



## Staff Report to the Zoning Administrator

Application Number: **241451**

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**Applicant:** Russell Simpkins

**Owner:** JL Modular Inc, Jeffrey Luchetti

**APN:** 033-151-27

**Site Address:** 4360 Opal Cliff Drive, Santa Cruz

**Agenda Date:** 9/12/2025

**Agenda Item #:** 2

**Time:** After 9:00 a.m.

**Project Description:** Proposal to remodel and construct net additions totaling 942 square feet to an existing 3,230 square foot two-story single-family dwelling with an attached 499 square foot garage to result in a 4,171 square foot single-family dwelling with a 509 square foot attached garage and to construct a 558 square foot detached ADU over a new 340 square foot detached garage.

**Location:** Property is located on the southern side of Opal Cliff Drive (4360 Opal Cliff Drive), between the road and the cliffs, approximately 400 feet from the intersection with Court Drive.

**Permits Required:** Coastal Development Permit, Site Development Permit with Design Review

**Supervisory District:** 1st District (District Supervisor: Manu Koenig)

### **Staff Recommendation:**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241451, based on the attached findings and conditions.

### **Project Description & Setting**

The subject parcel is located on the southern side of Opal Cliffs Drive, between the road and the coastal bluff, the property lies within a residential neighborhood characterized by an eclectic mix of one- and two-story single-family homes featuring diverse architectural styles, materials, and colors. The area also includes a growing number of larger, newer and modernized/remodeled homes with more contemporary designs. The property lies within the Opal Cliffs Subdivision, recorded in October 1929 (Map 02M12). In 1978, Permit 78-1451-MLD was approved for a boundary adjustment to between Lots 39 and 40 of the Opal Cliffs Subdivision to result in the current parcel configuration.

The property is currently developed with a nonconforming 2,731-square-foot, two-story single-family dwelling and a 499-square-foot attached garage, both constructed in 1952, prior to building permit requirements. Specifically, the structure is only nonconforming to current site and

developments standards for the garage entrance, which is set back from the property line by 17 feet 10.35 inches and therefore does not meet the currently required 20-foot setback. Many older homes in the neighborhood similarly contain legal nonconforming structures built before current building and zoning codes were established. The existing structure is also situated partially within the 100-year coastal bluff erosion setback and as remodeled by this permit, will be 17 feet 6.35 inches away from the coastal bluff.

The proposed project includes the demolition of 234 square feet at the first floor and 50 square feet at the second floor. The first-floor demolition includes a portion of the structure partially located at the rear of the dwelling, the demolition of which, as noted above, will increase the distance between the rear of the home and the coastal bluff. The project also includes the construction of 665 square feet of habitable additions at the first floor and 550 square feet at the second floor of the single-family family dwelling. The garage is also being increased by 10 square feet. Additionally, a 340 square foot detached garage with a 558 square foot detached Accessory Dwelling Unit (ADU) on the second floor is proposed. Upon completion, the site will contain a 4,171-square-foot single-family dwelling with a 509-square-foot attached garage, plus the new detached garage and ADU. All proposed additions are located outside the 100-year geologic setback. Furthermore, the area closest to the bluff will be improved with new landscaping and an existing concrete patio that is subject to increased erosion of the bluff face and now cantilevers over the bluff edge will be removed. Associated erosion control netting and an unpermitted wooden viewing area are also being removed at the request of the Coastal Commission.

The property lies within the appeals jurisdiction of the Coastal Zone; therefore, because the total area of the proposed additions will exceed 250 square feet, the project is not exempt from review under the Coastal Zone regulations. In addition, landscape improvements that include new paving, planting, and the removal of existing concrete patio that is cantilevered and erosion netting are proposed within 50 feet of the edge of the coastal bluff. As such, a Coastal Development Permit is required

A Site Development Permit with Design Review is also required because more than 500 square feet of additional floor area is proposed on a property that constitutes a sensitive site. A "Sensitive site" includes any property located on a coastal bluff or where development may impact public views of the ocean, or other scenic resource.

### **Zoning & General Plan Consistency**

The subject property is a 8,576 square foot lot, excluding the coastal bluff area, located in the R-1-5 (Single Family Residential, 5,000 square foot minimum per dwelling) zone district, a designation which allows residential uses. The proposed construction of net additions 942 square feet to the existing two-story single-family dwelling (SFD) and the construction of a 340 square foot detached garage with a 558 square foot detached Accessory Dwelling Unit (ADU) on the second floor constitute principal permitted uses within the zone district. The zoning is consistent with the site's R-UM (Urban Residential - Medium Density) General Plan designation.

The Site and development standards for the R-1-5 zone district are summarized in the table below, which includes a comparison of both the existing dwelling and proposed remodeled dwelling to the required standards:



Development Standards	R-1-5 Zone District	Existing	Proposed
Front Setback	15 feet	SFD: 18 feet	SFD: 17 feet ADU: 7 feet 6.63 inches
Side Setbacks	<u>SFD</u> NE: 5 feet SW: 8 feet <u>ADU</u> 4 feet (both sides)	<u>SFD</u> NE: 5 feet SW: 31 feet 9 inches <u>ADU</u> N/A	<u>SFD</u> NE: 5 feet SW: 8 feet <u>ADU</u> NE: 37 feet 2.5 inches SW: 4 feet
Rear Setback	SFD: 15 feet ADU: 4 feet	SFD: 62 feet 3 inches* ADU: N/A	SFD: 69 feet 9.5 inches* ADU: greater than 80 feet
Maximum Height	SFD: 28 feet ADU: 24 feet	SFD: 24 feet 7.63 inches	SFD: 26 feet 4.25 inches ADU: 24 feet
Number of Stories (Max.)	2 stories	2	2
Setback to Garage Entrance	20 feet	SFD: 17 feet 10.38 inches	SFD: 17 feet 10.38 inches ADU: 38 feet 2 inches
Parking Spaces Required		2 parking spaces : 3 bedrooms SFD	4 parking spaces : 5 bedroom (3 spaces) + ADU (1 space)
Floor Area Ratio (Max.)	50%	35%	50%
Lot Coverage (Max.)	40%	25.5%	33.4%

\*This is from the property line, beyond the coastal bluff, to the rear of the single-family dwelling. The existing setback from the coastal bluff is 9 feet 9.5 inches and the proposed setback is 17 feet 6.38 inches from the coastal bluff.

Other Code sections and standards that apply to the proposed project include the following:

SCCC 13.10.232 Nonconforming Structures

Per County Code section 13.10.262 – “Nonconforming Structures”, structural alterations may be made to an existing nonconforming structure without additional permit requirements, where such modifications do not constitute reconstruction, which is defined by County Code 13.10.260(B)(6), as modifications that alter 65% or more of the major structural components. Further, conforming additions that do not increase the nonconforming dimensions of the structure may be constructed. The proposed project results in a total modification of 40.51%, which is less than 65% of the major structural components of the existing dwelling. Therefore, the proposed project is not considered a reconstruction of the existing nonconforming structure. All proposed additions will conform to the site and development standards for the R-1-5 zone district. Therefore, no additional reviews are required for alterations to the nonconforming dwelling.



The definition of “Development” set out within County Code Chapter 16 includes that the addition of habitable square footage to any structure, where the addition increases the habitable square footage by more than 50 percent or 500 square feet, whichever is greater, over the existing habitable space within a consecutive five-year period constitutes “development.” The existing two-story single-family dwelling has a habitable floor area of 2,731 square feet, 50 percent of which would be 1,366 square feet. As such the proposed total new 1,215 square feet of habitable additions to the existing dwelling does not result in a project that meets the definition of “development.” Furthermore, all of the proposed additions, including the proposed detached garage with an ADU at the second floor, are located outside of the 100-year geologic setback. It should also be noted that the ADU/garage structure is not counted toward the maximum allowed additional floor area of 1,366 square feet because the structure is detached and does not constitute as an addition. Therefore, the project has been designed in accordance with the requirements of the Geologic Hazards Ordinance.

SCCC 13.10.681 Accessory Dwelling Unit

The proposed 558-square-foot Accessory Dwelling Unit (ADU), located above a new 340-square-foot detached garage, fully complies with the standards outlined in SCCC 13.10.681. As allowed, the ADU will be located partially within the front yard setback, where it will be outside the required 100-year geologic setback. As designed, the ADU and garage are set back just over 7 feet 6 inches from the front property line and, as allowed for ADUs of up to 800 square feet, meets the state-mandated minimum setback of four feet from any property line. Furthermore, the design meets all architectural criteria specified in SCCC 13.10.681(F), as it closely mirrors the appearance of the primary residence in materials, form, and color, as illustrated below.



### SCCC 13.11 Site Development Permit and Design Review

Per County Code section 13.11.037-1: Site Development Permit Chart, proposed additions to an existing single-family dwelling that exceed 500 square feet requires approval of a Site Development Permit where the property is located on a “sensitive site” as defined in SCCC 13.11.030(I). The property is located within a “sensitive site,” which includes any property located on a coastal bluff or where development may impact public views of the ocean, or other scenic resource. The proposed project has been designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The existing neighborhood is made up of larger single-family dwellings and detached habitable and non-habitable accessory structures, which are historically built within the geologic setback with new additions located outside the geologic setback. The proposed additions are located away from the edge of the coastal bluff and outside of the 100-year geologic setback and this, together with the fact that a portion of the existing structure closest to the bluff is being demolished, means that the remodeled and enlarged home will have a reduced impact overall on coastal views. In addition, the proposed project will not be visible from a public beach and has been designed in accordance with the design criteria as expanded upon below. Therefore, the proposed project is considered appropriate. A complete list of Findings for the Site Development Permit is included with this report (Exhibit B).

The proposed project, which includes 942 square feet of net total additions to the existing two-story single-family dwelling, construction of a 340-square-foot detached garage with a 558-square-foot Accessory Dwelling Unit (ADU) above, and an exterior remodel of the existing residence, complies with the requirements of the County Design Review Ordinance. The design incorporates site-sensitive and architectural features such as articulated exterior walls to break up bulk and mass of the structure, together with the use of natural materials and colors to minimize visual impact on the surrounding landscape and neighboring properties. Additionally, the ADU is designed to complement and match the architectural style of the primary residence, ensuring a cohesive overall aesthetic, and the project includes new landscaping including trees, shrubs, fences and gates, that will further screen and soften the appearance of the structure.

### **Local Coastal Program Consistency**

The proposed project includes 942 square feet of net total additions to the existing two-story single-family dwelling, construction of a 340-square-foot detached garage with a 558-square-foot Accessory Dwelling Unit (ADU) above, and an exterior remodel of the existing residence. In addition, landscape improvements are proposed in the rear yard, that include the removal of an existing cantilevered piece of concrete patio and erosion netting along the coastal bluff and the installation of new paving and planting. Some of these improvements will be located within 50 feet from the edge of the coastal bluff. The removal of previous unpermitted work along the coastal bluff will also enhance overall safety of the property and bring it into greater compliance with the geologic hazards ordinance.

The proposed project is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The proposed additions to the existing two-story dwelling will result in a structure that is similar in size to the neighboring two-story homes. Developed parcels in the area contain one- and two-story single-family dwellings. Size and

architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The proposed additions are outside of the 100-year geologic setback and a portion of the structure closest to the bluff is being demolished. Furthermore, the proposed project will not have a significant impact on coastal viewsheds since the dwelling is not visible from a public beach and follows the design criteria as expanded upon above. The project site is located between the shoreline and the first public road, however, there is no public access to the shoreline through the site due to the steep coastal bluff. In addition, the site is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. There is beach access located on East Cliff Drive, approximately 0.35 miles from the property.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241451**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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## **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters (REV241232)



# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241451

Assessor Parcel Number: 033-151-27

Project Location: 4360 Opal Cliff Drive, Santa Cruz

**Project Description: Proposal to remodel and construct net additions totaling 942 square feet to an existing two story single-family dwelling with an attached garage. Additionally construct a 558 square foot detached ADU over a new 340 square foot garage.**

**Person or Agency Proposing Project: Russell Simpkins**

**Contact Phone Number: 831-239-8578**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (15301), Class 3 - New Construction or Conversion of Small Structures (Section 15303)

### F. Reasons why the project is exempt:

The proposed additions to the single-family dwelling do not result in an increase in the floor area ratio beyond 50% and does not result in a reconstruction of an existing nonconforming structure. The proposed single-family dwelling includes demolition that the rear that moves the structure further away from the coastal bluff. Also the new proposed ADU and detached garage are accessory to the primary residential use of the property. The proposed project also includes removal of the cantilevered portion of an existing rear concrete patio on the coastal bluff and removal of erosion control netting and unpermitted wooden viewing area, which will improve the area along the coastal bluff.

In addition, none of the conditions described in Section 15300.2 apply to this project.

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Alexandra Corvello, Project Planner

Date: \_\_\_\_\_

## **Coastal Development Permit Findings**

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-5 (Single Family Residential, 5,000 square foot minimum per dwelling), a designation which allows residential uses. The proposed construction of additions totaling a net 942 square feet to the existing two-story single-family dwelling and the construction of a 340 square foot detached garage with a 558 square foot detached Accessory Dwelling Unit (ADU) on the second floor, as well as landscaping improvements in the front and rear of the property, including the removal of unpermitted work along the coastal bluff, are principal permitted uses within the zone district, and the zoning is consistent with the site's R-UM (Urban Residential - Medium Density) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style. The site is surrounded by lots developed to an urban density, with one and two-story structures, and the colors will be natural in appearance and complementary to the site. While the development site is next to a coastal bluff and the existing structure is partly located within the 100-year geologic setback, all additions will be constructed outside the geologic setback. In addition, the project includes the removal of unpermitted erosion control netting, wooden structures, and paving along the coastal bluff. Furthermore, the remodeled and enlarged dwelling will not be visible from any public coastal viewpoints.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available on East Cliff Drive approximately 0.35 miles from the property.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-5 (Single Family Residential, 5,000 square foot minimum per dwelling) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain one and two-story single-family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of

development within the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made in that the project site is located between the shoreline and the first public road, however, there is no public access to the shoreline through the site due to the steep coastal bluff. In addition, the site is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. There is beach access located on East Cliff Drive, approximately 0.35 miles from the property.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.



## **Discretionary Permit Findings**

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity. In addition the removal of previous unpermitted work along the coastal bluff will enhance overall safety of the site and bring it into greater compliance with the geologic hazards ordinance.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the remodeled and enlarged single-family dwelling, detached garage with an Accessory Dwelling Unit (ADU) on the second floor, and the conditions under which these structures would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-5 (Single Family Residential, 5,000 square foot minimum per dwelling) zone district as the primary use of the property will be one nonconforming single-family dwelling with proposed additions and an associated accessory structure that meet all current site standards for the zone district. Additionally, the parking areas and number and layout of parking spaces on-site comply with SCCC 13.16.060(H) parking standards.

While the existing single-family dwelling is a legal nonconforming structure, the proposed modifications do not constitute reconstruction because less than 65% of the major structural components of the existing home will be modified.

A Site Development Permit is required because the property is located within a sensitive site and the proposed additions are greater than the allowed 500 square feet maximum. The proposed project will comply with the site development standards per SCCC 13.11.

Pursuant to SCCC 16.10, the proposed project does not meet the definition of “development” because the proposed addition of habitable square footage to the existing structure, does not increase the habitable square footage by more than 50 percent over the existing habitable space. In addition, all of the proposed additions and the detached ADU/garage are located more than 66.5 feet from the coastal bluff and outside the 100-year geologic setback.

The proposed 558-square-foot Accessory Dwelling Unit (ADU) above a 340-square-foot detached garage, fully complies with the standards outlined in SCCC 13.10.681. Because the entire rear portion of the property lies within the 100-year geologic setback, the ADU must be situated in the front yard to ensure it lies outside this restricted area. As proposed, the structure will be set back

7 feet 6 inches the front property line, which exceeds the state-mandated minimum setback of four feet for ADUs up to 800 square feet. Furthermore, the design meets all architectural criteria specified in SCCC 13.10.681(F), as it closely mirrors the primary residence in materials, form, and color.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Residential - Medium Density) land use designation in the County General Plan. The proposed additions and remodel of the existing single-family dwelling will not adversely impact the light, solar opportunities, air and/or open space available to other structures or properties in the vicinity in that they will comply with all site and development standards for the zone district that ensure access to these amenities.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed remodeled and enlarged single-family dwelling and detached garage with an Accessory Dwelling Unit (ADU) on the second floor will add one accessory residential unit on an existing developed lot. The expected level of traffic generated by the proposed project is anticipated to be increased by one new potential trip a day, which is not significant, and therefore the project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed project is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The proposed project has been designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the area. The

existing neighborhood is made up of larger single-family dwellings and detached habitable and non-habitable accessory structures, which are historically built close to the bluff and at least partially within the 100-year geologic setback, a setting means that most new additions are built away from the coastal bluff and toward the public street. The remodeled and enlarged dwelling and ADU/garage will therefore be in harmony with the existing streetscape. Further, the buildings will not be visible from any public coastal viewpoint. In addition, the area closest to the bluff will be improved with new landscaping and the project includes the removal of unpermitted erosion control netting, wooden structures, and the cantilevered section of paving along the coastal bluff which will reduce the visual impact of the development on coastal resources overall. Therefore, the proposed project will result in a development that will be consistent with the surrounding neighborhood and will harmonize with neighboring existing development and current development trends.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made in that the required Coastal Development Permit findings have been made, and the project is consistent with the provisions of the certified Local Coastal Program.

### **Site Development Permit Findings**

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed remodeled and enlarged two-story single-family dwelling, detached garage with an Accessory Dwelling Unit (ADU) on the second floor, and proposed landscaping have been designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The additions are conforming to the zone district standards. There are many two-story single-family dwellings in the neighborhood and the height of the structure will not exceed 28 feet. Many of the newer and remodeled homes in the neighborhood are developed in a similar style, therefore the proposed project will be in character with the surrounding neighborhood.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

The proposed project, which includes a net total of 942 square feet of additions to the existing two-story single-family dwelling, construction of a 340-square-foot detached garage with a 558-square-foot Accessory Dwelling Unit (ADU) above, and an exterior remodel of the existing residence, complies with the requirements of the County Design Review Ordinance. The design incorporates site-sensitive and architectural features such as articulated exterior walls to break up bulk and mass

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of the structure, together with the use of natural materials and colors to minimize visual impact on the surrounding landscape and neighboring properties. Additionally, the ADU is designed to complement and match the architectural style of the primary residence, ensuring a cohesive overall aesthetic. In addition new landscaping that includes tree and shrub planting as well as paving, fences and gates will help to screen and soften the appearance of the new and remodeled structures. Therefore, this finding can be made.

## Conditions of Approval

Exhibit D: Project plans, prepared by Foundry, dated 6.21.25.

- I. This permit authorizes the demolition of 284 square feet at the first floor and 50 square feet at the second floor of the existing single-family dwelling and construction of 665 square feet of first floor habitable additions, with 10 square feet added to the existing garage, and 550 square feet second floor habitable additions together with construction of a 340 square foot detached garage with a 558 square foot detached Accessory Dwelling Unit (ADU) on the second floor. The permit also authorizes removal of the cantilevered section of existing concrete patio, wooden structures and erosion control netting located at the bluff edge and the installation of landscape improvements within 50 feet of the bluff edge as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
  - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way, if required.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.

2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
  3. Grading, drainage, and erosion control plans.
  4. Details showing compliance with fire department requirements.
  5. Provide details showing that all new exterior lighting complies with low-light pollution guidelines.
  6. Provide details showing that all new materials installed on elevations facing the coastal bluff, including all glazing, are non-reflective and will have anti-glare properties or coatings.
  7. The height of the structures must be maximum 28 feet for the single-family dwelling and 24 feet for the ADU above a detached garage.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
  2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of County of Santa Cruz Public Works, Driveway and Encroachment.
- D. Meet all requirements of the Soquel Creek Water District. Proof of water service availability for the ADU is required prior to application for a Building Permit.
- E. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability for the ADU is required prior to application for a Building Permit.
- F. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.

1. All plantings must be installed as shown and shall be native and drought tolerant, especially along the coastal bluff. All planting shall be maintained.
  2. Comply with all conditions of approval of the accepted Geotechnical and Geologic Reports for the project (REV241232).
- G. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- H. Submit a copy of plan review letters prepared and stamped by the project Geotechnical Engineer.
- I. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for new habitable floor area at single family dwellings.
- J. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for new habitable floor area at single family dwellings.
- K. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling over 4000 square feet is \$15 per square foot of new habitable floor area.
- L. Provide required off-street parking for 4 cars, 3 spaces for the single-family dwelling and 1 space for the ADU. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable fees and other requirements lawfully imposed by the school district.
- N. The garage below the ADU shall not be converted to habitable floor area. Complete and record a Declaration of Restriction for the construction of a detached 340 square foot garage for the ADU. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all recommendations of the approved soils reports.

- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

#### IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. Coastal Hazards. The property owner acknowledges that the site is subject to coastal hazards including but not limited to episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, storms, tsunamis, tidal scour, coastal flooding, liquefaction and the interaction of same.
- C. Assume Risks. The property owner shall assume all risks of injury and damage from such coastal hazards in connection with the permitted development related to this Coastal Development Permit.

#### V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or



proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



PROJECT INFORMATION

REMODEL OF EXISTING 3 BED 2 BATH SFR WITH A PROPOSED ADDITION (PROPOSED 5 BED 4.5 BATH SFR). NEW DETACHED ADU OVER NEW SINGLE CAR GARAGE FOR ADU. REMODEL UNDER 50% OF STRUCTURAL ELEMENTS, ADDITION LESS THAN 50% EXISTING HABITABLE SPACE.	
BLUFF SCOPE: NETTING AND PREVIOUSLY UNPERMITTED WOODEN STRUCTURE SHALL BE REMOVED PER REQUEST BY COASTAL COMMISSION. REMOVE CANTILEVERED PORTION OF CONCRETE PATIO AT BLUFF EDGE. SEE A2.4 FOR NOTES ON BLUFF	
APN:	033-151-27
BUILDING ADDRESS:	4360 OPAL CLIFF DR, SANTA CRUZ, CA 95062
ZONING:	R-1.5
CONSTRUCTION TYPE:	VB
OCCUPANCY TYPE:	GROUP R-3
SRA:	LRA
SPRINKLERED:	NO
COASTAL ZONE:	YES
INSIDE URBAN SERVICES LINE:	YES
CLIMATE ZONE:	3
LOT SIZE:	11,945 SF TOTAL, 8,576 SF EXCLUDING BLUFF
LOT COVERAGE MAX:	40%
LOT COVERAGE SQFT ALLOWED:	3,430 SF
EXISTING LOT COVERAGE SQFT :	2,191 SF - SEE EXISTING LOT COVERAGE ON SHEET A1.2
PROPOSED LOT COVERAGE SQFT:	2,864 SF - SEE LOT COV. DIAGRAM ON SHEET A1.3
FAR:	.5:1
EXISTING FLOOR AREA:	3,230 SF (.38) - SEE EXISITING FAR DIAGRAM ON SHEET A1.0
PROPOSED FLOOR AREA:	4,288 SF (.49) - SEE FAR DIAGRAM ON SHEET A1.1
TOTAL FLOOR AREA ALLOWED	4,288 SF
MAX NUMBER OF STORIES:	2
PROPOSED	2
SETBACKS	
FRONT	15'
SIDE	5' and 8'
REAR	15' (SEE GEOLOGY REPORT FOR EROSION SETBACK)
ADU SETBACKS	
ADU FRONT	7.5' AS REQUIRED BY THE EROSION SETBACK
ADU SIDE	4' and 4'
ADU REAR	4'
MAX HEIGHT:	28'
PROPOSED	27' 10"
ADU MAX HEIGHT:	24'
ADU PROPOSED	23' 11" AT HIGHEST POINT
OFF STREET PARKING REQUIREMENTS:	4
MAIN STRUCTURE:	3
ADU:	1
TOTAL:	4
PROVIDED:	4
SPECIAL DISTRICTS:	
WATER:	SOQUEL WATER DISTRICT
FIRE:	CENTRAL FPD
SEWER:	SANTA CRUZ SANITATION DISTRICT
SOILS EXPANSIVE:	NO

APPLICABLE CODES & REGS.

2022 California Building Code  
2022 California Residential Code  
2022 California Electrical Code  
2022 California Mechanical Code  
2022 California Plumbing Code  
2022 California Fire Code  
2022 Building Energy Efficiency Standards  
2022 California Green Building Code

ALL WORK TO CONFORM TO LOCAL CODE AMENDMENTS , APPLICABLE ORDINANCES & FEDERAL REGULATIONS.

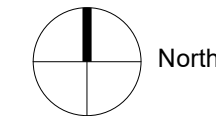
DEFERRED SUBMITTALS

SUBMITTTT DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMNETS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

- 1) SPRINKLERS  
2) SOLAR

HERS VERIFICATION

LOCATION MAP



VICINITY MAP



FIRE NOTES

1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND THE LOCAL FIRE DISTRICT AMENDMENTS
2. BUILDING NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
3. A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
4. THE JOB COPIES OF THE BUILDING, FIRE SYSTEMS PLANS, AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
5. A PUBLIC FIRE HYDRANT IS REQUIRED TO BE WITHIN 600' OF ANY PORTION OF THE BUILDING. HYDRANT SHALL BE ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED DRIVABLE ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING.
6. ALL PRIVATE ACCESS ROADS, DRIVEWAYS, TURN-AROUND AND BRIDGES ARE THE RESPONSIBILITY OF THE OWNER(S) OF RECORD AND SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT SAFE AND EXPEDIENT PASSAGE AT ALL TIMES.
7. BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

ABBREVIATIONS

<b>A</b>		<b>M</b>	
AF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
AL	ALUMINUM	MFD	MANUFACTURED
ALT	ALTERNATE	MFR	MANUFACTURER
APPL	APPLIANCE	MECH	MECHANICAL
ARCH	ARCHITECT(URAL)	MIN	MINIMUM
AUTO	AUTOMATIC	MISC	MISCELLANEOUS
AVG	AVERAGE	MLWK	MILLWORK
&	AND	MTD	MOUNTED
<b>B</b>		<b>N</b>	
BLDG	BUILDING	NIC	NOT IN CONTRACT
BD	BOARD	NO	NUMBER
BLKG	BLOCKING	NTS	NOT TO SCALE
<b>C</b>		(N)	NEW/PROPOSED
CPT	CARPET	<b>O</b>	
CEM	CEMENT(ITIOUS)	OVFL	OVERFLOW
CLG	CEILING	OVHD	OVERHEAD
CONC	CONCRETE	OPNG	OPENING(S)
CONST	CONSTRUCTION	<b>P</b>	
CONT	CONTINUOUS(ATION)	PBD	PARTICLE BOARD
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
<b>D</b>		POB	POINT OF BEGINNING
DBL	DOUBLE	PREFIN	PREFINISHED
DEPT	DEPARTMENT	PREFAB	PREFABRICATED
DET	DETAIL	PLAM	PLASTIC LAMINATE
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER		
DIFF	DIFFUSER	RECES	RECESSED
DIM	DIMENSION	REF	REFER(ENCE)
DISP	DISPENSER	REFL	REFLECTED
DIV	DIVISION	REGS	REGULATIONS
DN	DOWN	RM	ROOM
\$	DOLLAR (US CURRENCY)	REQD	REQUIRED
DR	DOOR	REQD	REQUIRED
DS	DOWNSPOUT	(R)	RELOCATED
DWR	DRAWER	<b>S</b>	
<b>E</b>		SEC	SECURITY
ELEC	ELECTRICAL	SF	SQUARE FEET
ENGR	ENGINEER(ED)	SD	STORM DRAIN
ENTR	ENTRANCE	SIM	SIMILAR
EQ	EQUAL	SST	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
(E)	EXISTING	STL	STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
<b>F</b>		SUSP	SUSPENDED
FAB	FABRICATION		
FD	FLOOR DRAIN	TRTD	TREATED
FE	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
FEC	FIRE EXTINGUISHER AND CABINET	TYP	TYPICAL
FHC	FIRE HOSE CABINET	T	TEMPERED GLASS
FIN	FINISH	<b>U</b>	
FR	FIRE RAT(ING)(ED)	UTIL	UTILITY
FRM	FRAME	UNO	UNLESS NOTED OTHERWISE
FRMG	FRAMING	<b>V</b>	
FLR	FLOOR(ING)	VERT	VERTICAL
FURN	FURNITURE	VIF	VERIFY IN FIELD
FWC	FABRIC WALL COVERING	<b>W</b>	
<b>G</b>		W/	WITH
GA	GAUGE	WC	WATER CLOSET
GC	GENERAL CONTRACTOR	WD	WOOD
GFR	GLASS FIBER REINFORCED CONCRETE	W/O	WITHOUT
GFRG	GLASS FIBER REINFORCED GYPSUM	WT	WEIGHT
GFRP	GLASS FIBER REINFORCED PLASTER		
GL	GLASS		
GYP	GYPSUM		
<b>H</b>			
HD	HEAD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
<b>I</b>			
INFO	INFORMATION		
INSUL	INSULATION		
INT	INTERIOR		
<b>J</b>			
JAN	JANITOR		
<b>L</b>			
LAV	LAVATORY		
LB	POUND		
LT	LIGHT		
LVLG	LEVELING		

CONTACT INFORMATION

CLIENT: Jeff Luchetti (707) 527-5788 jeff@jcbuild.com	LANDSCAPE: K&O Landscaping Liz Ryan 62 C Hangar Way Watsonville, CA 95076 (831) 728-4016 liz@kandlandscaping.com	SURVEY: Alpha Land Surveys Alan Brodie French 4444 Scotts Valley Dr. Scotts Valley, CA 95066 (831) 436-4453
ARCHITECT: Foundry Architecture - Lic. # 38820 Russell Simpkins Eric Iverson 8070 Soquel Dr. Suite 130 Aptos, CA 95003 (831) 239-8578 Russ@foundryarchitecture.com	GEOLOGY: Easton Geology Greg Easton PO Box 3533 Santa Cruz CA 95063 (831) 247 - 4317	GEOLOGICAL: CMAG Engineering, INC. Adrian L. Garner 41 Hangar Way Suite C and D, Watsonville, CA 95076 (831) 475 - 1411 info@cmagengeering.com
CIVIL: Ramsey Civil Engineering - RCE# 73735 David Ramsey 2895 Kristie Court Santa Cruz, Ca 95065 (831) 462-2905 david@ramseyce.com		

