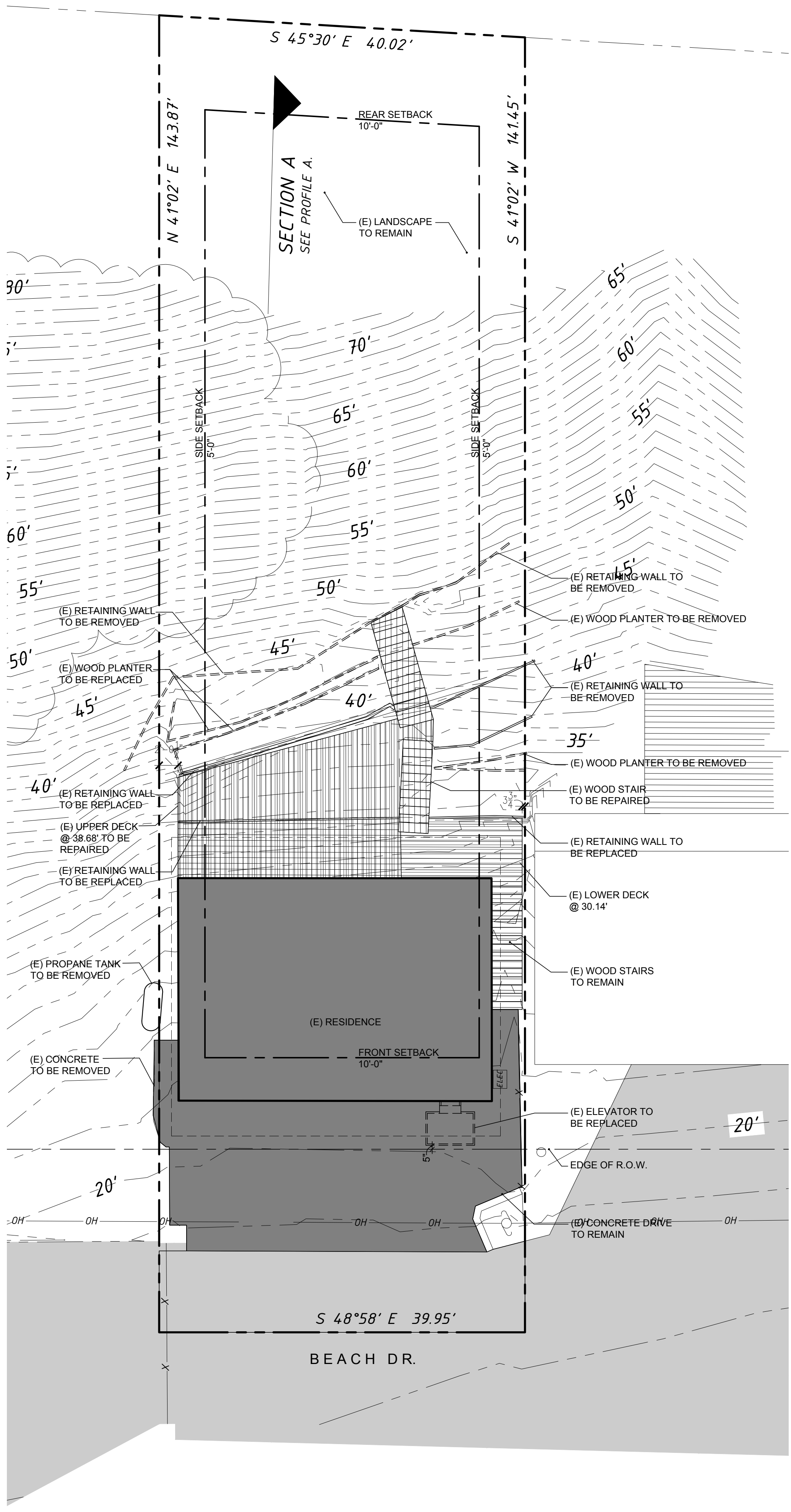
Approval Date: _____

Effective Date: _____

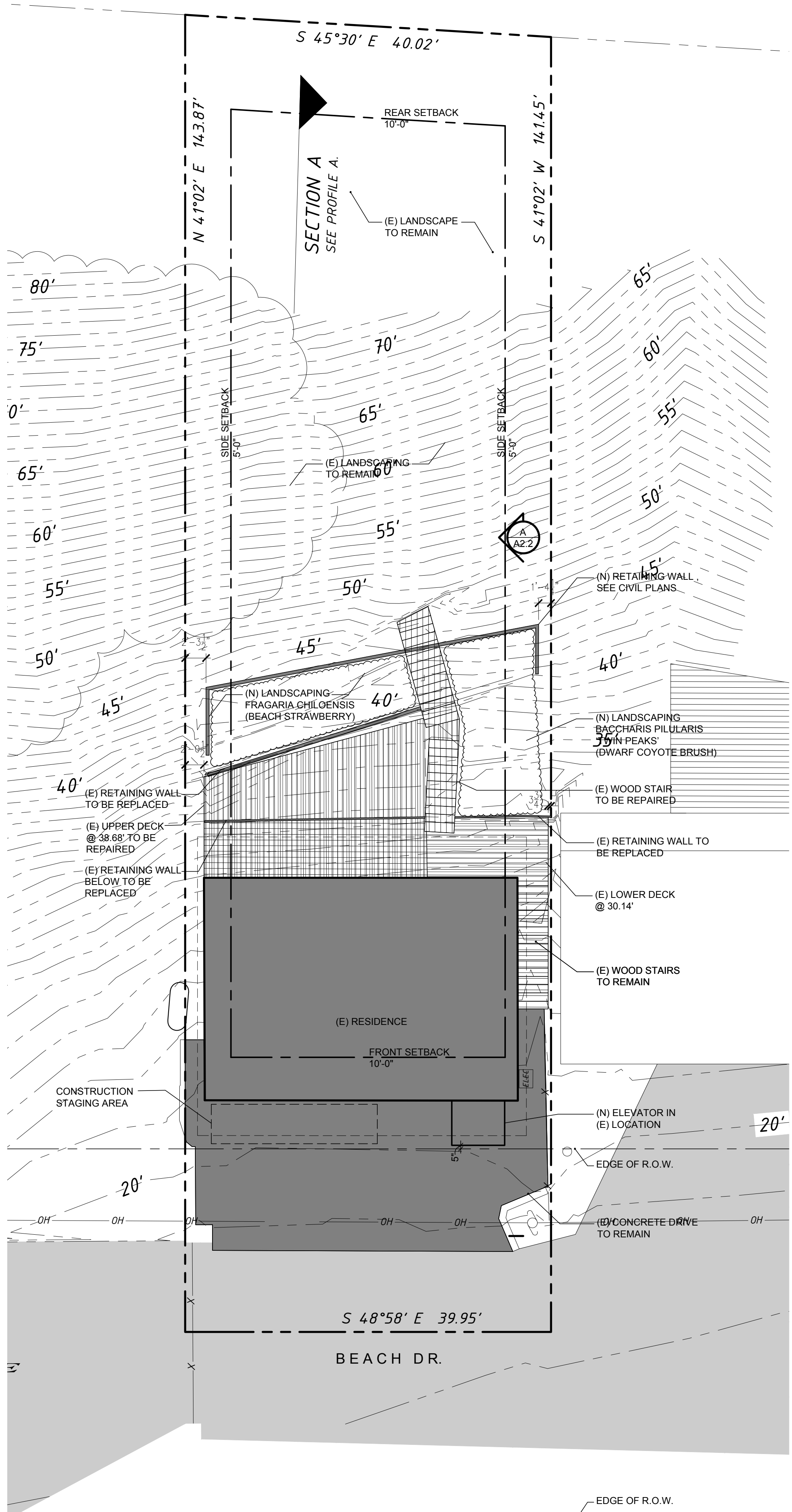
Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



EXISTING SITE PLAN



PROPOSED SITE PLAN

PROJECT INFORMATION

OWNER: RICHARD NELSON
ADDRESS: 526 BEACH DR. APTOS, CA. 95003 04315251
ZONING: RB
LOT AREA: 4,952 sq.ft. (0.11 acres)
PROJECT: REPLACE EXISTING WOOD RETAINING WALLS, AND WOOD DECK.
VARIANCE REQUEST: INCREASE EXISTING WINDSCREEN IN WESTERN SIDEYARD SETBACK. NO NEIGHBOR OR VIEWS WILL BE AFFECTED

SHEET INDEX

- A1.0 SITE PLAN
- SU-1 SURVEY
- A2.0 EXISTING FLOOR PLANS
- A2.1 EXISTING FLOOR PLANS
- A2.2 PROPOSED FLOOR PLANS
- A2.3 PROPOSED FLOOR PLANS
- A3.0 EXISTING EXTERIOR ELEVATIONS
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 PHOTO SIMULATION
- C1 GRADING & DRAINAGE PLAN
- C2 DETAILS
- C3 STORMWATER POLLUTION CONTROL PLAN

FLOOR AREA

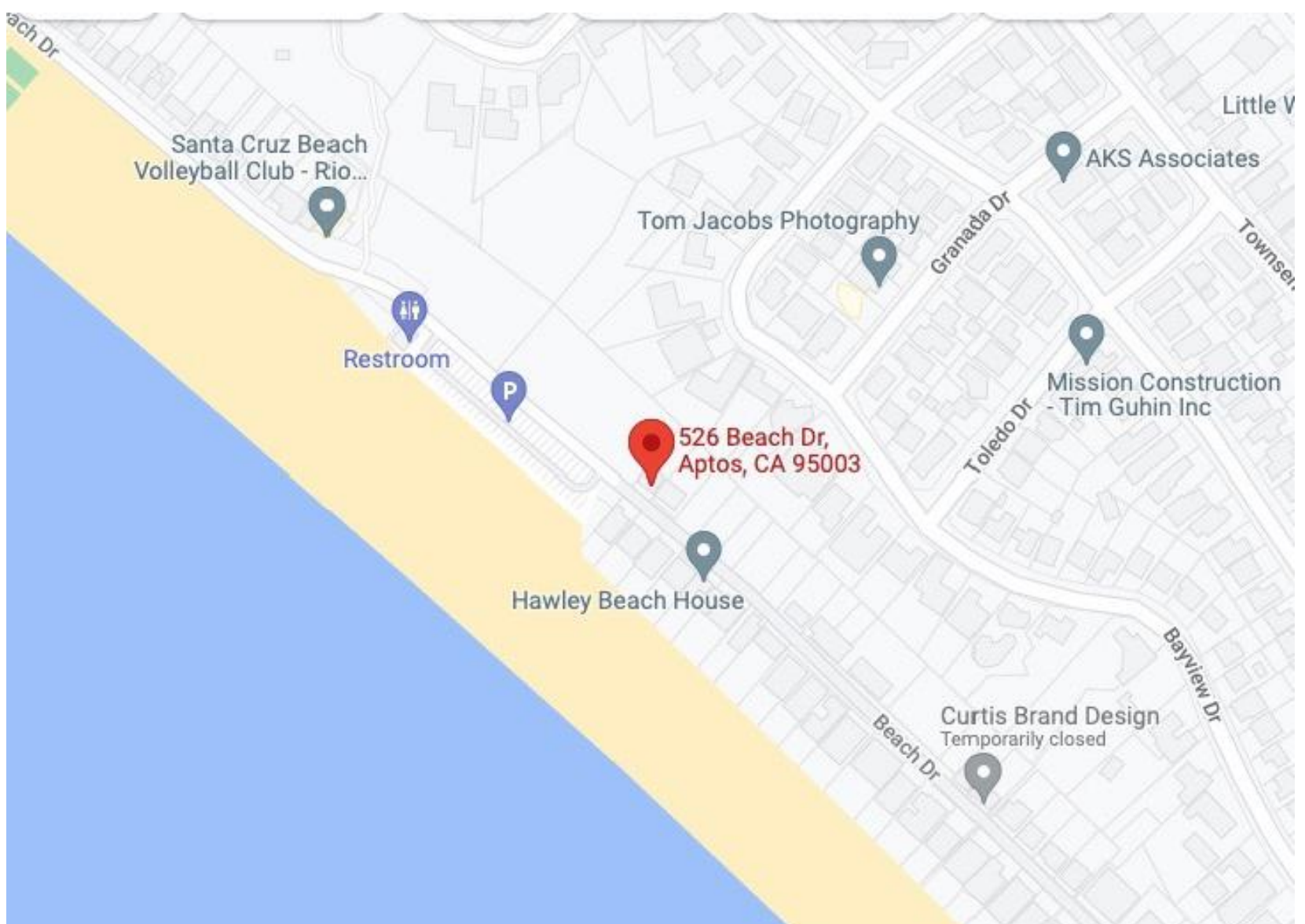
EXISTING:	N/A	PROPOSED:	N/A
BASEMENT:	N/A	BASEMENT:	N/A
UNDERFLOOR:	N/A	UNDERFLOOR:	N/A
HIGH CEILINGS:	N/A	HIGH CEILINGS:	N/A
MEZZANINE:	N/A	MEZZANINE:	N/A
INTERIOR STAIRS:	39 sq.ft.	INTERIOR STAIRS:	39 sq.ft.
DECK/PORCH ENCLOSED:	N/A	DECK/PORCH ENCLOSED:	N/A
DECK CANT. UNCOVERED:	D.N.C.	DECK CANT. UNCOVERED:	D.N.C.
DECK SUPP. UNCOVERED:	D.N.C.	DECK SUPP. UNCOVERED:	D.N.C.
COVERED DECK/PORCH:	N/A	COVERED DECK/PORCH:	N/A
UNDER PROJECTIONS:	120 sq.ft.	UNDER PROJECTIONS:	120 sq.ft.
DECK ROOFTOP:	N/A	DECK ROOFTOP:	N/A
EXTERIOR STAIR:	D.N.C.	EXTERIOR STAIR:	D.N.C.
TRELLIS:	N/A	TRELLIS:	N/A
GARAGE:	271 sq.ft.	GARAGE:	271 sq.ft.
ACCESSORY:	N/A	ACCESSORY:	N/A
BAY WINDOW:	0 sq.ft.	BAY WINDOW:	0 sq.ft.
CHIMNEY:	N/A	CHIMNEY:	N/A
AWNING:	N/A	AWNING:	N/A
ELEVATOR SHAFT:	D.N.C.	ELEVATOR SHAFT:	D.N.C.
GROUND FLOOR:	219 sq.ft.	GROUND FLOOR:	219 sq.ft.
FLOOR 1:	796 sq.ft.	FLOOR 1:	796 sq.ft.
FLOOR 2:	796 sq.ft.	FLOOR 2:	796 sq.ft.
TOTAL:	2241 sq.ft.(45.3%)	TOTAL:	2241 sq.ft.(45.3%)

CONSULTANT LIST

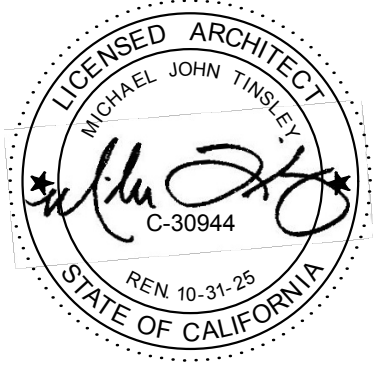
- ARCHITECT: STUDIO 528 ART & ARCHITECTURE, INC.
MICHAEL TINSLEY, ARCHITECT
4159 PEARSON COURT
CAPITOLA, CA. 95010
PH: (408) 705-6763
- SURVEYOR: HANAGAN LAND SURVEYING
PAUL HANAGAN
305-C SOQUEL AVE.
SANTA CRUZ, CA. 95062
PH: (831) 469-3428
- CIVIL ENGINEER: RI ENGINEERING
RICHARD IRISH, P.E.
303 POTRERO 42-202
SANTA CRUZ, CA. 95060
PH: (831) 425-3901
- STRUCTURAL ENGINEER: RI ENGINEERING
RICHARD IRISH, P.E.
303 POTRERO 42-202
SANTA CRUZ, CA. 95060
PH: (831) 425-3901
- GEOTECHNICAL ENGINEER: C2EARTH, inc.
CHRISTOPHER HUNDEMER, P.E.
523 CAPITOLA AVE. ste B
CAPITOLA, CA. 95010
PH: (831) 425-5436
- GEOLOGIST: C2EARTH, inc.
CHRISTOPHER HUNDEMER, P.E.
523 CAPITOLA AVE. ste B
CAPITOLA, CA. 95010
PH: (831) 425-5436

LOT COVERAGE

EXISTING:	N/A	PROPOSED:	N/A
BASEMENT:	N/A	BASEMENT:	N/A
UNDERFLOOR:	N/A	UNDERFLOOR:	N/A
HIGH CEILINGS:	N/A	HIGH CEILINGS:	N/A
MEZZANINE:	N/A	MEZZANINE:	N/A
INTERIOR STAIRS:	-	INTERIOR STAIRS:	-
DECK/PORCH ENCLOSED:	N/A	DECK/PORCH ENCLOSED:	N/A
DECK CANT. UNCOVERED:	D.N.C.	DECK CANT. UNCOVERED:	D.N.C.
DECK SUPP. UNCOVERED:	247 sq.ft.	DECK SUPP. UNCOVERED:	247 sq.ft.
COVERED DECK/PORCH:	N/A	COVERED DECK/PORCH:	N/A
UNDER PROJECTIONS:	0 sq.ft.	UNDER PROJECTIONS:	0 sq.ft.
DECK ROOFTOP:	N/A	DECK ROOFTOP:	N/A
EXTERIOR STAIR:	124 sq.ft.	EXTERIOR STAIR:	124 sq.ft.
TRELLIS:	N/A	TRELLIS:	N/A
GARAGE:	N/A	GARAGE:	N/A
ACCESSORY:	N/A	ACCESSORY:	N/A
BAY WINDOW:	N/A	BAY WINDOW:	N/A
CHIMNEY:	N/A	CHIMNEY:	N/A
AWNING:	N/A	AWNING:	N/A
ELEVATOR SHAFT:	28 sq.ft.	ELEVATOR SHAFT:	28 sq.ft.
GROUND FLOOR:	715 sq.ft.	GROUND FLOOR:	715 sq.ft.
TOTAL:	1114 sq.ft. (22.5%)	TOTAL:	1114 sq.ft. (22.5%)



VICINITY MAP



DESIGN DEVELOPMENT SET

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

PROPOSED REMODEL:
THE NELSON RESIDENCE
526 BEACH DR.
APTOS, CA. 95003
A.P.N. 04315251

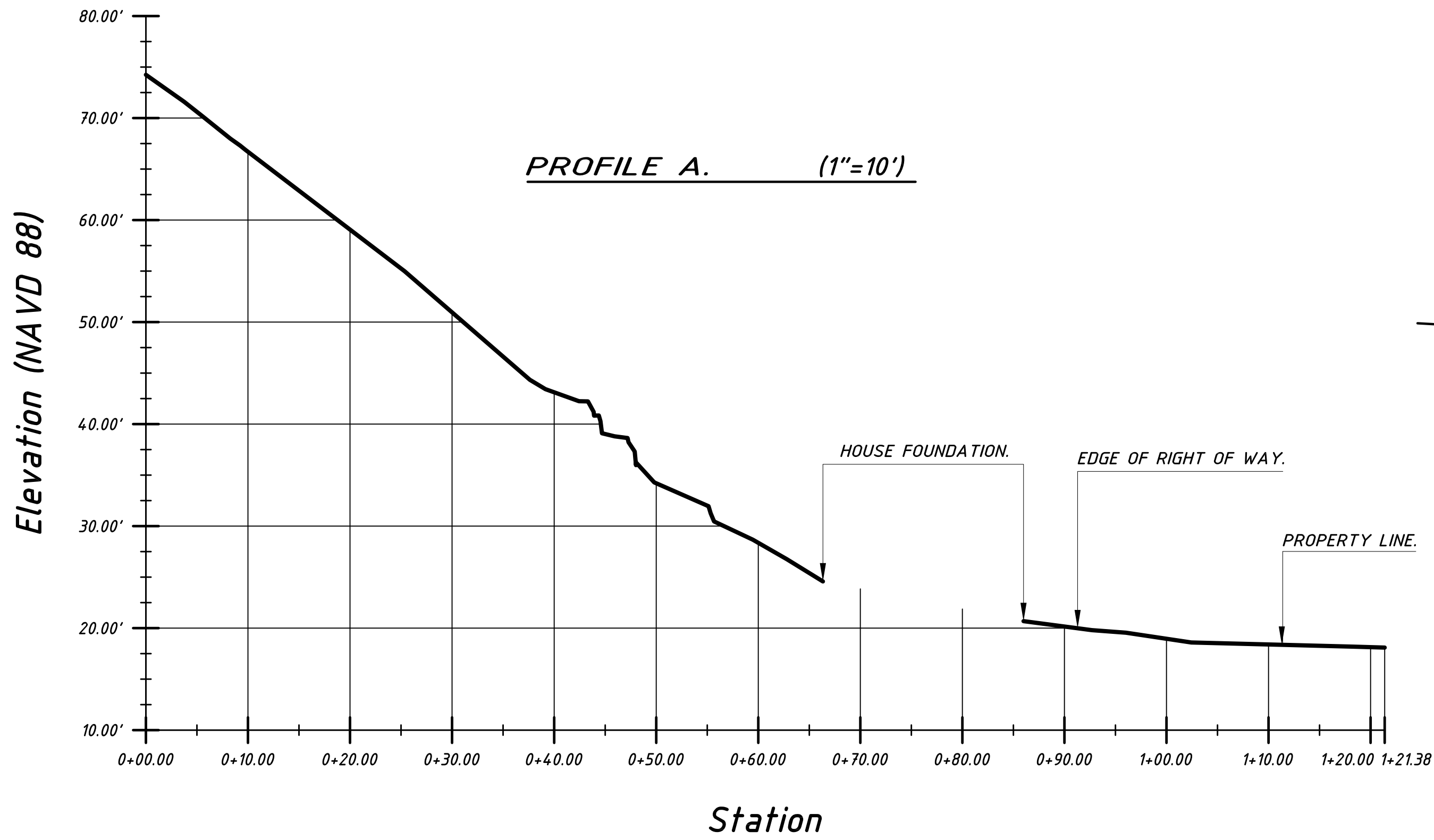
SHEET TITLE:
SITE PLAN

ISSUE DATE: 9/30/2024
SCALE: AS NOTED

A1.0

Disclaimer: This plan and associated drawings were prepared by the property of Hanagan & Nelson, Inc. It is an instrument of service and is not a contract. The property owner is responsible for the accuracy of the information provided. The property owner is responsible for the accuracy of the information provided. The property owner is responsible for the accuracy of the information provided.