DRAWING INDEX

ARCHITECTURAL		11/19/2024 RE SUB	11/19/24 CDP	04/21/25 CDP RE-SUB	06/21/25 CDP RE SUB 2
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A0.2	NEIGHBORHOOD CONTEXT		X	X	X
A0.3	RENDERING & MATERIALS		X	X	X
A0.4	RENDERING & MATERIALS			X	X
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A1.2	EXISTING LOT COVERAGE DIAGRAM				X
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A2.1	EXISTING FLOOR PLAN - LEVEL 1		X	X	X
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A3.0	EXISTING ELEVATIONS		X	X	X
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A3.2	PROPOSED ELEVATIONS		X	X	X
A3.3	PROPOSED ELEVATIONS		X	X	X
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A4.0	STRUCTURAL MODIFICATION WORKSHEET - EXISTING ROOF		X	X	X
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A5.0	PROPOSED SECTIONS		X	X	X
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A7.0	WINDOW SCHEDULE		X	X	X
A7.2	DOOR SCHEDULE		X	X	X
<b>CIVIL</b>					
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C1.1	NOTES		X	X	X
C2.0	SITE PLAN		X	X	X
C3.0	GRADING & DRAINAGE PLAN		X	X	X
C3.1	SECTIONS		X	X	X
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L - 2.1	MASTER PLAN LABELED		X	X	X
L - 3.0	PLANTING PLAN		X	X	X
<b>SURVEY</b>					
TP - 1	TOPOGRAPHIC MAP		X	X	X

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



**Project Name**  
Luchetti Residence

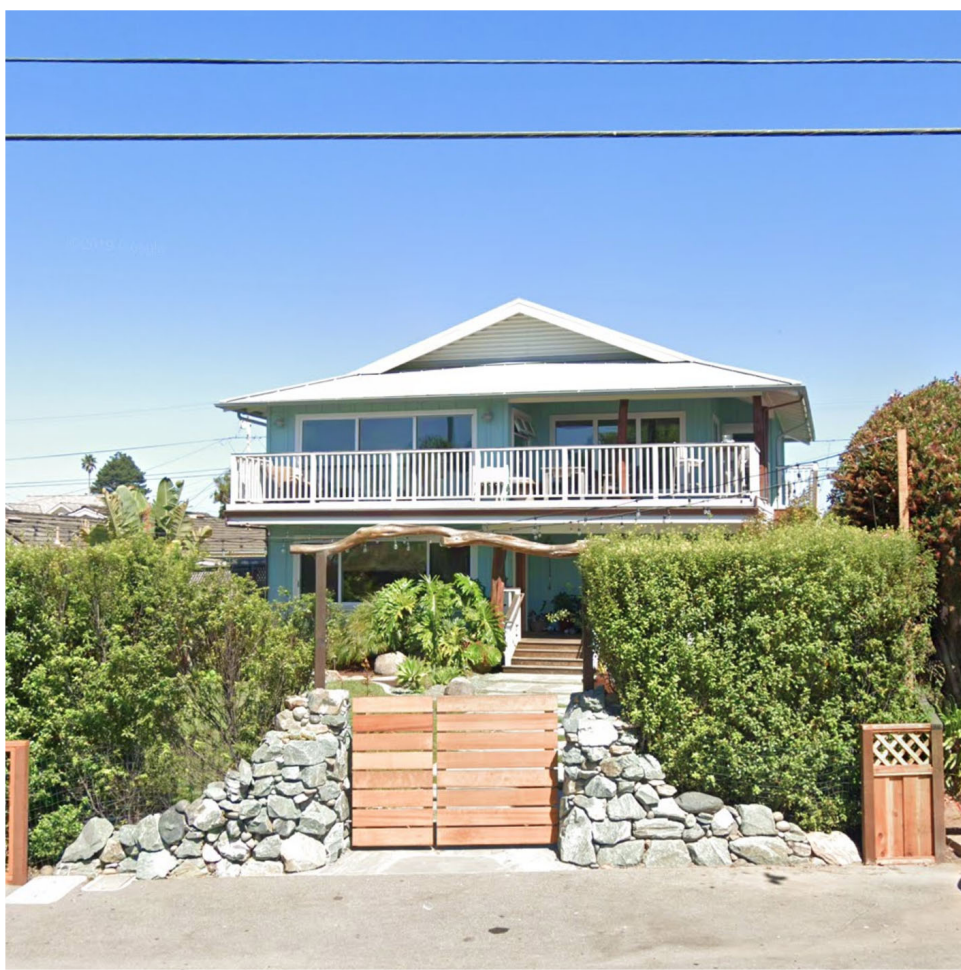
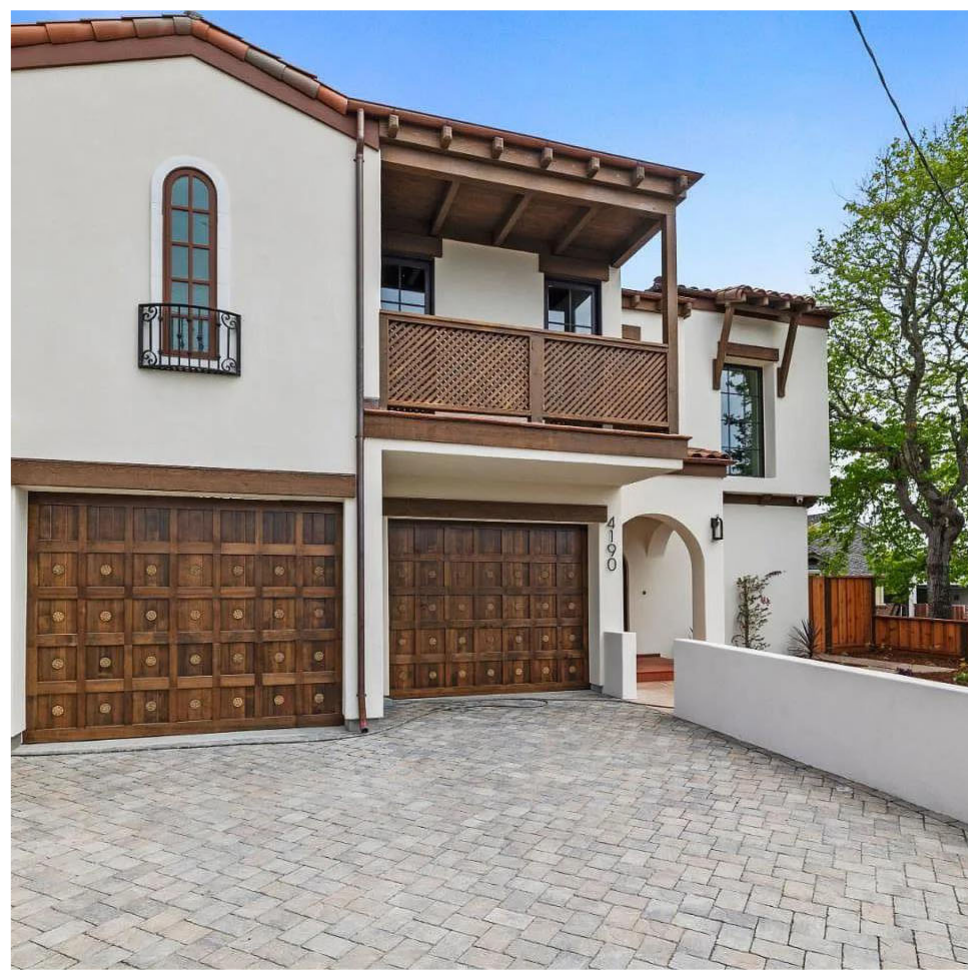
**Project APN**  
033-151-27

**Description**  
PROJECT INFORMATION

**Scale**  
As indicated

A0.1





1- 4787 Opal Cliff Dr, Santa Cruz, CA 95062

2- 4780 Opal Cliff Dr, Santa Cruz, CA 95062

3- 4740 Opal Cliff Dr, Santa Cruz, CA 95062

4- 4610 Opal Cliff Dr, Santa Cruz, CA 95062

5- 4540 Opal Cliff Dr, Santa Cruz, CA 95062

6- 4505 Opal Cliff Dr, Santa Cruz, CA 95062

7- 4500 Opal Cliff Dr, Santa Cruz, CA 95062

8- 4480 Opal Cliff Dr, Santa Cruz, CA 95062

9- 4410 Opal Cliff Dr, Santa Cruz, CA 95062

10- 4330 Opal Cliff Dr, Santa Cruz, CA 95062

11- 4260 Opal Cliff Dr, Santa Cruz, CA 95062

12- 4190 Opal Cliff Dr, Santa Cruz, CA 95062

13- 4140 Opal Cliff Dr, Santa Cruz, CA 95062

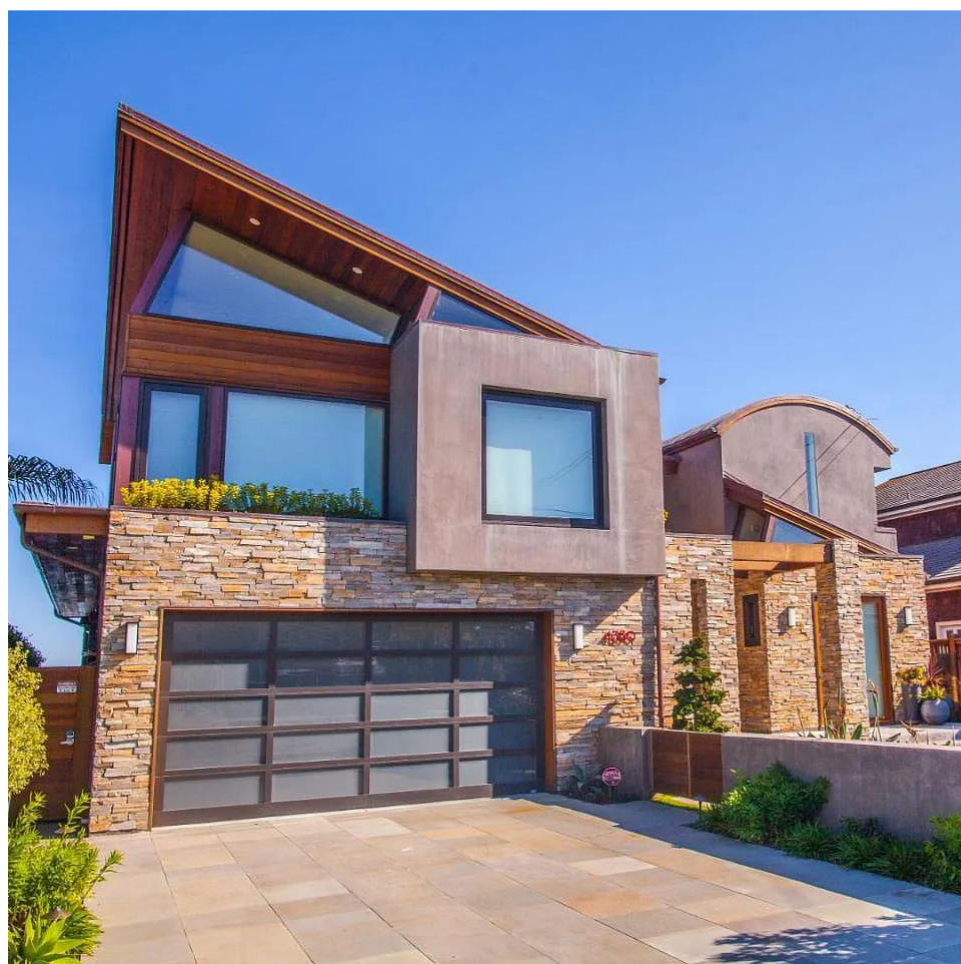
14- 4125 Opal Cliff Dr, Santa Cruz, CA 95062

## Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

# FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



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Seal/Signature



**Project Name**  
Luchetti Residence

**Project APN**  
033-151-27

## Description

**Scale**  
12" = 1'-0"

# A0.2

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# EXHIBIT D





UPPER FLOOR CLADDING:  
HORIZONTAL BOARD



LOWER FLOOR CLADDING:  
LIMESTONE



HOUSE COLOR:  
WARM WHITE



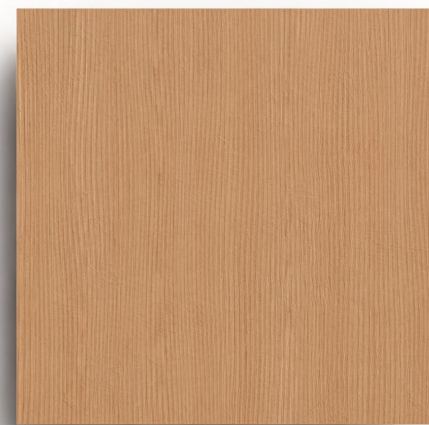
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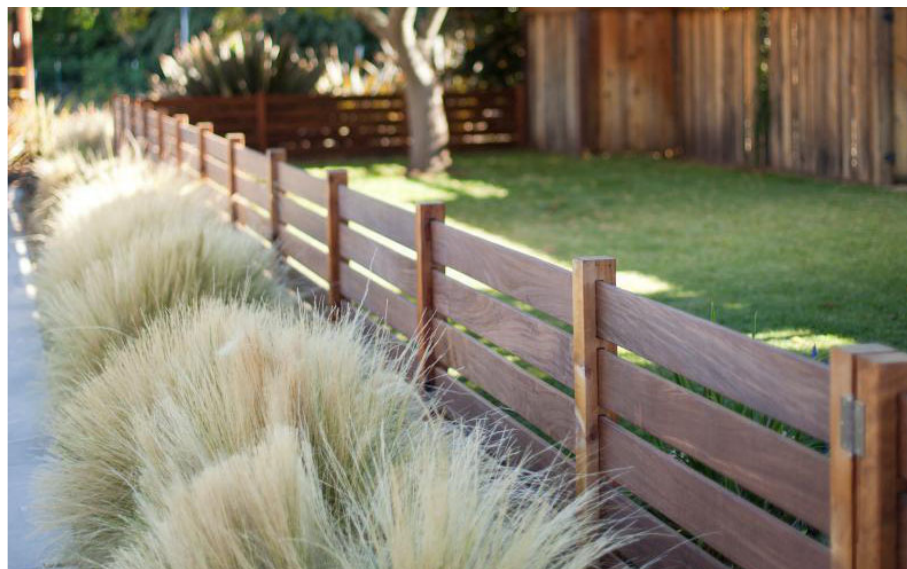
CONCRETE PATHWAY:  
NATURAL CONCRETE



WINDOW MATERIAL:  
BLACK/ BRONZE  
ANODIZED ALUMINUM



WOOD ACCENTS:  
CEDAR



FENCE INSPIRATION

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
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Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
RENDERING & MATERIALS

Scale  
1 1/2" = 1'-0"

A0.3

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Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



UPPER FLOOR CLADDING:  
HORIZONTAL BOARD



LOWER FLOOR CLADDING:  
LIMESTONE



HOUSE COLOR:  
WARM WHITE



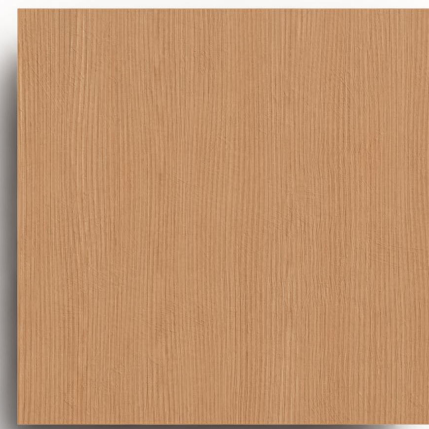
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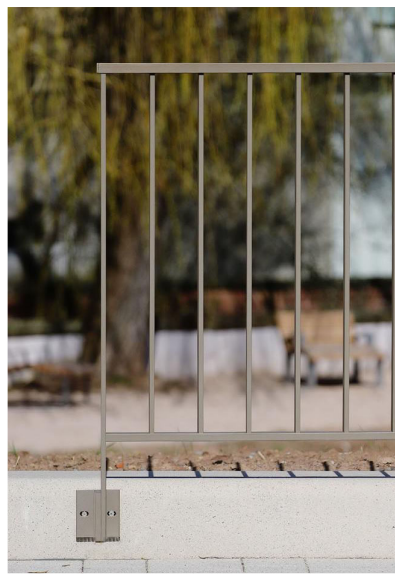
CONCRETE PATHWAY:  
NATURAL CONCRETE



WINDOW MATERIAL:  
BLACK/ BRONZE  
ANODIZED ALUMINUM



WOOD ACCENTS:  
CEDAR



FENCE INSPIRATION

#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
RENDERING & MATERIALS

Scale  
1 1/2" = 1'-0"

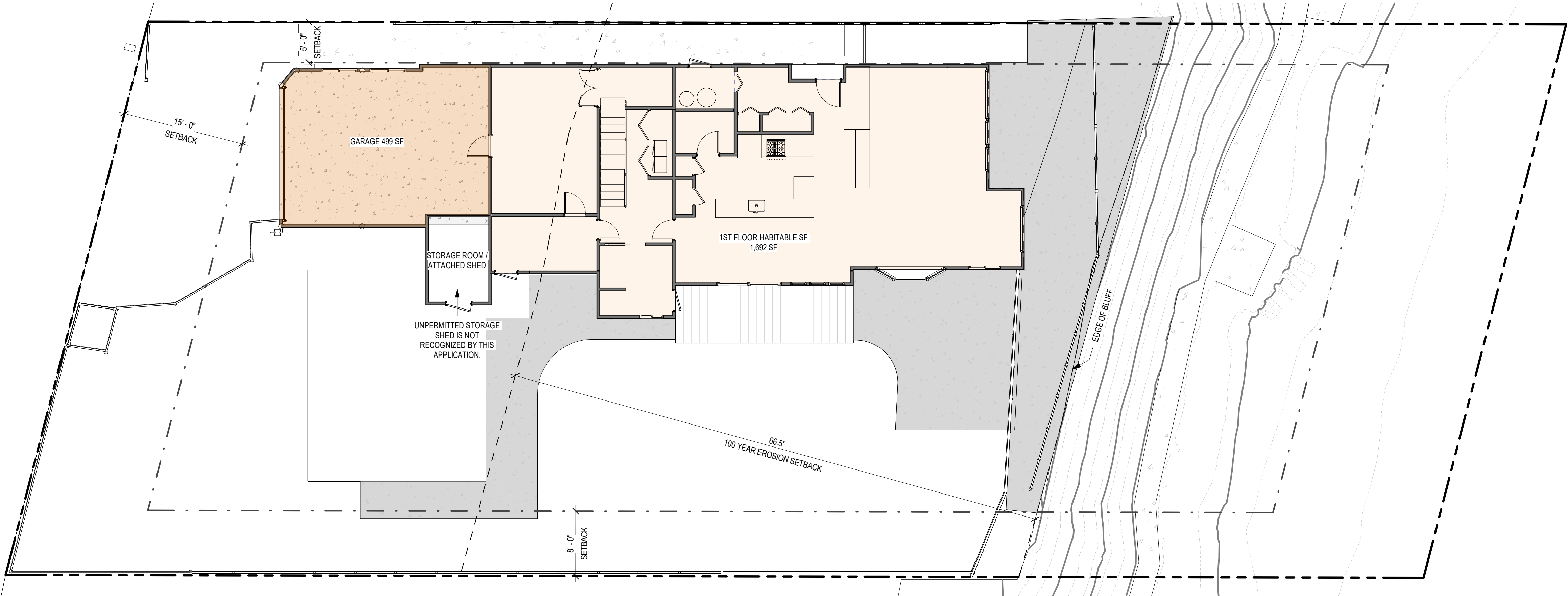
A0.4

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FAR DIAGRAM LEGEND

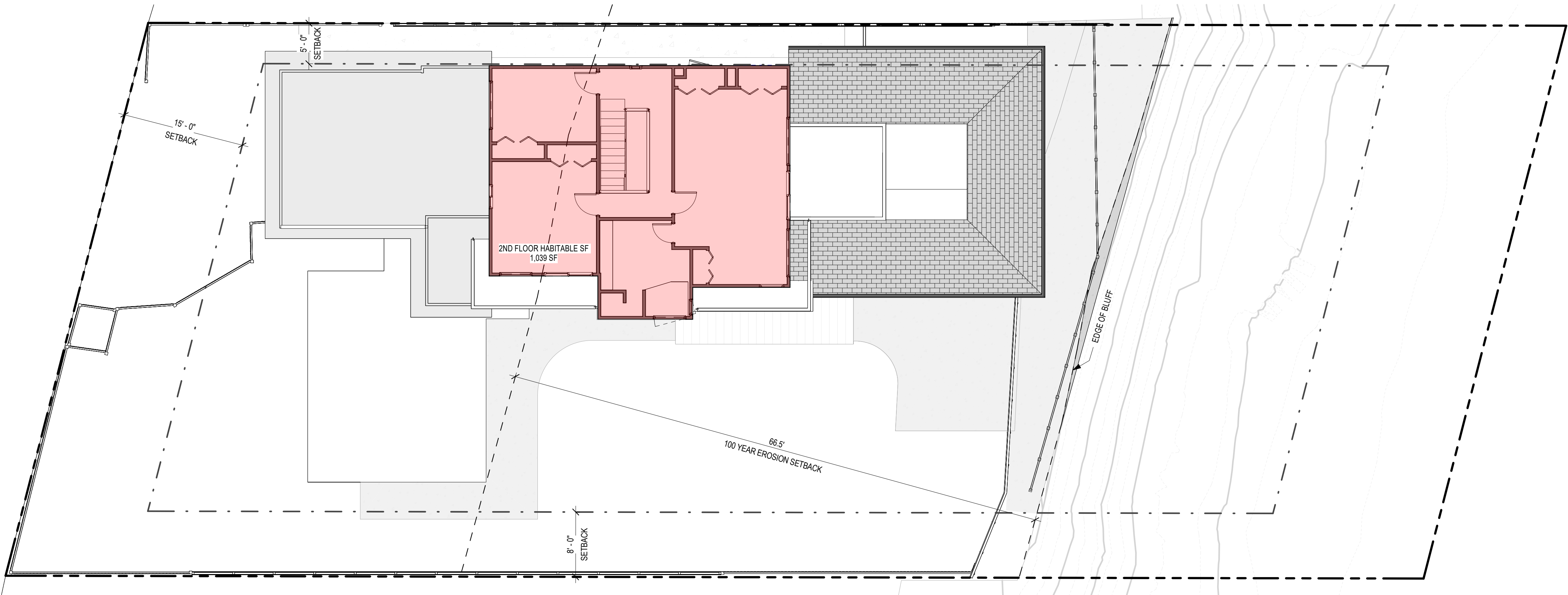
<div></div>	GARAGE	499 SQFT
<div></div>	1ST FLOOR	1,692 SF
<div></div>	2ND FLOOR	1,039 SF
SUBTOTAL		3,230 SF
TOTAL		3,230 SF
ALLOWED: 8,576 SF (EXCL. BLUFF) X .5		4,288 SF



EXISTING - 1ST FLOOR PLAN - FAR DIAGRAM

SCALE: 1/8" = 1'-0"

1



EXISTING - 2ND FLOOR PLAN - FAR DIAGRAM

SCALE: 1/8" = 1'-0"

2

Issue			
#	Issue	Date	Description
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

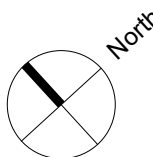
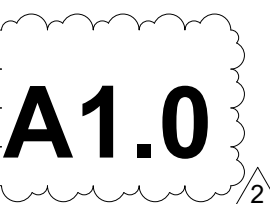


Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING FAR DIAGRAM

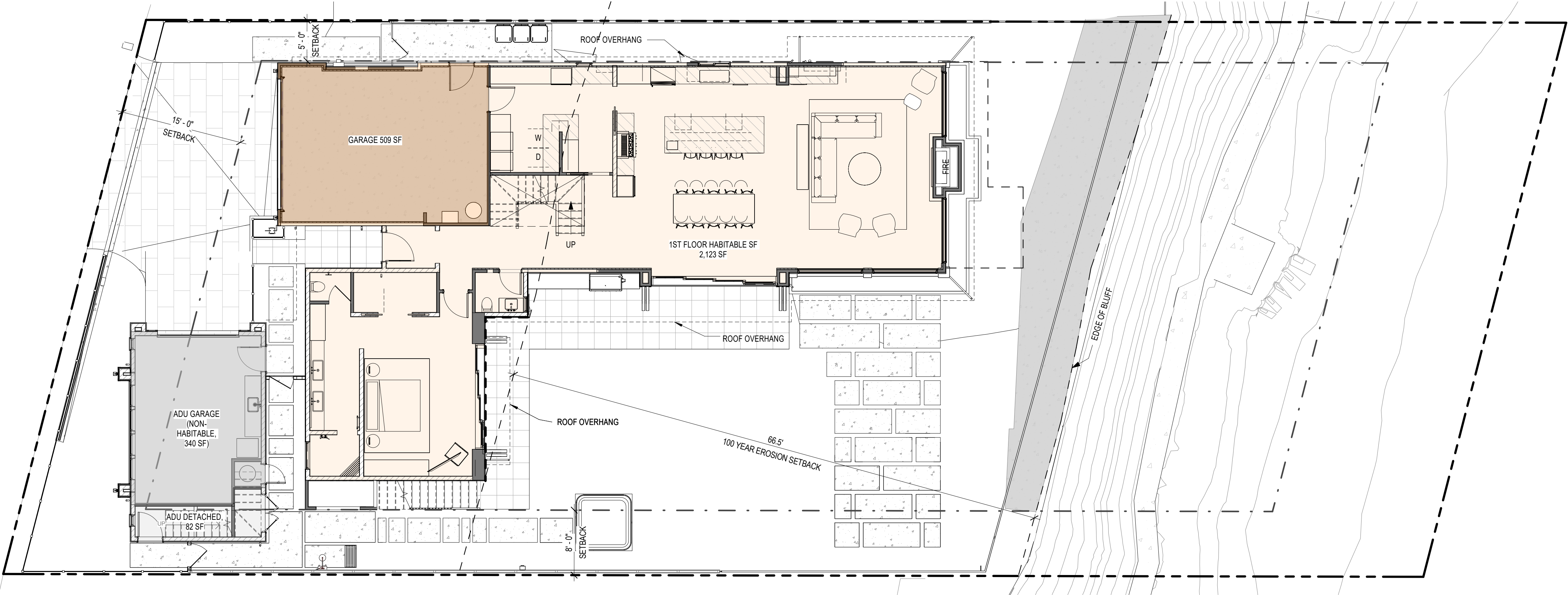
Scale  
As indicated





FAR DIAGRAM LEGEND

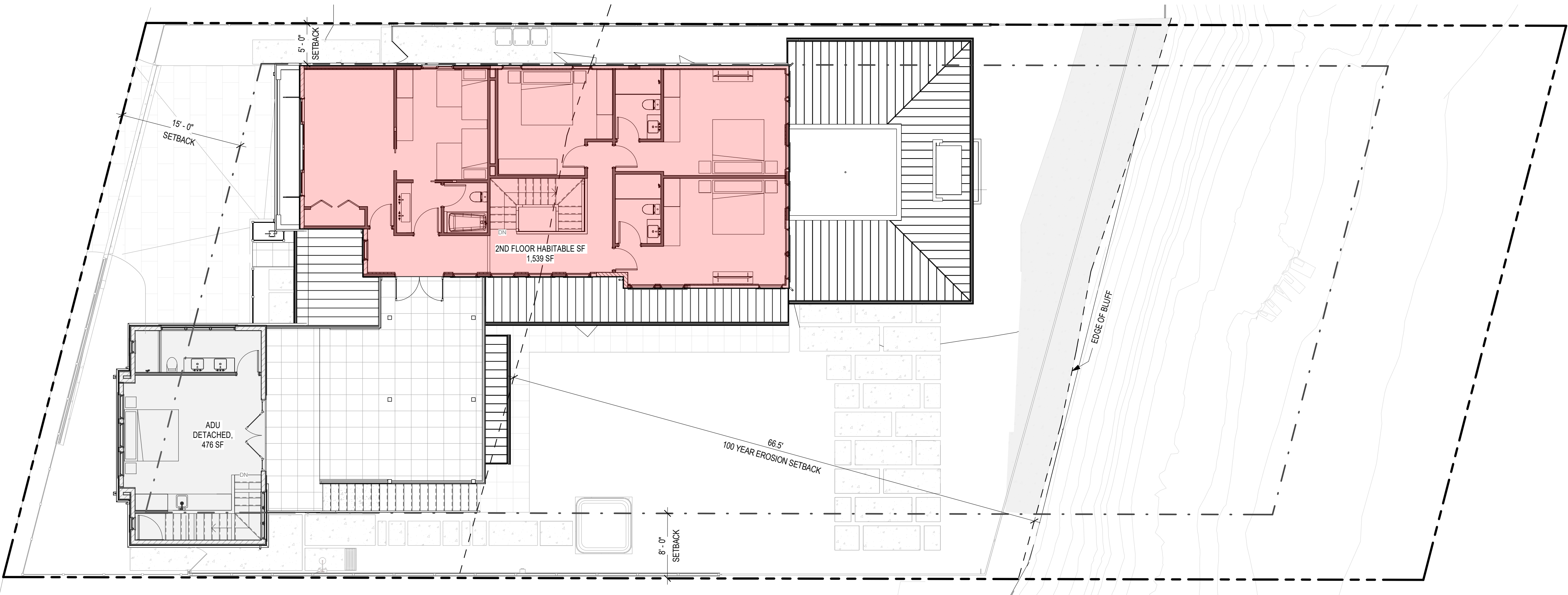
<div></div>	GARAGE	509 SQFT
<div></div>	1ST FLOOR	2,123 SF
<div></div>	2ND FLOOR	1,539 SF
<div></div>	DETACHED ADU GARAGE & ADU	340 & 558 SF
SUBTOTAL		5,069 SF
GARAGE CREDIT		-225 SF
ADU		-558 SF
TOTAL		4,286 SF
ALLOWED: 8,576 SF (EXCL. BLUFF) X .5		4,288 SF



PROPOSED - 1ST FLOOR PLAN - FAR DIAGRAM

SCALE: 1/8" = 1'-0"

1



PROPOSED - 2ND FLOOR PLAN - FAR DIAGRAM

SCALE: 1/8" = 1'-0"

2

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

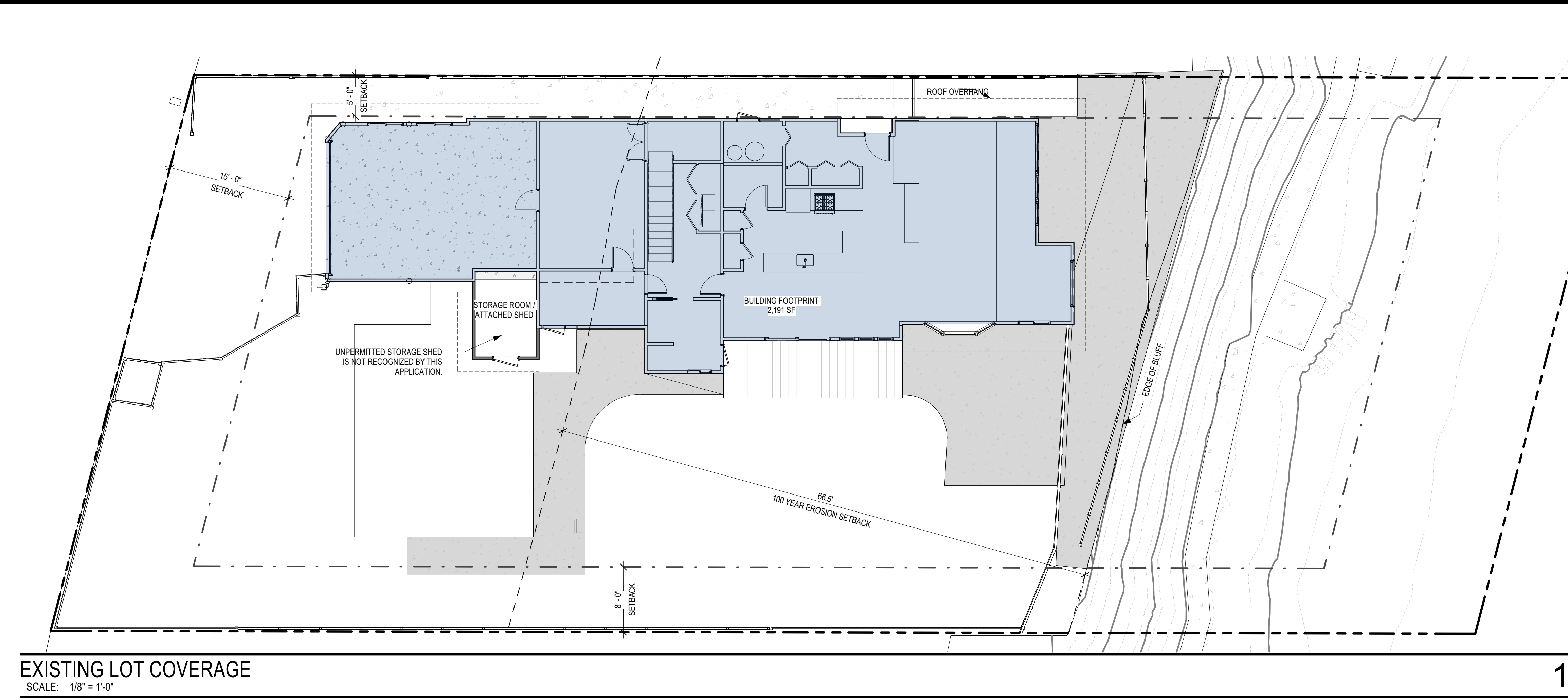
Project APN  
033-151-27

Description  
PROPOSED FAR DIAGRAM

Scale  
As indicated

A1.1





LOT COV. DIAGRAM LEGEND

BUILDING FOOTPRINT	2,191 SF
TOTAL ALLOWED: 8,576 SF (EXCLUDING BLUFF) X .4	2,191 SF 3,430 SF

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

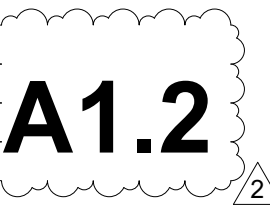


Project Name  
Luchetti Residence

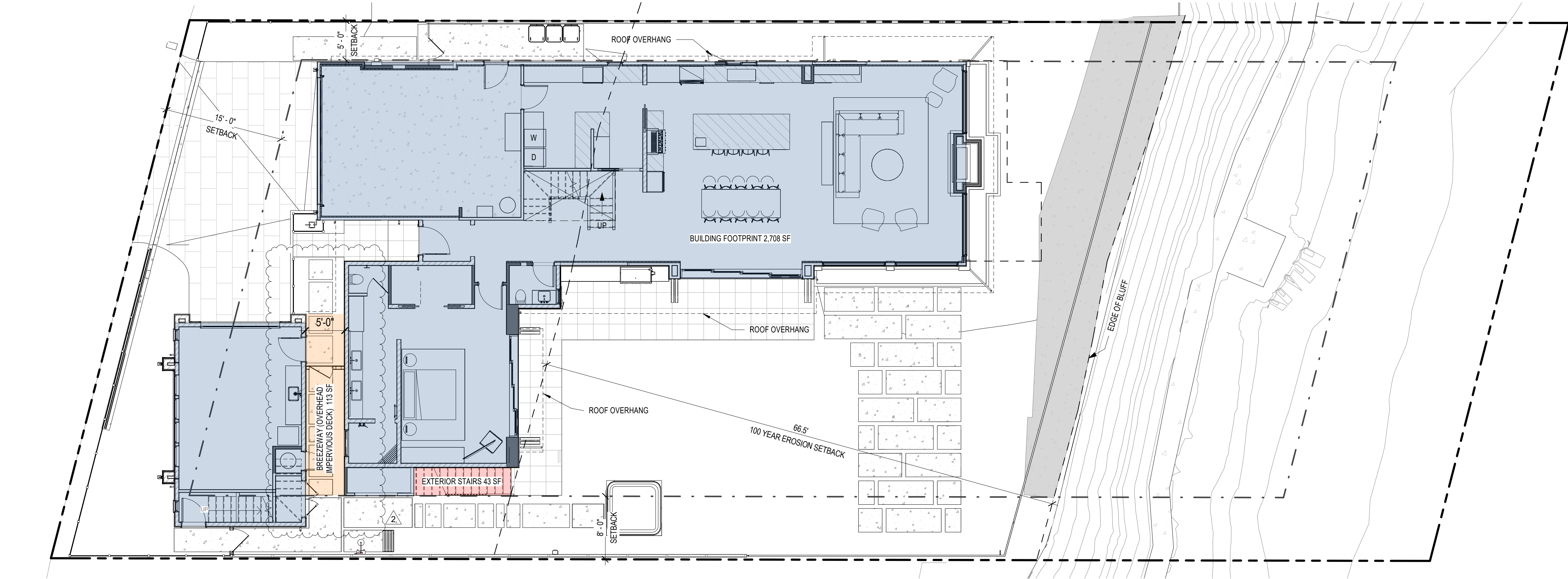
Project APN  
033-151-27

Description  
EXISTING LOT COVERAGE DIAGRAM

Scale  
As indicated







LOT COV. DIAGRAM LEGEND

BUILDING FOOTPRINT

2,708 SF

EXTERIOR STAIRS

43 SF

OVER HEAD DECK

113 SF

TOTAL

2,864 SF

ALLOWED: 8,576 SF (EXCLUDING BLUFF) X .4

3,430 SF

Luchetti Residence

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Santa Cruz CA 95062

FOUNDRY.

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PH:831.239.8578

PROPOSED LOT COVERAGE  
SCALE: 1/8" = 1'-0"

1

Issue			
#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



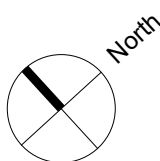
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED LOT COVERAGE DIAGRAM

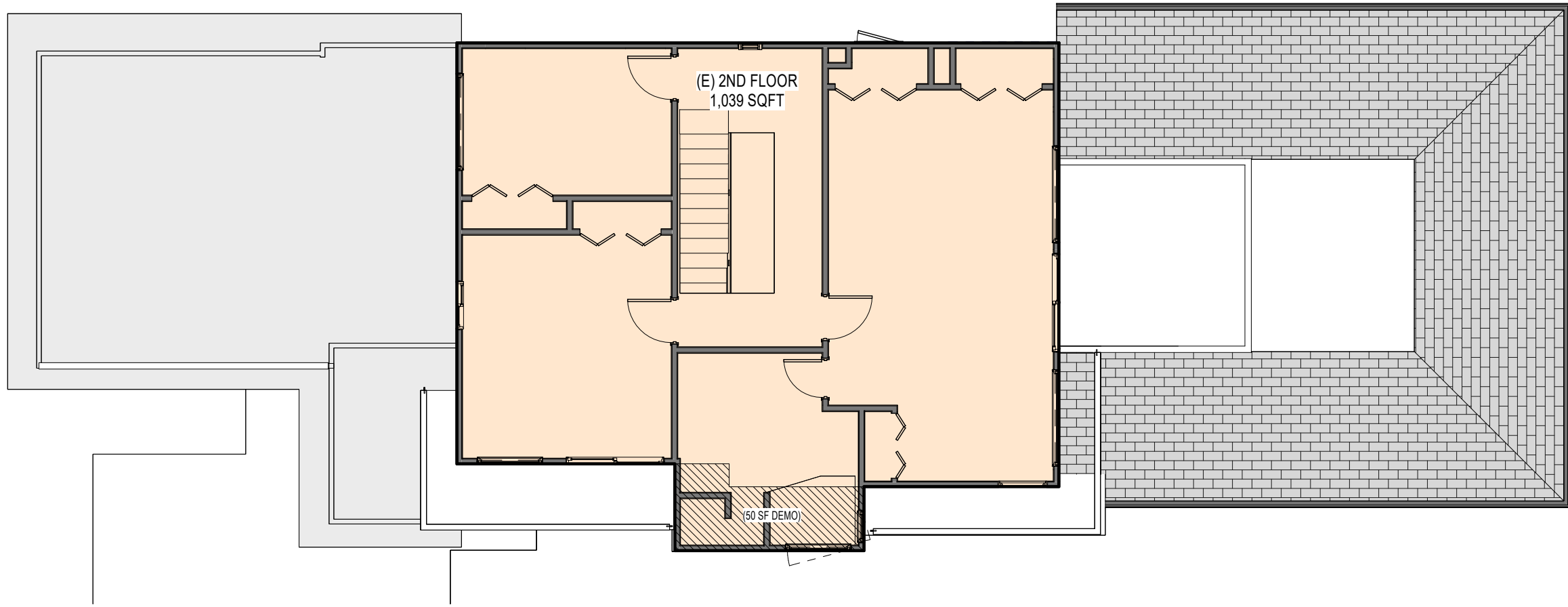
Scale  
As indicated

A1.3



50% HABITABLE SPACE CALCULATIONS

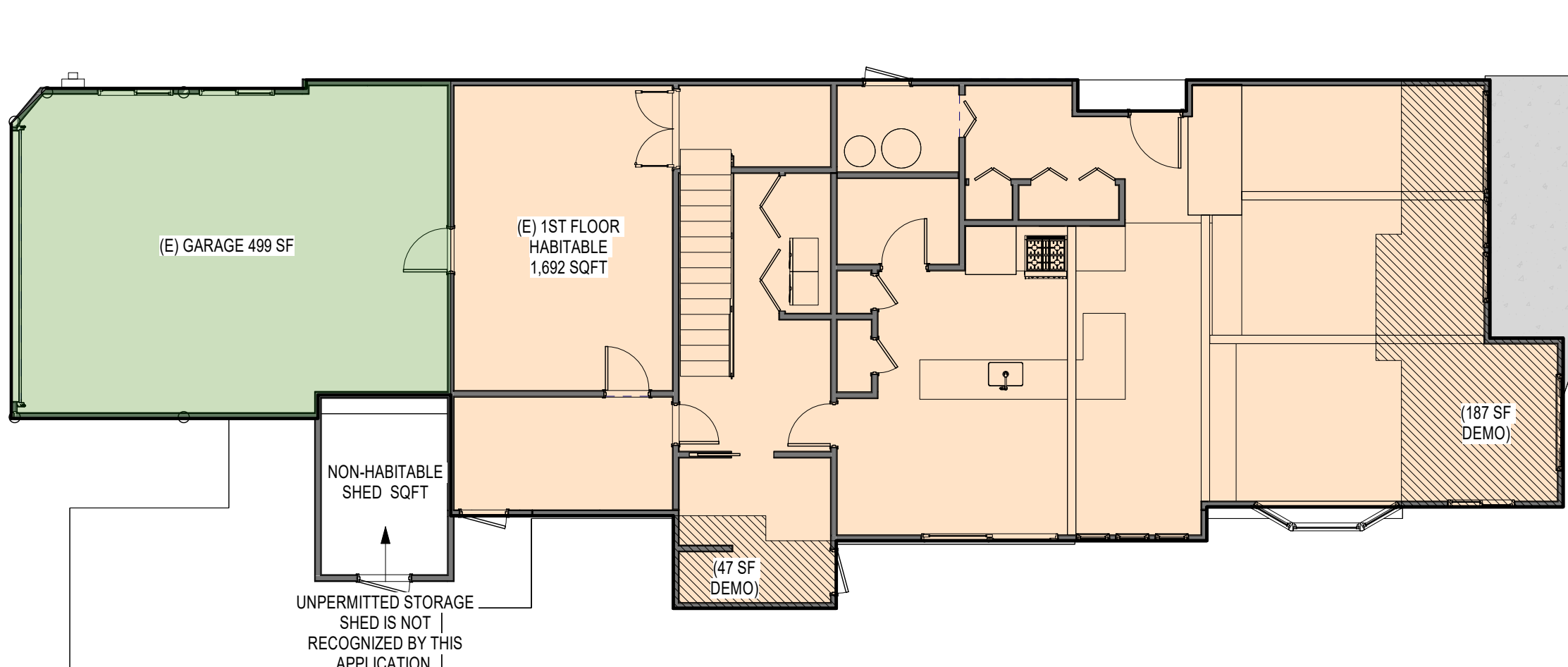
EXISTING		PROPOSED		Total existing habitable area:  First floor = 1,692 SF - (Garage & Shed Excluded) = 1692 Habitable SF Second floor = 1,039 SF  Total Existing = 2,731 SF  50% max habitable increase = 2,731 x 50% = 1,366 SF  Proposed habitable  Total new and converted habitable = 665 SF + 550 SF = 1,215 SF
<div></div>	EXISTING FIRST FLOOR	1,692 SF	<div></div> FIRST FLOOR NEW HABITABLE SF	
<div></div>	EXISTING SECOND FLOOR	1,039 SF	<div></div> SECOND FLOOR NEW HABITABLE SF	
<div></div>	GARAGE	NOT COUNTED IN HABITABLE	TOTAL	
	TOTAL	2,731 SF	1,215 SF	
EXISTING BEING REMOVED (DEMO)				
	EXISTING FIRST FLOOR DEMO	187 SF + 47 SF		
	EXISTING SECOND FLOOR DEMO	50 SF		
	TOTAL DEMO	284 SF		



2ND FLOOR 50% MODIFICATION - EXISTING OVERALL

SCALE: 1/8" = 1'-0"

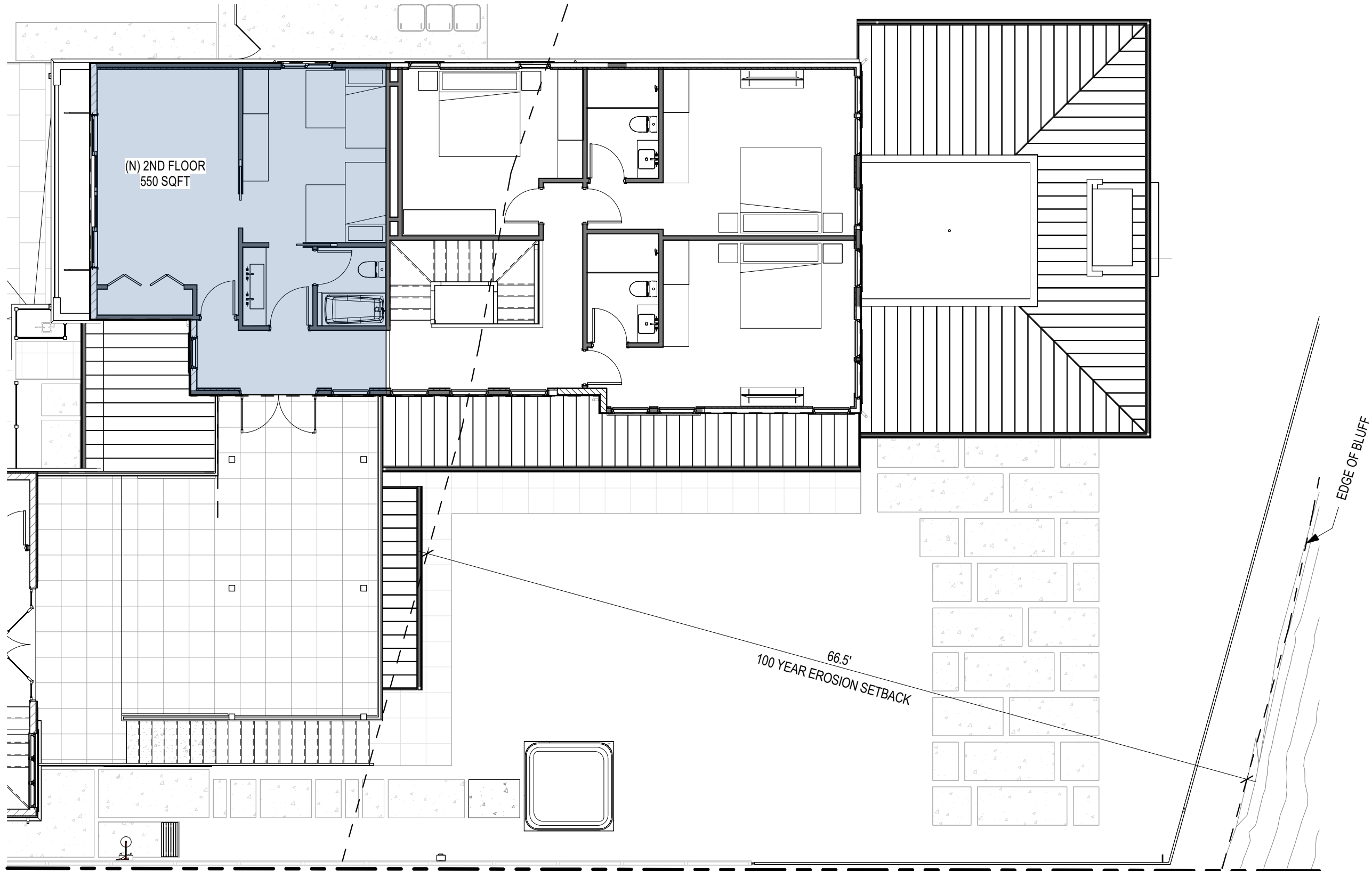
3



1ST FLOOR 50% MODIFICATION - EXISTING OVERALL

SCALE: 1/8" = 1'-0"

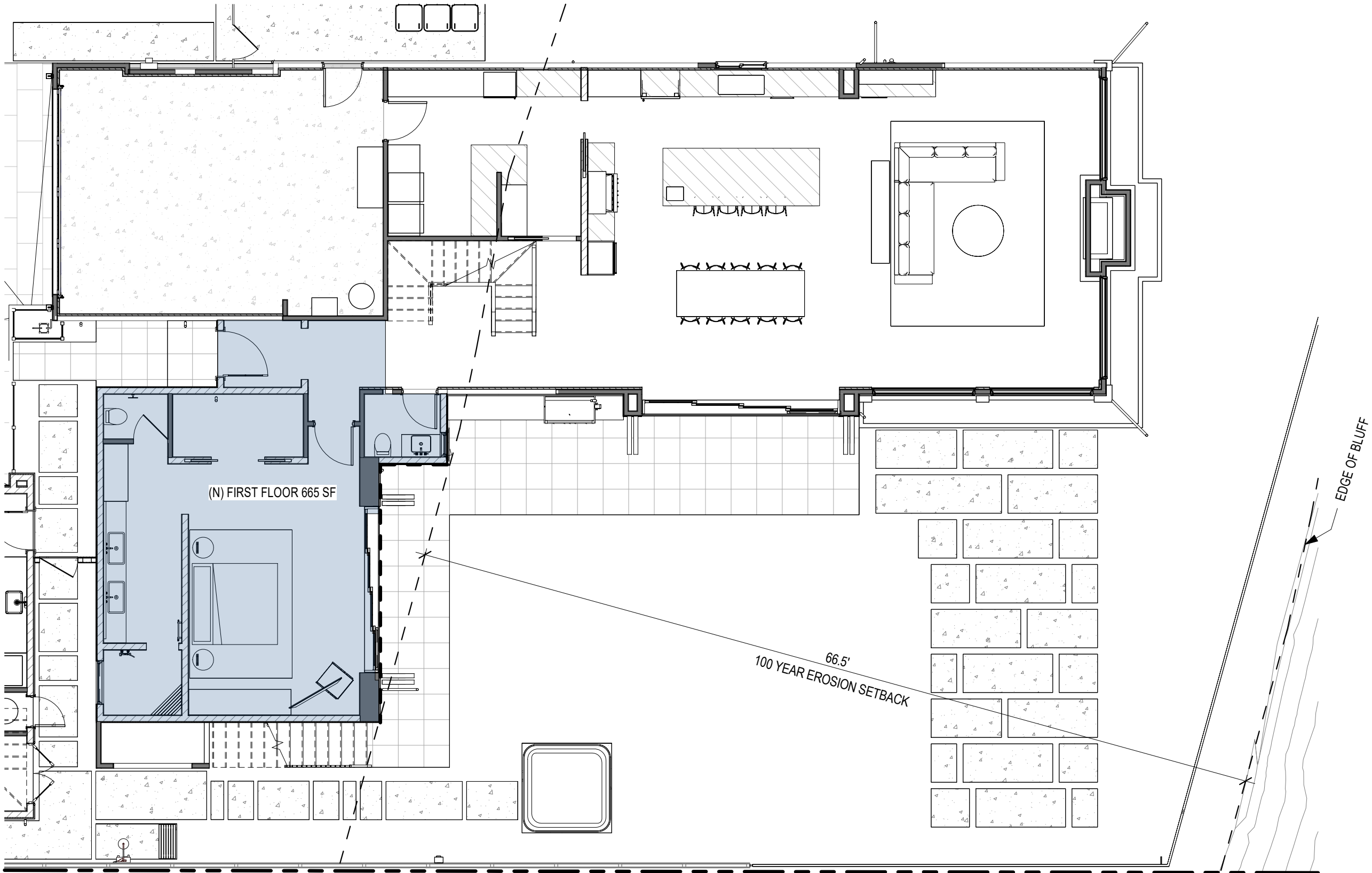
1



2ND FLOOR 50% MODIFICATION - PROPOSED OVERALL

SCALE: 1/8" = 1'-0"

4



1ST FLOOR 50% MODIFICATION - PROPOSED OVERALL

SCALE: 1/8" = 1'-0"

2

Luchetti Residence

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Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

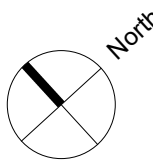


Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
50% SQFT CALCULATION WORKSHEET

Scale  
As indicated



A1.5

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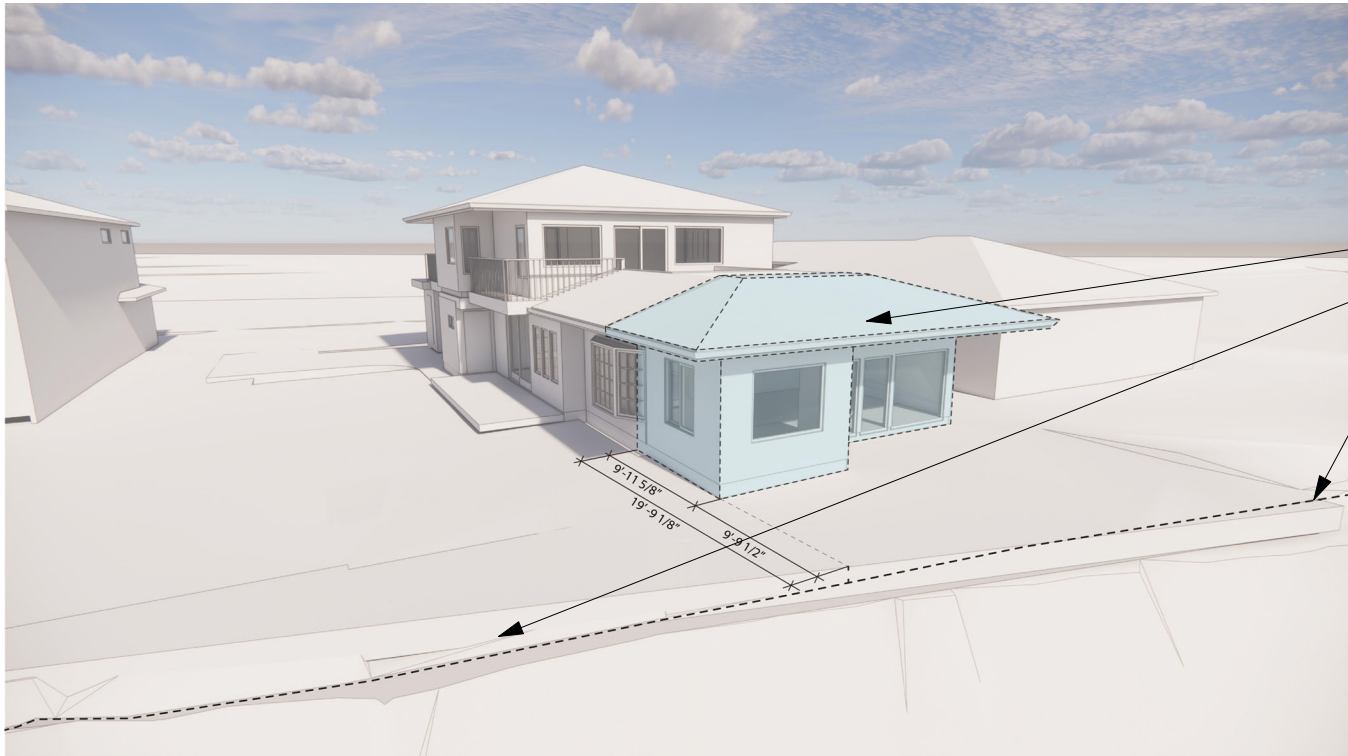


Luchetti Residence

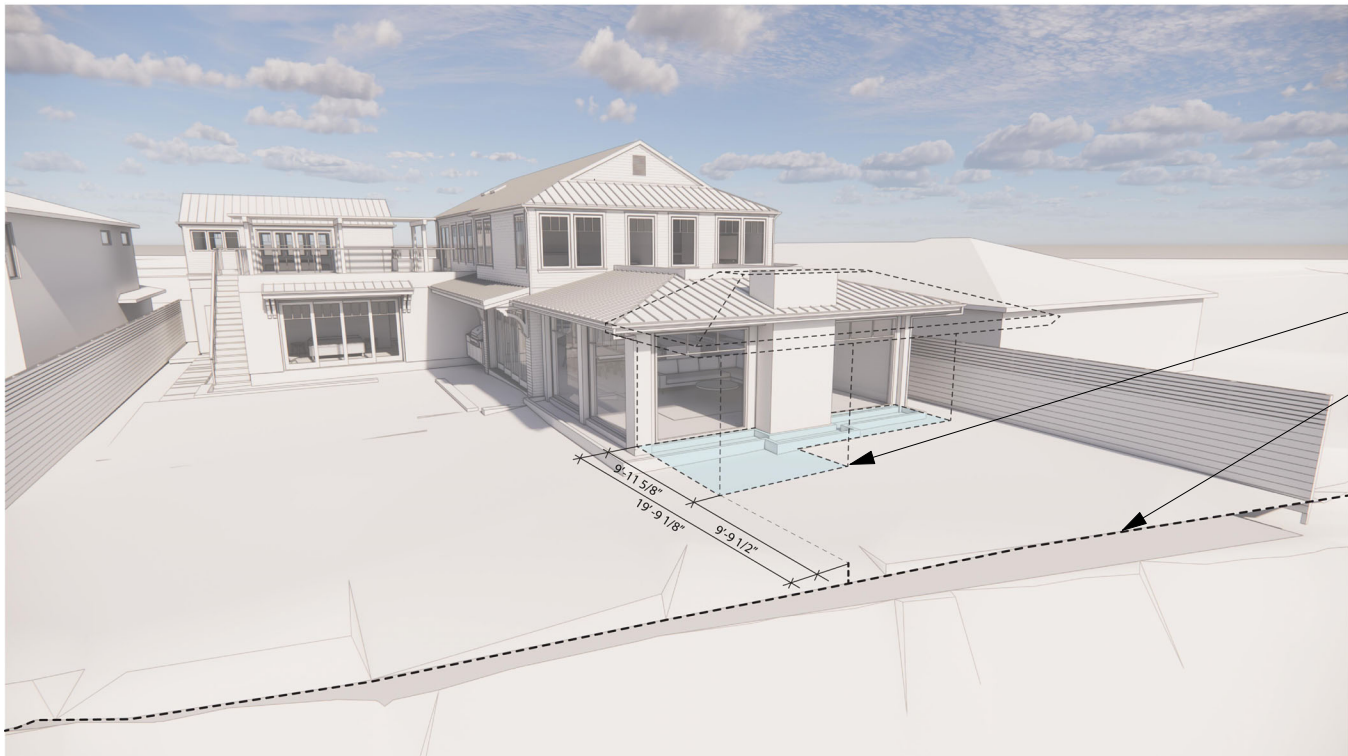
4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