S:\PROJECTS\2021\21124 526 Beach Drive, Aptos\DWG\526 Beach Drive, Aptos.dwg, Plotted By: paul, Plotted: Nov 03, 2021 - 2:37pm

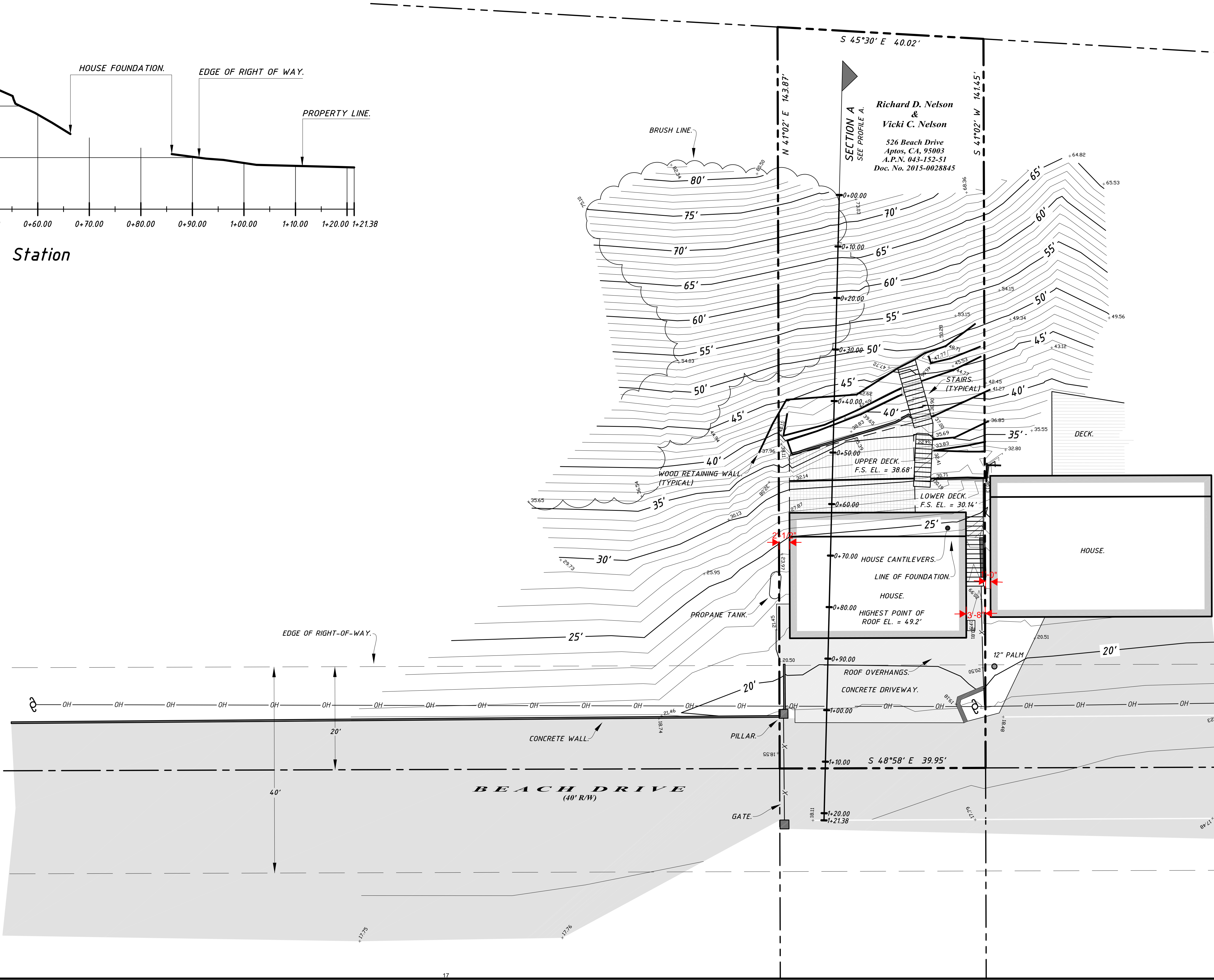
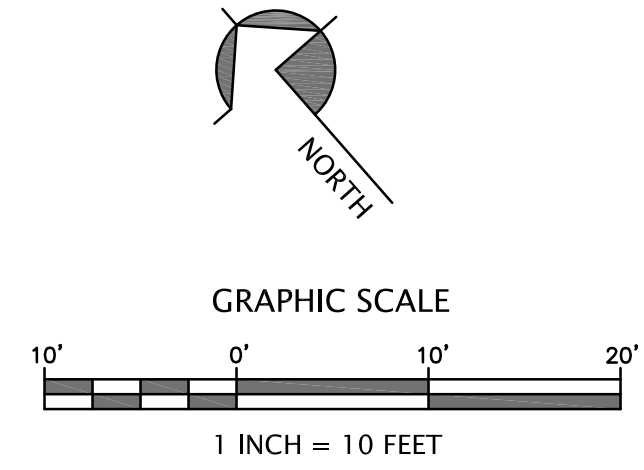


Basis of Bearings

Between found monuments along the centerline of Beach Drive per 27-PM-25.

Basis of Elevation

Santa Cruz County Benchmark #477.
Benchmark Elevation = 17.19' NAVD 88.



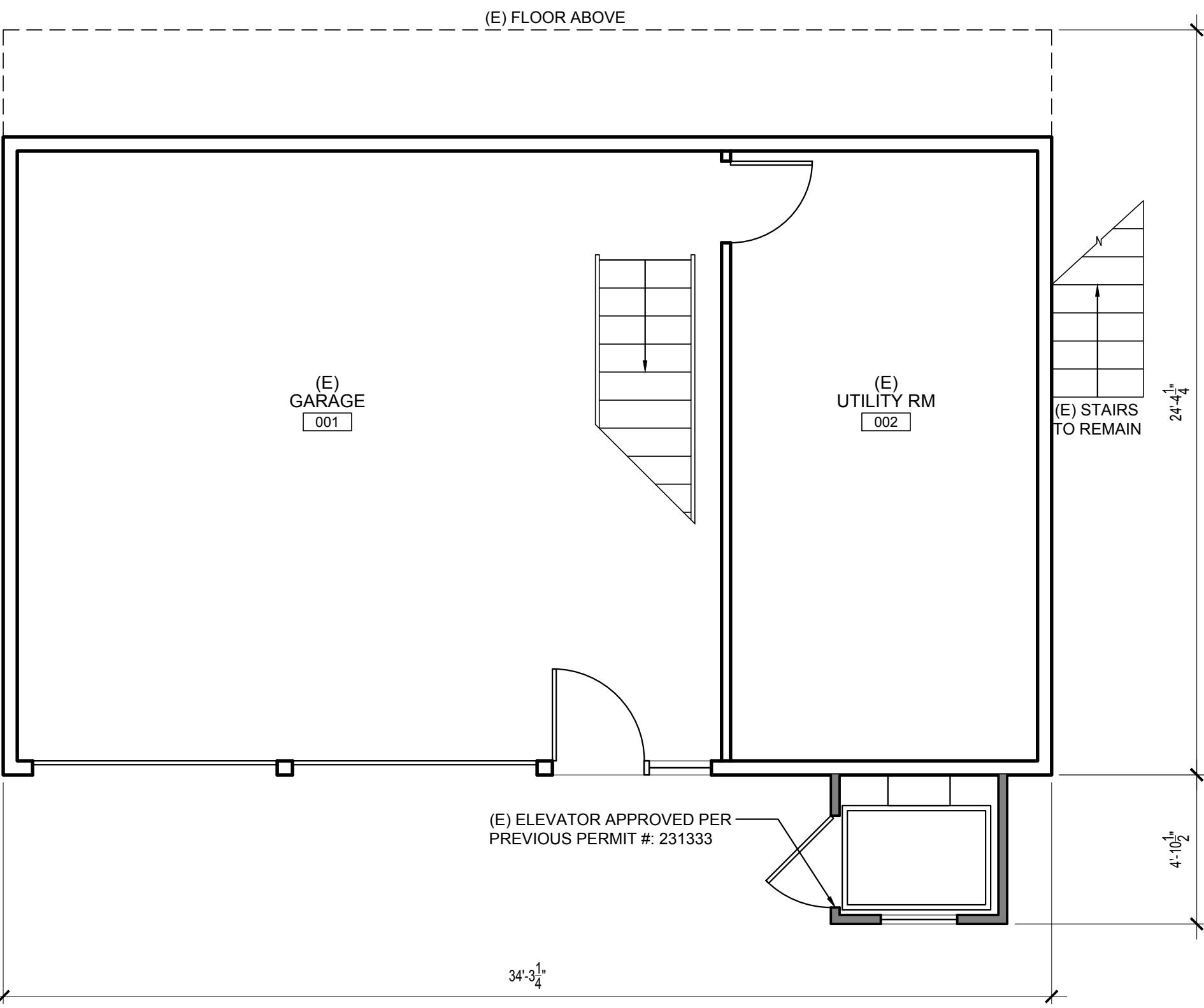
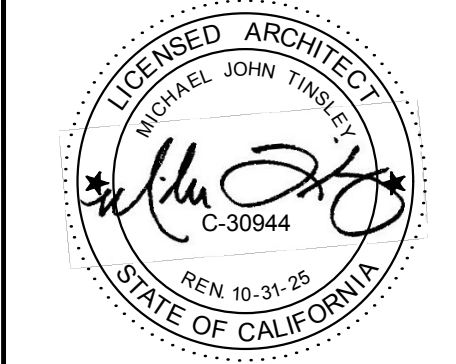
HANAGAN LAND SURVEYING 305-C SOQUEL AVE., SANTA CRUZ, CA 95062 PHONE (831) 469-3428	
APPROVED <i>Paul Hanagan</i> Paul Hanagan LS 7797	
REVISION	
Topographic and Boundary Map, The Lands Of:	
Richard Nelson & Vicki Nelson 526 Beach Drive, Aptos, Ca, 95003	
Santa Cruz County A.P.N. 043-152-15	DESIGN DATE 11-2-2021 SCALE 1" = 10'
DRAWN J. Kaneg	
SHEET SU-1	
OF 1 SHEETS	
JOB NO. 21124	

DEMOLITION PLAN NOTES

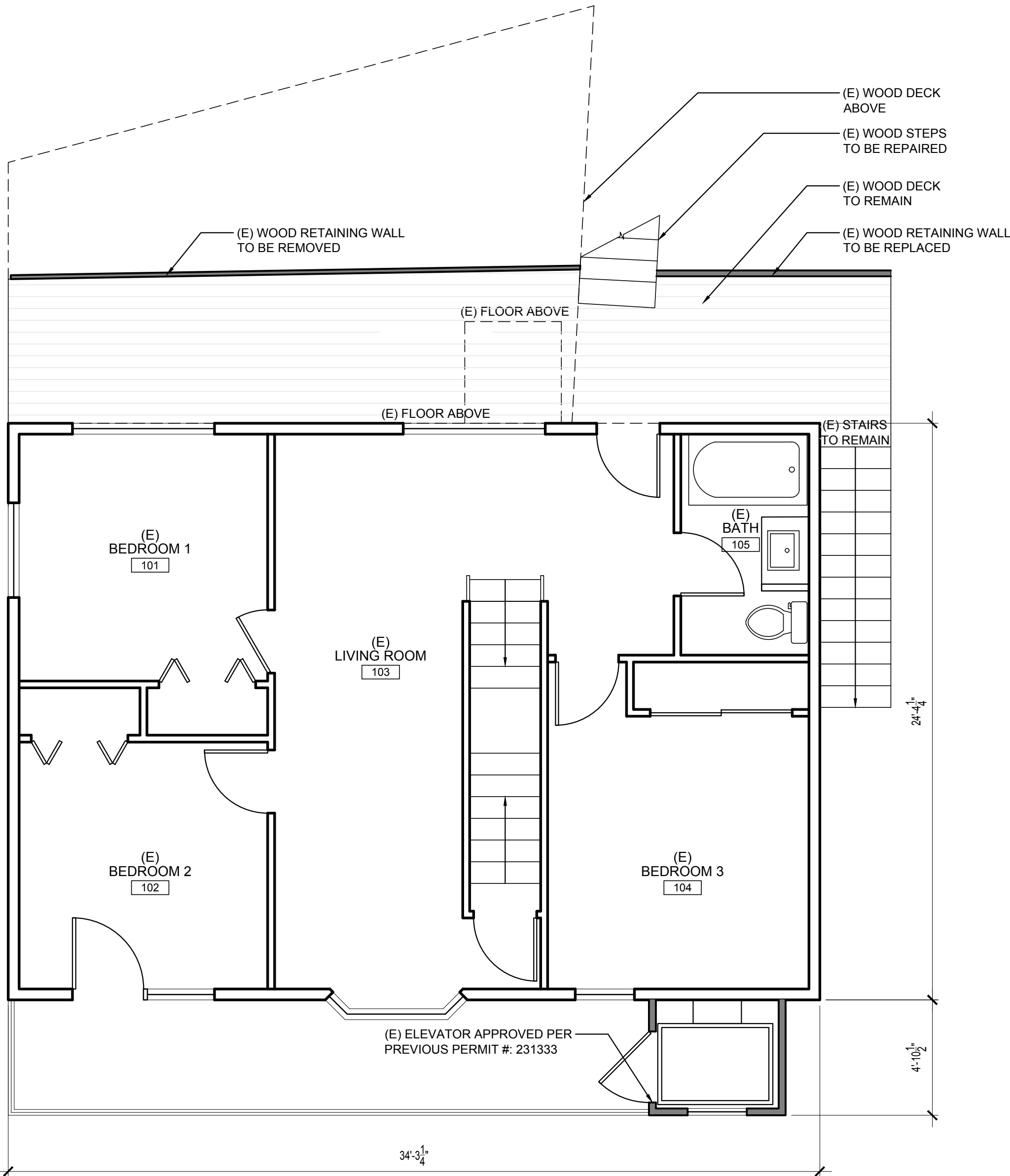
1. NO FLOOR PLAN REVISIONS PROPOSED



4159 Pearson Court
Capitola, California 95010
408/705.6763
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(E) GROUND FLOOR PLAN



(E) FIRST FLOOR PLAN

EXISTING FLOOR PLANS
PER PERMIT#: 231333

DESIGN
DEVELOPMENT
SET

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

PROPOSED REMODEL:

THE
NELSON
RESIDENCE

526 BEACH DR.
APTOS, CA. 95003

A.P.N. 04315251

SHEET TITLE:

EXISTING
FLOOR PLANS

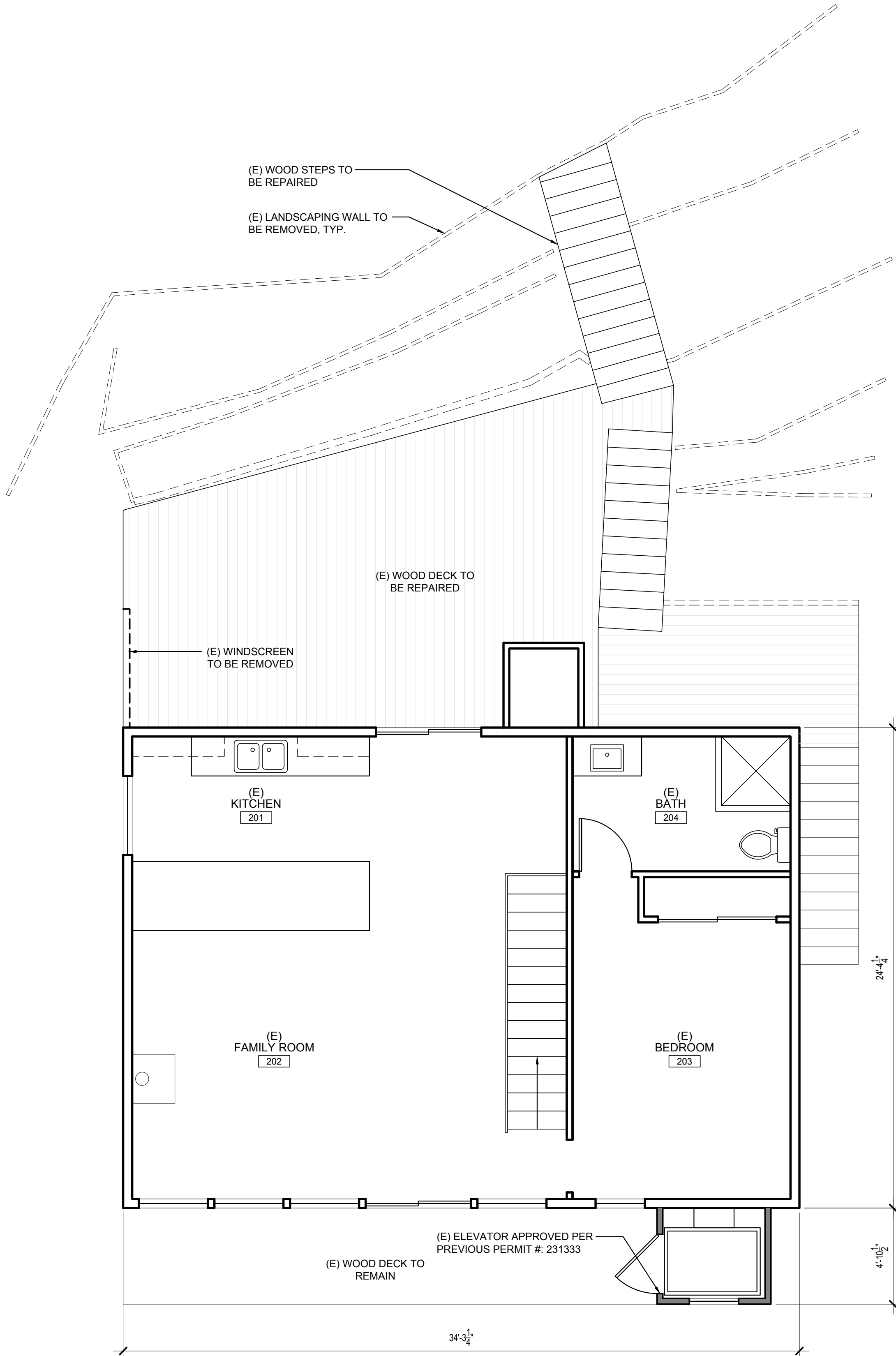
ISSUE DATE: 9/30/2024

SCALE: AS NOTED

A2.0

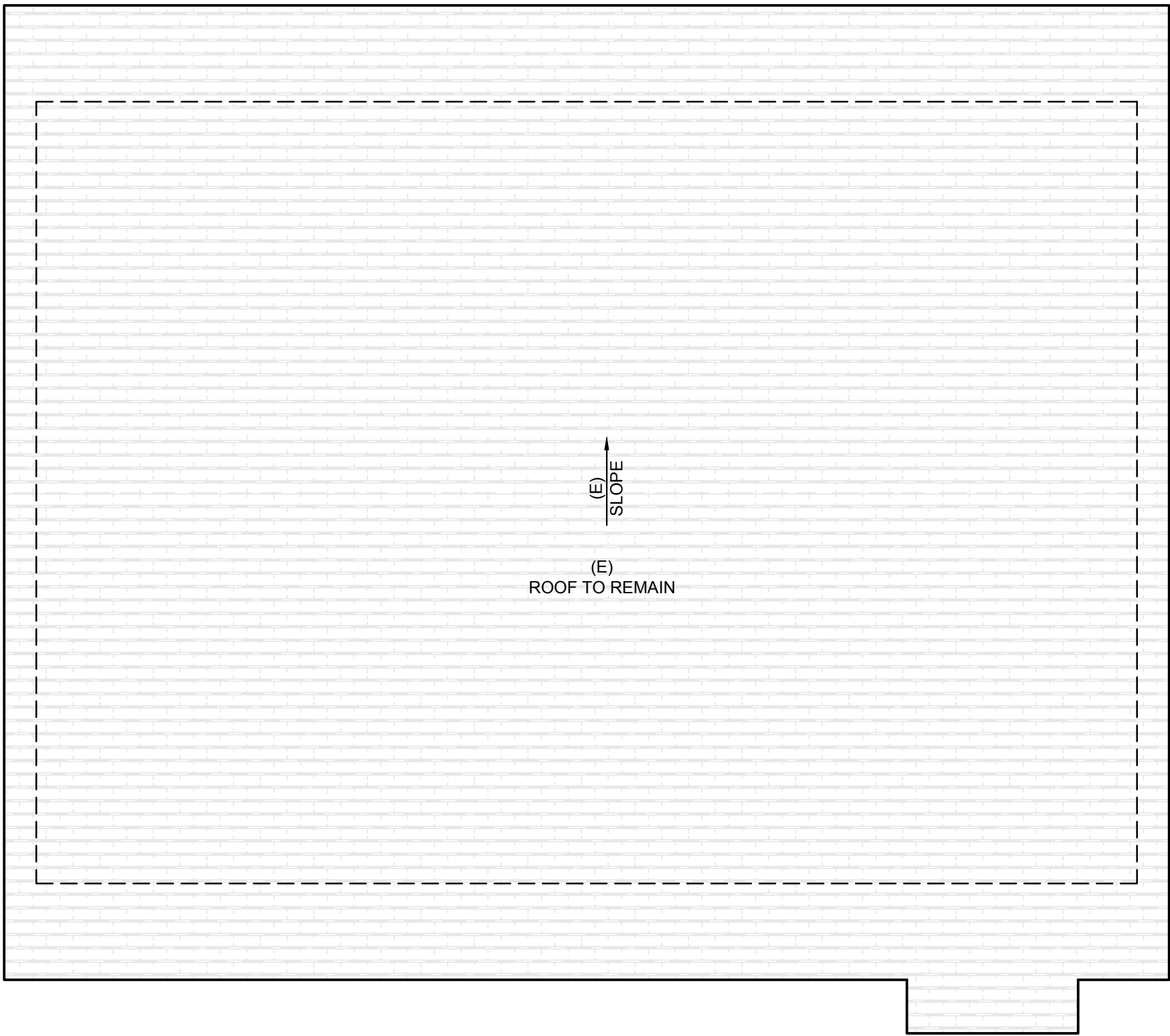
DEMOLITION PLAN NOTES

1. NO FLOOR PLAN REVISIONS PROPOSED



N (E) SECOND FLOOR PLAN

1/4" = 1'-0"