TO BE DEMOLISHED IN BLUE  
CONCRETE PATIO PAD  
TO BE DEMOLISHED  
EDGE OF BLUFF

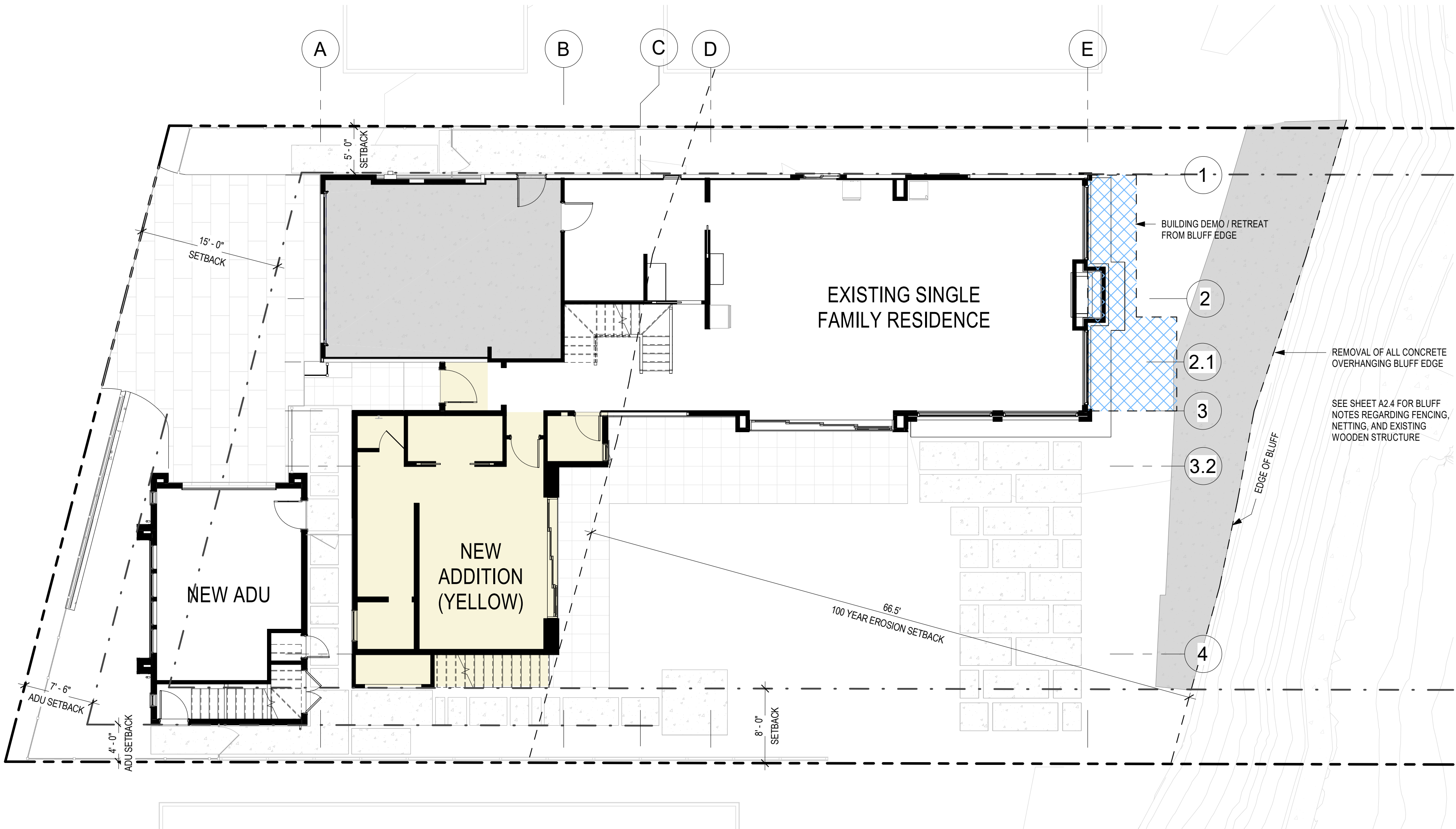


EXISTING BUILDING  
FOOTPRINT  
EDGE OF BLUFF

STRUCTURE PROXIMITY TO BLUFF EDGE

SCALE: 1" = 10'-0"

1



PROPOSED PLAN DIAGRAM WITH SETBACKS

SCALE: 1/8" = 1'-0"

2

Issue			
#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



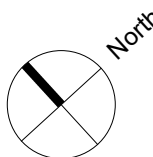
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
BLUFF SETBACK DIAGRAMS

Scale  
As indicated

A1.6



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EXHIBIT D

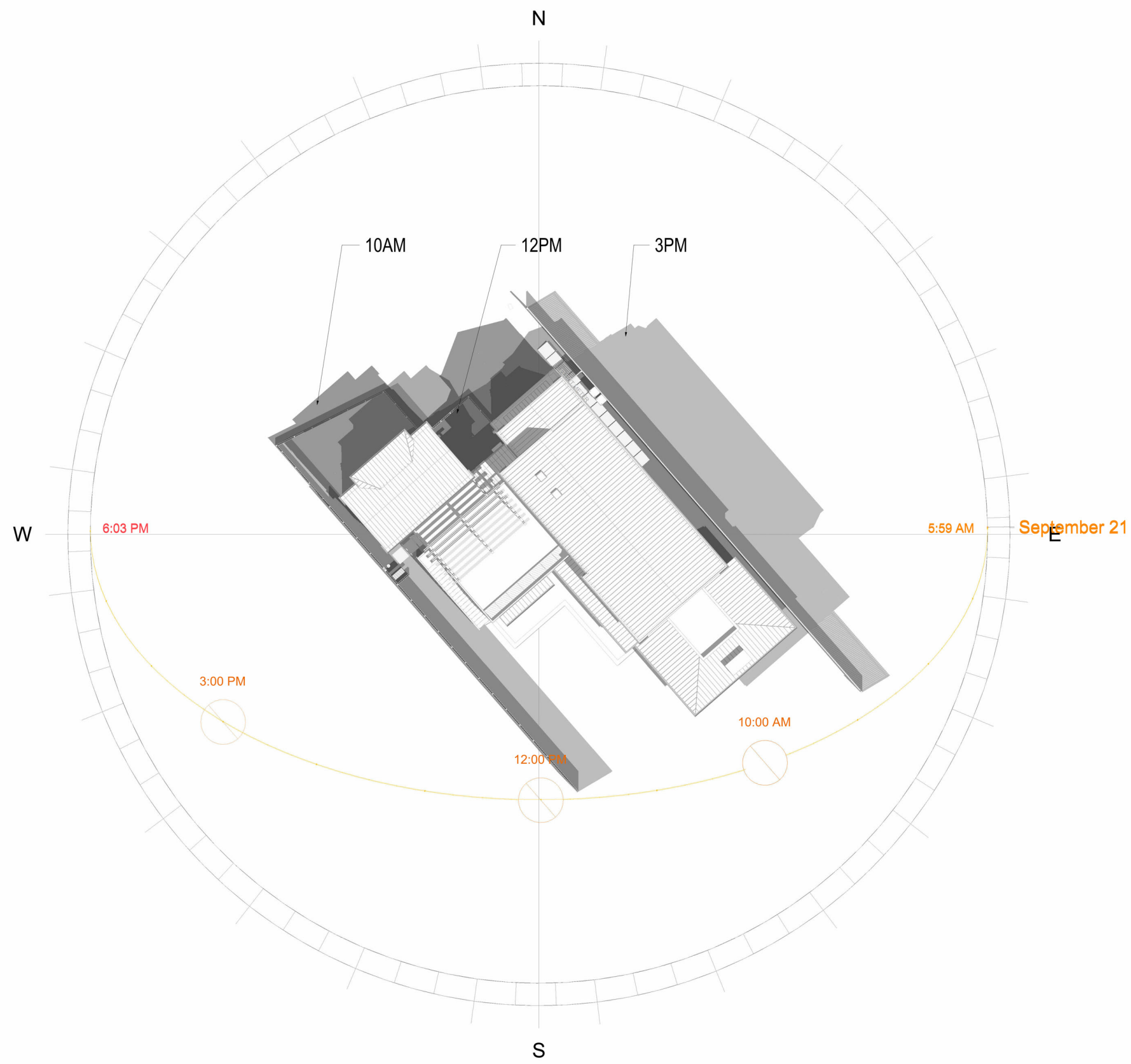


Luchetti Residence

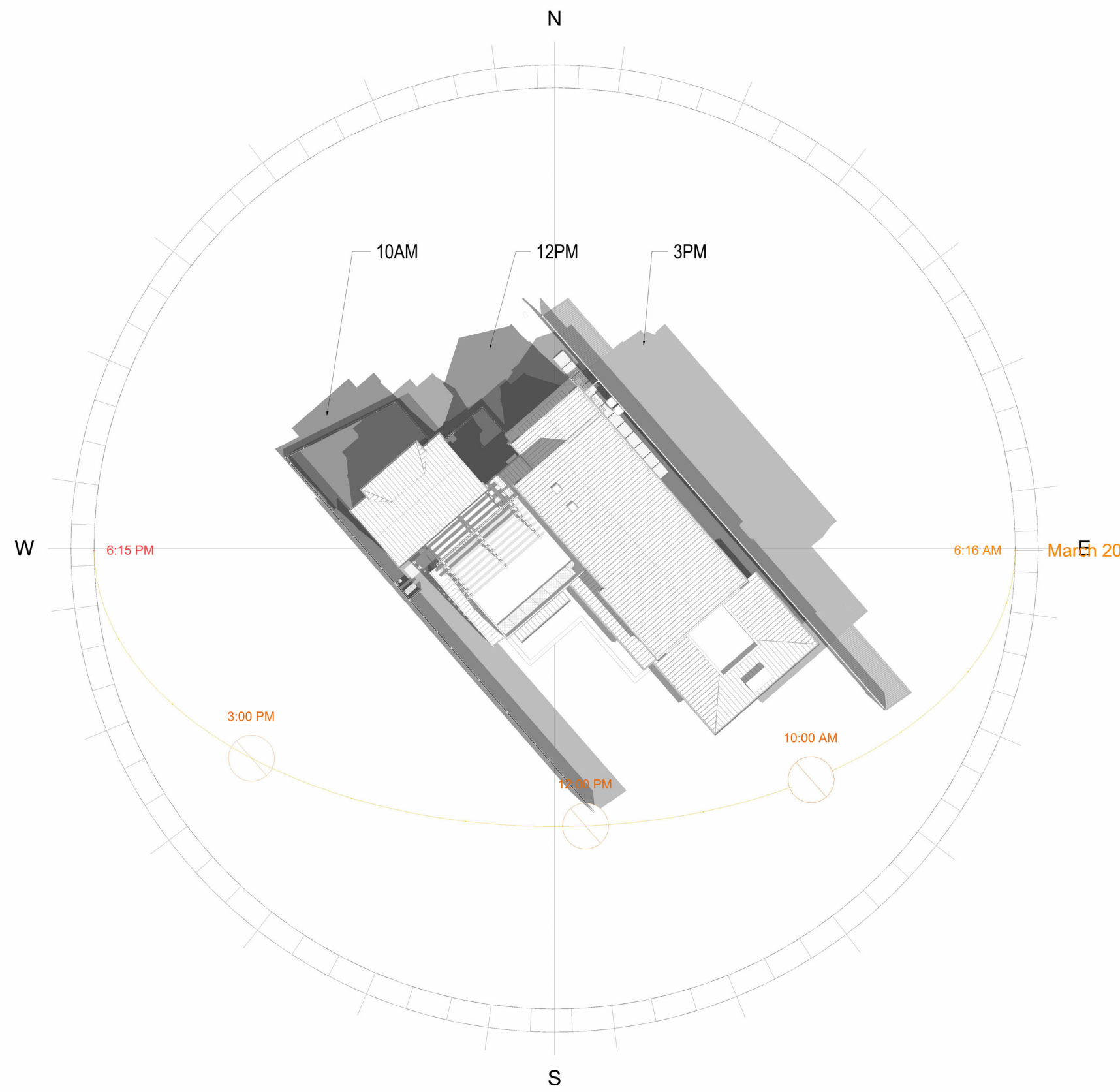
4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

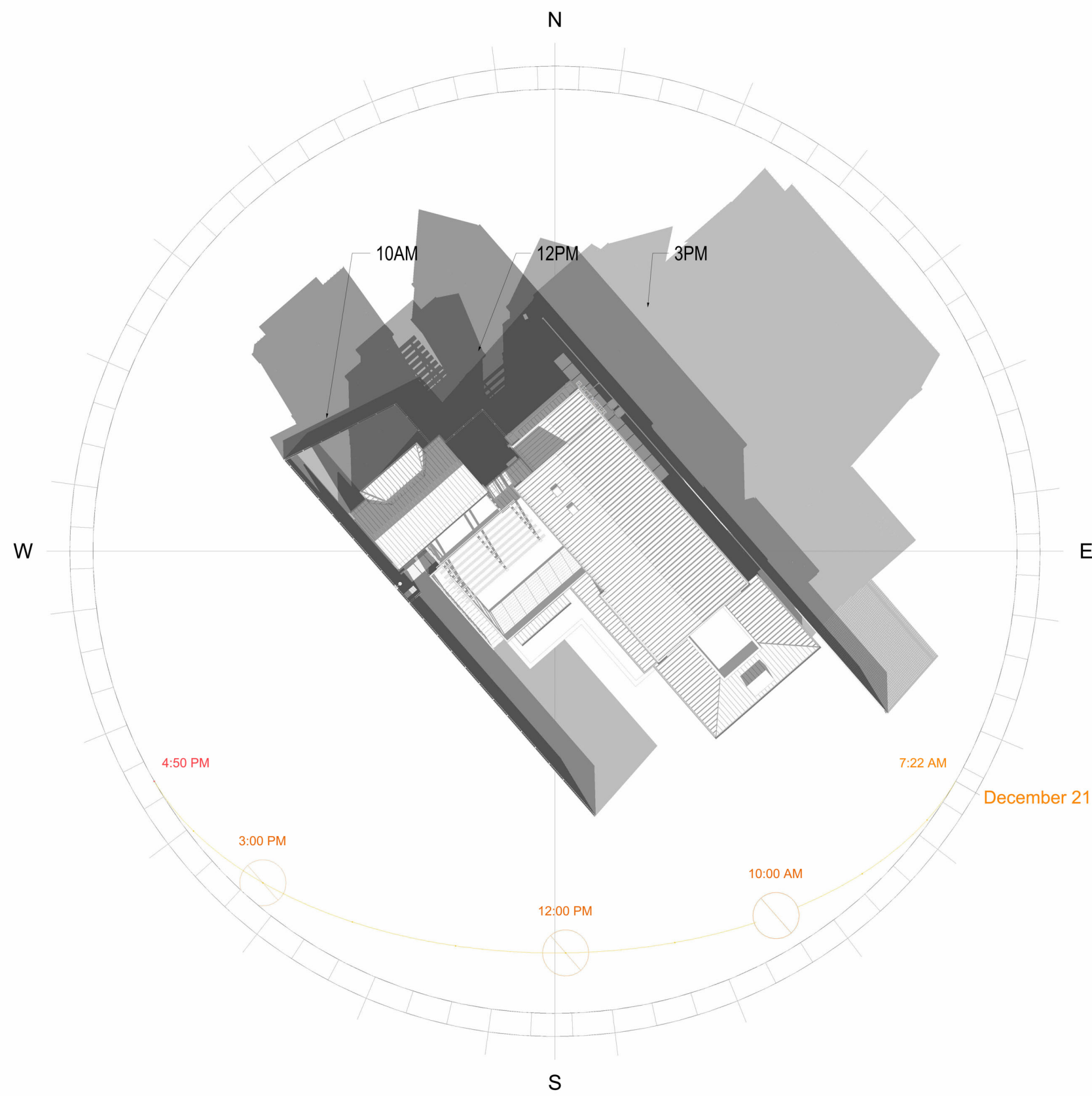
8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



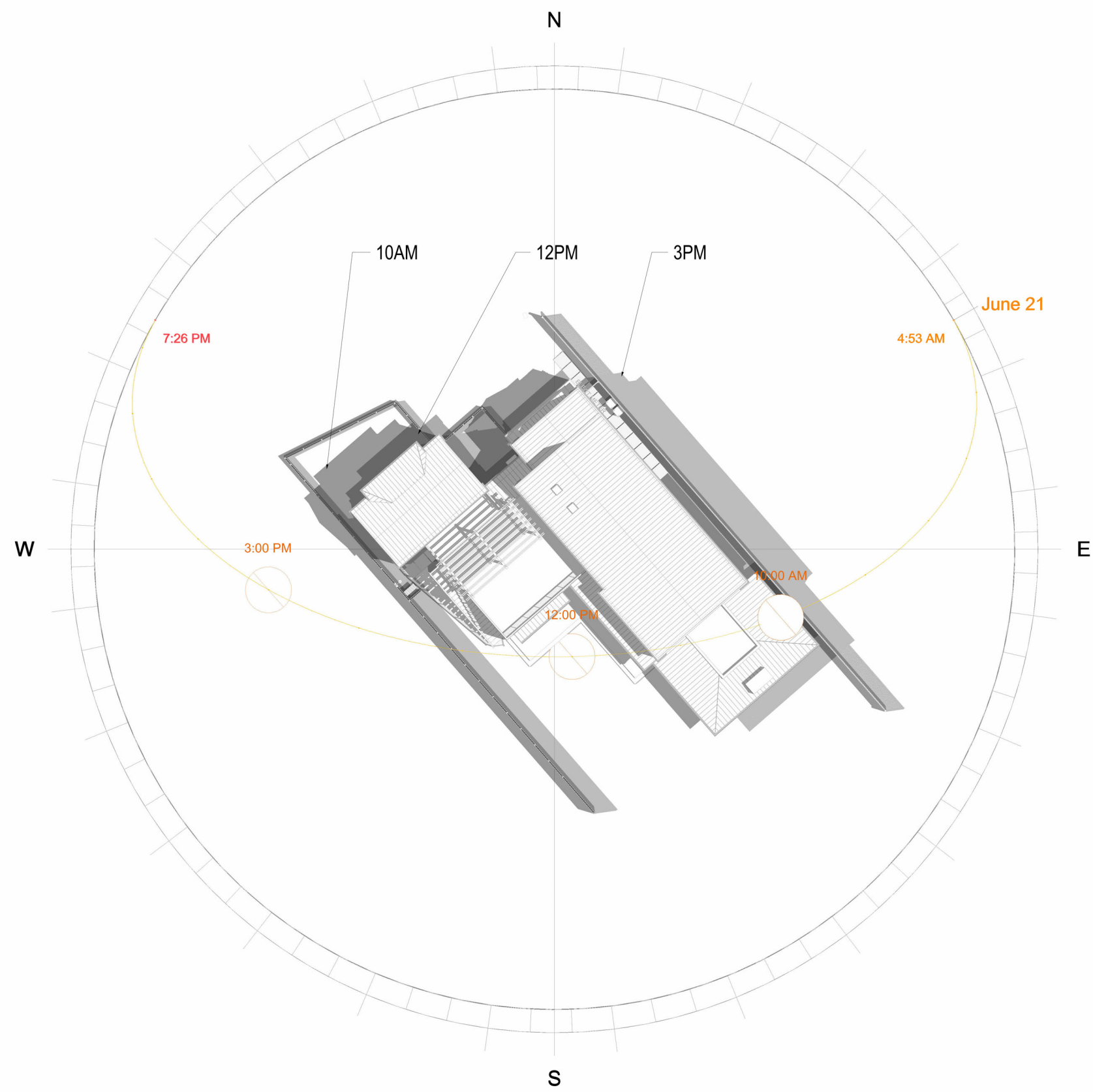
FALL EQUINOX SHADOW PLAN - SEPT. 21 - 10AM - 12PM - 3PM 3



SPRING EQUINOX SHADOW PLAN - MARCH 20 - 10AM - 12PM - 3PM 1



WINTER SOLSTICE SHADOW PLAN - DEC. 21 - 10AM - 12PM - 3PM 4



SUMMER SOLSTICE SHADOW PLAN - JUNE 21 - 10AM - 12PM - 3PM 2

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



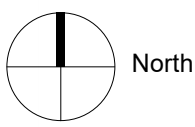
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
SOLAR STUDY

Scale  
1/2" = 1'-0"

A1.7







EXISTING FLOOR PLAN LEGEND

- (E) 2X4 WALL
- (E) 2X6 WALL
- (E) 2X10 WALL
- (E) 2X12 WALL
- (HEIGHT OF ELEMENT)  
(HEIGHT OF LOWEST GRADE)  
(DIFFERENCE)

EXISTING - SITE PLAN

SCALE: 1/8" = 1'-0"

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH: 831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



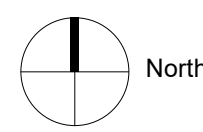
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING SITE PLAN

Scale  
1/8" = 1'-0"

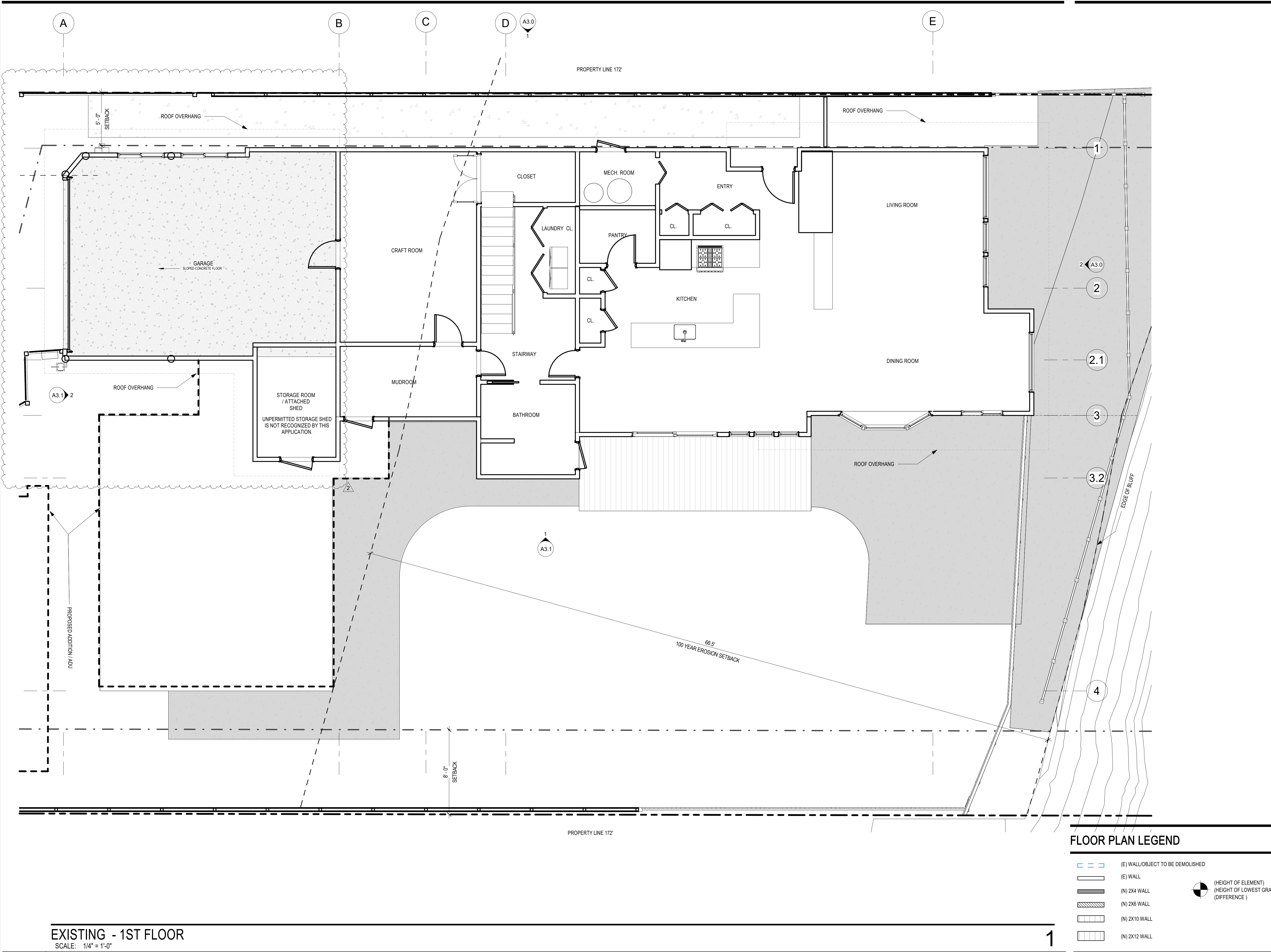
A2.0



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EXHIBIT D





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PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

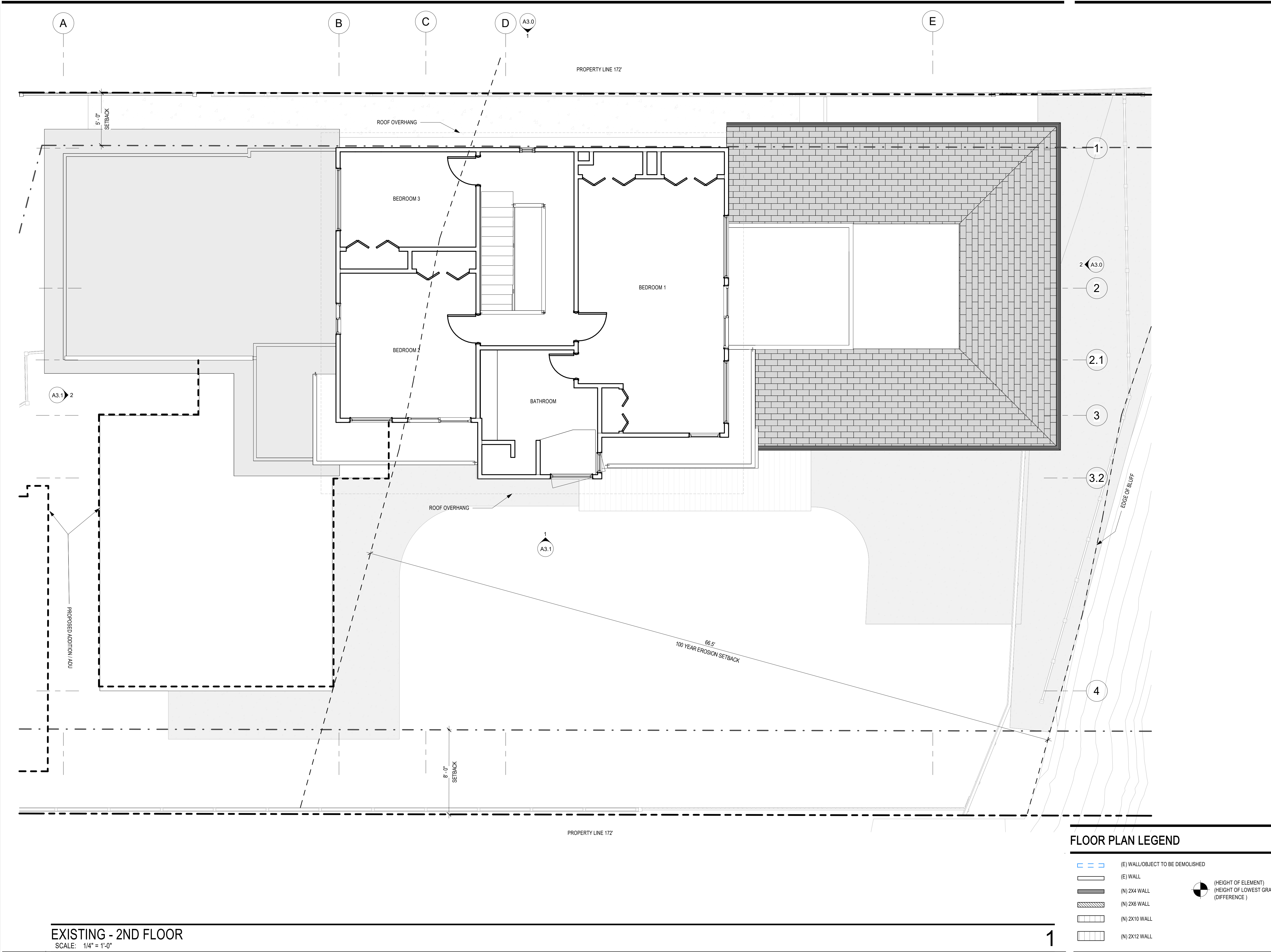
Project APN  
033-151-27

Description  
EXISTING FLOOR PLAN - LEVEL 1

Scale  
As indicated

**A2.1**

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Luchetti Residence

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Santa Cruz CA 95062

**FOUNDRY.**

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PH:831.239.8578

Issue			
#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING FLOOR PLAN - LEVEL 2

Scale  
As indicated

**A2.2**

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Seal/Signature







<b>Description</b>
EXISTNG ROOF PLAN

**Scale**  
As indicated



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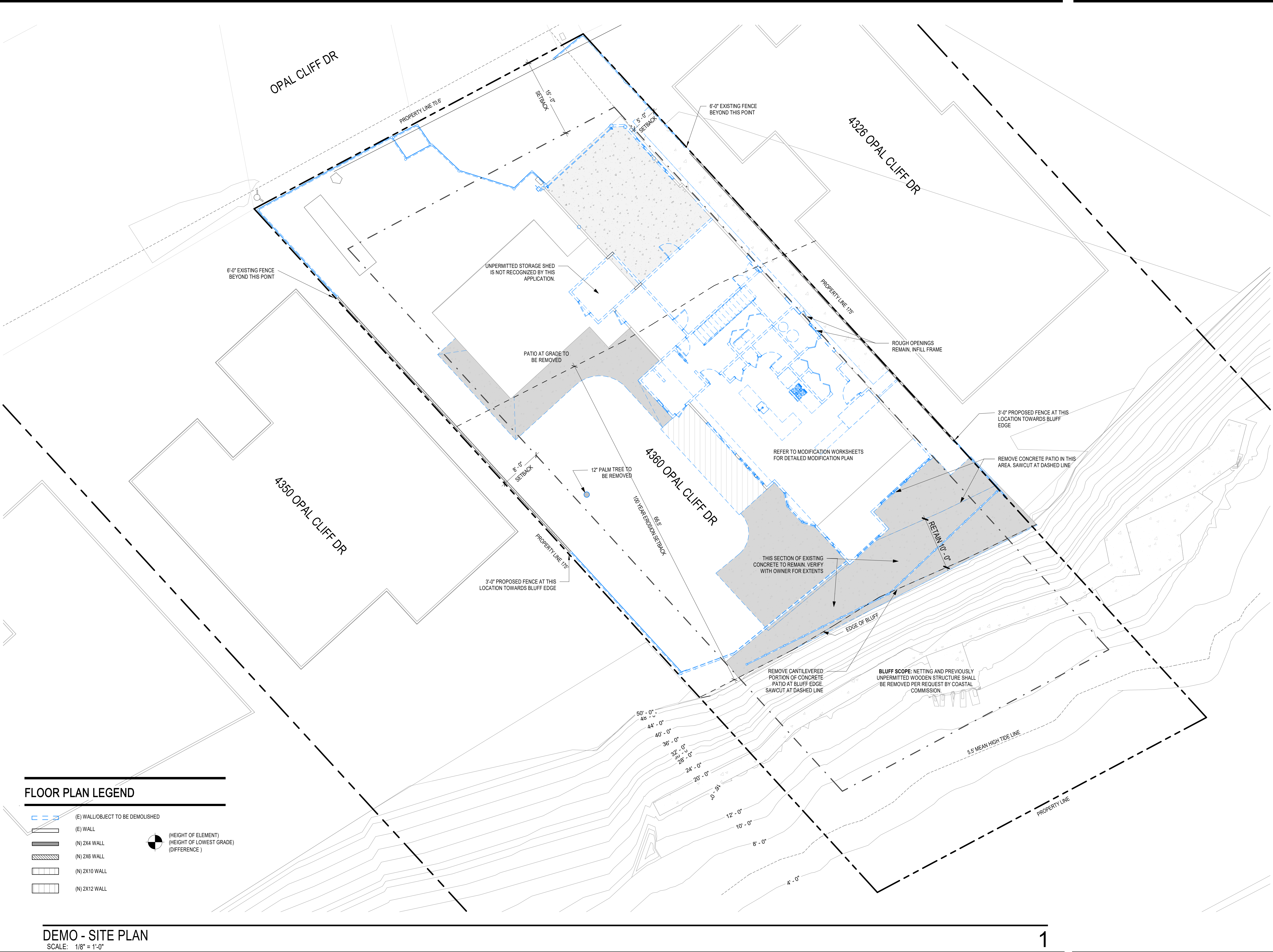