N ROOF PLAN

1/4" = 1'-0"

LEGEND

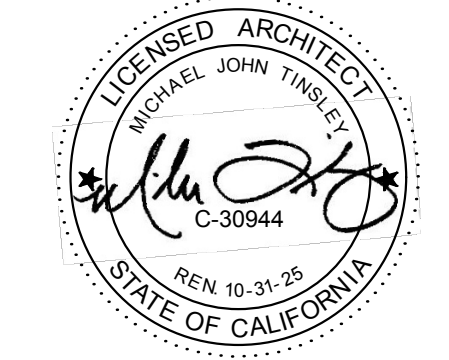
- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED

EXISTING FLOOR PLANS
PER PERMIT#: 231333

EXISTING WOOD DECKS > 18" ABOVE
GRADE TO BE REPLACED: 415 sq.ft.



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DESIGN
DEVELOPMENT
SET

NO.	DATE	REVISION
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PROPOSED REMODEL:

**THE
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526 BEACH DR.
APTOS, CA. 95003

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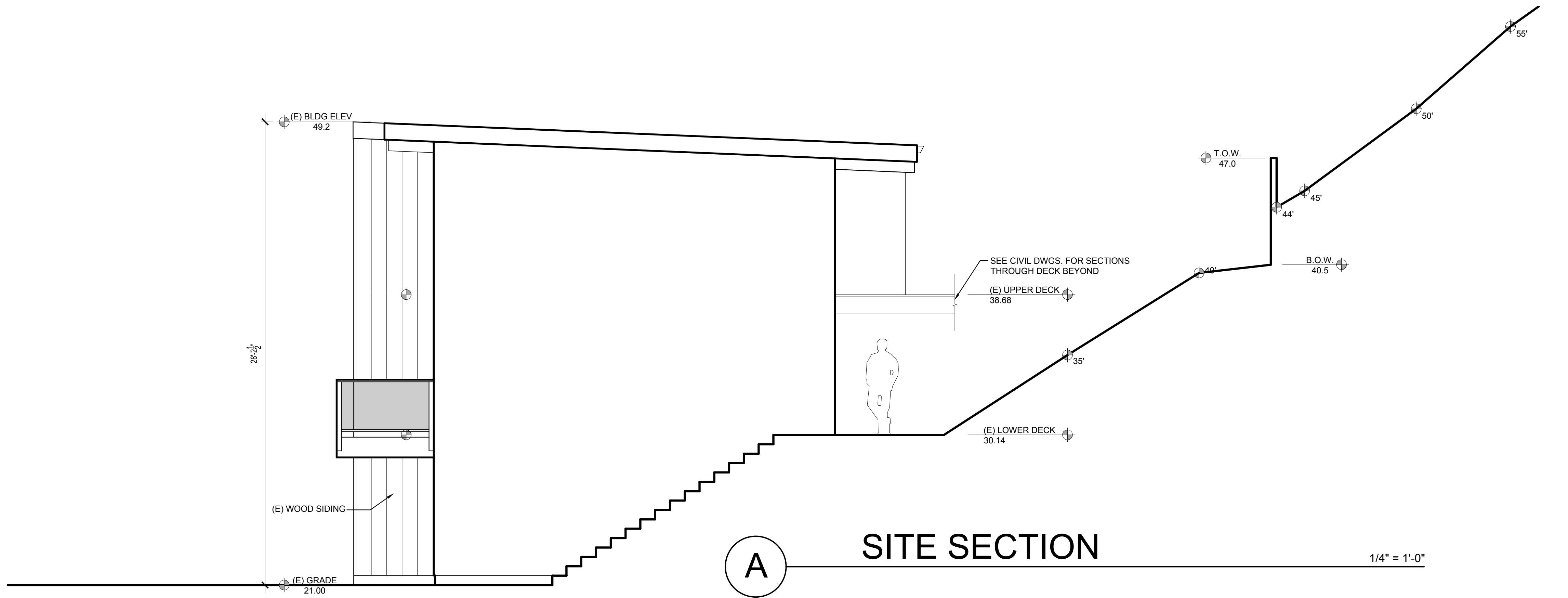
SHEET TITLE:

**EXISTING
FLOOR PLANS**

ISSUE DATE: 9/30/2024

SCALE: AS NOTED

A2.1

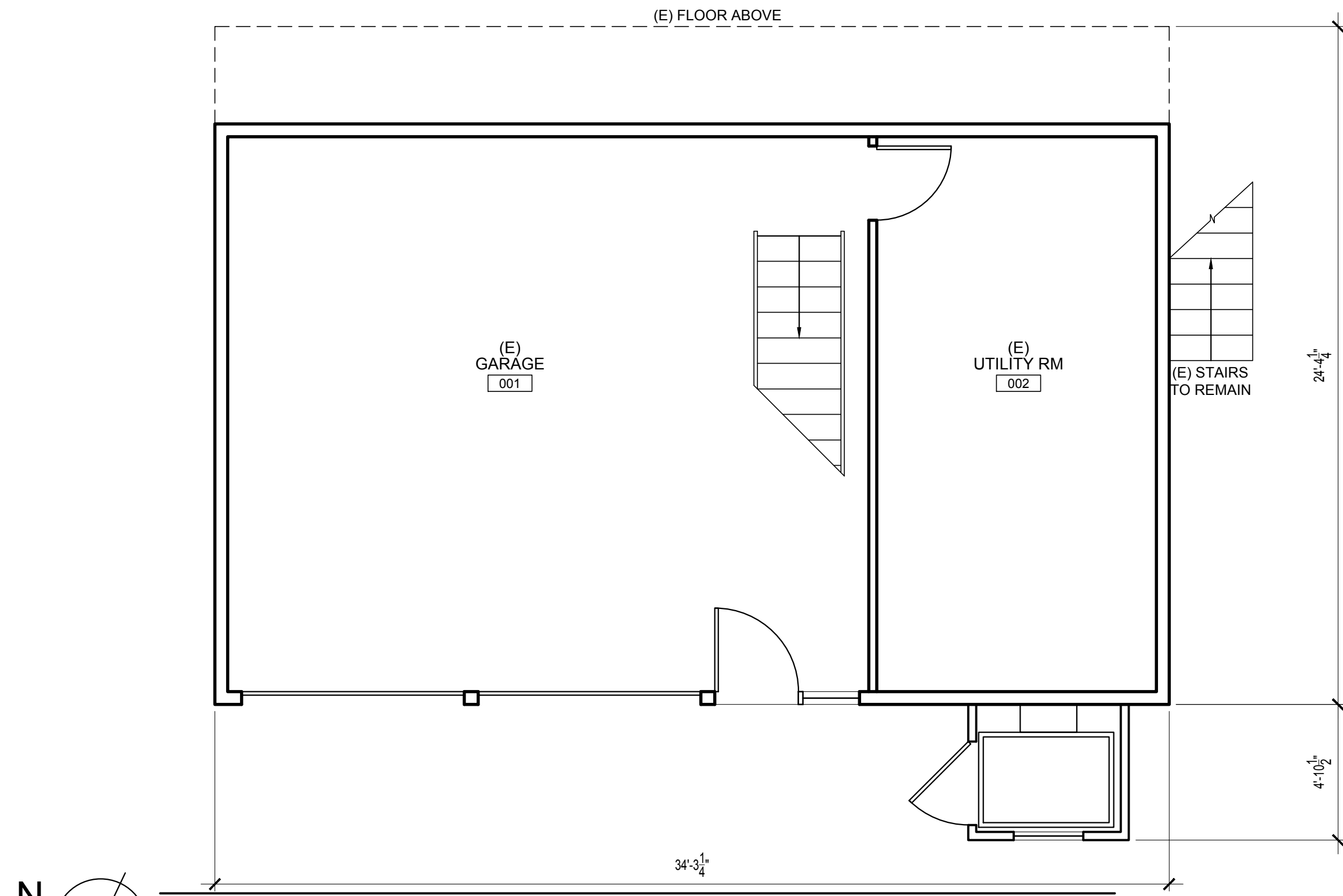


A SITE SECTION

1/4" = 1'-0"

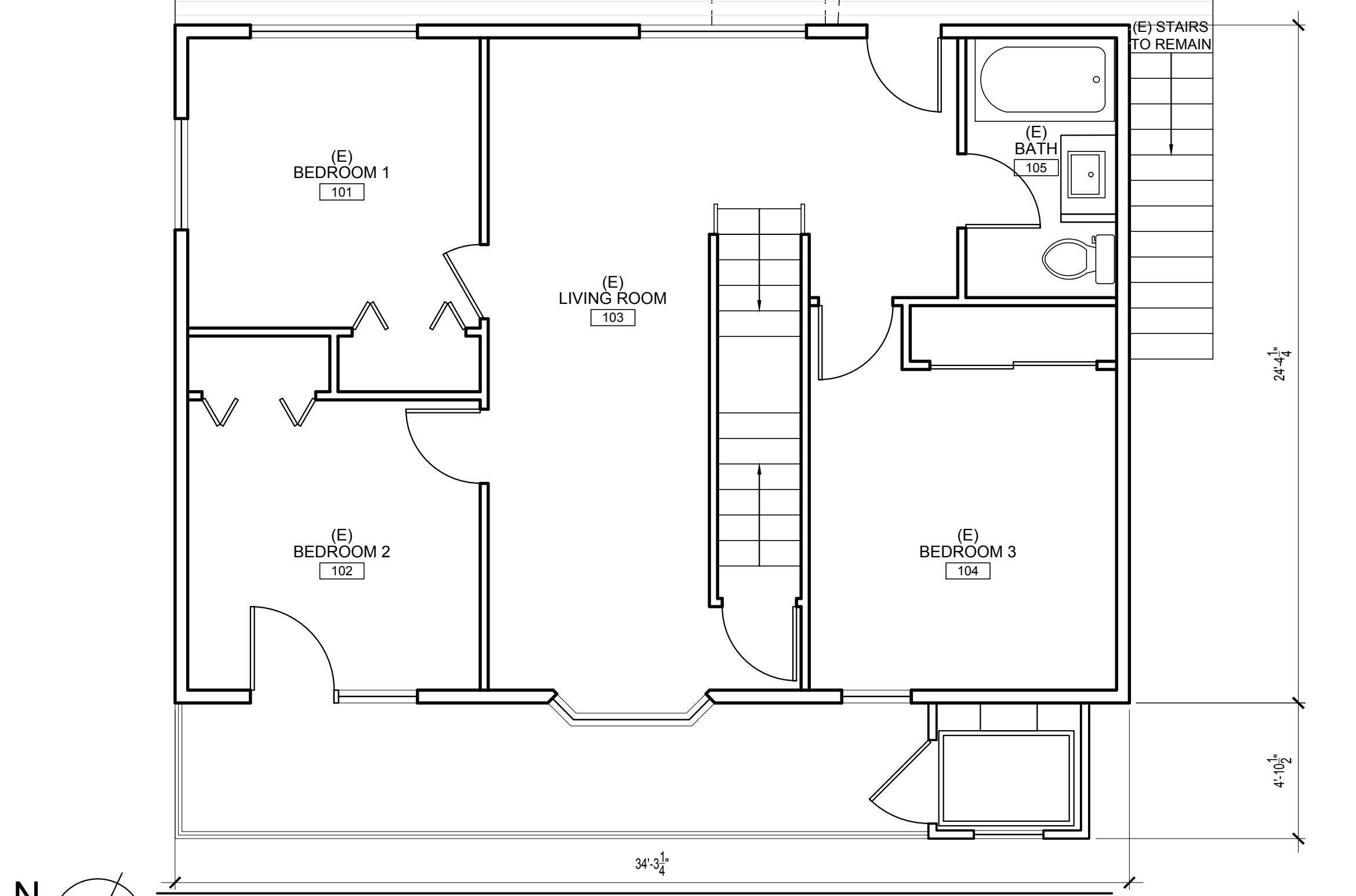
FLOOR PLAN NOTES

1. NO FLOOR PLAN REVISIONS PROPOSED



GROUND FLOOR PLAN

1/4" = 1'-0"

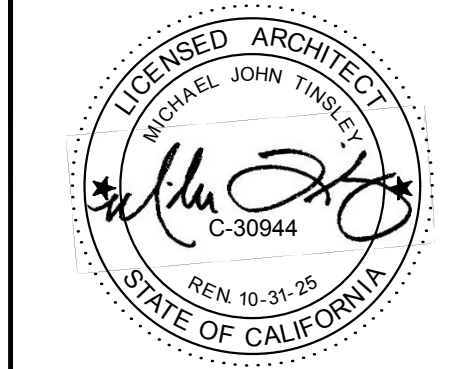


FIRST FLOOR PLAN

1/4" = 1'-0"



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DESIGN DEVELOPMENT SET

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

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FLOOR PLANS

ISSUE DATE: 9/30/2024
SCALE: AS NOTED

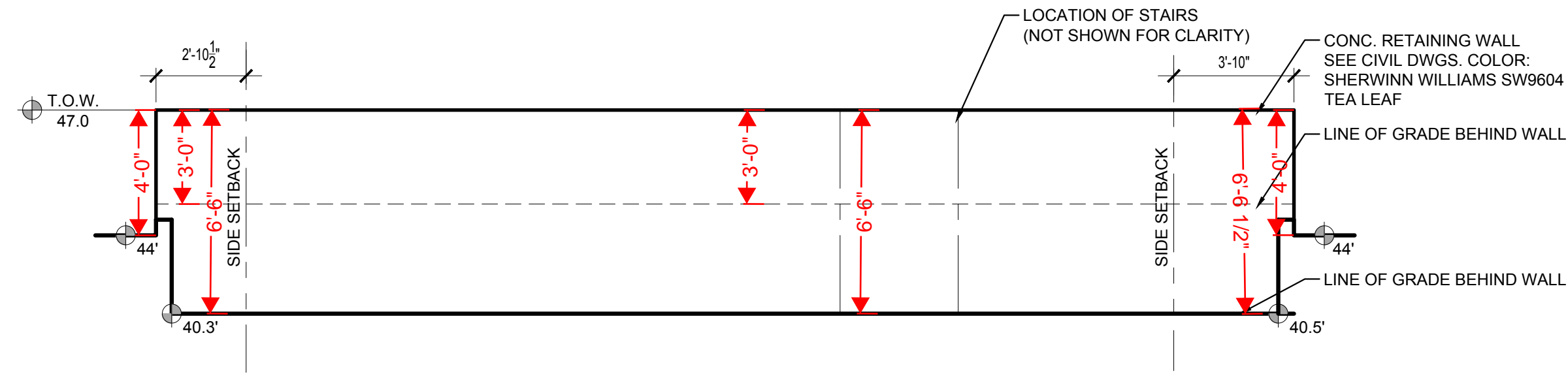
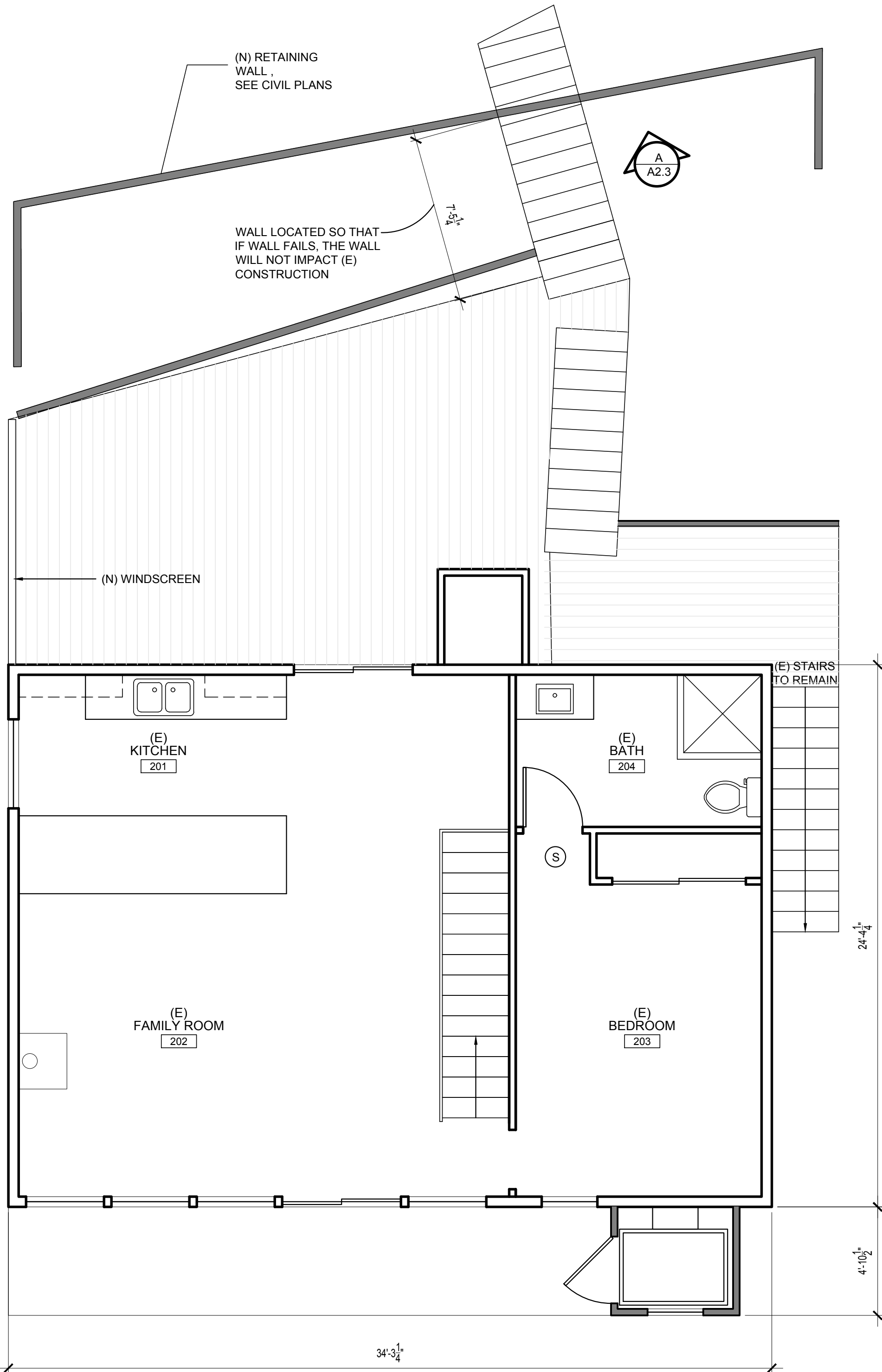
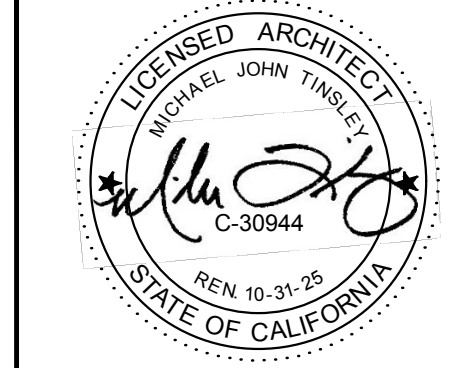
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FLOOR PLAN NOTES

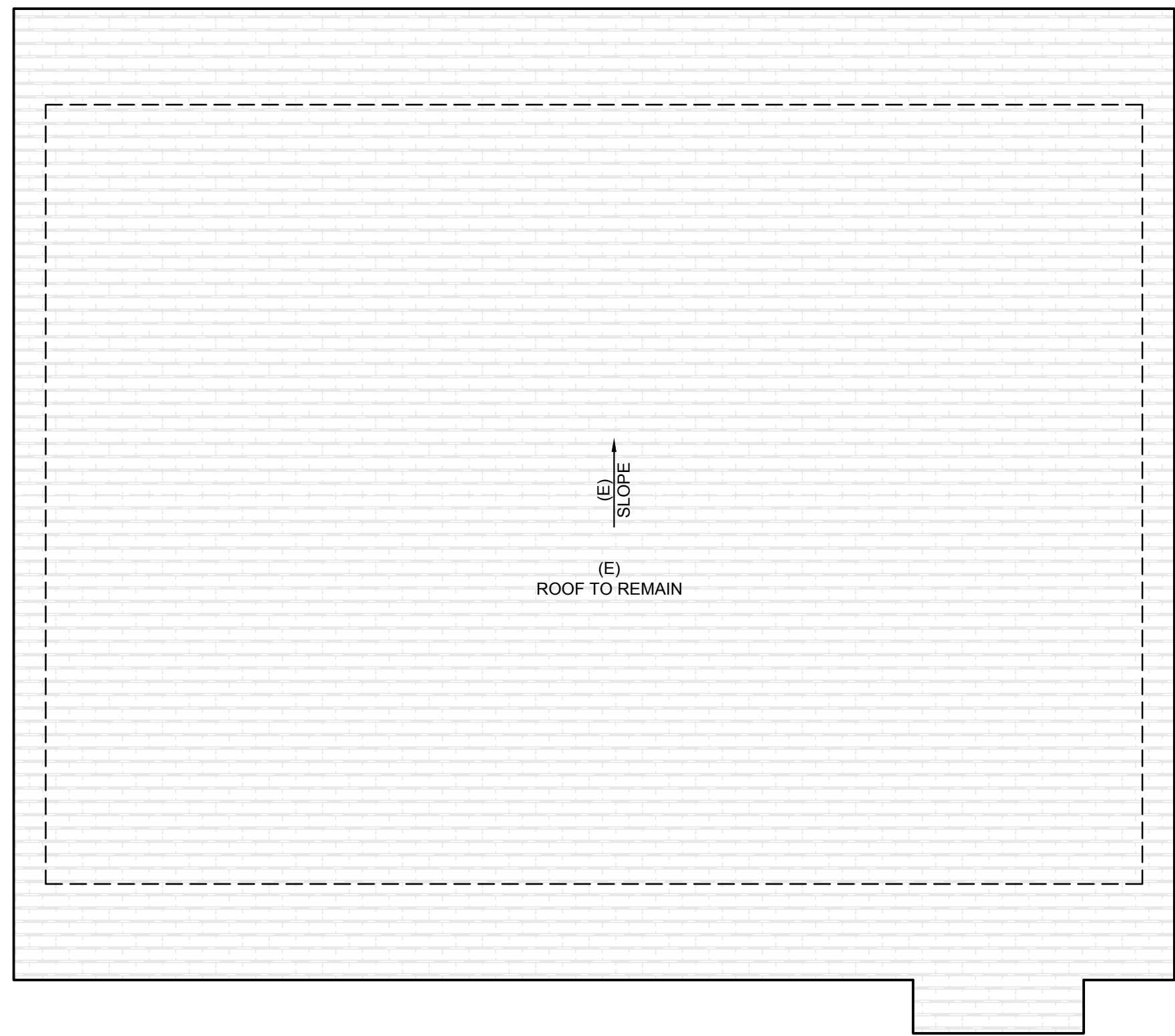
1. NO FLOOR PLAN REVISIONS PROPOSED



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Capitola, California 95010
408/705.6763
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A RETAINING WALL ELEVATION



EXISTING WOOD DECKS > 18" ABOVE
GRADE TO BE REPLACED: 415 sq.ft.

DESIGN
DEVELOPMENT
SET

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

PROPOSED REMODEL:

**THE
NELSON
RESIDENCE**

526 BEACH DR.
APTOS, CA. 95003

A.P.N. 04315251

SHEET TITLE:

FLOOR PLANS

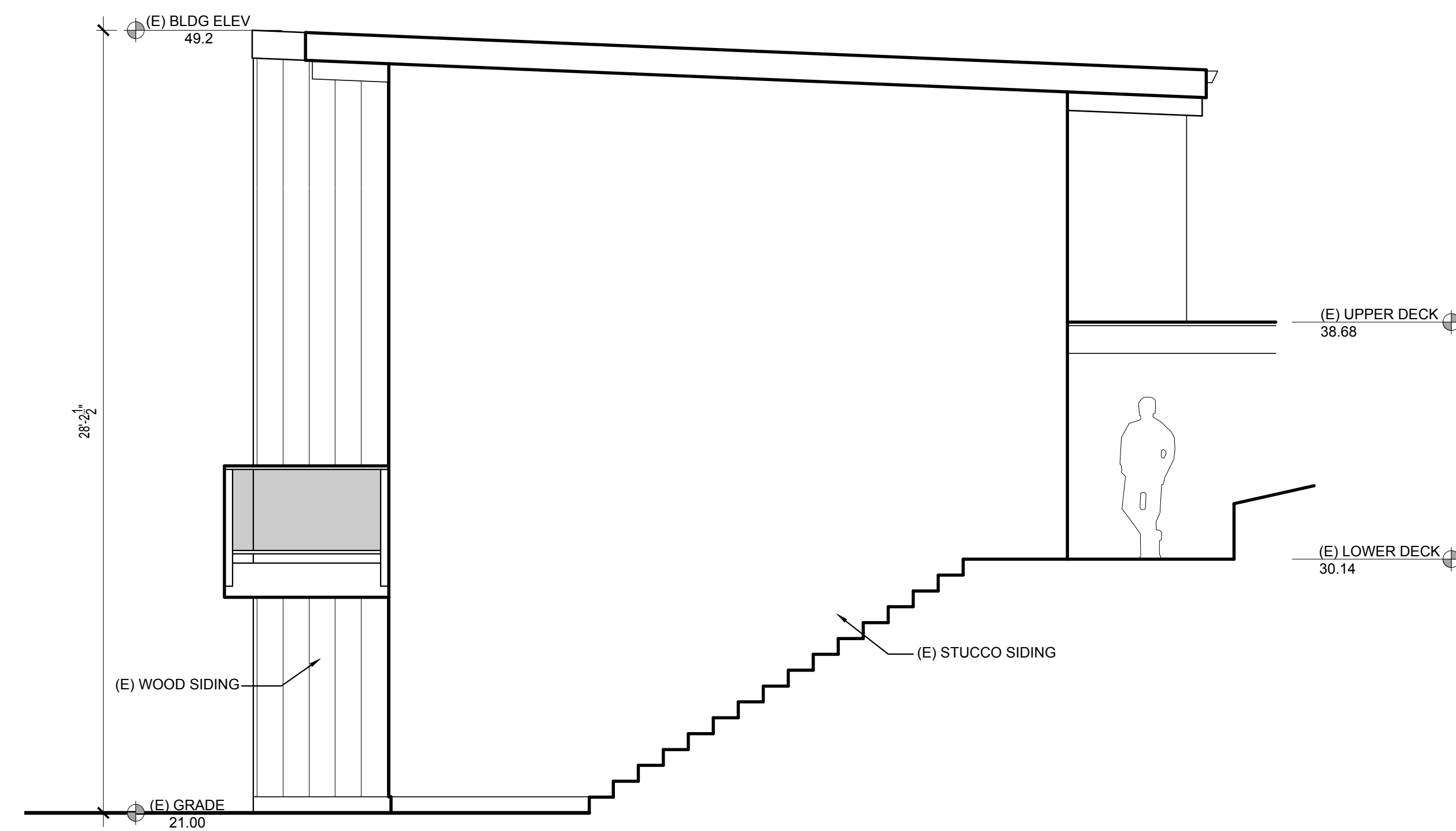
ISSUE DATE: 9/30/2024

SCALE: AS NOTED

A2.3

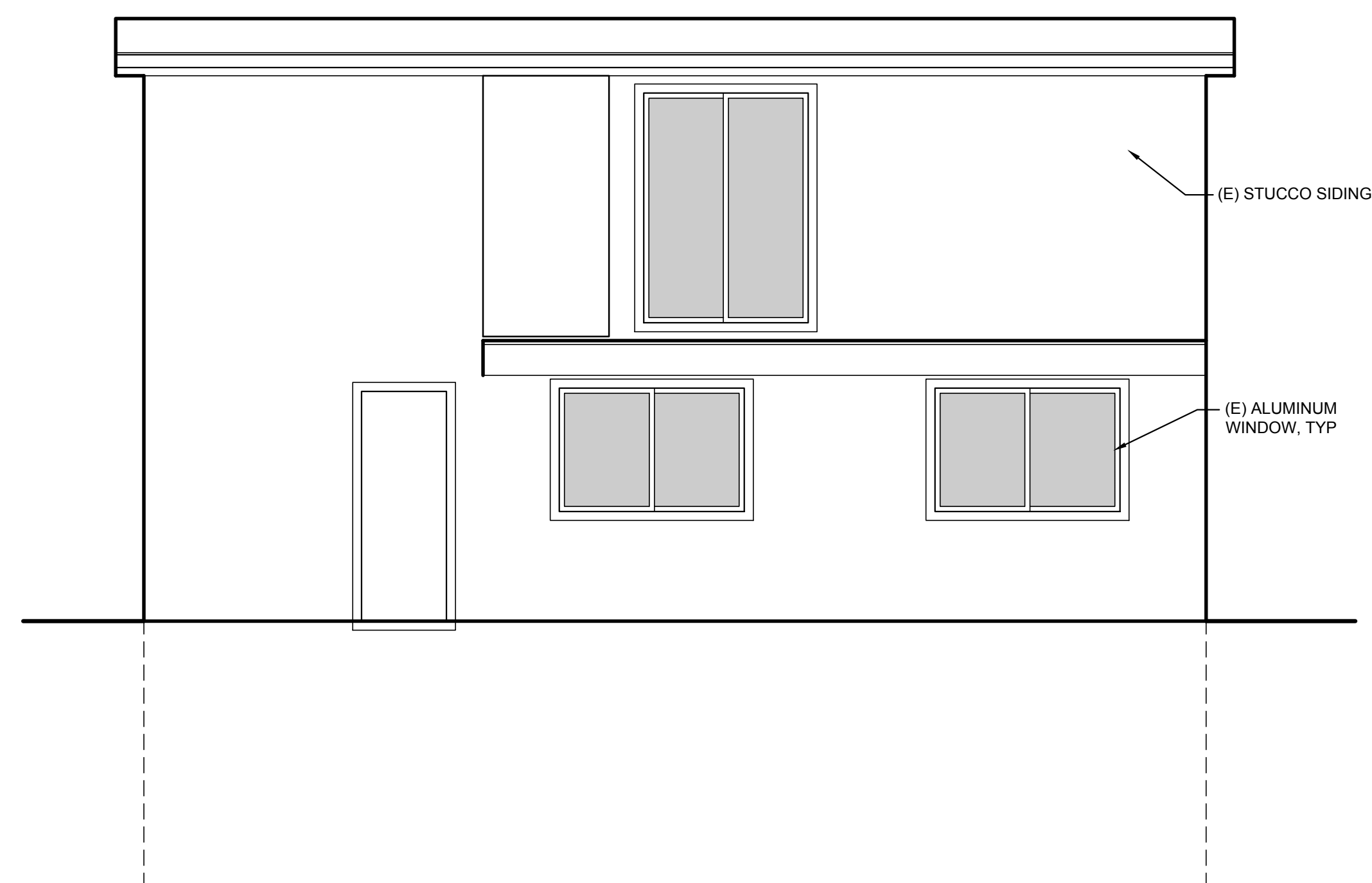


(E) SOUTH ELEVATION
1/4" = 1'-0"

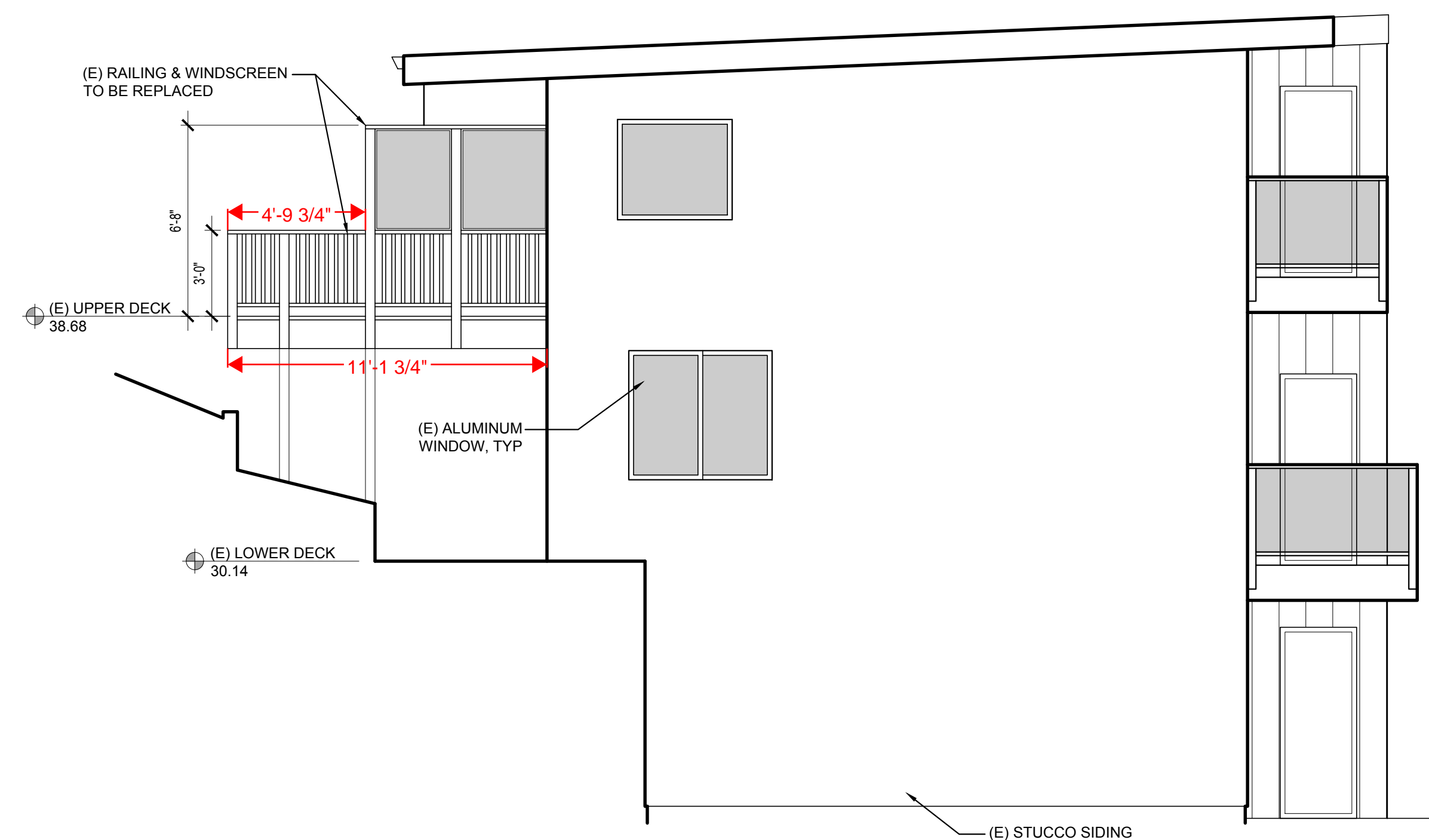


(E) EAST SIDE ELEVATION
1/4" = 1'-0"

EXISTING FLOOR PLANS
PER PERMIT#: 06-0260



(E) NORTH ELEVATION
1/4" = 1'-0"



(E) WEST ELEVATION
1/4" = 1'-0"