- |   | (E) WALL/OBJECT TO BE DEMOLISHED |   | (HEIGHT OF ELEMENT)<br>(HEIGHT OF LOWEST GRADE)<br>(DIFFERENCE ) |
|---|----------------------------------|---|--|
|  | (E) WALL                         |  |  |
|  | (N) 2X4 WALL                     |   |  |
|  | (N) 2X6 WALL                     |   |  |
|  | (N) 2X10 WALL                    |   |  |
|  | (N) 2X12 WALL                    |   |  |

**EXISTING - ROOF PLAN**  
SCALE: 1/4" = 1'-0"

1





Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

**FOUNDRY.**

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

Issue			
#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

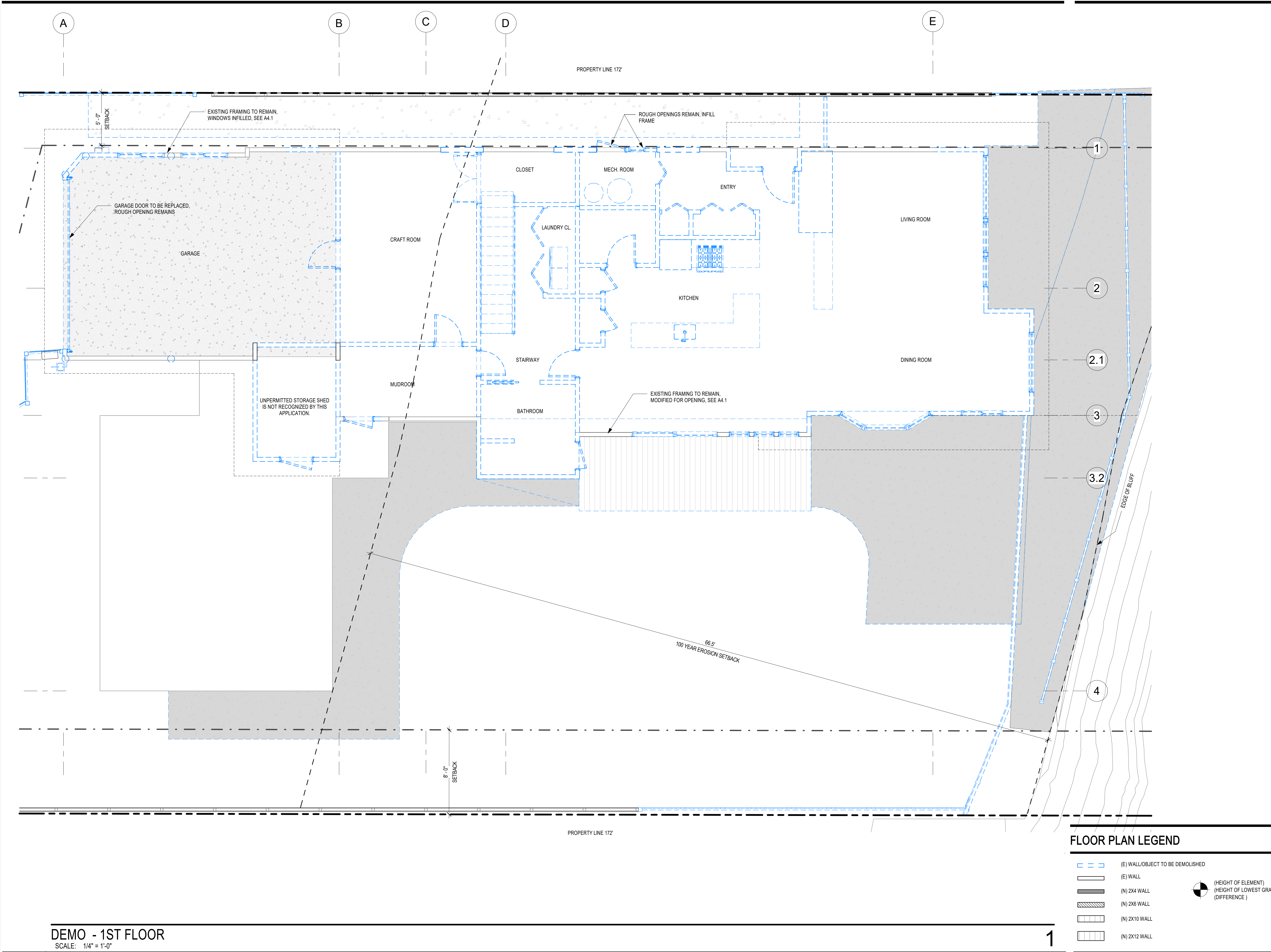
Description  
DEMO SITE PLAN

Scale  
1/8" = 1'-0"

**A2.4**

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#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



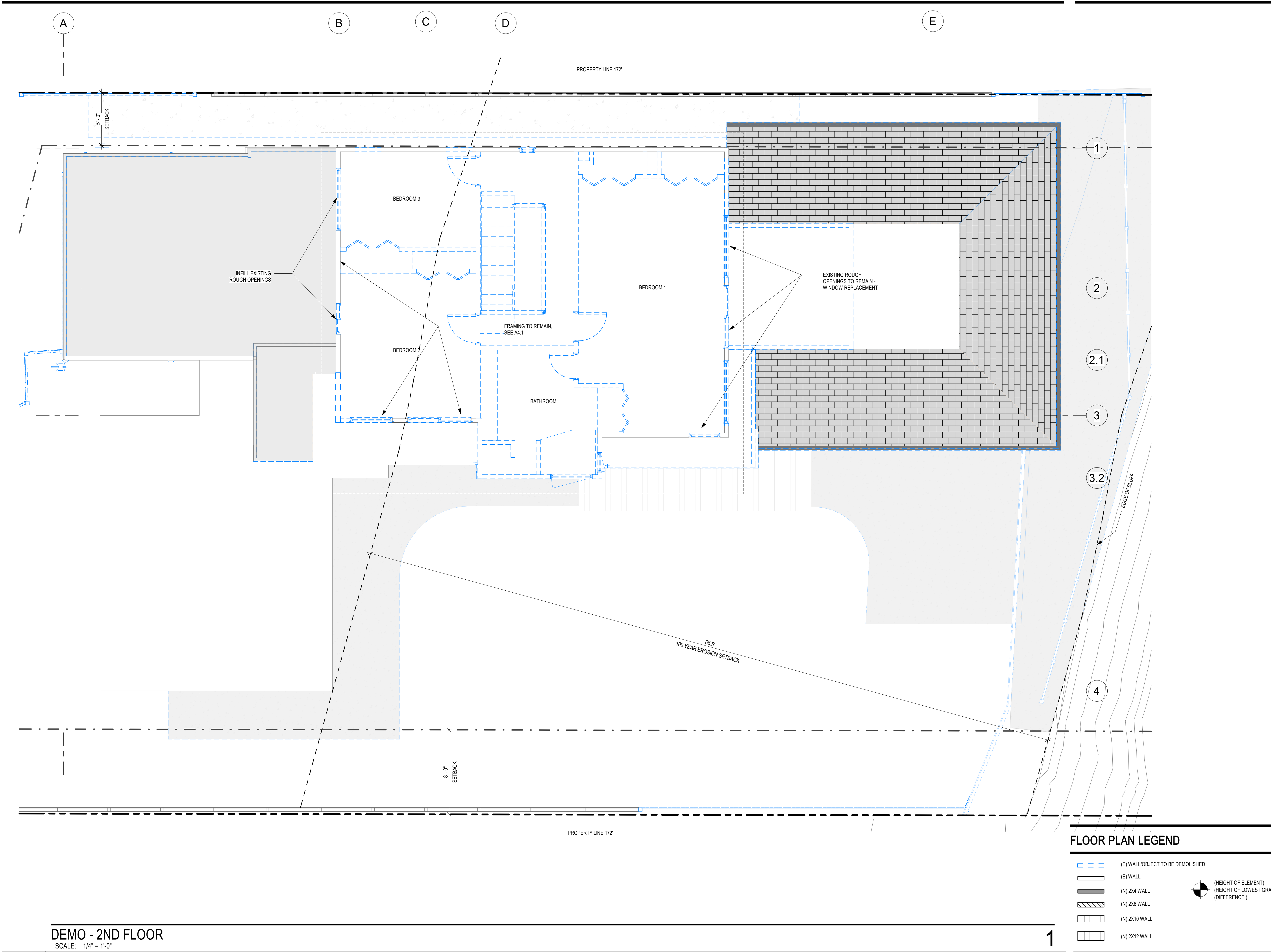
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
DEMO FLOOR PLAN - LEVEL 1

Scale  
As indicated

**A2.5**  
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DEMO - 2ND FLOOR  
SCALE: 1/4" = 1'-0"

1

FLOOR PLAN LEGEND

- (E) WALL/OBJECT TO BE DEMOLISHED
- (E) WALL
- (N) 2X4 WALL
- (N) 2X6 WALL
- (N) 2X10 WALL
- (N) 2X12 WALL
- (HEIGHT OF ELEMENT)  
(HEIGHT OF LOWEST GRADE)  
(DIFFERENCE)

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.  
8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
DEMO FLOOR PLAN - LEVEL 2

Scale  
As indicated

A2.6

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EXHIBIT D

Autodesk Docs://Luchetti/Luchetti CD 2 (central).rvt

37



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FOUNDRY.

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PH:831.239.8578

#	Issue		Description
	Issue	Date	
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

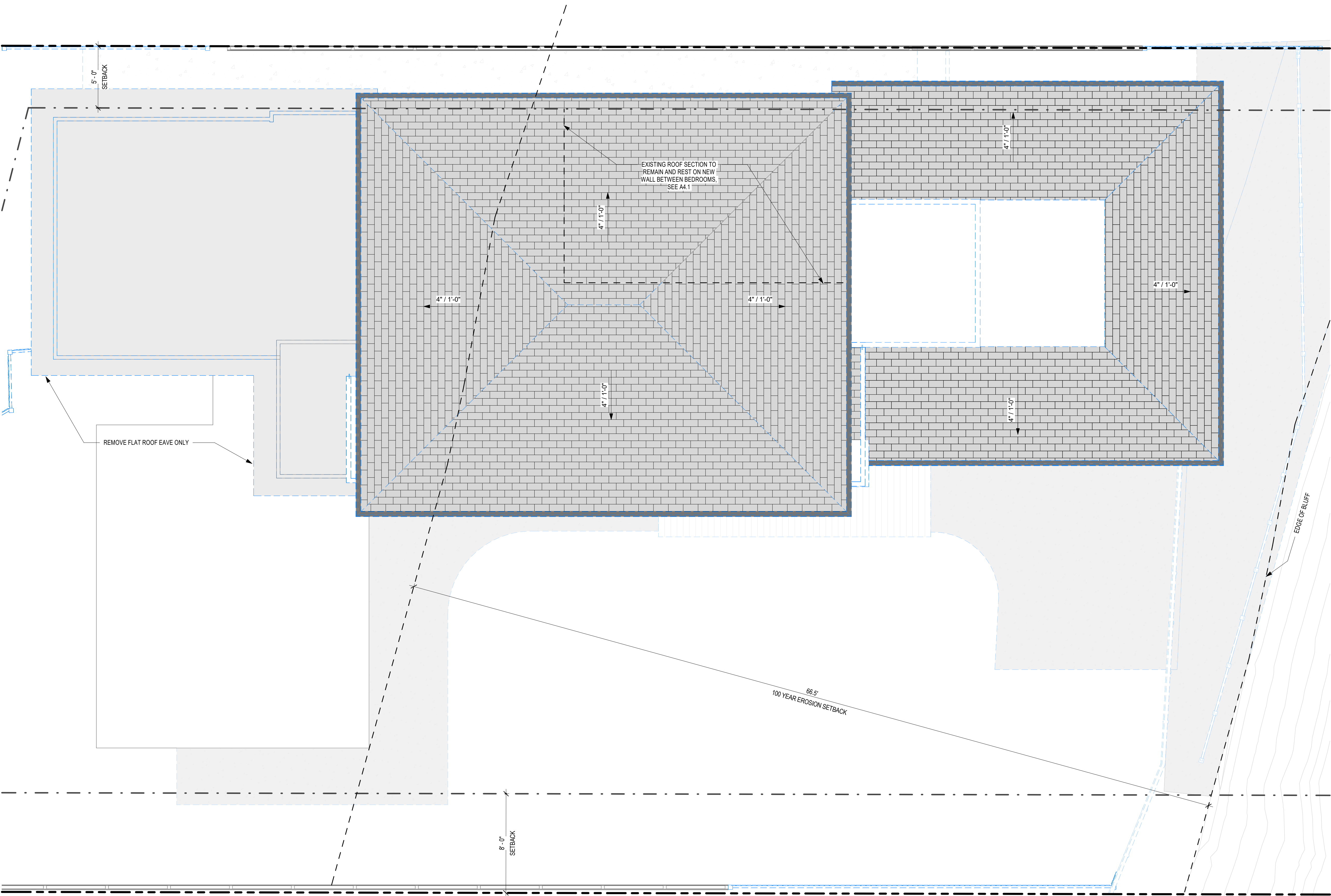
Description  
DEMO ROOF PLAN

Scale  
As indicated

A2.7

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EXHIBIT D



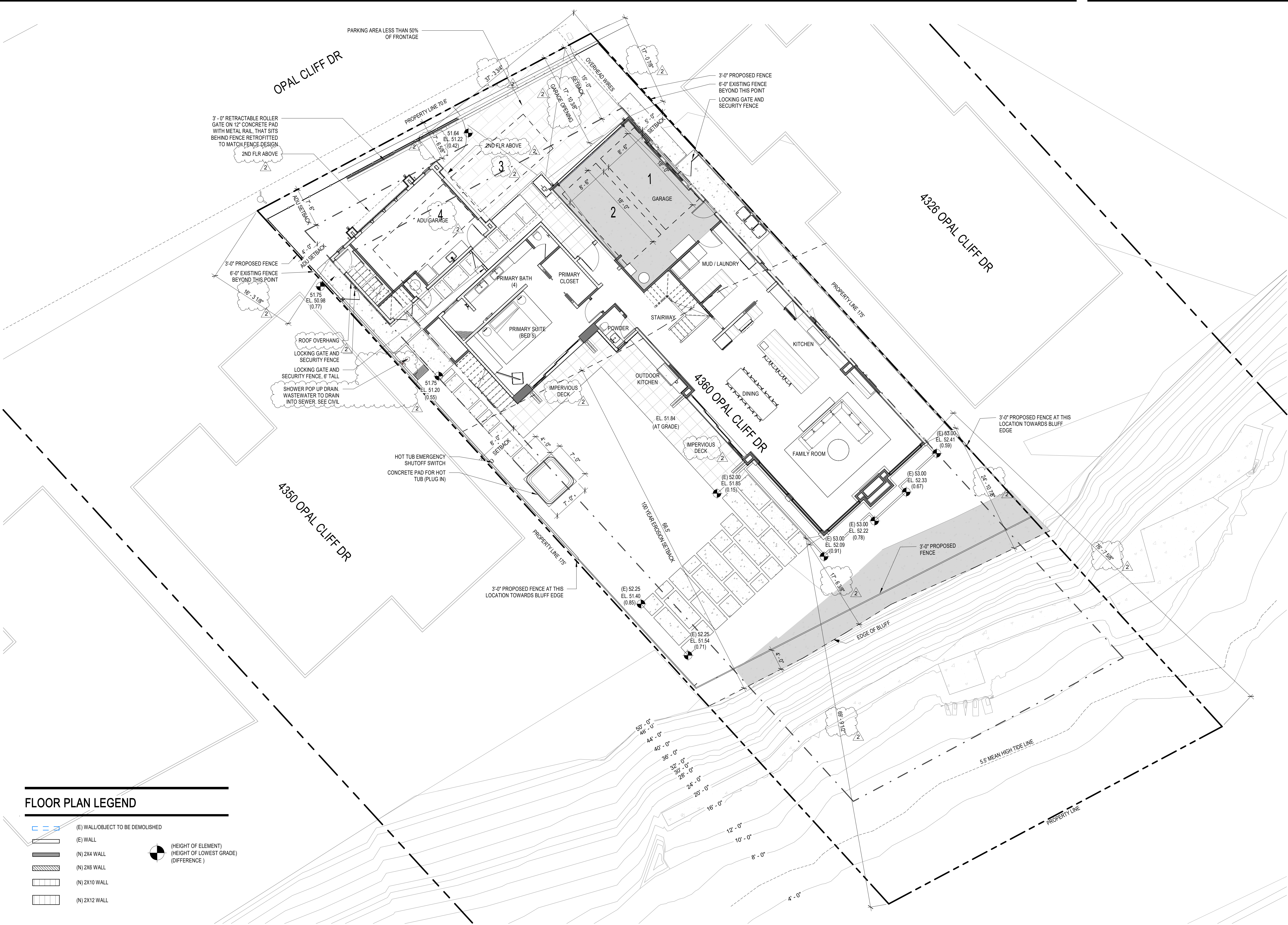
FLOOR PLAN LEGEND

- (E) WALL/OBJECT TO BE DEMOLISHED
- (E) WALL
- (N) 2X4 WALL
- (N) 2X6 WALL
- (N) 2X10 WALL
- (N) 2X12 WALL
- (HEIGHT OF ELEMENT)  
(HEIGHT OF LOWEST GRADE)  
(DIFFERENCE )

DEMO - ROOF PLAN  
SCALE: 1/4" = 1'-0"

1





FLOOR PLAN LEGEND

- (E) WALL/OBJECT TO BE DEMOLISHED
- (E) WALL
- (N) 2X4 WALL
- (N) 2X6 WALL
- (N) 2X10 WALL
- (N) 2X12 WALL
- (HEIGHT OF ELEMENT)  
(HEIGHT OF LOWEST GRADE)  
(DIFFERENCE )

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



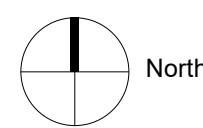
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED SITE PLAN

Scale  
1/8" = 1'-0"

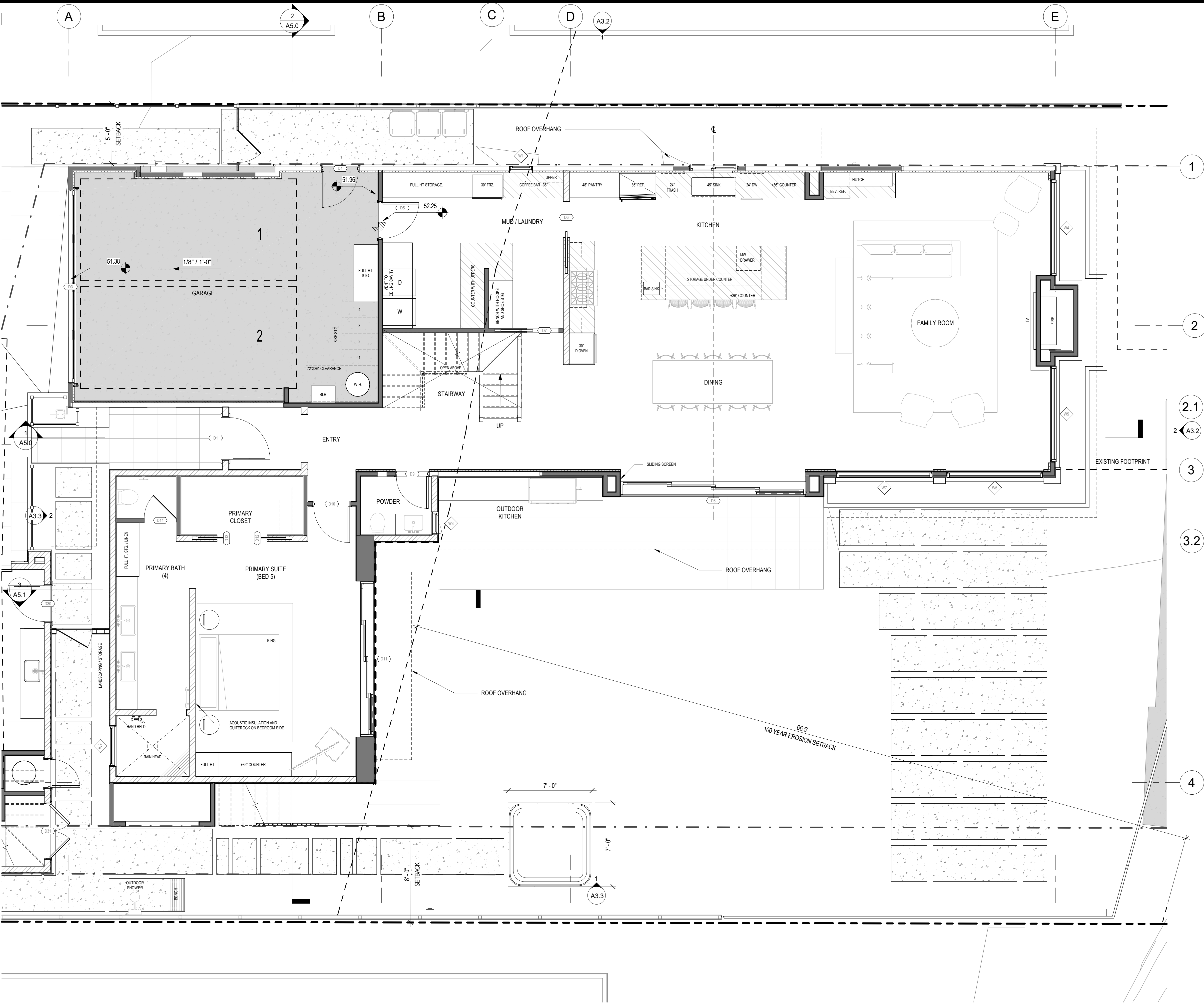
A2.8



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EXHIBIT D





SHEET

Luchetti Residence

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Santa Cruz CA 95062

FOUNDRY.  
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PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

LICENCED ARCHITECT  
R. J. Luchetti  
C 38930  
02-28-2027  
RENEWAL  
DATE

STATE OF CALIFORNIA

Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED FLOOR PLAN - LEVEL 1

Scale  
As indicated

A2.9

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KEYNOTE

LEGEND

(N) 2X4 PARTITION

(N) 2X6 PARTITION

(N) 2X8 PARTITION

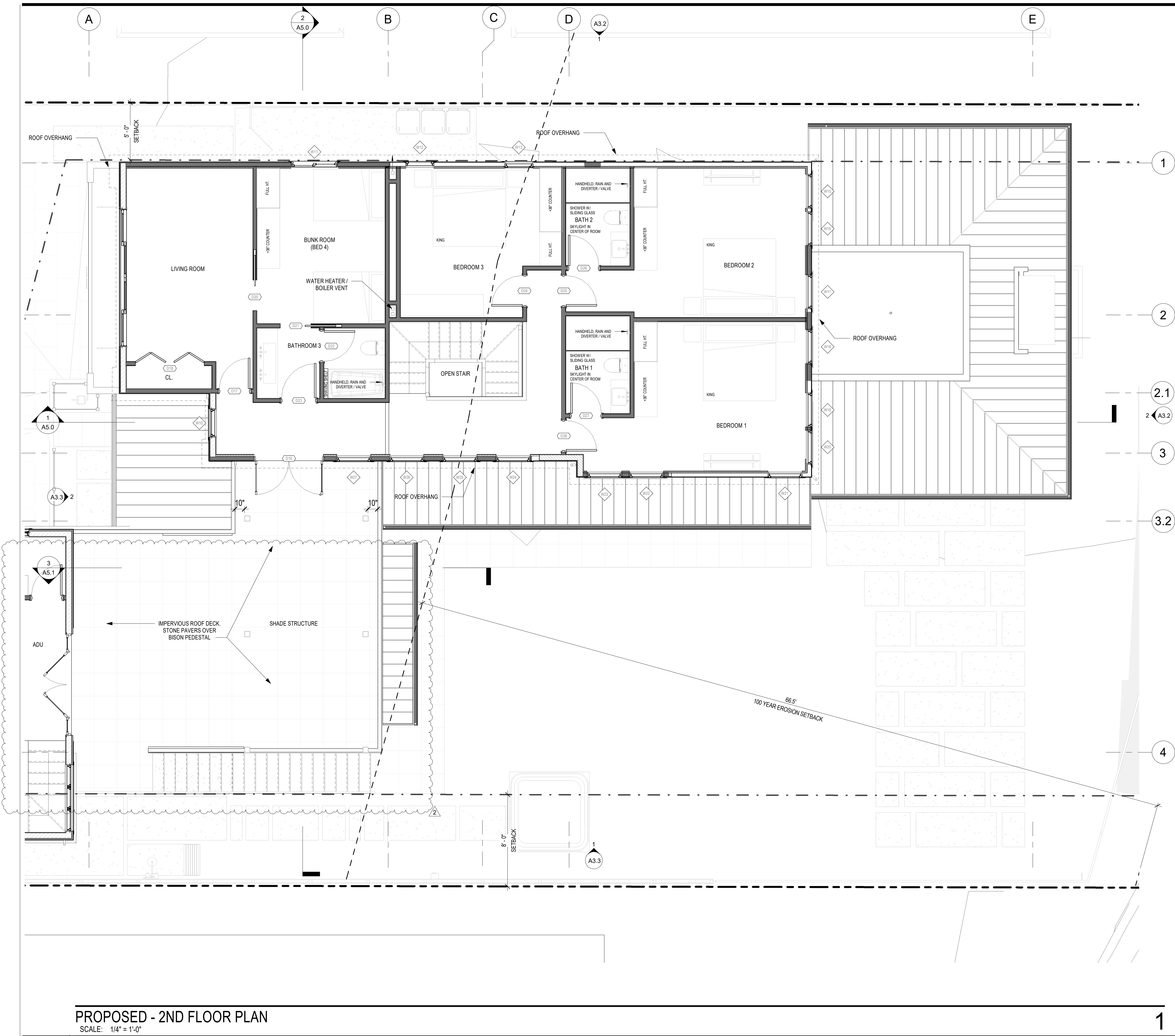
(N) DOUBLE 2 X 4 PARTITION

XXXX  
AXX.XX  
Ref  
XX

DETAIL/ SECTION/  
ELEVATION NUMBER

SHEET NUMBER

WALL TAG - SEE PARTITION SCHEDULE



SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED FLOOR PLAN - LEVEL 2

Scale  
As indicated

A2.10

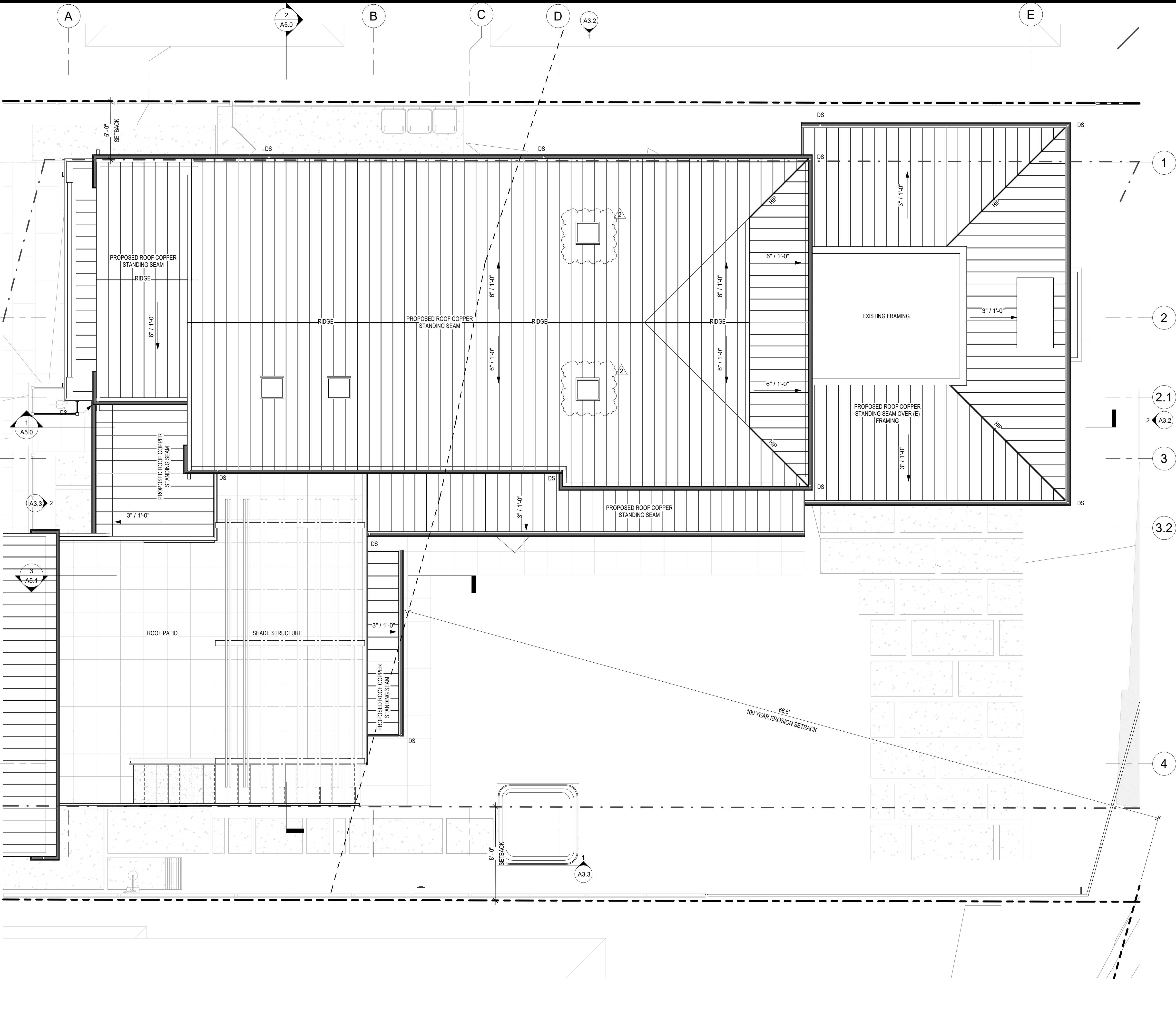
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LEGEND