DESIGN
DEVELOPMENT
SET

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

PROPOSED REMODEL:
THE NELSON RESIDENCE
526 BEACH DR.
APTOS, CA. 95003
A.P.N. 04315251

SHEET TITLE:
EXISTING EXTERIOR ELEVATIONS

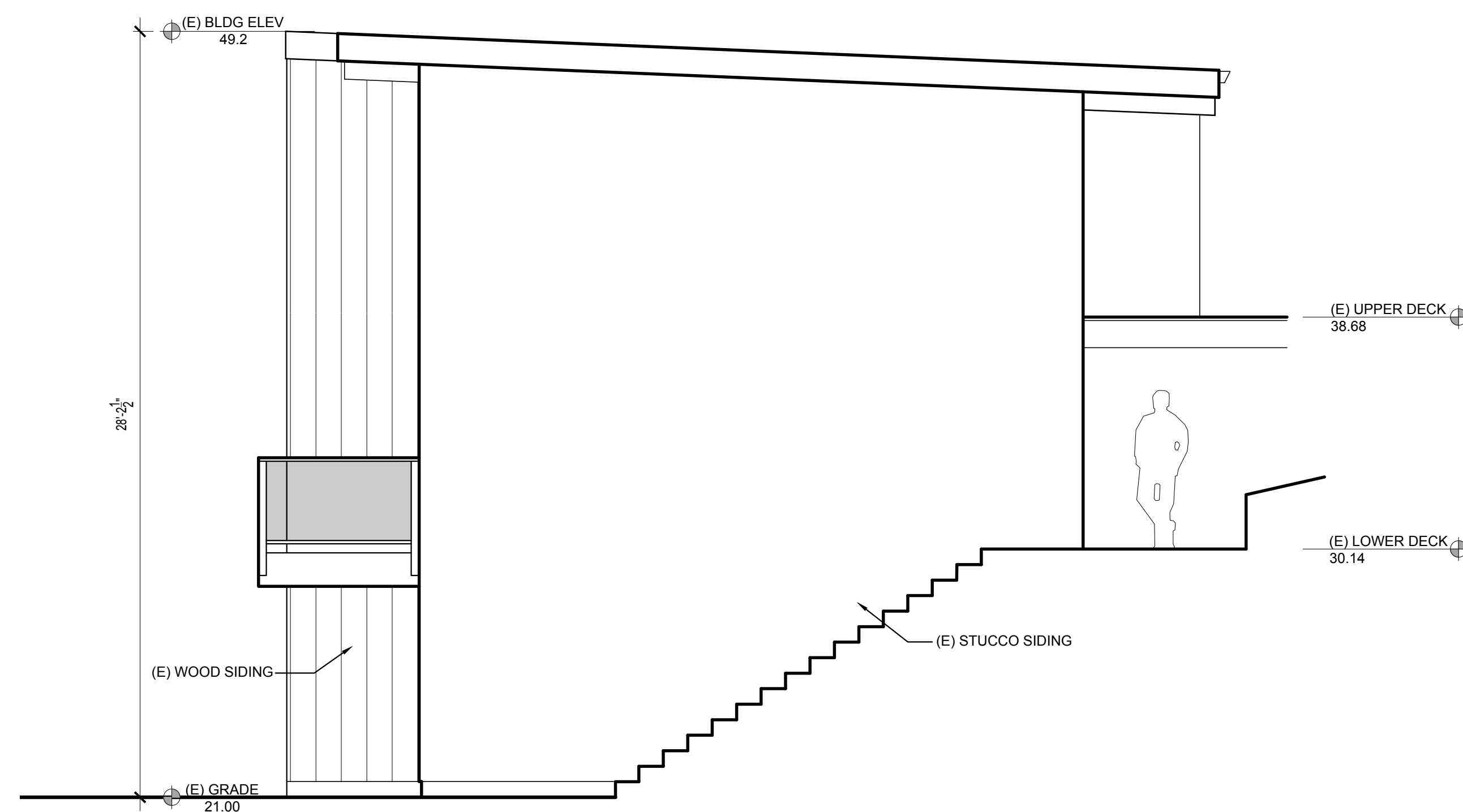
ISSUE DATE: 9/30/2024
SCALE: AS NOTED

A3.0



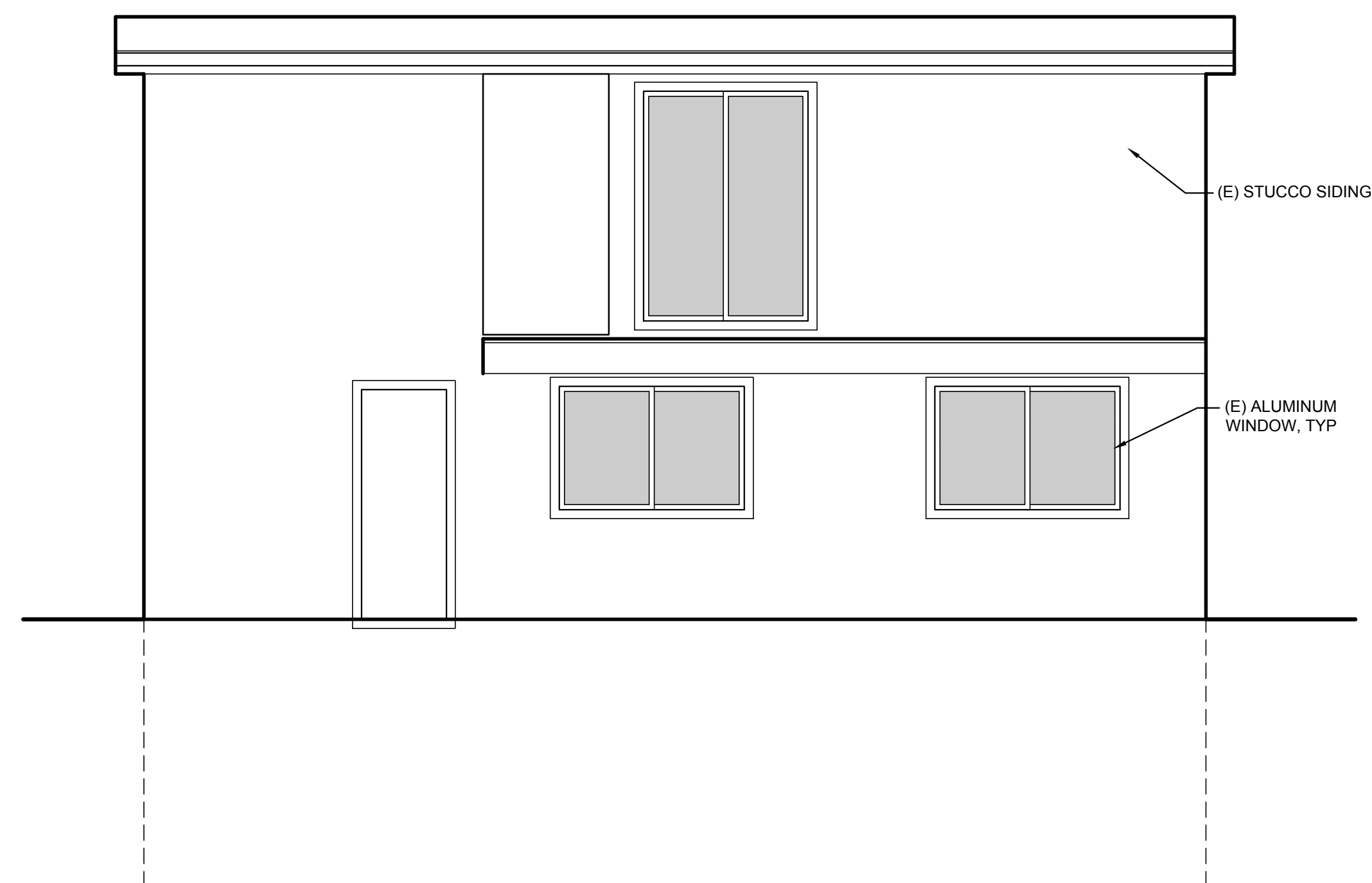
SOUTH ELEVATION

1/4" = 1'-0"



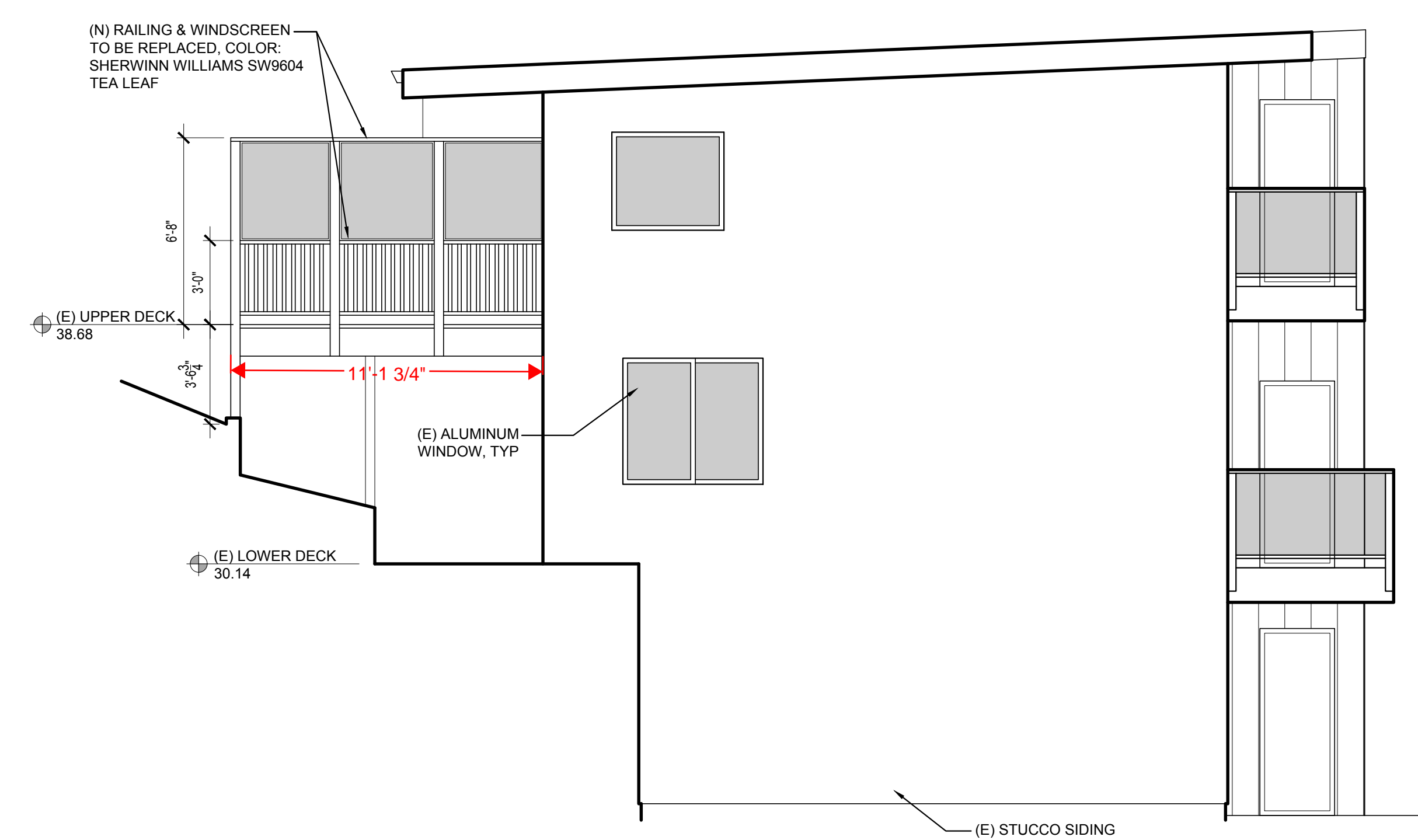
EAST SIDE ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

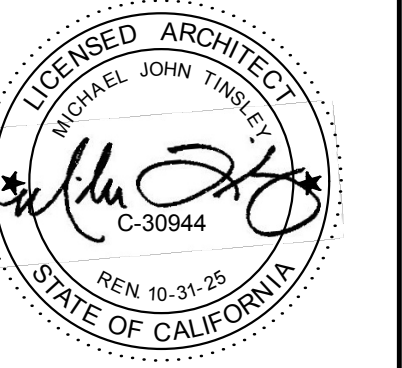


WEST ELEVATION

1/4" = 1'-0"



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**DESIGN
DEVELOPMENT
SET**

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

PROPOSED REMODEL:

**THE
NELSON
RESIDENCE**

526 BEACH DR.
APTOS, CA. 95003

A.P.N. 04315251

SHEET TITLE:

**EXTERIOR
ELEVATIONS**

ISSUE DATE: 9/30/2024

SCALE: AS NOTED

A3.1

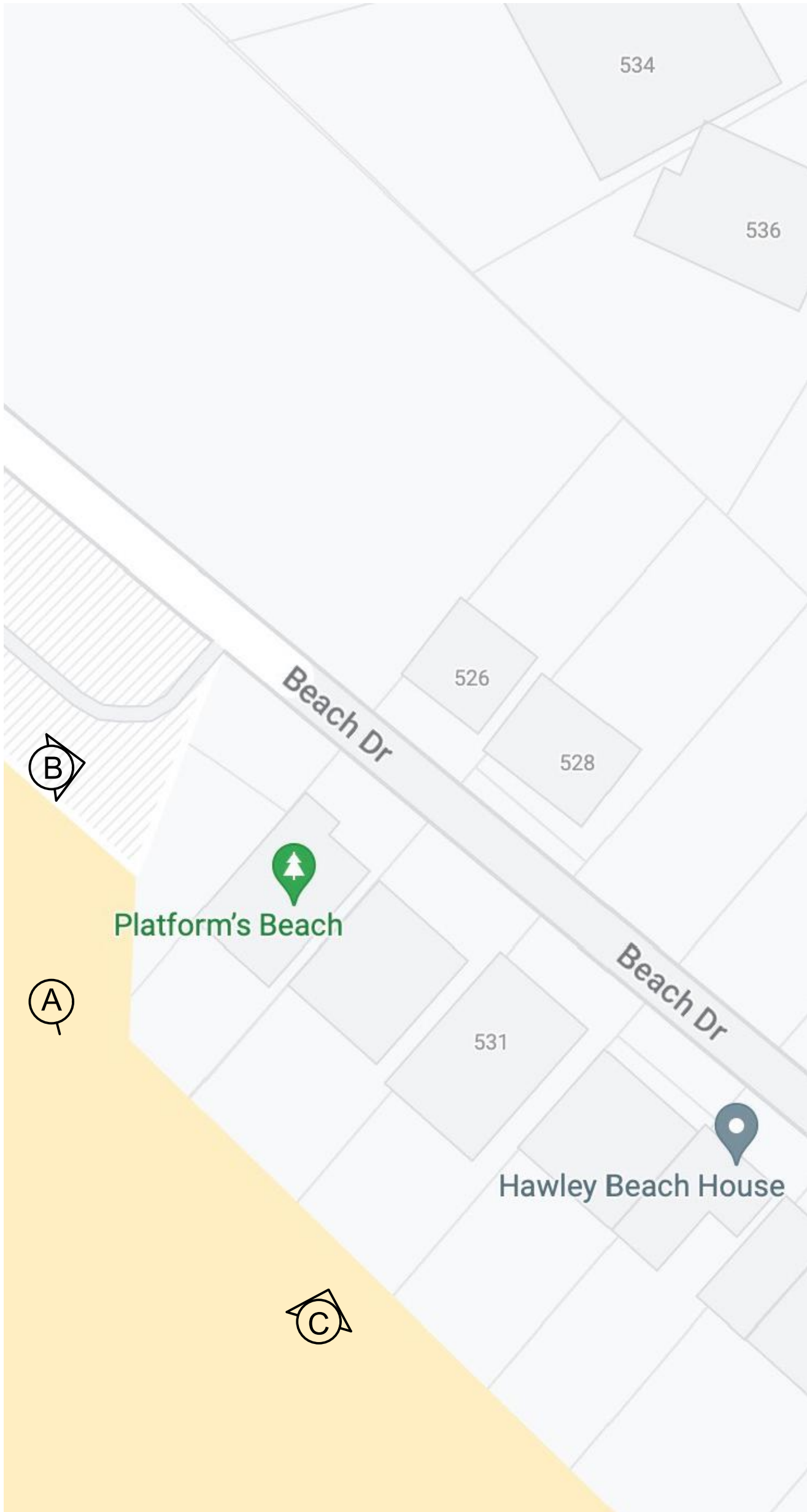


PHOTO MAP



PAINT SAMPLE

RETAINING WALL,
WINDSCREEN,
RAILING & TRIM TO
MATCH (E) RAILING



A EXISTING BEACH VIEW



A PROPOSED BEACH VIEW



B EXISTING PARKING VIEW



B PROPOSED PARKING VIEW

NO.	DATE	REVISION
1	1/10/2025	PC COMMENTS

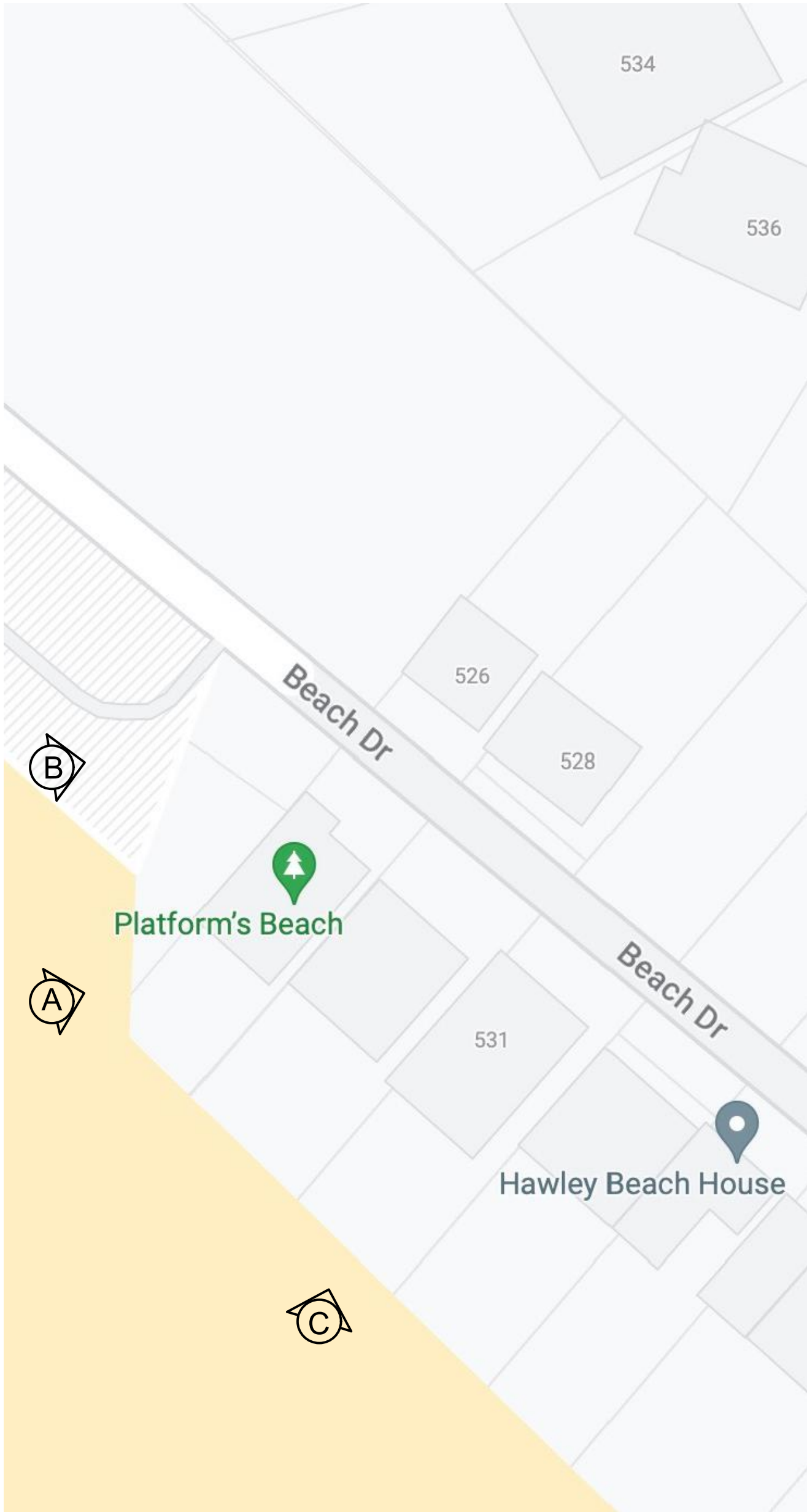


PHOTO MAP

C EXISTING BEACH VIEW



D BEACH VIEW

C PROPOSED BEACH VIEW



GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF SANTA CRUZ DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANTA CRUZ PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY RISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ.
9. THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
12. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
13. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION MAY CONSIST OF: MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
14. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
15. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
16. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
18. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
19. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE. THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE, FOR LOCATION, CALL USA 1-800-424-1444.
20. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF BEACH DRIVE PER 27-PM-25.

BASIS OF ELEVATION

SANTA CRUZ COUNTY BENCHMARK #477. BENCHMARK ELEVATION = 17.19' NAVD 88.

APPROXIMATE EARTHWORK QUANTITIES

	CUBIC YARDS		
	CUT	FILL	NET
SITE GRADING	11	6	5 CUT

- NOTES:
- EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
 - EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
 - EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

ITEM	INTERVAL	INSPECTION	REPAIR
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
RIP-RAP PAD	ANNUAL	1. DISPLACEMENT OF GRAVEL 2. SCOUR AROUND PERIMETER 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FABRIC. 3. REMOVE TRASH & LOOSE DEBRIS

EARTHWORK AND GRADING

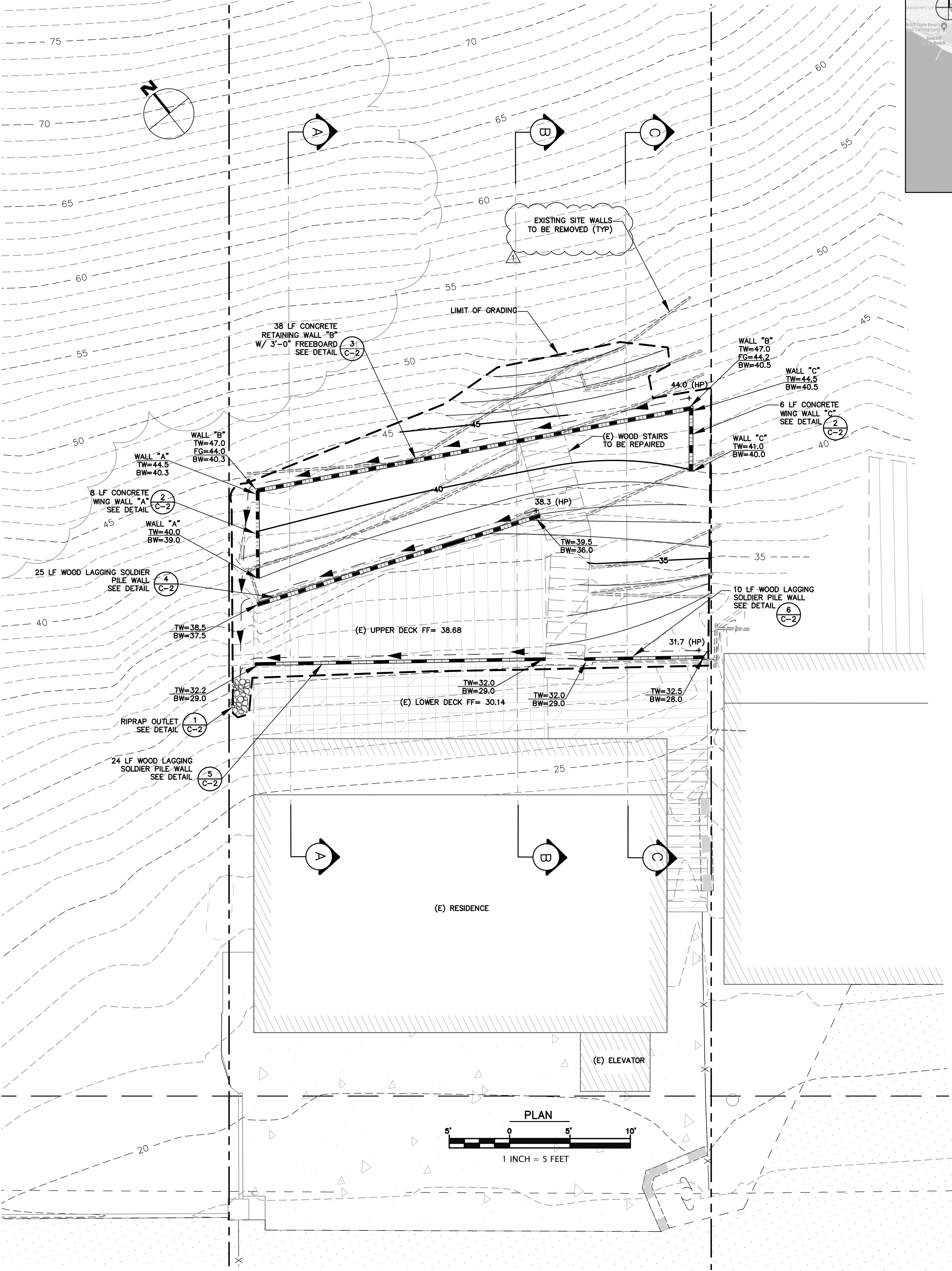
- WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
- ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
- REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY C2 EARTH, INC., ENTITLED "LIMITED GEOTECHNICAL STUDY," DATED DECEMBER 16, 2021. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT C2 EARTH, INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
- THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
- STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6" WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE/ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
- ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 6" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY C2 EARTH, INC.
- IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
- ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
- BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE STORM DRAIN SYSTEM COMPONENTS SHALL BE INSPECTED AND REPAIRED PER THE MAINTENANCE SCHEDULE BELOW.

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, Ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EDP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RM	RIM ELEVATION
S	SLOPE
SCCO	COUNTY OF SANTA CRUZ
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

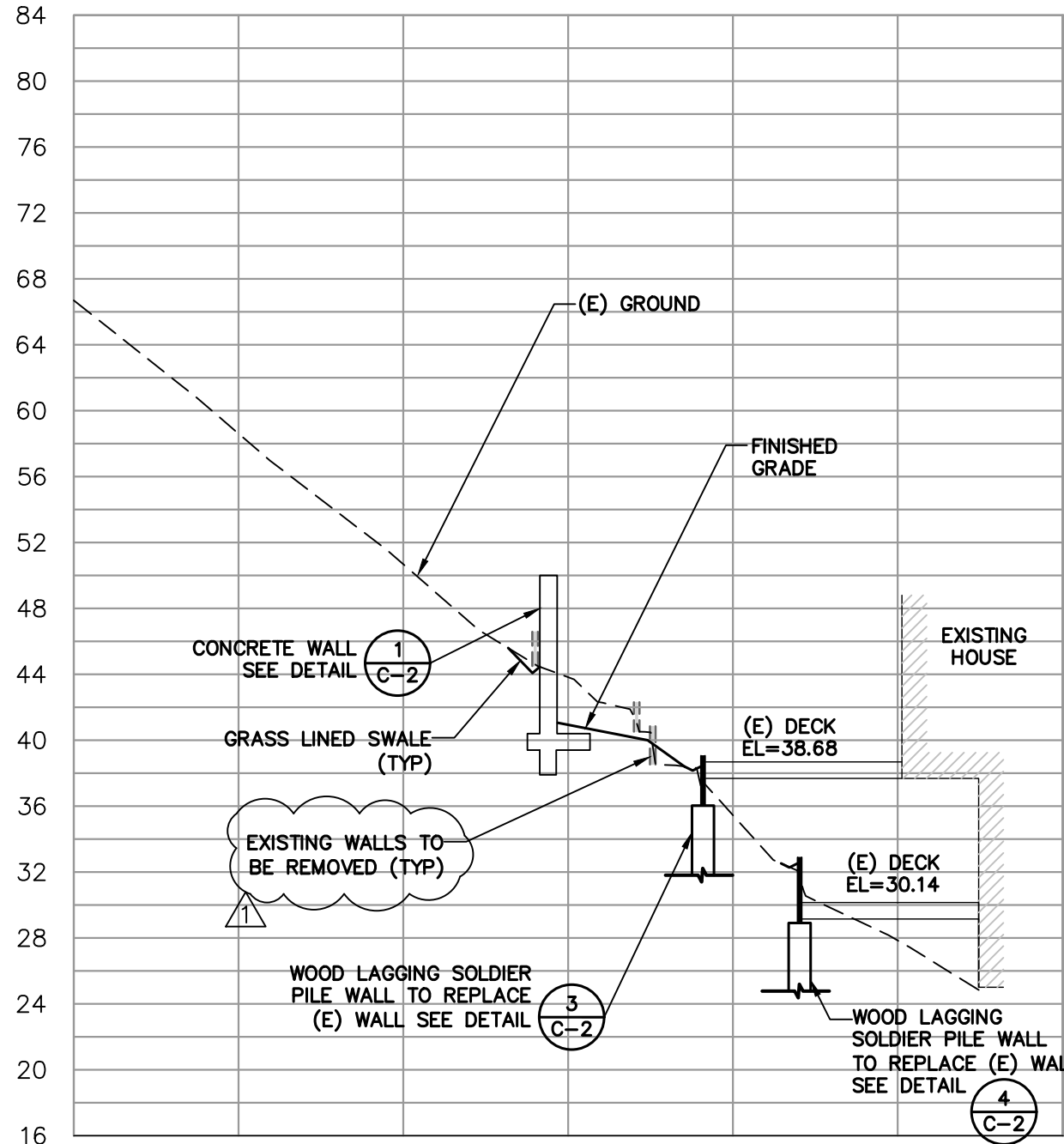


SPECIFICATIONS

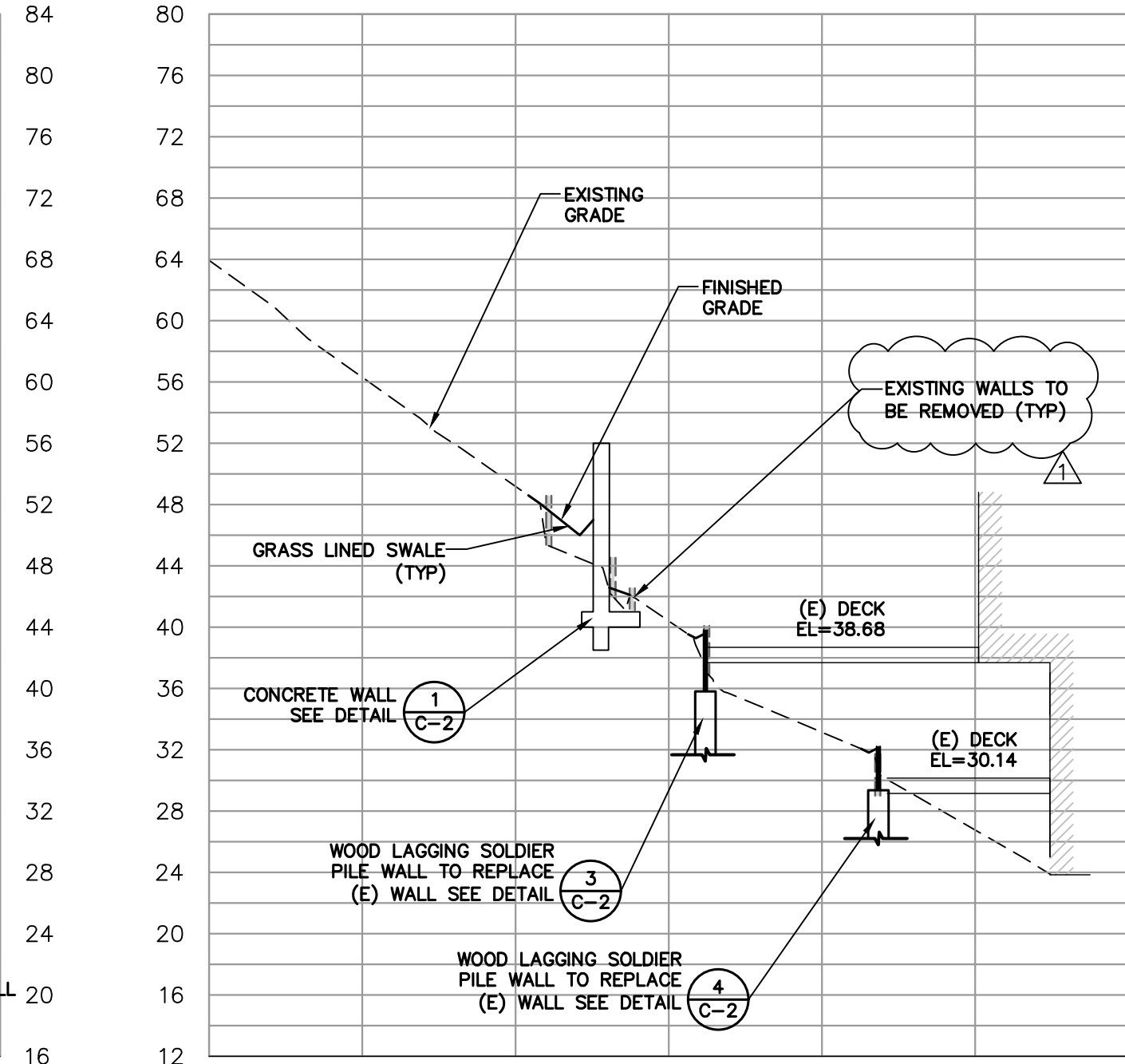
1. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH CBC SECTION 1905 AND ACI 301.
2. CONCRETE SHALL BE TYPE HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 2500 PSI. CONCRETE SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.50.
3. PRESERVATIVE TREATMENT OF LUMBER SHALL CONFORM TO THE REQUIREMENTS OF SECTION 58 OF THE CALTRANS STANDARD SPECIFICATIONS. CUT ENDS AND EXPOSED PORTIONS OF PRESSURE TREATED LUMBER SHALL BE IMMERSSED A MINIMUM OF 6" INTO PRESERVATIVE SOLUTION.
4. STRUCTURAL STEEL SHALL CONFORM TO ASTM DESIGNATION A36 AND SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 36,000 PSI. BOLTED AND WELDED CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE 2022 CALIFORNIA BUILDING CODE AND THESE SPECIFICATIONS.
5. WELDED CONNECTIONS SHALL MEET THE REQUIREMENTS OF FEMA 350 AND THE 2022 CALIFORNIA BUILDING CODE CHAPTER 22, "STEEL."
6. ALL NAILS AND ANCHOR BOLTS THAT WILL BE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153. FASTENERS AND CONNECTORS EXPOSED TO WET WEATHER SHALL BE STAINLESS STEEL, TYPE A304.
7. ALL CUT ENDS OR BORED HOLES OF LAGGING SHALL BE FIELD TREATED TO MEET ANPA U1 STANDARDS, AND BE INSPECTED AND APPROVED BY A COUNTY BUILDING INSPECTOR OR THE ENGINEER OF RECORD PRIOR TO BEING PLACED IN THE SOLDIER PILES.
8. PIERS SHOULD BE EMBEDDED A MINIMUM OF 5 FEET INTO FIRM SANDSTONE. PIER DEPTH MAY VARY DUE TO DEPTH OF SANDSTONE.

HELICAL PIER NOTES

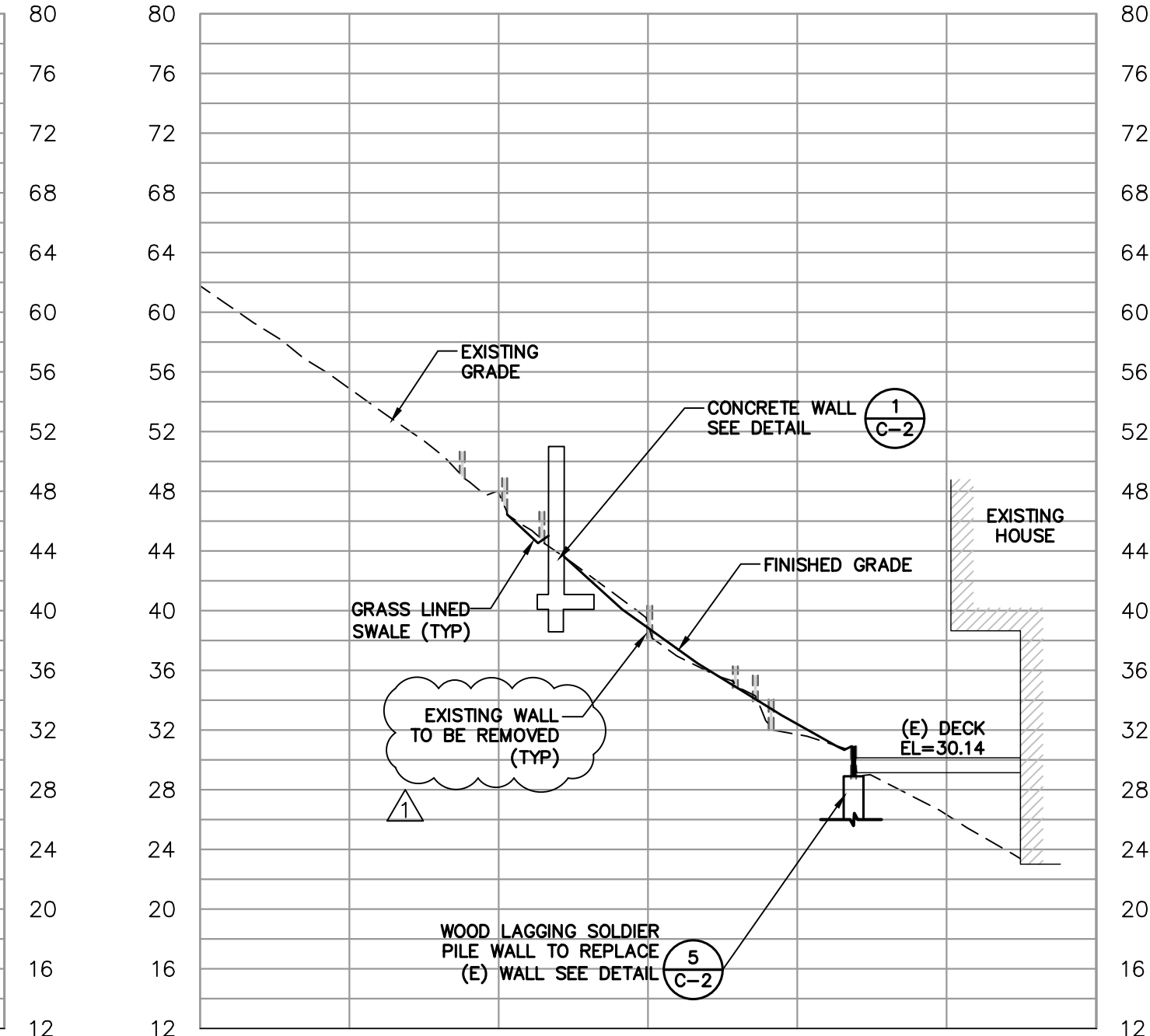
1. ALL PIERS TO BE CHANCE® HELICAL TYPE SS175 OR APPROVED EQUAL.
2. ALL HELIX ANCHORS SHALL BE HOT DIPPED GALVANIZED.
3. HELICAL PIER SHALL HAVE A MINIMUM DEPTH BEYOND THE 1:1 INFLUENCE LINE AT THE BASE OF THE WALL OR UNTIL THE TORQUE ASSOCIATED WITH THE REQUIRED TENSILE CAPACITY IS ATTAINED, WHICHEVER IS GREATER. DEPTH TO BE VERIFIED BY PROJECT GEOTECHNICAL ENGINEER.
4. INDIVIDUAL HELIX PLATES ATTACHED TO A MULTI-PLATE ANCHOR SHALL BE SPACES A MINIMUM OF 3 HELIX DIAMETERS ALONG THE SHAFT. THE TOP-MOST PLATE SHALL BE EMBEDDED A MINIMUM OF 5 HELIX DIAMETERS OR THE EMBEDMENT REQUIREMENTS ABOVE, WHICHEVER IS GREATER.
5. THE AXIAL CAPACITY OF EACH PIER SHALL BE BASED UPON THE INSTALLATION TORQUE ACHIEVED DURING INSTALLATION. ALL HELIX PIERS SHALL BE INSTALLED AT THE APPROPRIATE TORQUE, BASED ON THE ACTUAL LOADS TRANSMITTED TO THE FOUNDATION, UP TO THE CAPACITY SHOWN ON THE PLAN. THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED REGARDING THE TORQUE AND BEARING CAPACITY RELATIONSHIP FOR THE PARTICULAR PIER SELECTED.
6. HELICAL ANCHORS WHICH LOSE THEIR TORQUE CAPACITY WHILE BEING DRILLED TO THE MINIMUM DEPTH REQUIRED WILL BE REJECTED AND A NEW ANCHOR SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
7. AT LEAST 2 HELICAL ANCHORS SHALL BE TESTED USING REACTION PILES TO A CAPACITY OF 42,500 LBS.
8. THE NUMBER OF HELICAL PLATES AND PIER CONFIGURATION SHALL BE SELECTED BY THE CONTRACTOR BASED ON THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION AND THESE PLANS AND THE DESIGN LOADS SPECIFIED ON THESE PLANS. THE CONTRACTOR SHALL SUBMIT THEIR PROPOSED HELICAL PIER DESIGN TO THE PROJECT ENGINEER AND GEOTECHNICAL ENGINEER FOR THEIR REVIEW AT LEAST 5 DAYS PRIOR TO INSTALLATION.
9. THE SPECIFIED TESTING LOAD IS THE DESIGN LOAD WITH A FACTOR OF SAFETY OF 2.0 APPLIED.



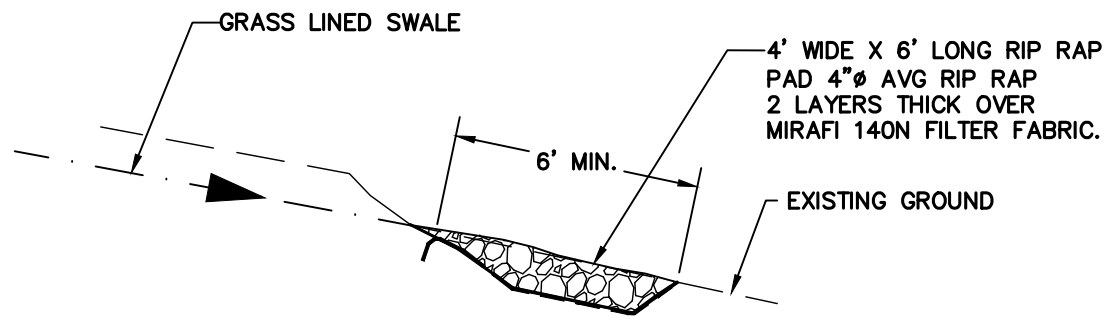
PROFILE VIEW A-A
SCALE: 1"=10' HORIZONTAL



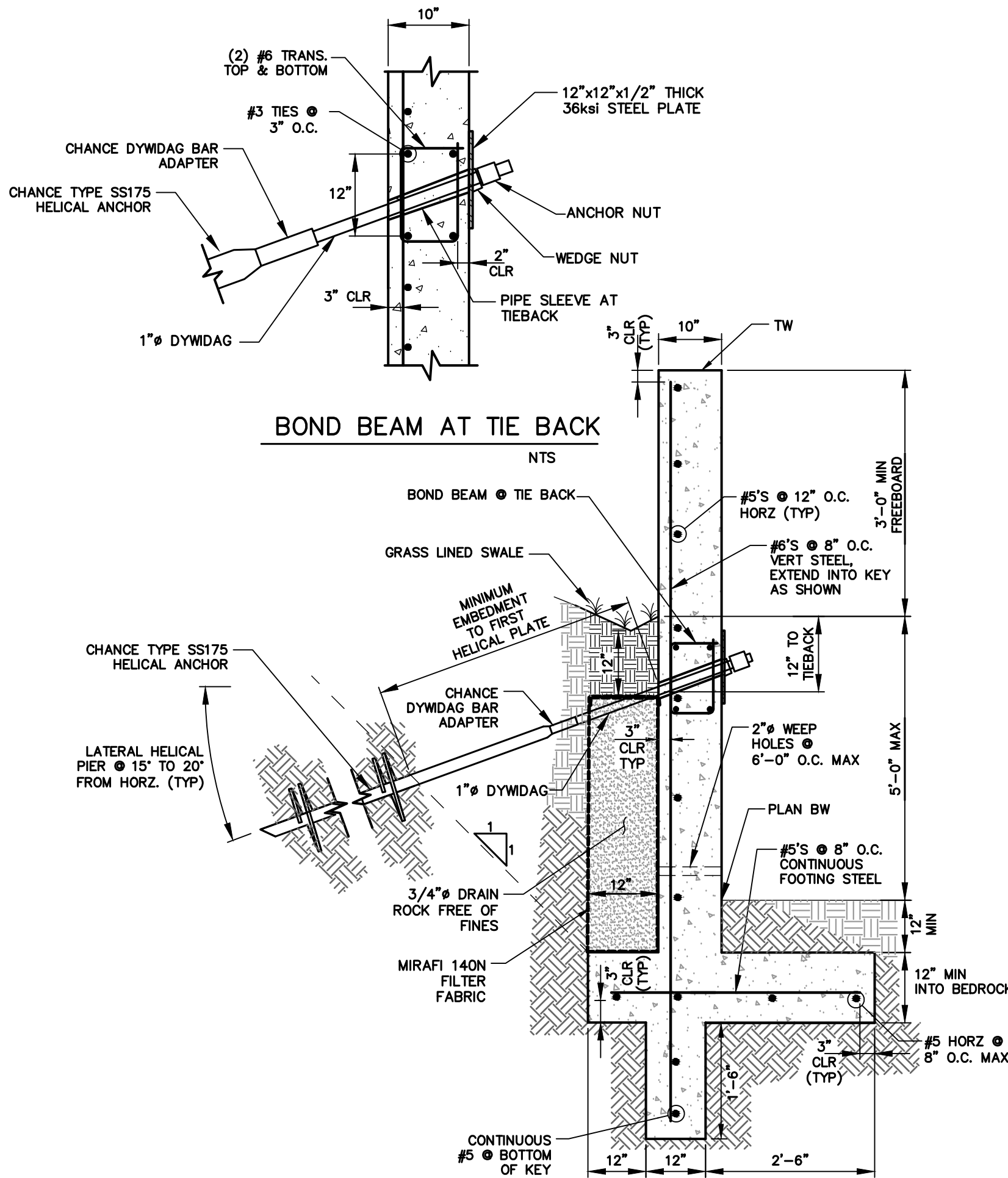
PROFILE VIEW B-B
SCALE: 1"=10' HORIZONTAL