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- XXXX  
AXX.XX  
Ref  
DETAIL/ SECTION/  
ELEVATION NUMBER
- XX  
SHEET NUMBER
- WALL TAG - SEE PARTITION SCHEDULE

1





PROPOSED - ROOF PLAN  
SCALE: 1/4" = 1'-0"

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED ROOF PLAN

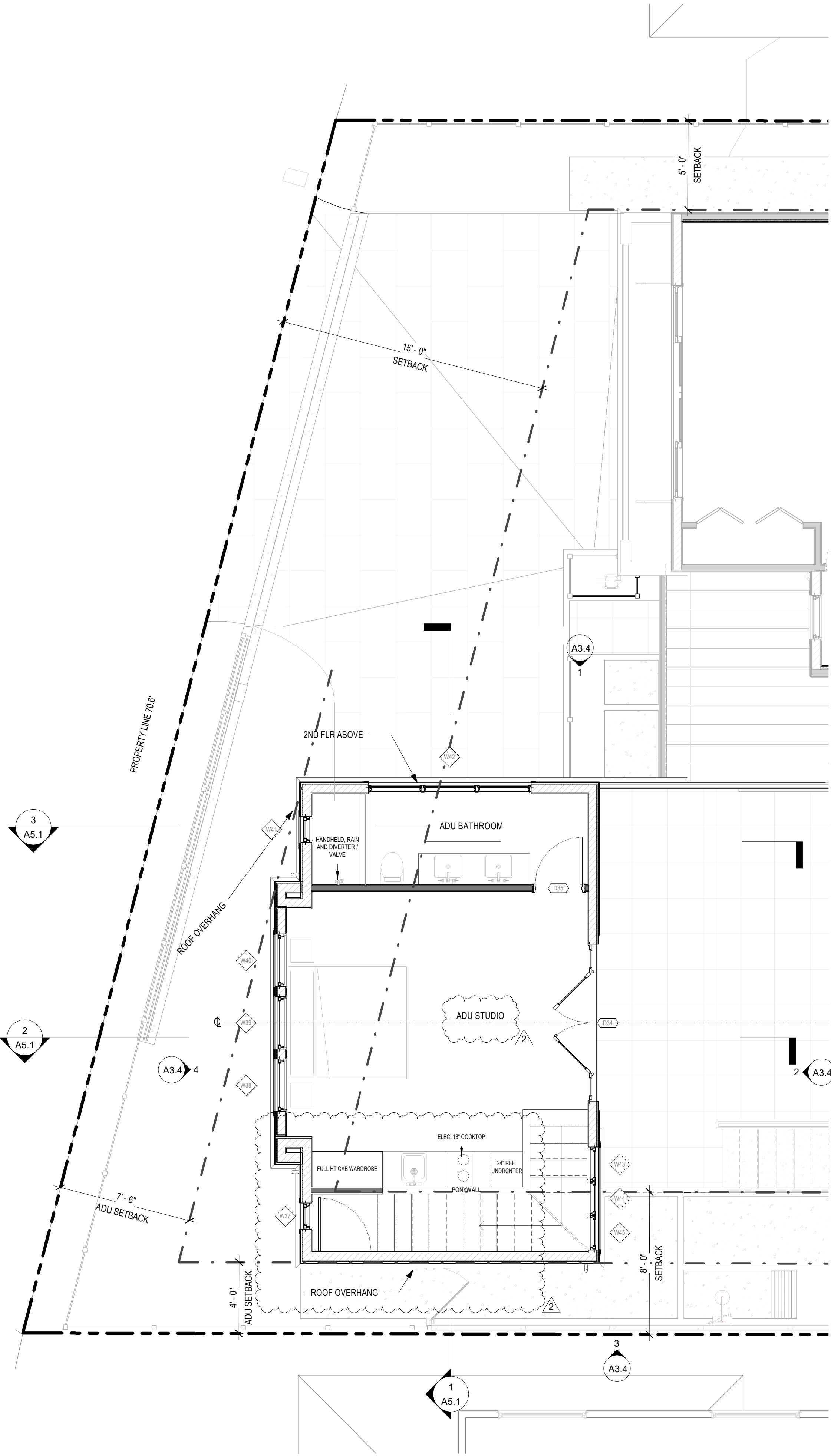
Scale  
As indicated

A2.11

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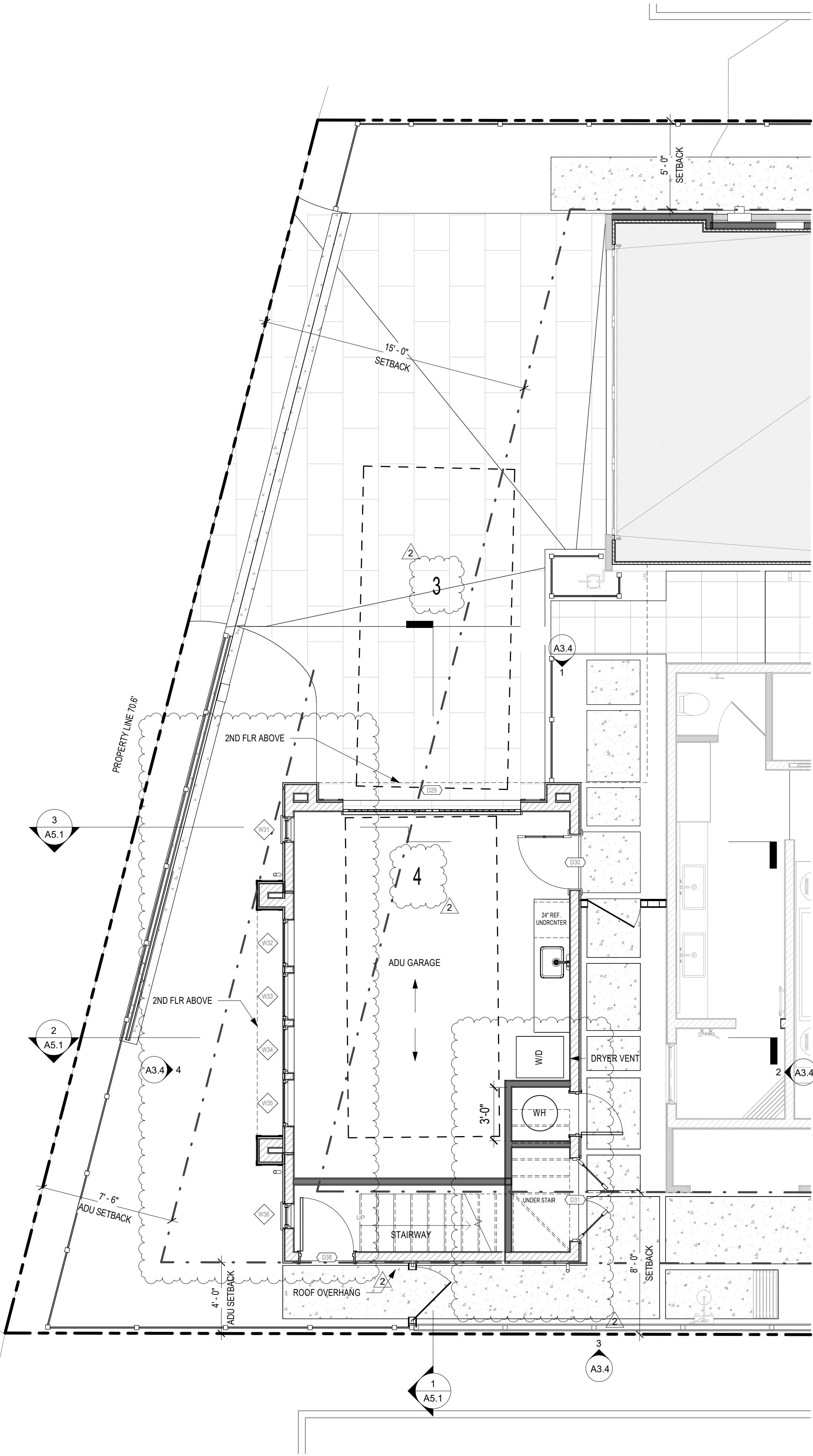
EXHIBIT D





PROPOSED ADU FLOOR PLAN - STUDIO  
SCALE: 1/4" = 1'-0"

2



PROPOSED ADU FLOOR PLAN - LEVEL 1  
SCALE: 1/4" = 1'-0"

1

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

LEGEND

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- XXXX  
AXX.XX  
Ref  
DETAIL/ SECTION/  
ELEVATION NUMBER
- XX  
SHEET NUMBER
- WALL TAG - SEE PARTITION SCHEDULE

Seal/Signature



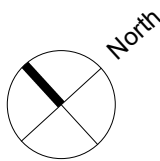
Project Name  
Luchetti Residence

Project APN  
033-151-27

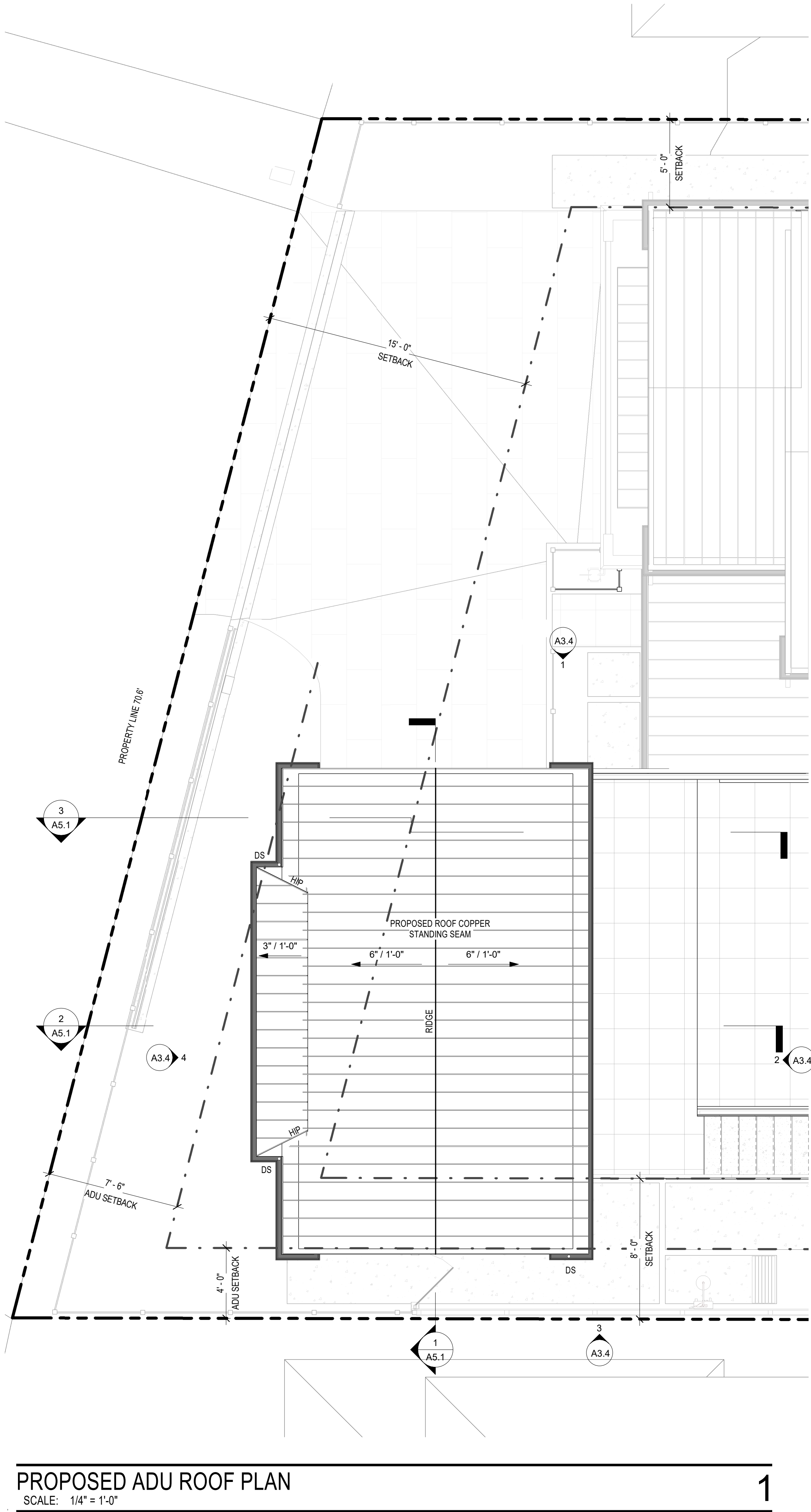
Description  
PROPOSED ADU FLOOR PLANS

Scale  
As indicated

A2.12



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SHEET

Luchetti Residence

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Santa Cruz CA 95062

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PH:831.239.8578

Issue			
#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



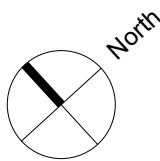
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED ADU ROOF PLAN

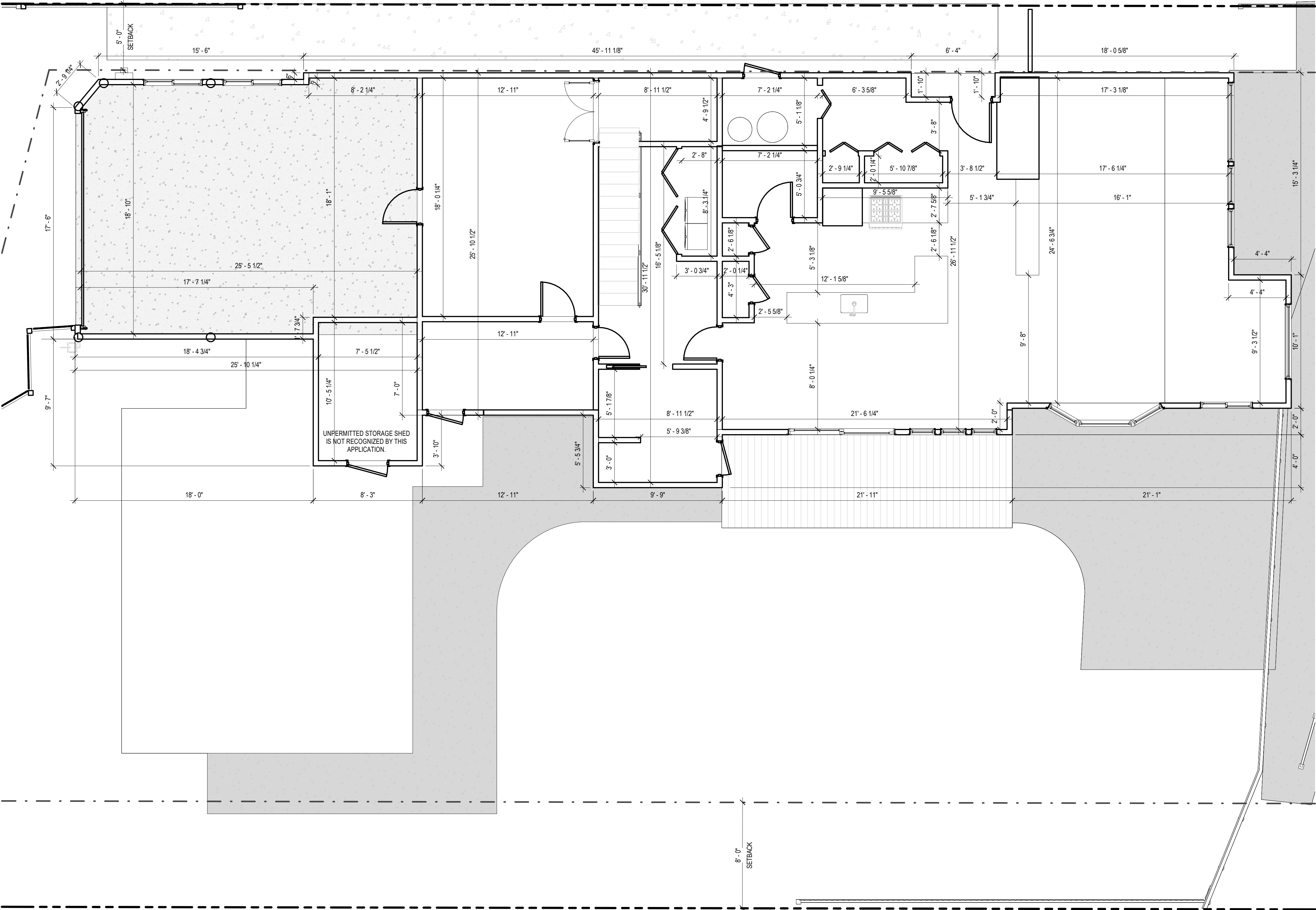
Scale  
As indicated

A2.13



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EXHIBIT D



SHEET

Luchetti Residence

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Santa Cruz CA 95062

**FOUNDRY.**

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PH:831.239.8578

#	Issue	Date	Description
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



**Project Name**  
Luchetti Residence

**Project APN**  
033-151-27

**Description**  
EXISTING - 1ST FLOOR DIMENSION PLAN

**Scale**  
As indicated

**A2.14**

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LEGEND

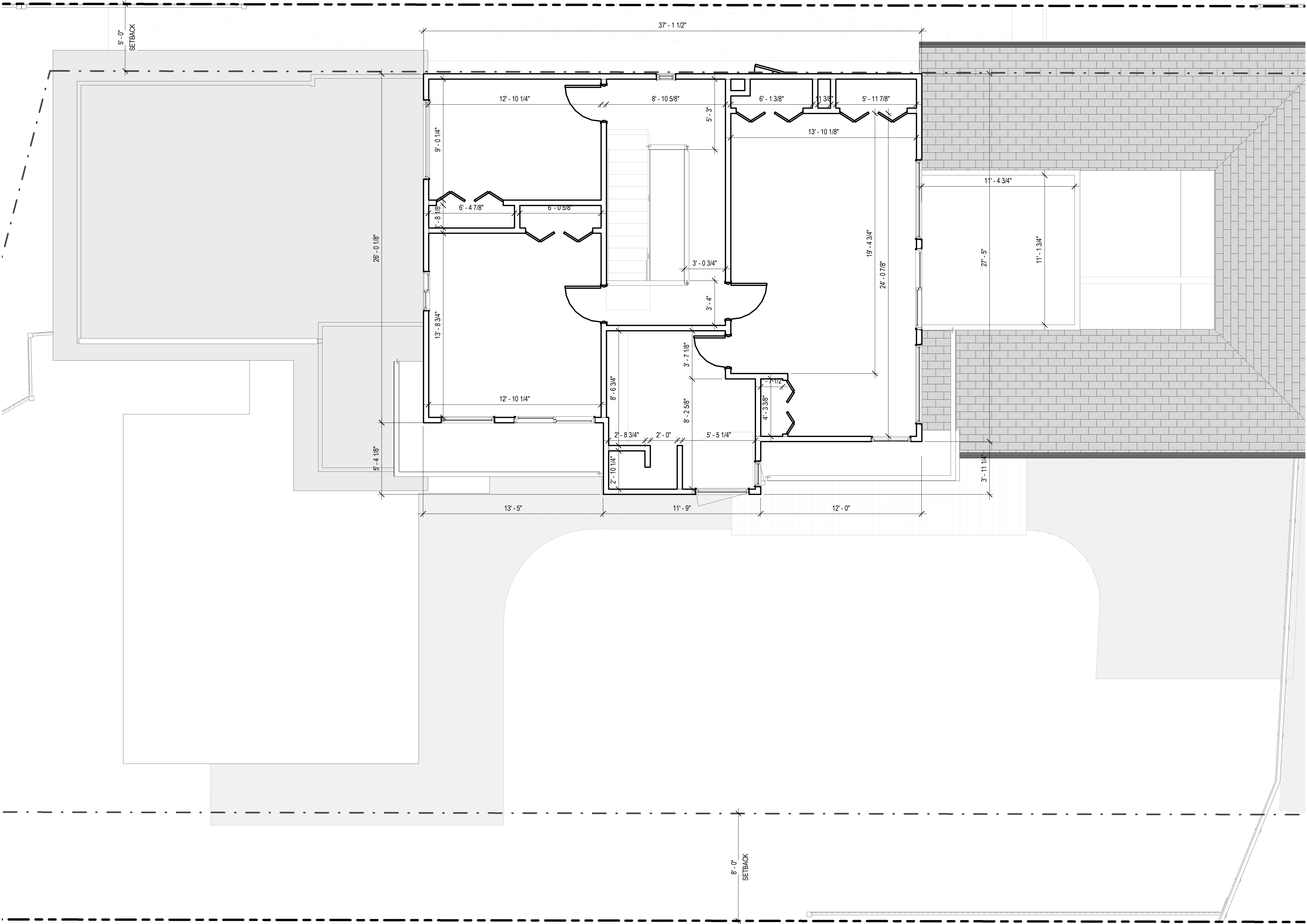
- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- XXXX  
XXX XX — DETAIL/ SECTION/  
ELEVATION NUMBER
- Ref — SHEET NUMBER
- XX — WALL TAG - SEE PARTITION SCHEDULE

1

EXISTING - 1ST FLOOR DIMENSION PLAN

SCALE: 1/4" = 1'-0"





SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue		
	Issue	Date	Description
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING - 2ND FLOOR DIMENSION PLAN

Scale  
As indicated

A2.15

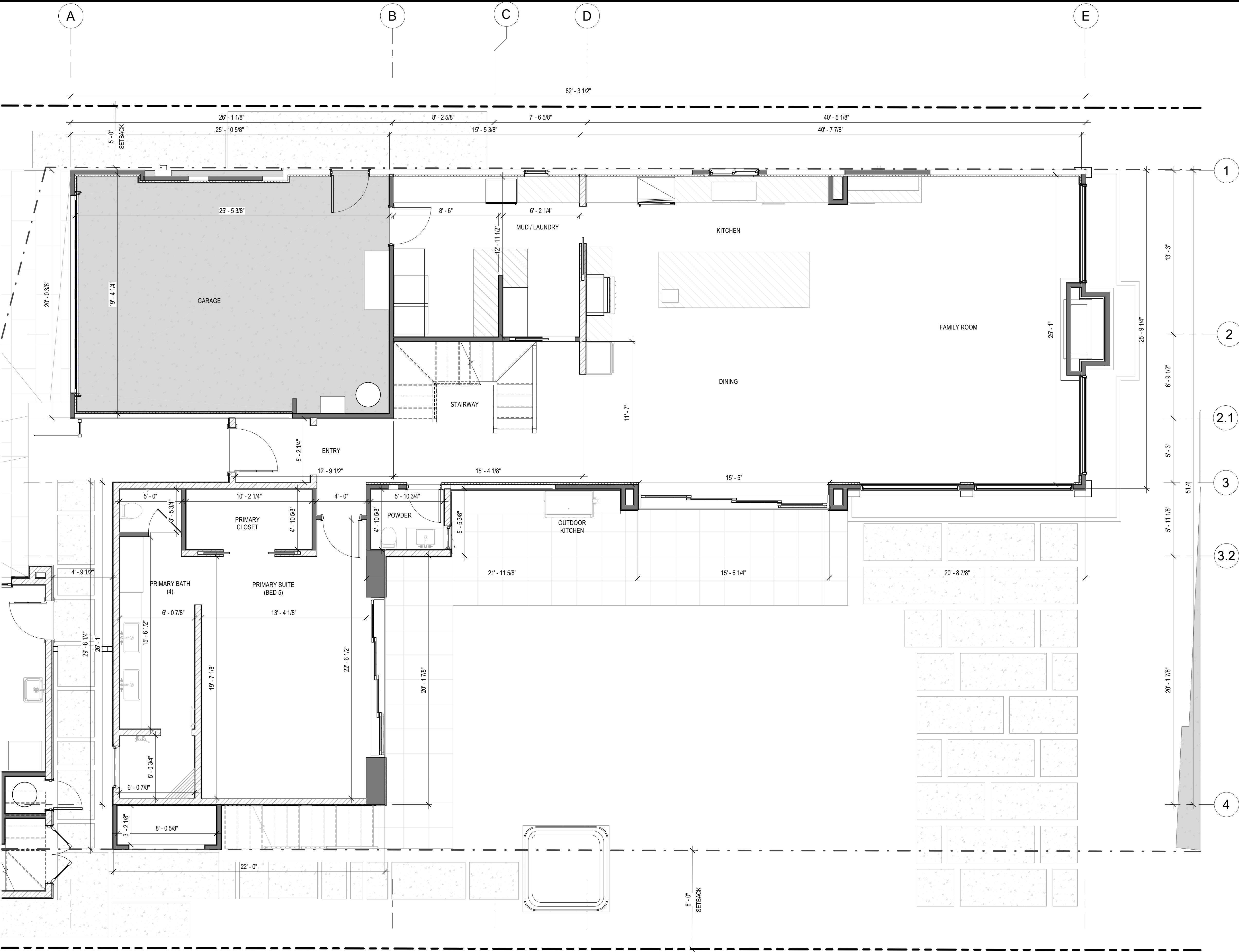
© 2025 FOUNDRY ARCHITECTURE

LEGEND

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- XXXX  
AXX.XX — DETAIL/ SECTION/  
ELEVATION NUMBER
- Ref — SHEET NUMBER
- XX — WALL TAG - SEE PARTITION SCHEDULE

EXISTING - 2ND FLOOR DIMENSION PLAN  
SCALE: 1/4" = 1'-0"

1



SHEET

KEYNOTE

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

LICENCED ARCHITECT  
R. Luchetti  
C 38930  
02-28-2027  
RENEWAL  
DATE  
STATE OF CALIFORNIA

Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED - 1ST FLOOR DIMENSION PLAN

Scale  
1/4" = 1'-0"

A2.16

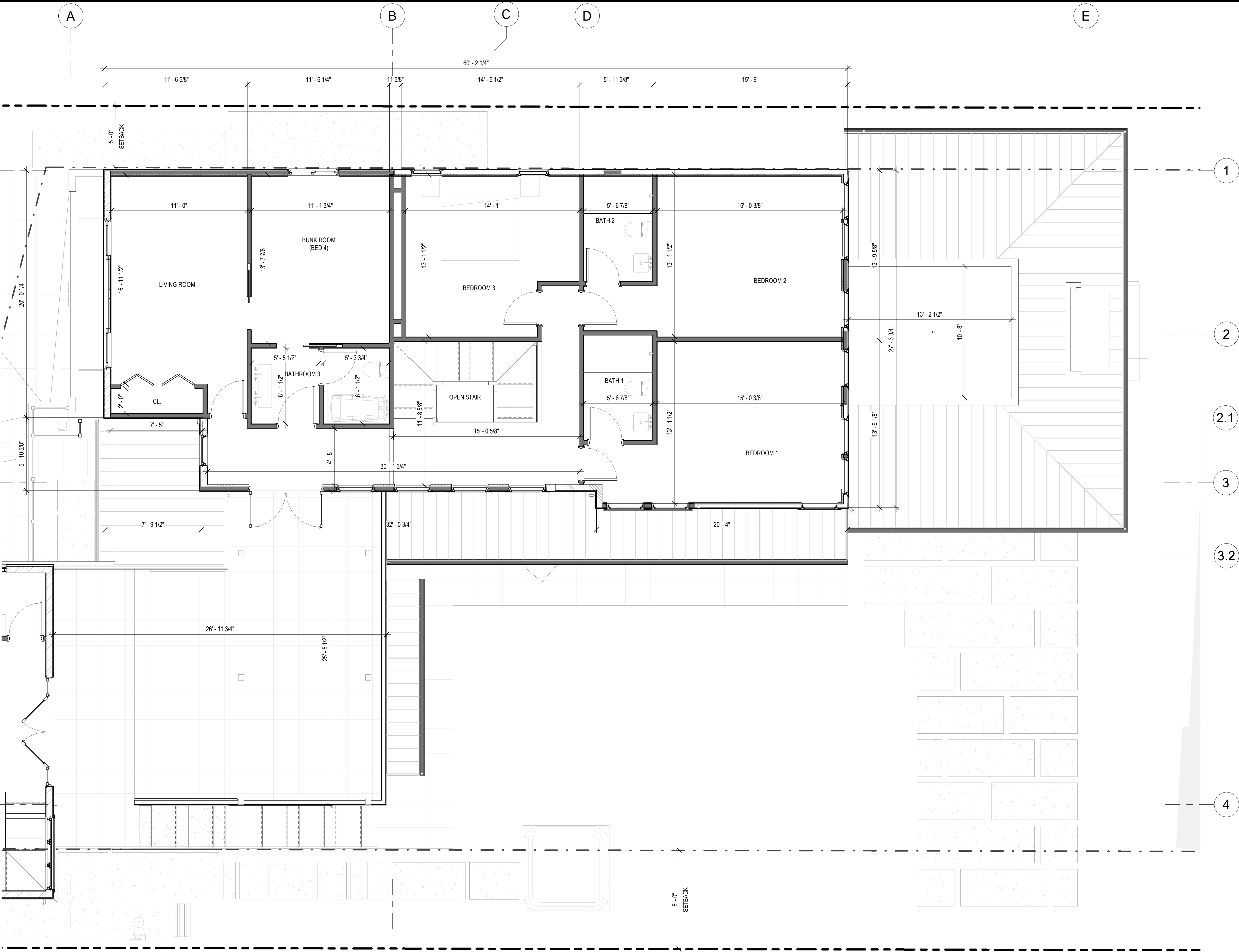
North

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PROPOSED - 1ST FLOOR DIMENSION PLAN

SCALE: 1/4" = 1'-0"

1



SHEET

KEYNOTE

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.  
8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature

LICENCED ARCHITECT  
Rico Anderson  
C 38920  
02-28-2027  
RENEWAL  
STATE OF CALIFORNIA

Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED - 2ND FLOOR DIMENSION PLAN

Scale  
1/4" = 1'-0"

A2.17

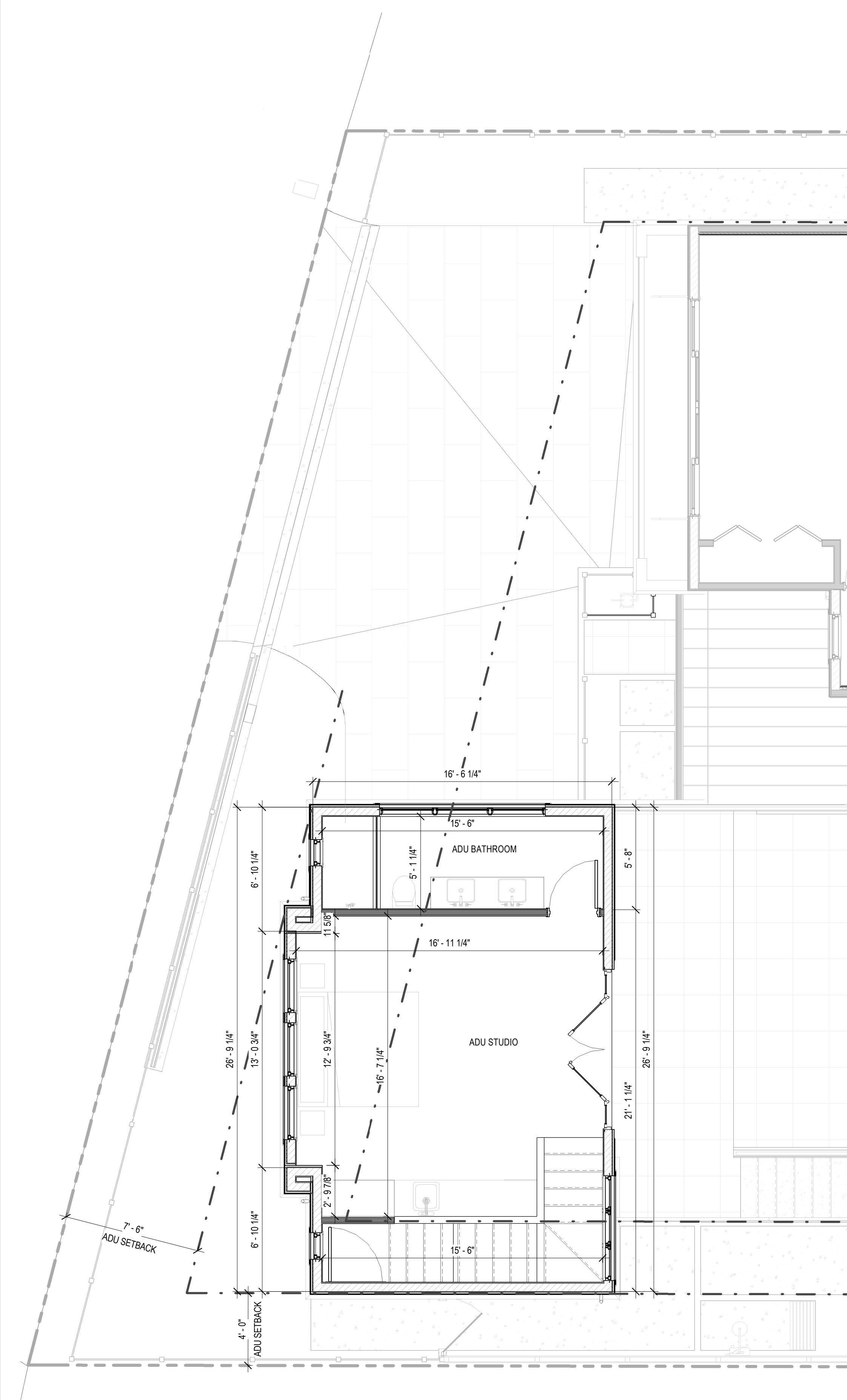
North

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PROPOSED - 2ND FLOOR DIMENSION PLAN  
SCALE: 1/4" = 1'-0"

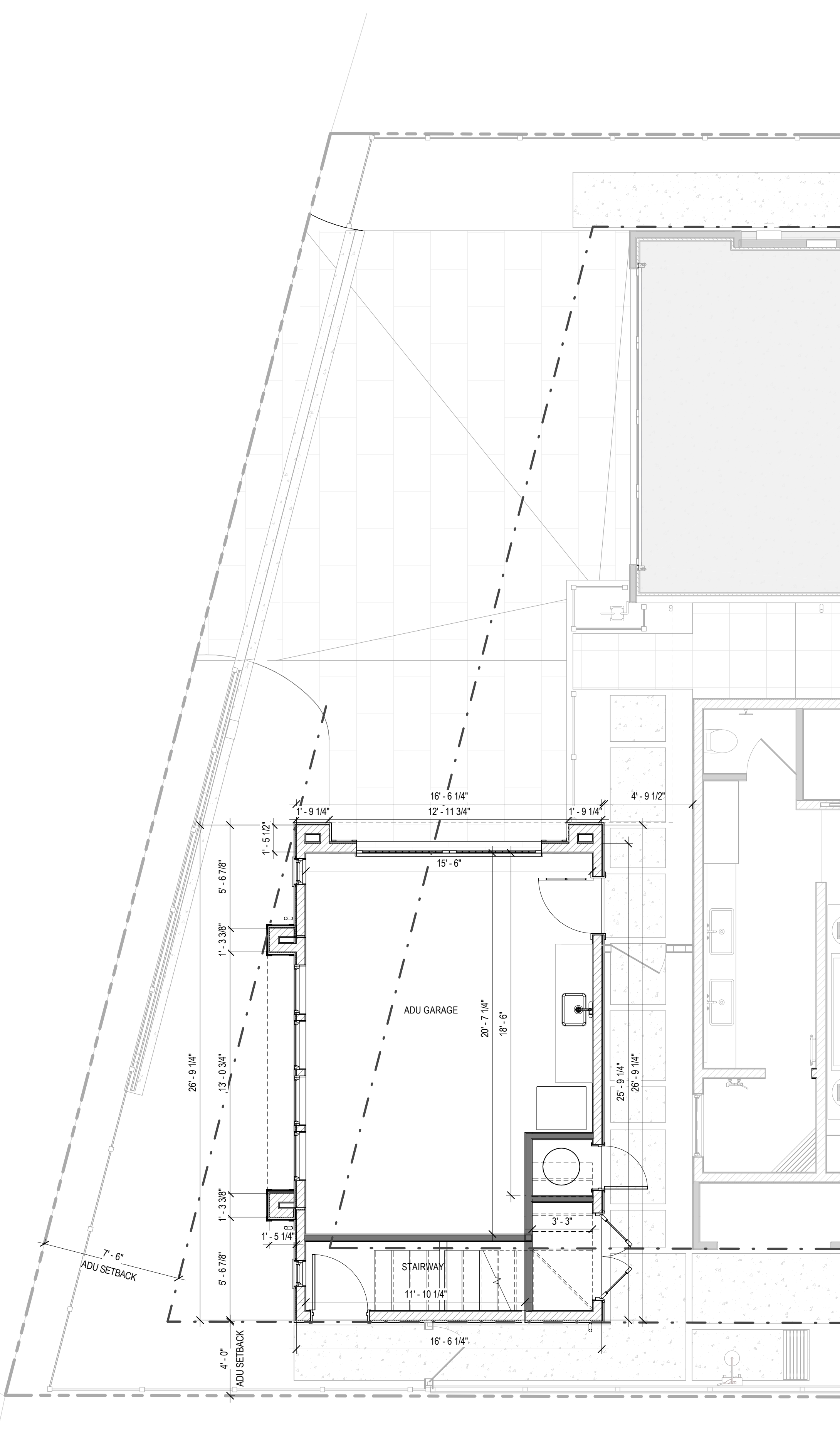
1





PROPOSED ADU DIMENSION PLAN - LEVEL 2  
SCALE: 1/4" = 1'-0"

2



PROPOSED ADU DIMENSION PLAN - LEVEL 1  
SCALE: 1/4" = 1'-0"

1

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

Issue			
#	Issue	Date	Description
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature

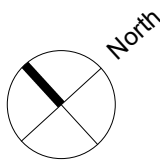


Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED - ADU DIMENSION PLANS

Scale  
1/4" = 1'-0"



A2.18

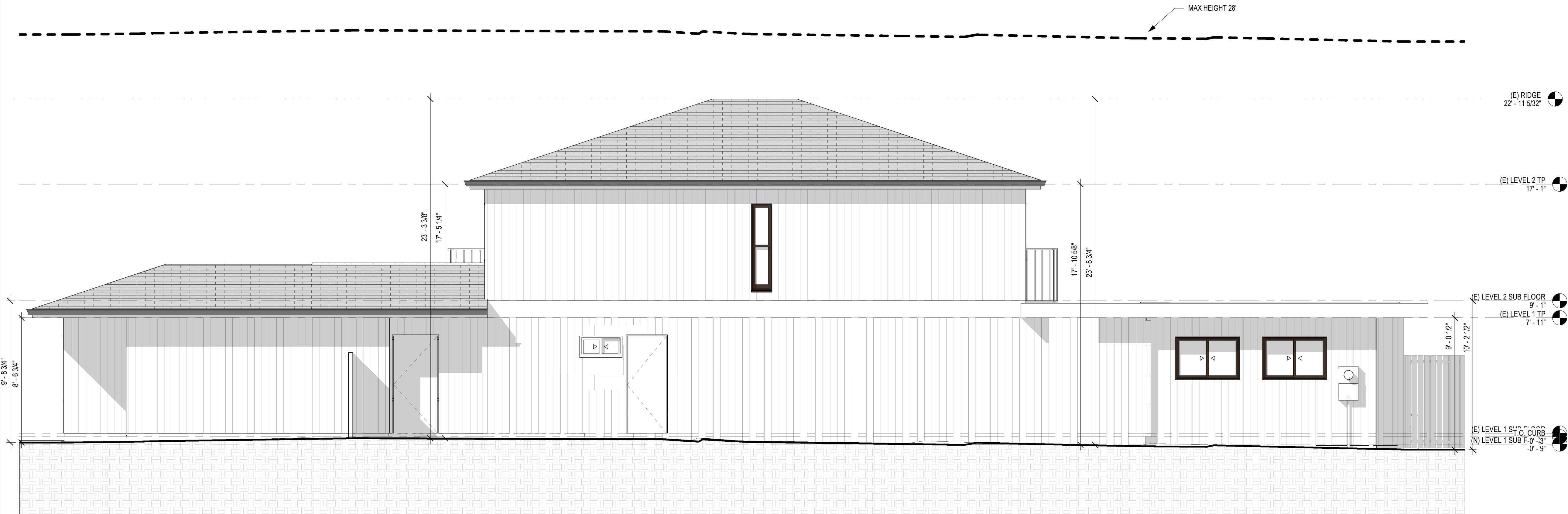
© 2025 FOUNDRY ARCHITECTURE

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Santa Cruz CA 95062

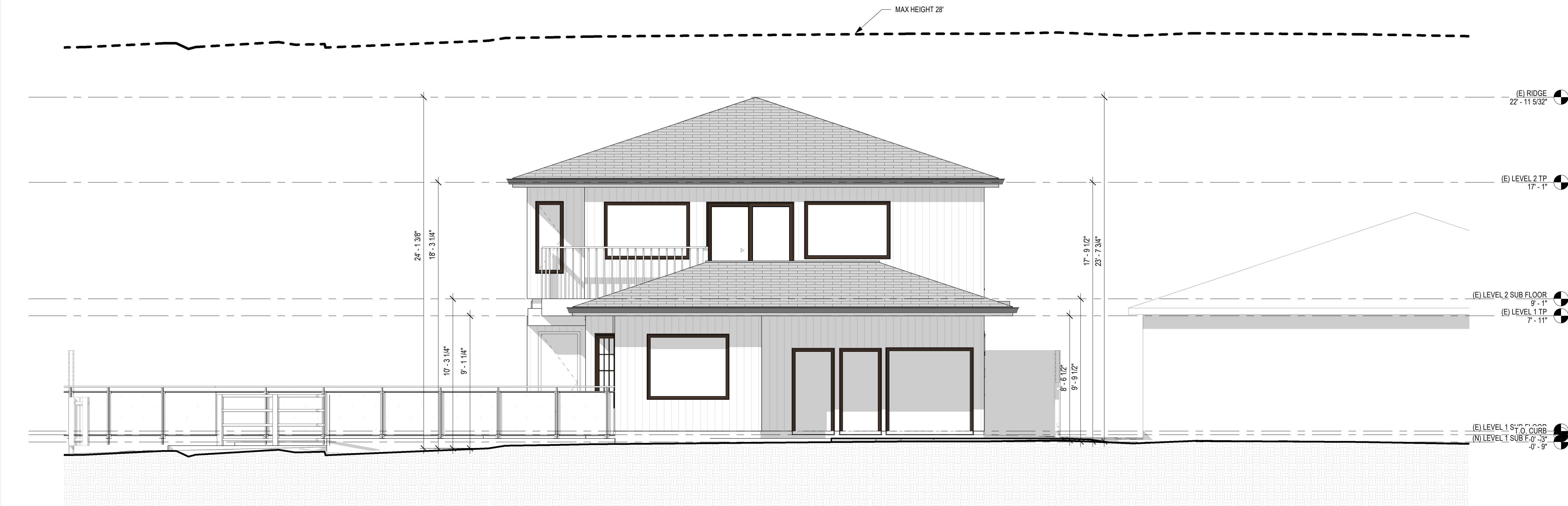
FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



EXISTING NORTH EAST ELEVATION  
SCALE: 1/4" = 1'-0"

1



EXISTING SOUTH EAST ELEVATION  
SCALE: 1/4" = 1'-0"

2

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING ELEVATIONS

Scale  
1/4" = 1'-0"

A3.0

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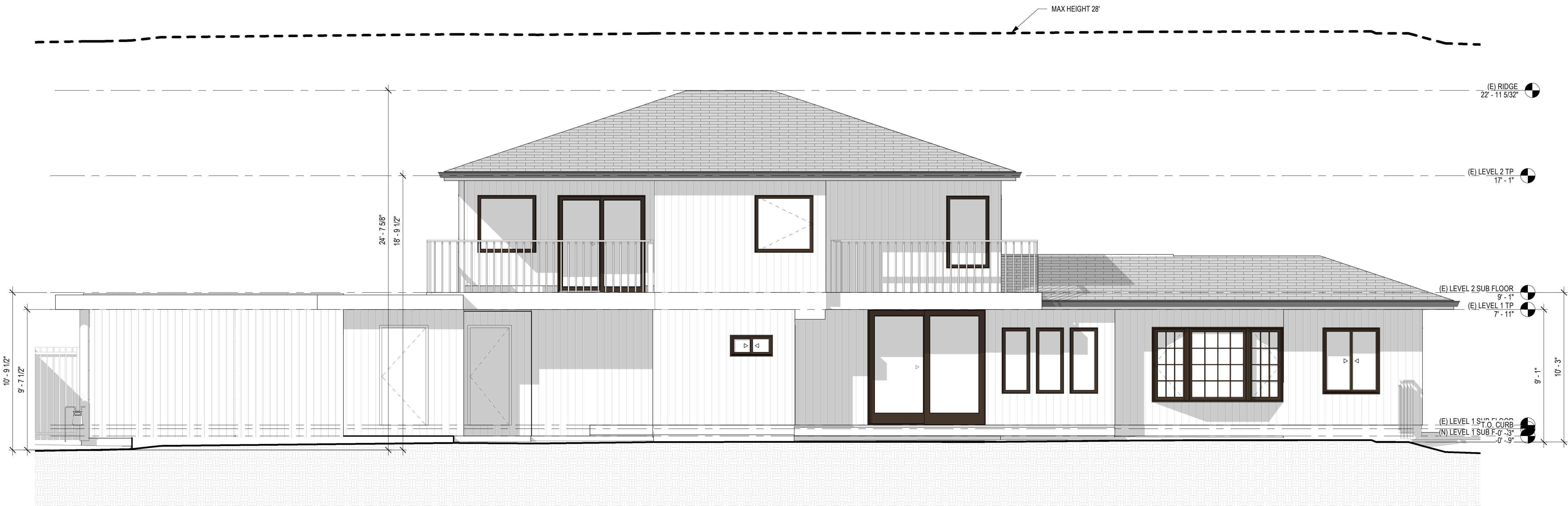


Luchetti Residence

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Santa Cruz CA 95062

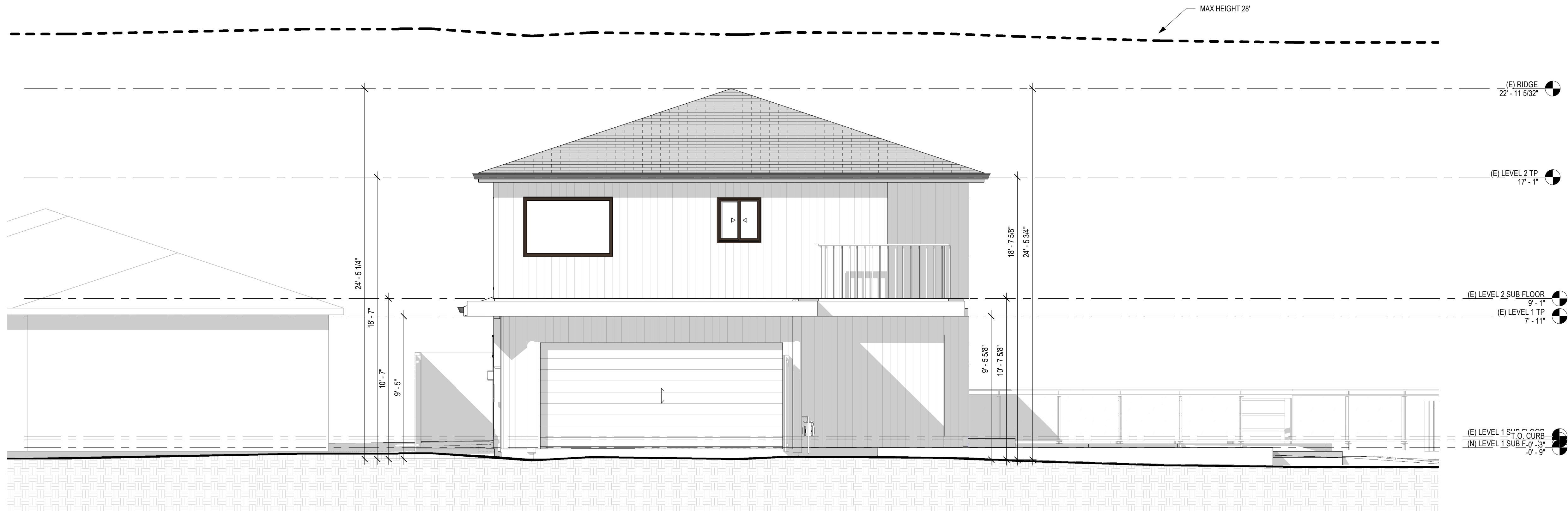
FOUNDRY.

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PH:831.239.8578



EXISTING SOUTH WEST ELEVATION  
SCALE: 1/4" = 1'-0"

1



EXISTING NORTH WEST ELEVATION  
SCALE: 1/4" = 1'-0"

2

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
EXISTING ELEVATIONS

Scale  
1/4" = 1'-0"

A3.1

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EXHIBIT D

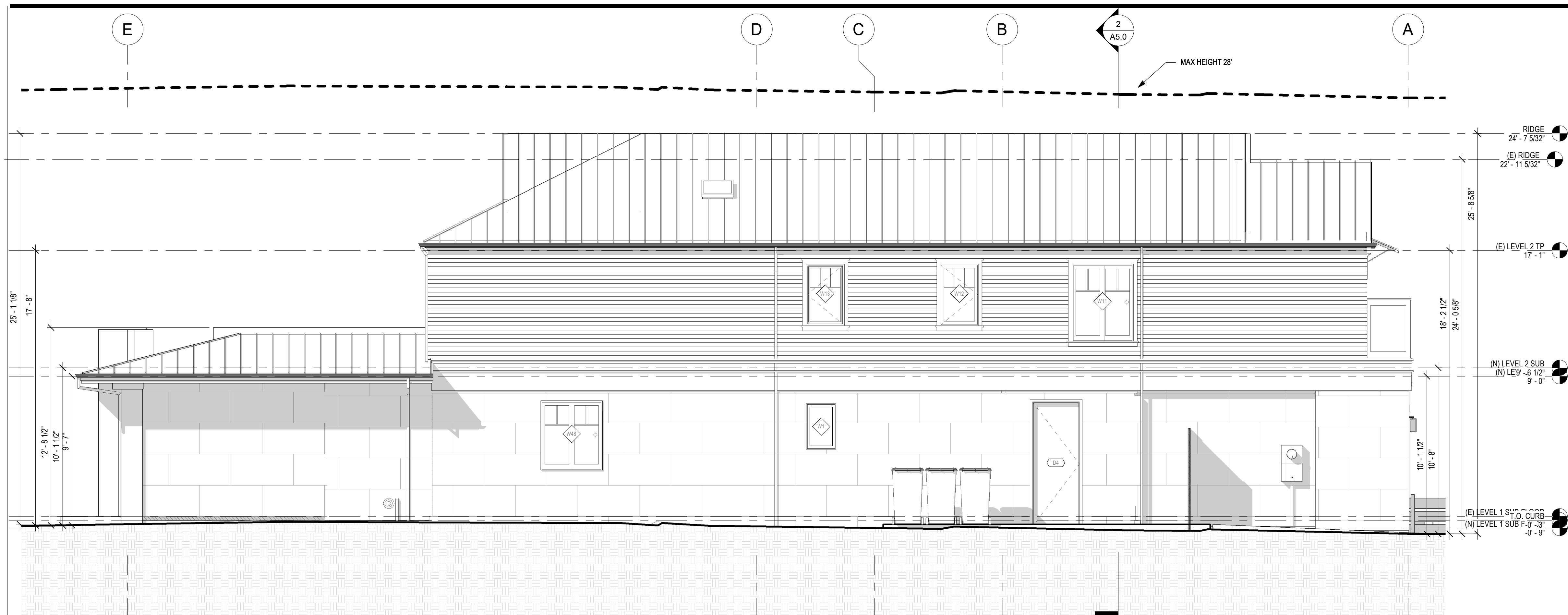
## SHEET

## Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

**FOUNDRY.**

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



## PROPOSED NORTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

1



## PROPOSED SOUTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

2

## KEYNOTE

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



**Project Name**  
Luchetti Residence

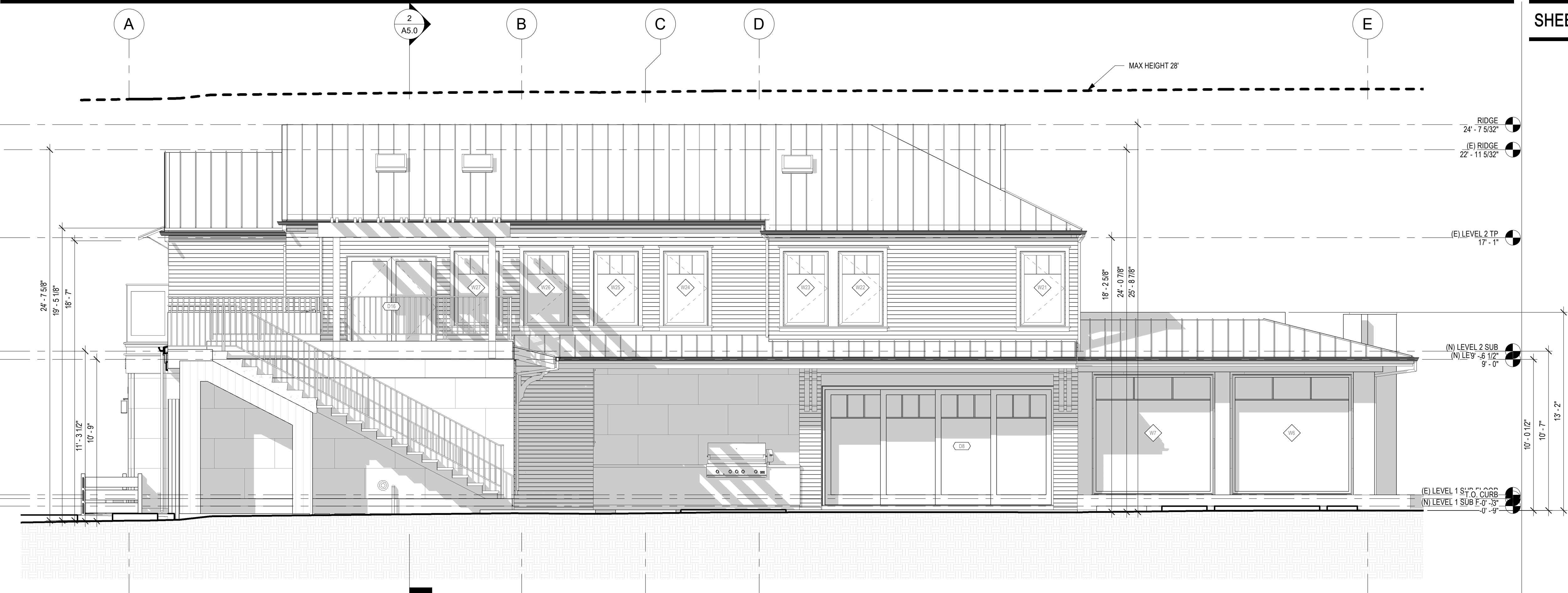
**Project APN**  
033-151-27

Description
PROPOSED ELEVATIONS

**Scale**  
1/4" = 1'-0"

## A3.2

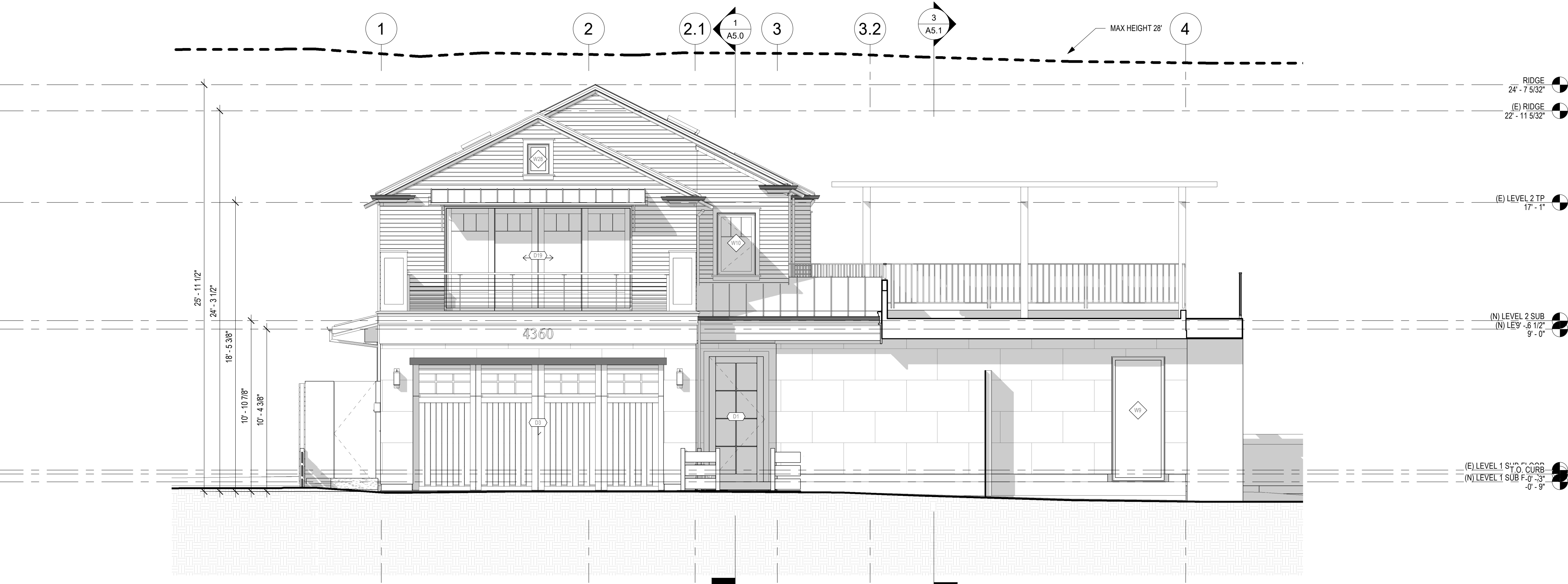
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PROPOSED SOUTH WEST ELEVATION

SCALE: 1/4" = 1'-0"

1



PROPOSED NORTH WEST ELEVATION

SCALE: 1/4" = 1'-0"

2

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

**FOUNDRY.**

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



**Project Name**  
Luchetti Residence

**Project APN**  
033-151-27

**Description**  
PROPOSED ELEVATIONS

**Scale**  
1/4" = 1'-0"

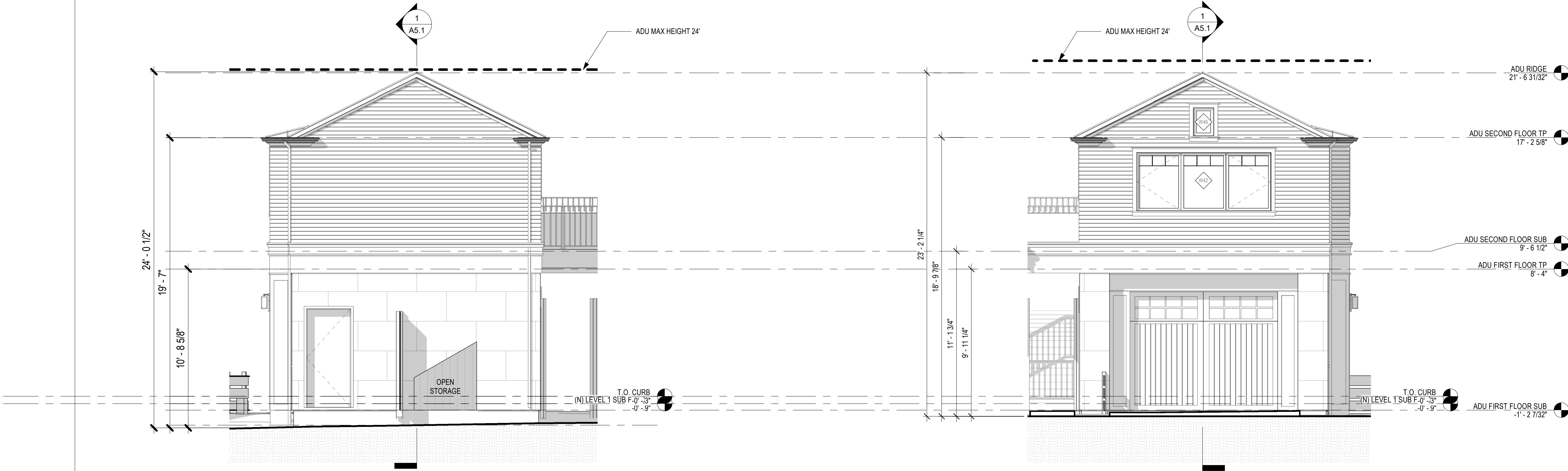
**A3.3**

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Santa Cruz CA 95062

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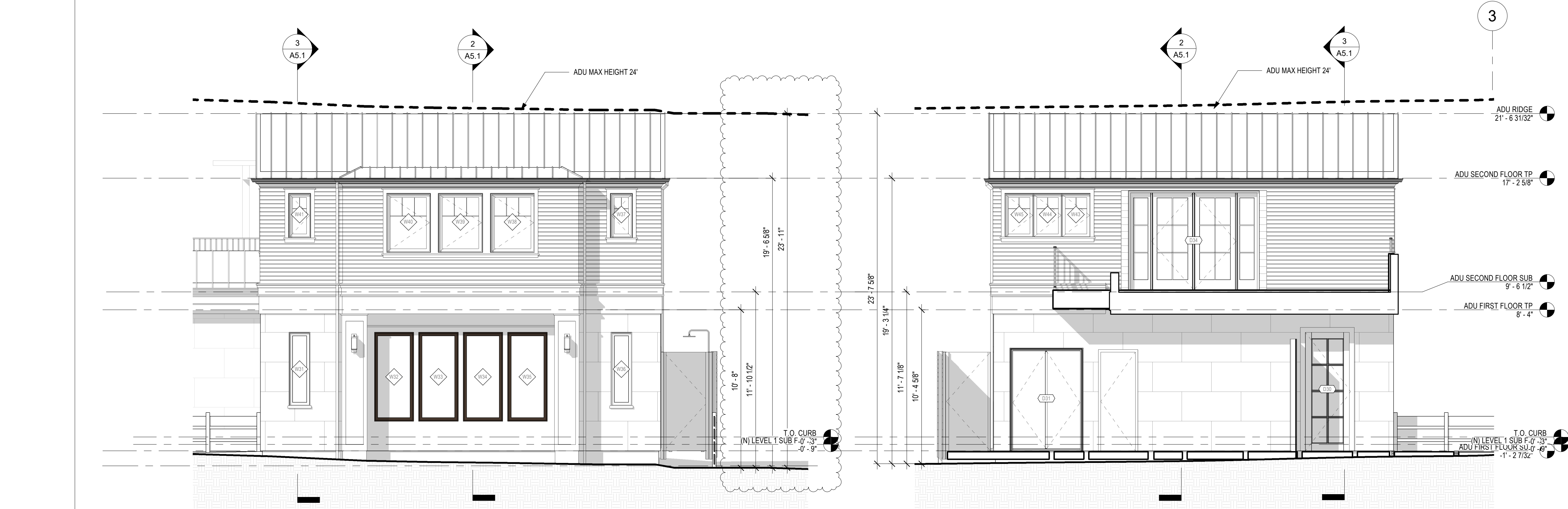


PROPOSED ADU SOUTH WEST ELEVATION 3

SCALE: 1/4" = 1'-0"

PROPOSED ADU NORTH EAST ELEVATION 1

SCALE: 1/4" = 1'-0"



PROPOSED ADU NORTH WEST ELEVATION 4

SCALE: 1/4" = 1'-0"

PROPOSED ADU SOUTH EAST ELEVATION 2

SCALE: 1/4" = 1'-0"

KEYNOTE

Issue			
#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED ADU ELEVATIONS

Scale  
1/4" = 1'-0"

A3.4

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County of Santa Cruz  
Community Development &  
Infrastructure

Modification  
Worksheet

Form  
PLG-215  
1 of 1  
Rev 05/20/25

PLG-215 must be on a plan sheet with coordinated plan diagrams. (form 6" w x 24" h)

A. Modification Summary (factored part B)

The CDI website has explanations, instructions and examples. QR code below.