PROFILE VIEW C-C
SCALE: 1"=10' HORIZONTAL



RIP RAP PAD DETAIL
SCALE: 1"=10' HORIZONTAL



BOND BEAM AT TIE BACK
SCALE: 1"=10' HORIZONTAL

RETAINING WALL SCHEDULE

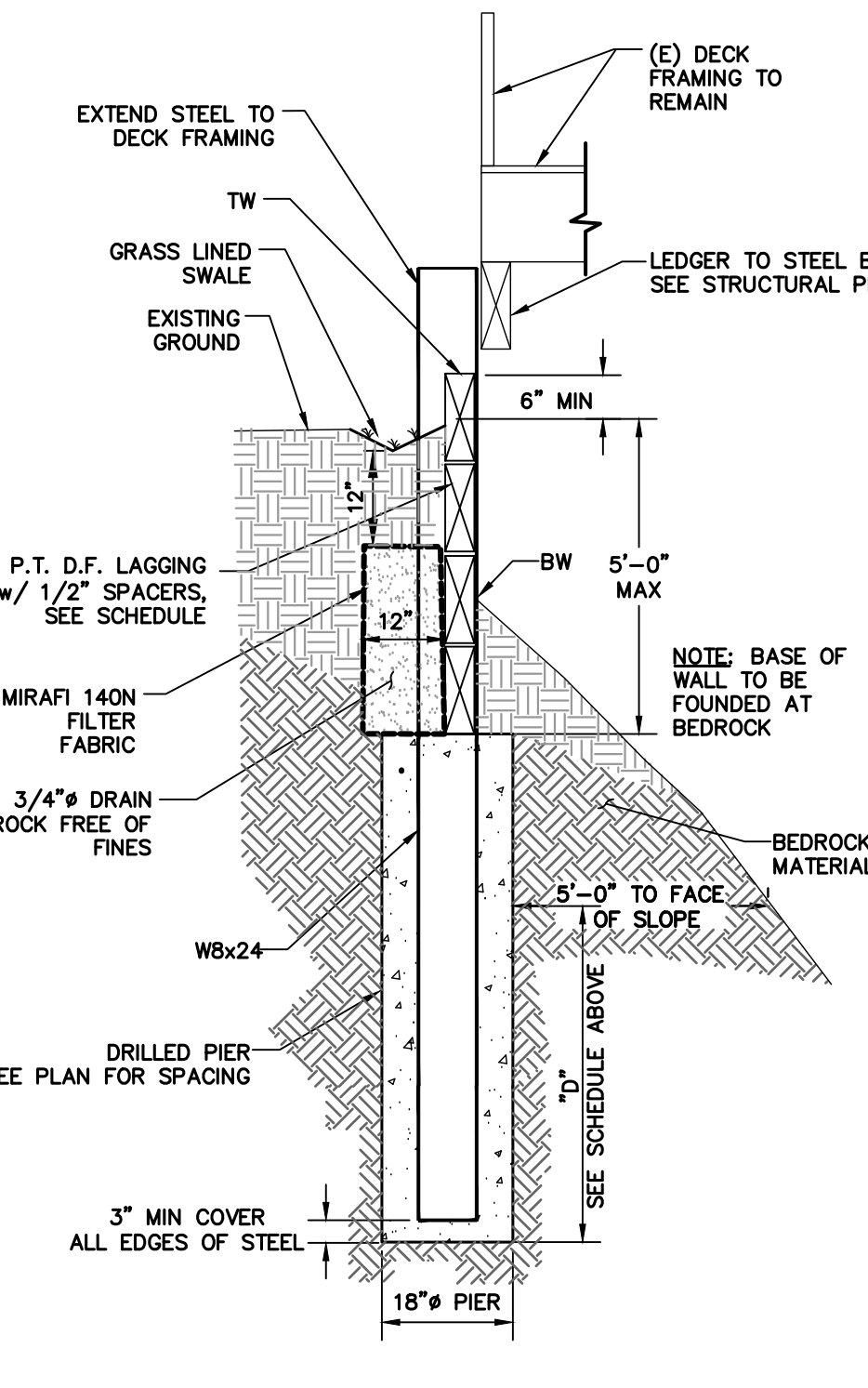
DEPTH OF RETAINED SOIL "H" (FEET)	MAX PIER SPACING O.C. (FEET)	PIER DEPTH (FEET)	LAGGING SIZE (P.T. D.F.)
0 TO 3	8	9	4x12
3 TO 5	8	12	6x12

RETAINING WALL SCHEDULE

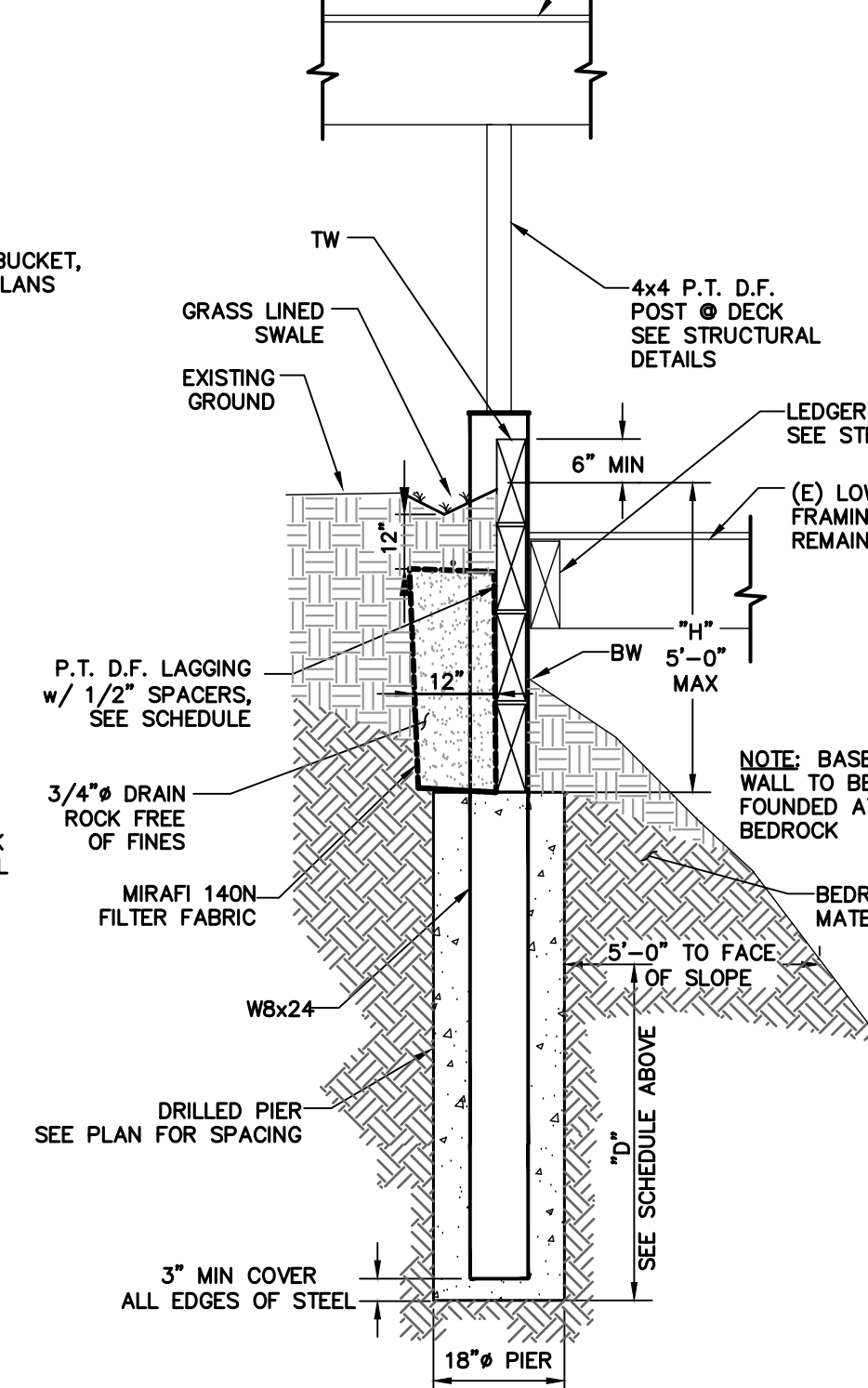
DEPTH OF RETAINED SOIL "H" (FEET)	PIER SPACING UNO (FEET)	PIER DEPTH (FEET)	LAGGING SIZE "D" (P.T. D.F.)
0 TO 3	8	9	4x12
3 TO 5	8	12	6x12

RETAINING WALL SCHEDULE

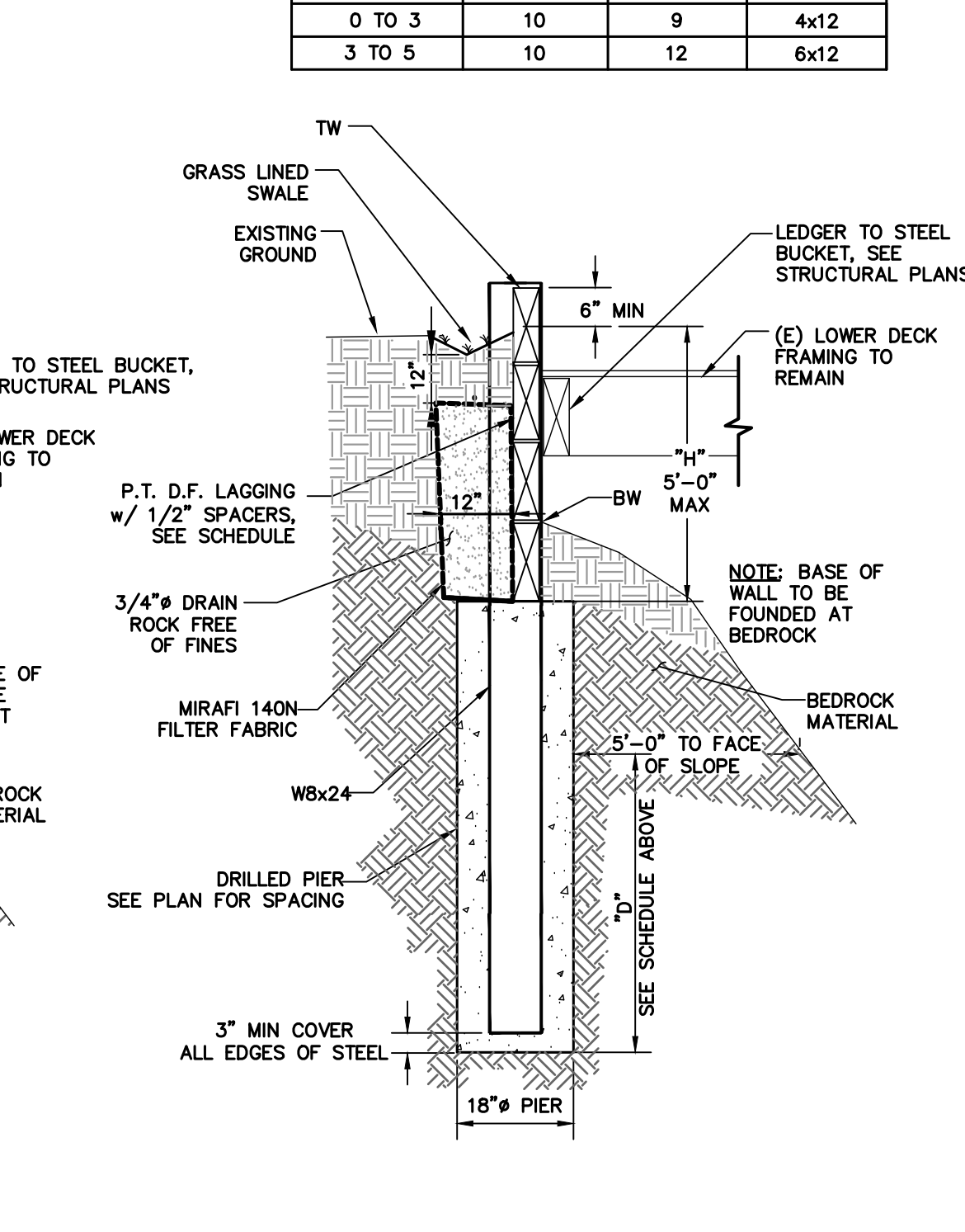
DEPTH OF RETAINED SOIL "H" (FEET)	PIER SPACING UNO (FEET)	PIER DEPTH (FEET)	LAGGING SIZE (P.T. D.F.)
0 TO 3	10	9	4x12
3 TO 5	10	12	6x12



SOLDER PILE WALL AT UPPER DECK
SCALE: 1"=10' HORIZONTAL

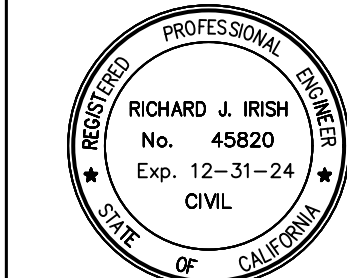


SOLDER PILE WALL AT LOWER DECK
SCALE: 1"=10' HORIZONTAL



LOWER SOLDER PILE WALL
SCALE: 1"=10' HORIZONTAL

REVISD PER COUNTY COMMENTS 1/21/2025



1/21/2025



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

RETAINING WALL REPAIR
FOR
RICHARD & WICKI NELSON
526 BEACH DRIVE
SANTA CRUZ COUNTY
APN 043-152-51

DETAILS

project no.
21-055-1
date
MAY 2024
scale
AS SHOWN
dwg name
CIVIL7 NELSON.DWG

C-2

BUILDING PERMIT SUBMITTAL

Exhibit D

TOTAL AREA OF DISTURBANCE = 770 SF

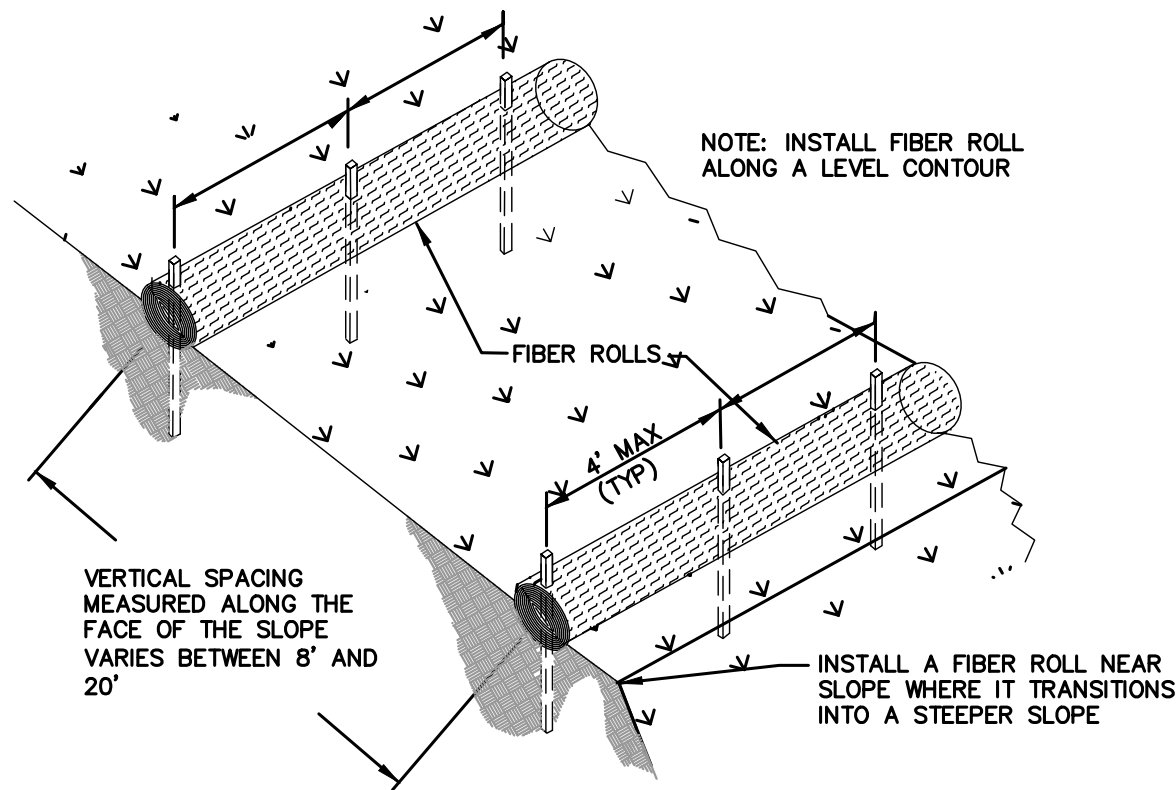
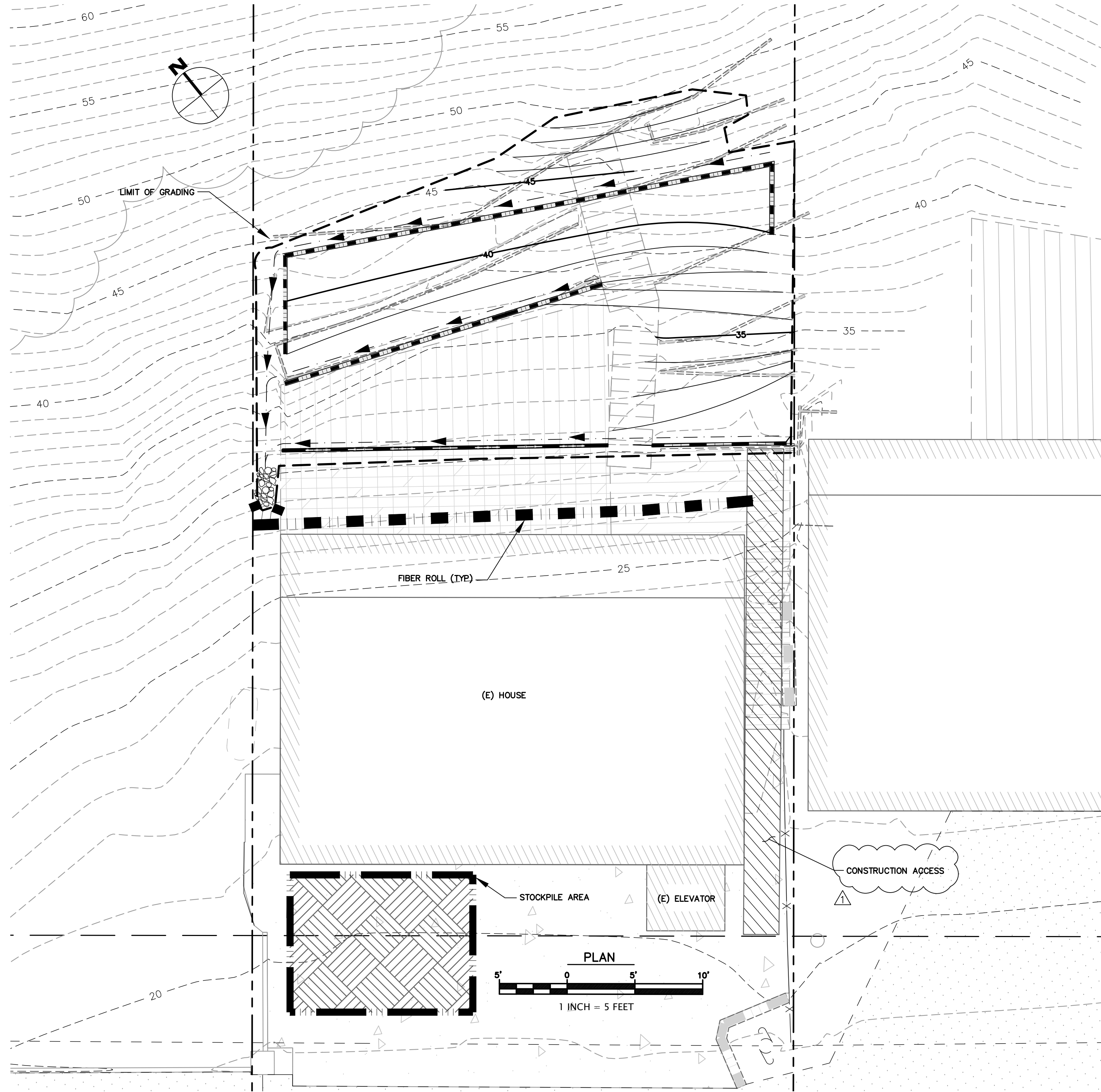
SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

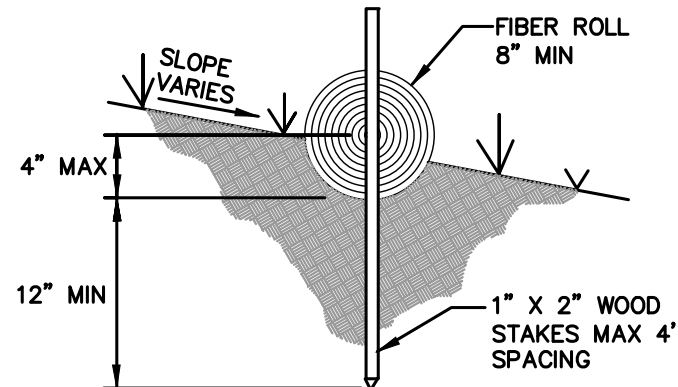
- LANDSCAPE MATERIALS
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 - CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 - APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 - STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

- VEHICLE STORAGE AND MAINTENANCE
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 - ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

- WASTE MANAGEMENT
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 - COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 - STACKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
 - CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



TYPICAL FIBER ROLL INSTALLATION
NTS



FIBER ROLL DETAIL IN SLOPE AREA
NTS

EROSION CONTROL MEASURES

- EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
- UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
- THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
- ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
- AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4\"/>
- AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
- SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

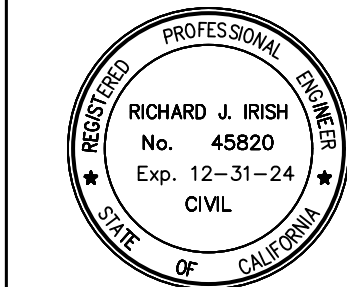
EXPOSED SLOPE MEASURES

- COVER ALL EXPOSED SLOPES
- STRAW 2 TONS/ACRE ON SLOPES \leq 20% WITH SOIL BINDER
- USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>$ 20%.

EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- [Hatched Box] PROPOSED STOCKPILE AREA

REVISED PER COUNTY COMMENTS. 1/21/2025



1/21/2025



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

RETAINING WALL REPAIR
FOR
RICHARD & VICKI NELSON
526 BEACH DRIVE
SANTA CRUZ COUNTY
APN 043-152-51

STORMWATER POLLUTION
CONTROL PLAN

project no.
21-055-1
date
MAY 2024
scale
AS SHOWN
dwg name
CIVIL7 NELSON.DWG

C-3

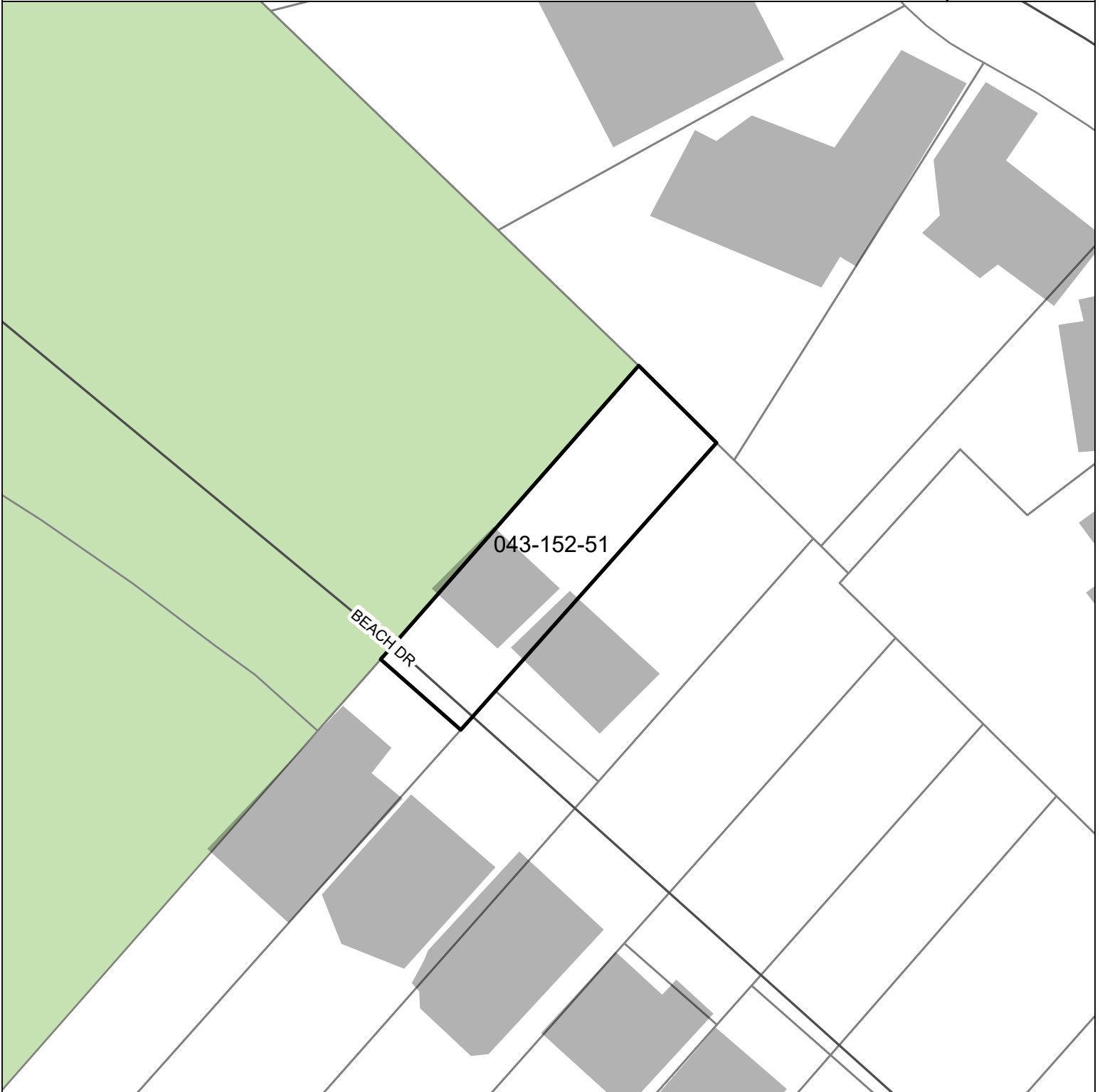
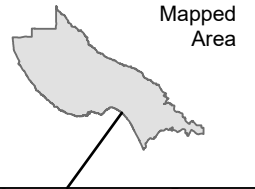
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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Electronically Redrawn 2/12/89 rw
Rev 2/12/89 RW (Cor to pg 24)
Rev 5/14/89 CB (Cor to A + 66 & 67)
Rev 5/25/01 mvm (changed page refs.)
Rev 8/17/02 mvm (line work correction)
Rev 10/17/02 mvm (line work correction, 2-69)
Rev 3/10/02 DD (corr as per 4-0073970, 2-6-
Rev 4/25/05 CB (4-0085783, LBA 2-70 & 71)
Rev 2/16/06 mvm (5-0081615, LBA 2-72 & 7
Rev 2/5/08 mc (Cor to cancelled APNs)
Rev 1/26/09 CB (14RS14)
Rev 11/12/13 MC (Cor to parcel config, 2-62
Rev 5/29/15 AR (15-0008034, Comb 2-74)
Rev 7/19/17 CB (Cor dims as per LBA deed
Rev 10/26/17 CB (12/1RS2)



Santa Cruz County Planning Department

Parcel Location Map



Parcel: 04315251

 Subject Parcel

Map printed: 6 Aug. 2025

30

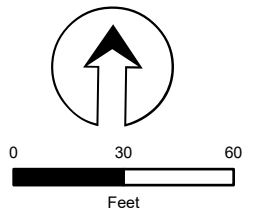
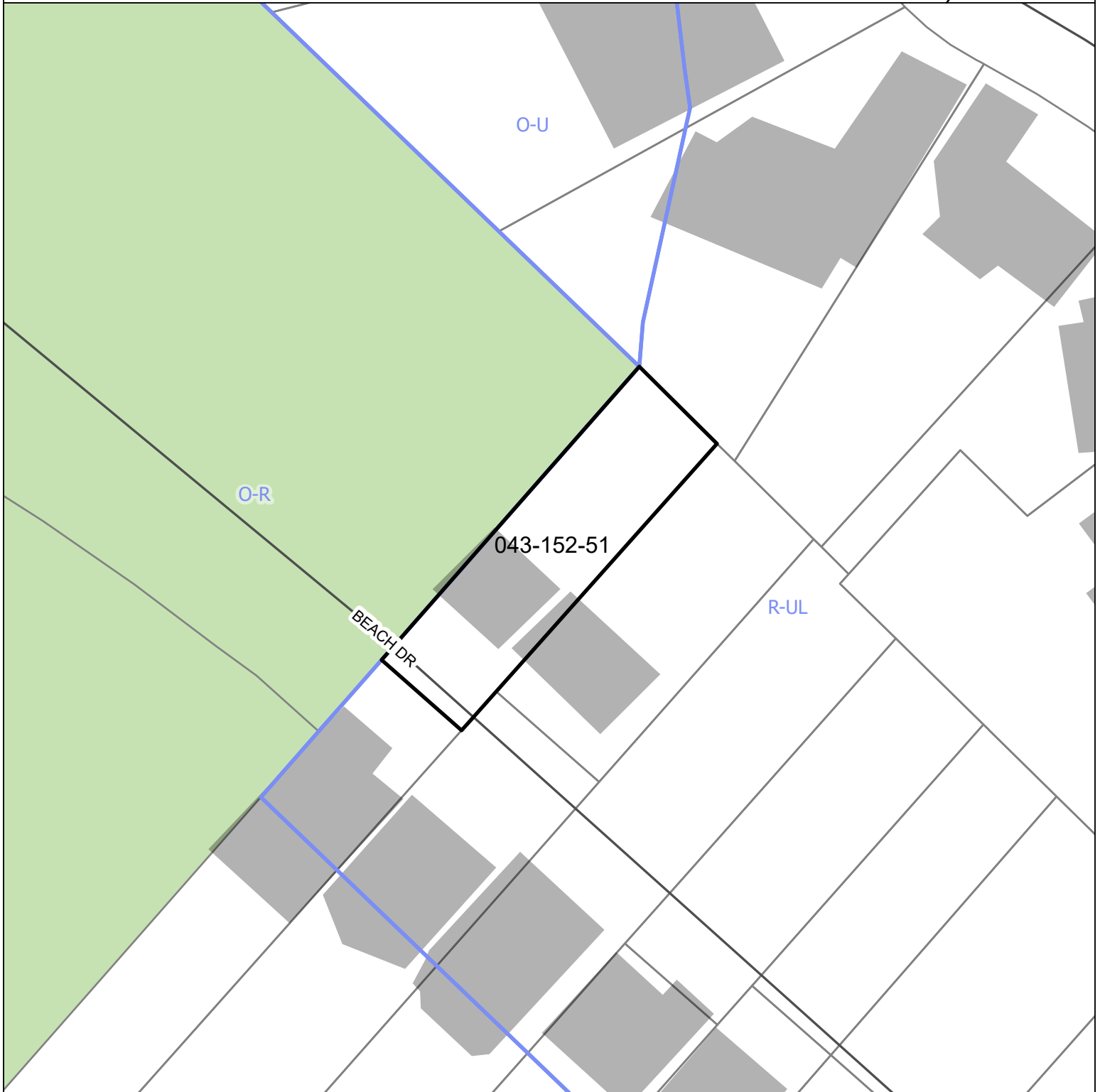


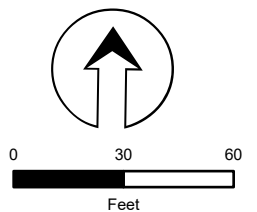
Exhibit E



Parcel General Plan Map



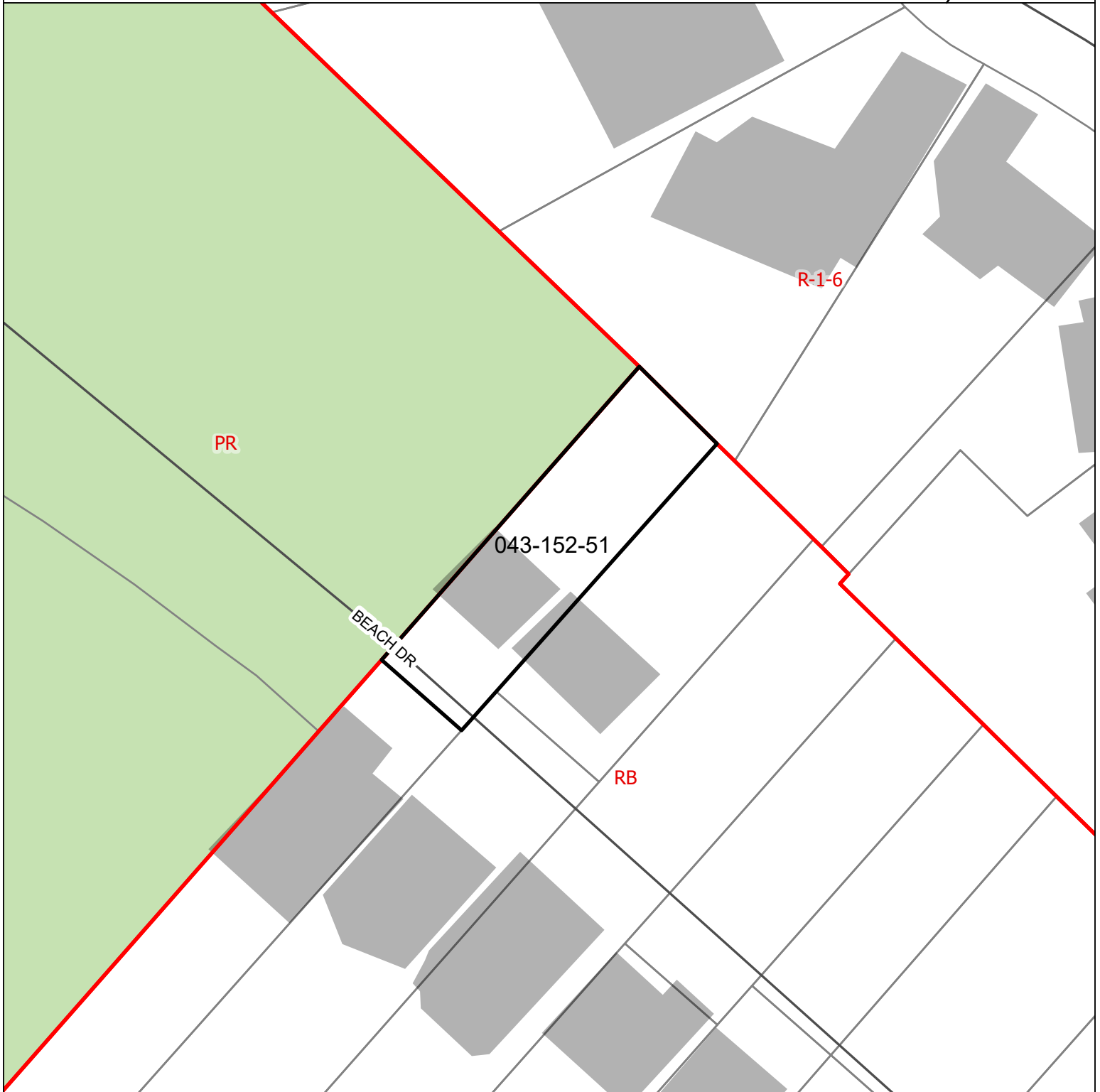
 Subject Parcel



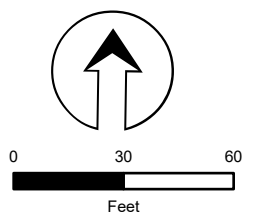


Santa Cruz County Planning Department

Parcel Zoning Map



 Subject Parcel



Parcel Information

Services Information

Urban/Rural Services Line:	<u> X </u> Inside <u> </u> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	Santa Cruz Sanitation District
Fire District:	Central Fire Protection District
Drainage District:	Zone 6

Parcel Information

Parcel Size:	4,952 square feet
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential and Parks
Project Access:	Beach Drive
Planning Area:	Aptos
Land Use Designation:	R-UL (Urban Residential - Low Density)
Zone District:	RB (Single Family Ocean Beach Residential)
Coastal Zone:	<u> X </u> Inside <u> </u> Outside
Appealable to Calif. Coastal Comm.	<u> X </u> Yes <u> </u> No

Technical Reviews: REV231137 (geotechnical report)

Environmental Information

Geologic Hazards:	Flood zone VE/ development does not significantly impact
Fire Hazard:	Not a mapped constraint
Slopes:	Half of parcel is sloped 50% or greater/ development site is mostly flat
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No significant grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	A mapped resource/ development does not significantly impact
Archeology:	Not mapped/no physical evidence on site



County of Santa Cruz

Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060
Planning (831) 454-2580 Public Works (831) 454-2160
cdi.santacruzcountyca.gov

11 July 2025

Richard and Vicki Nelson <rnelson@plantsciences.com>
PO Box 1960
Freedom, CA 95019

Subject: Review of the Limited Geotechnical Study, Proposed Deck Reinforcement and Site Retaining Walls, Nelson Property, 526 Beach Drive, Santa Cruz County, CA report dated 16 December 2021; the Supplemental Slope Stability Evaluation report dated 22 February 2024; and the Supplemental Slope Stability Evaluation and Response to Comments letter dated 18 December 2024 by C2Earth Inc., Document Id. 21082A-01L1, -01L2REV, and -01L3

Project Site: 526 Beach Drive
 APN 043-152-51
 Application No. REV231137 (related to 241376)

Dear Applicant(s):

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports, and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports. [SCCC 16.10.070]
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. [SCCC 16.10.070]
3. After plans are prepared that are acceptable to all reviewing agencies, please request both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG-300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by the last revision date. [SCCC 16.10.070]
4. A Declaration of Geologic Hazards shall be recorded prior to issuance of building permit(s) for the proposed project. The declaration form will be prepared and provided along with instructions for recording upon submission of the building permit application. [SCCC 16.10.070]
5. A Maintenance and Monitoring Agreement is required and shall be recorded prior to the issuance of building permit(s) for the proposed project.

The project team should prepare recommendations for maintenance and monitoring of the retaining wall improvements to be incorporated into the required agreement. The recommendations should be submitted with other pertinent documents as part of the building permit package. The Maintenance and Monitoring Agreement to be recorded will then be prepared and provided. [SCCC 16.10.070]

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports.

Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website:
<https://cdi.santacruzcountyca.gov/UPC/EnvironmentalPermitsTechnicalReviews/GeologyandSoils/AssistanceandForms.aspx>

After building permit issuance the engineering geologist and geotechnical engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.

If we may be of any further assistance, please contact either: Rick Parks at 831.454.3168 or rick.parks@santacruzcountyca.gov; or Craig Stewart at 831.454.3175 or craig.stewart@santacruzcountyca.gov

Respectfully,



Rick Parks, GE 2603
Civil Engineer
County of Santa Cruz
CDI - Planning Division

A handwritten signature of Craig Stewart in black ink.



Craig Stewart, CEG 2779
County Geologist
County of Santa Cruz
CDI – Planning Division

Cc: Environmental Planning, Attn: Jessica deGrassi
C2Earth, Inc., Attn: Chris Hundemer, PE, CEG
Mike Tinsley

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN GEOLOGIC AND GEOTECHNICAL REPORTS
HAVE BEEN PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After the issuance of the building permit, the County requires your engineering geologist and geotechnical engineer to be involved during construction. [SCCC 12.10.217 (E)]

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the geologic and geotechnical reports.

If the *Final Inspection Form(s) (PLG-305)* identifies any portions of the project that were not observed by the geotechnical engineer and/or engineering geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The geotechnical engineer and/or engineering geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.