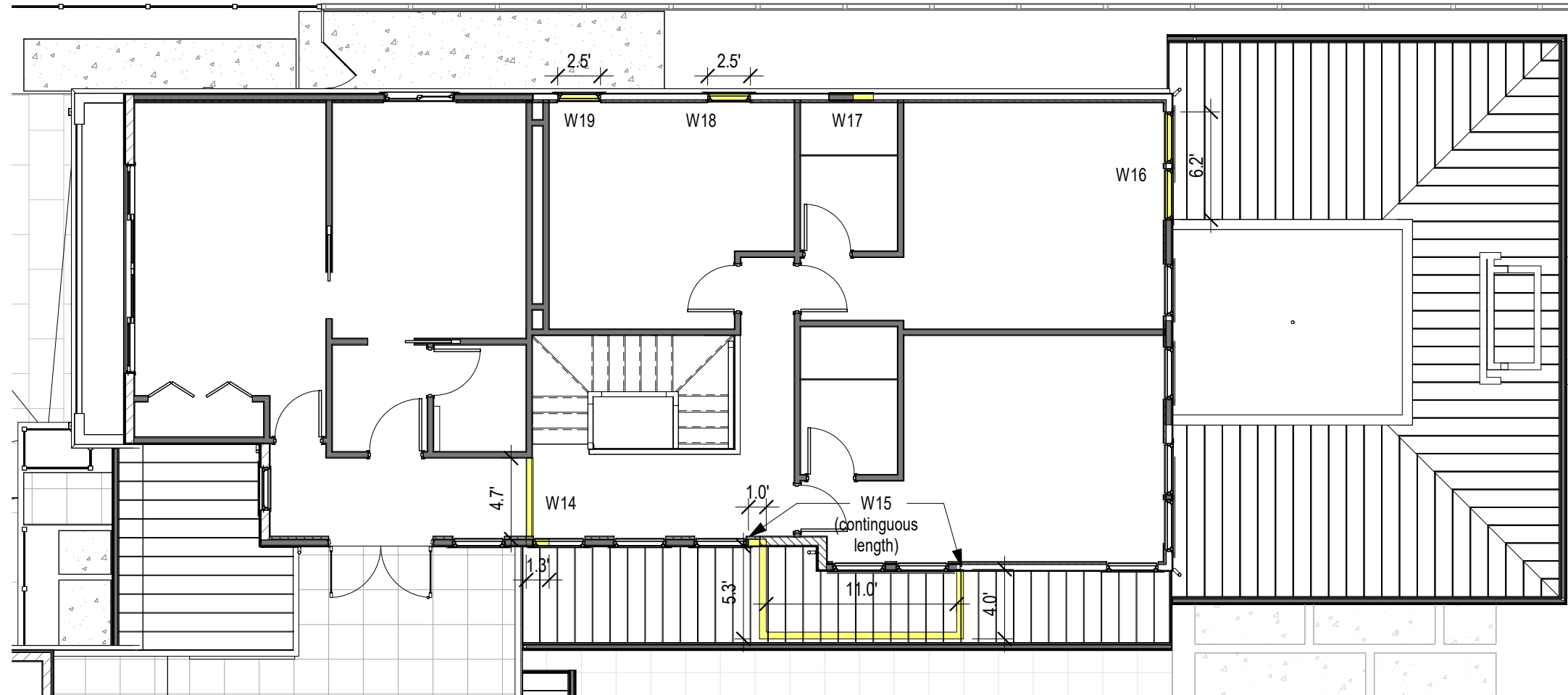
Roof (15%):	6.53
Exterior Wall (65%):	32.13
Floor (10%):	0.85
Foundation (10%):	1.00
Modification Total:	40.51



B. Modified Element Do NOT use commas [,] (Acrobat users can hover gray text for help)

Floor (framed, slab)		Roof	
Modified (%):	8.48	Modified (%):	43.54
Existing (SF):	3326	Existing (SF):	2315
Segment #	Modified (SF)	Segment #	Modified (SF)
1ST FLOOR	232	ROOF 1	0
2ND FLOOR	50	ROOF 2	270
		ROOF 3	738
Total:		Total:	
282		1,008	
Foundation		Exterior Wall	
Modified (%):	10.04	Modified (%):	49.43
Linear (wall, grade beam)		Existing (LF):	388.40
Existing (LF):	2281	Segment #	Modified (LF)
Floor (SF):	2281	Round 4'	
Segment #	Modified (LF)	W1	0
1ST FLOOR	229	W2	0
		W3	7.5
		W4	5.2
		W5	18.5
		W6	60.5
		W7	10.7
		W8	4
		W9	4
		W10	4
		W11	4
		W12	0
		W13	7.1
		W14	6
		W15	21.3
		W16	6.2
		W17	2.6
		W18	6.5
		W19	2.5
Subtotal:		229	
Slab			
Existing (SF):			
Floor (SF):			
Segment #	Modified (SF)		
Subtotal:	0	Total:	192

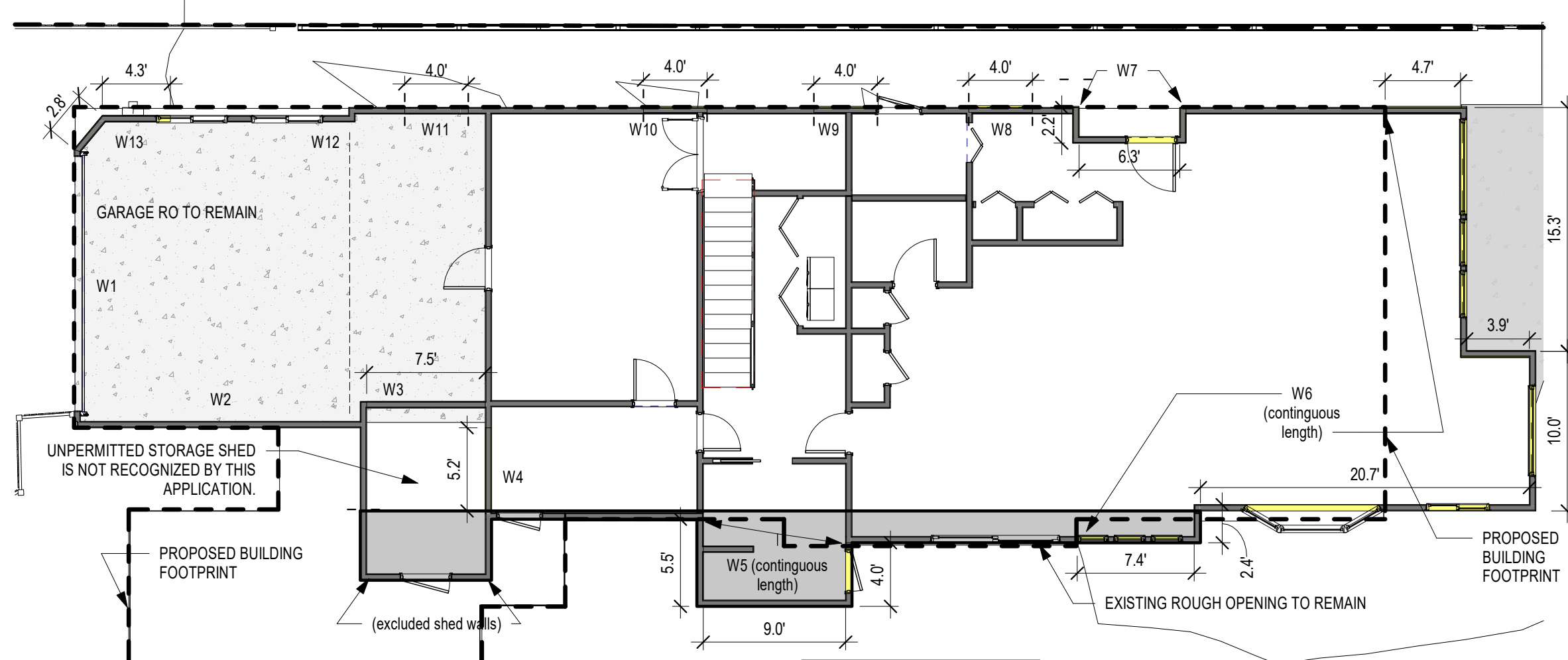
701 Ocean Street 4<sup>th</sup> Floor, Santa Cruz, CA 95060 | [www.cdi.santacruzcountyca.gov](http://www.cdi.santacruzcountyca.gov)



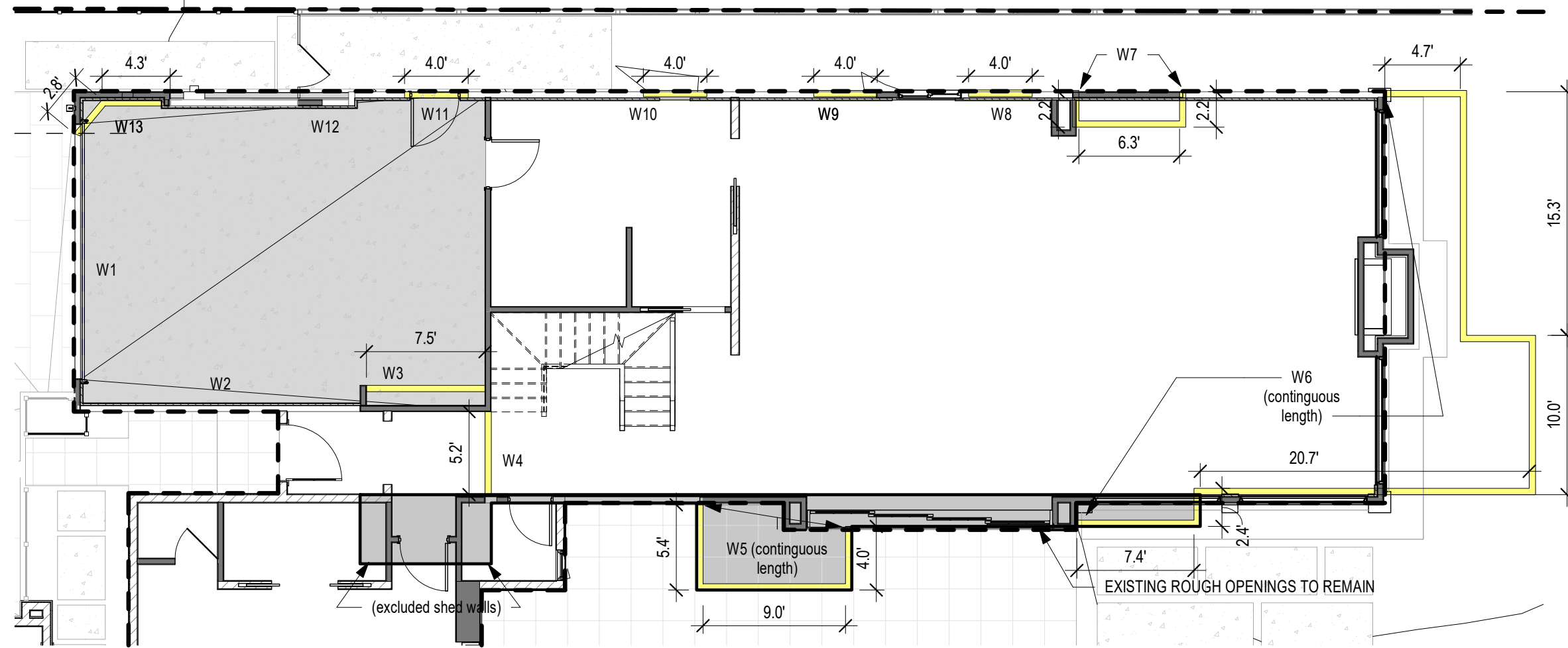
2ND FLOOR STRUCTURAL MODIFICATION WORKSHEET - PROPOSED WALLS 4

WALL MODIFICATION LEGEND

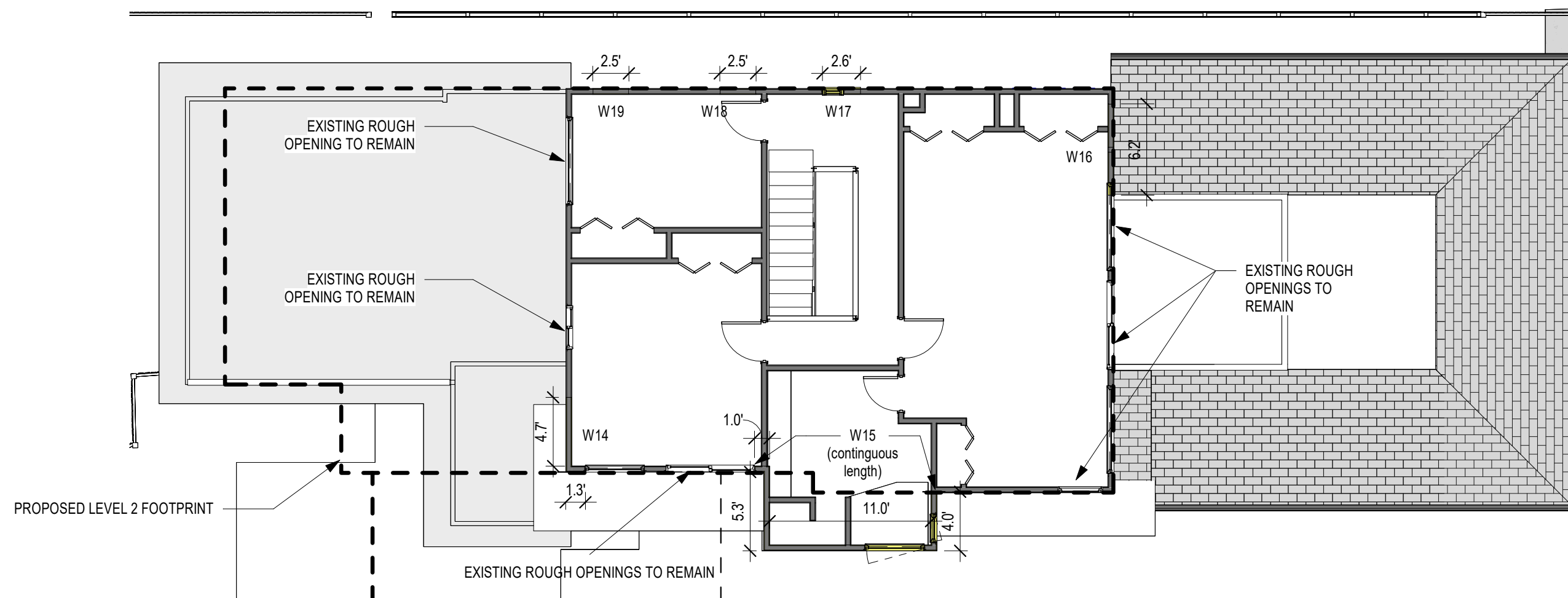
- EXISTING WALL TO BE MODIFIED PER PLG-215
- PROPOSED BUILDING FOOTPRINT



1ST FLOOR STRUCTURAL MODIFICATION WORKSHEET - EXISTING WALLS 1



1ST FLOOR STRUCTURAL MODIFICATION WORKSHEET - PROPOSED WALLS 2



2ND FLOOR STRUCTURAL MODIFICATION WORKSHEET - EXISTING WALLS 3

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



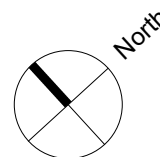
Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
STRUCTURAL MODIFICATION WORKSHEET -  
EXISTING WALLS

Scale  
1/8" = 1'-0"

A4.1



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Form  
**PLG-215**  
1 of 1  
Rev 05/20/25

PLG-215 must be on a plan sheet with coordinated plan diagrams. (form 6" w x 21" h)

### A. Modification Summary (factored part B)

The CDI website has explanations, instructions and examples. QR code below



**B. Modified Element** Do NOT use commas [,]. (Acrobat users can hover gray text for help)

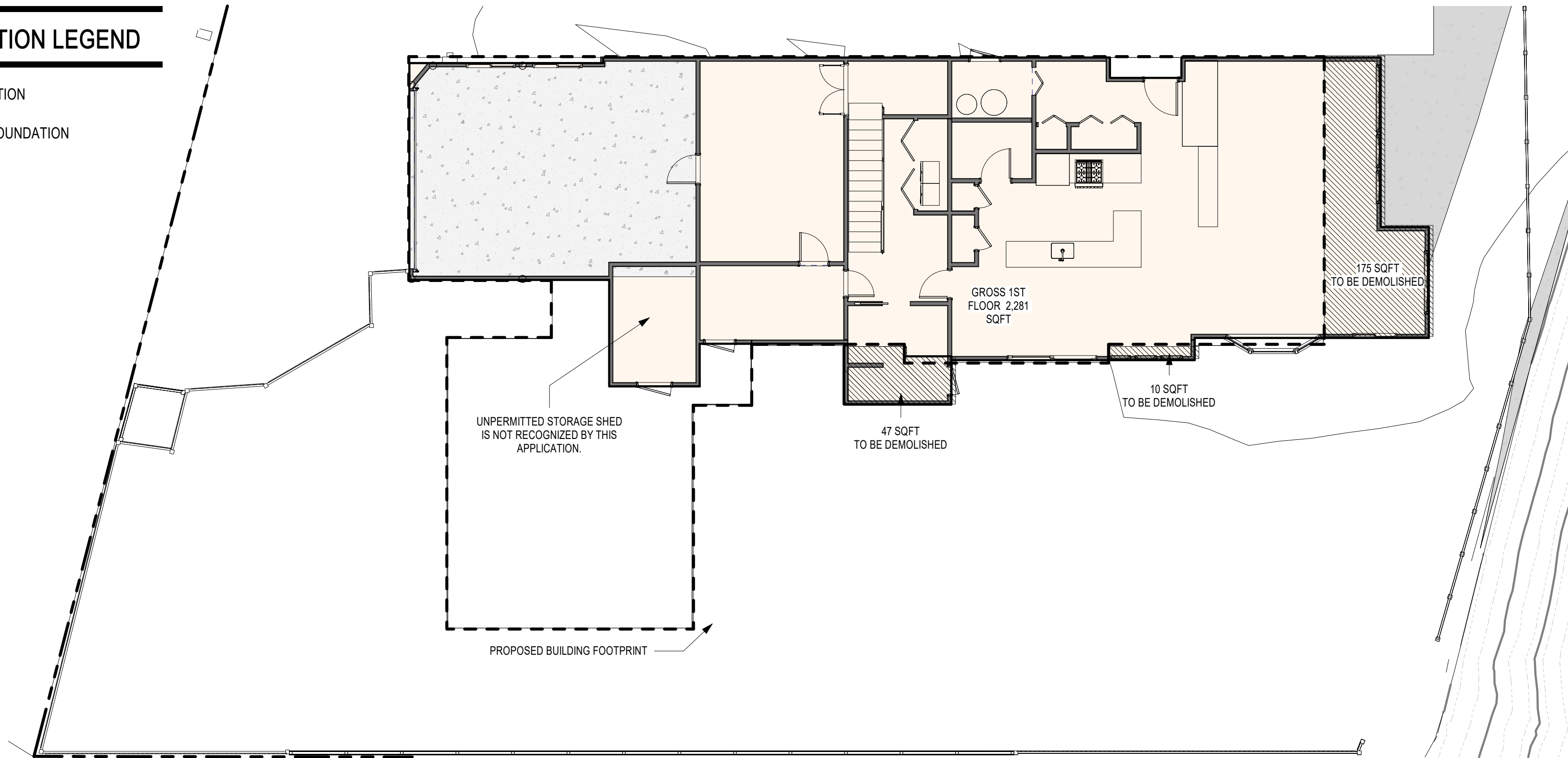
	Roof
Modified (%):	43.54
Existing (SF):	2315
Segment #	Modified (SF)
ROOF 1	0
ROOF 2	270
ROOF 3	738
Total:	1,008

Exterior Wall		
Modified (%):	49.43	
Existing (LF):	388.40	
Segment #	Modified (LF)	Round 4'
W1	0	
W2	0	
W3	7.5	8
W4	5.2	8
W5	18.5	20
W6	60.5	64
W7	10.7	12
W8	4	4
W9	4	4
W10	4	4
W11	4	4
W12	0	
W13	7.1	8
W14	6	8
W15	21.3	24
W16	6.2	8
W17	2.6	4

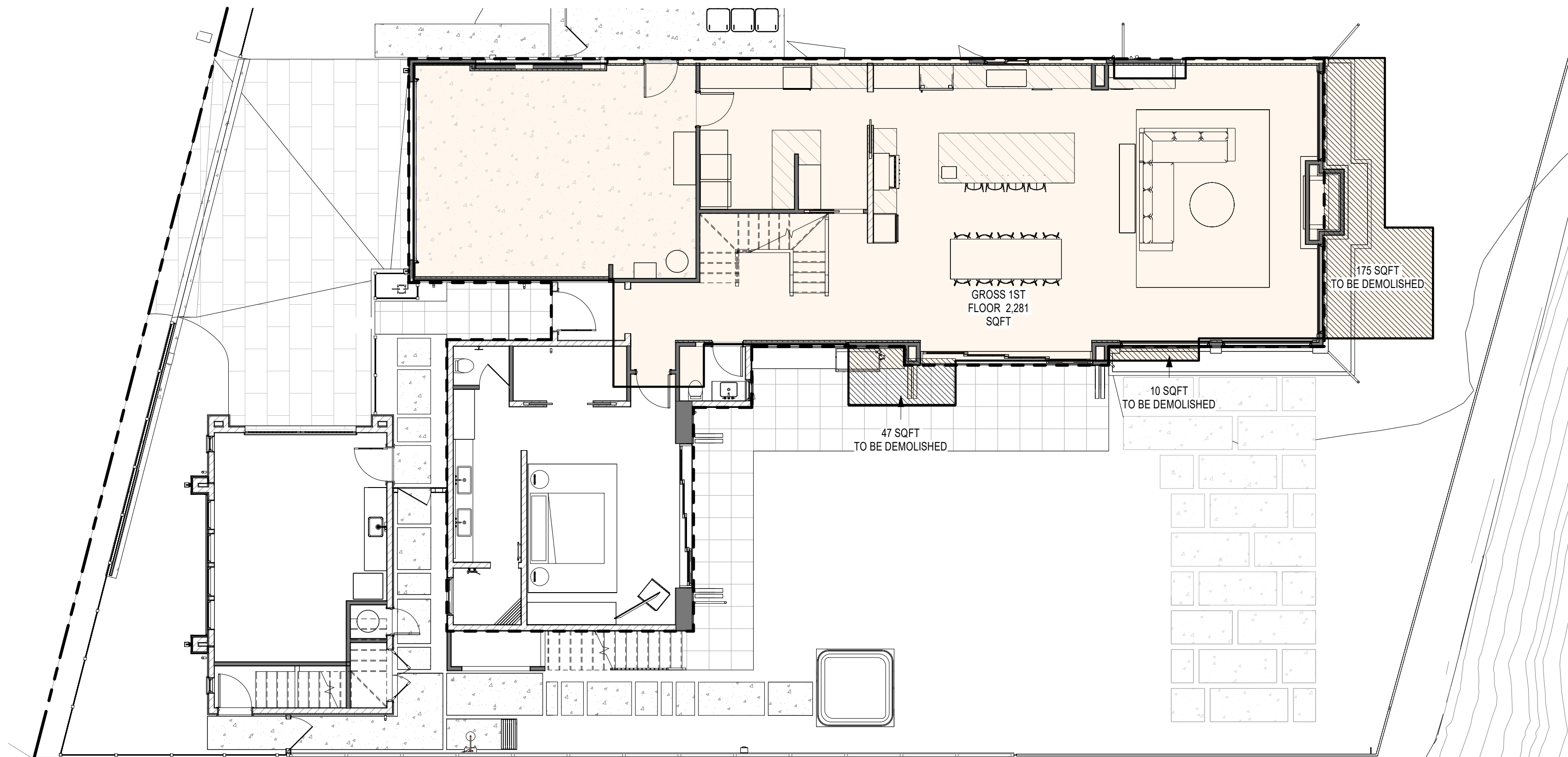
[illegible]

EXISTING SLAB FOUNDATION

DEMO/MODIFIED SLAB FOUNDATION



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

# FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Issue Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



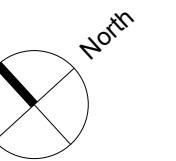
**Project Name**  
Luchetti Residence

**Project APN**  
033-151-27

<b>Description</b>
STRUCTURAL MODIFICATION WORKSHEET - EXISTING FOUNDATION PLAN

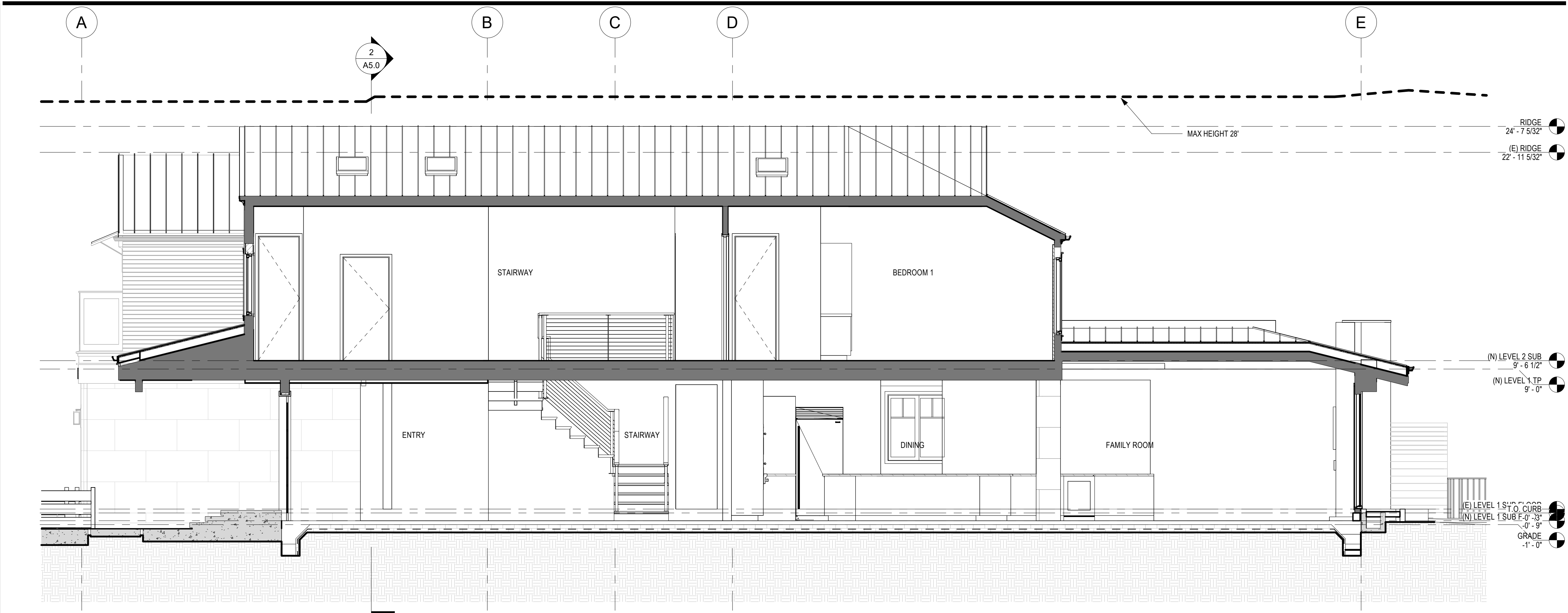
**Scale**  
1/8" = 1'-0"

### A4.3



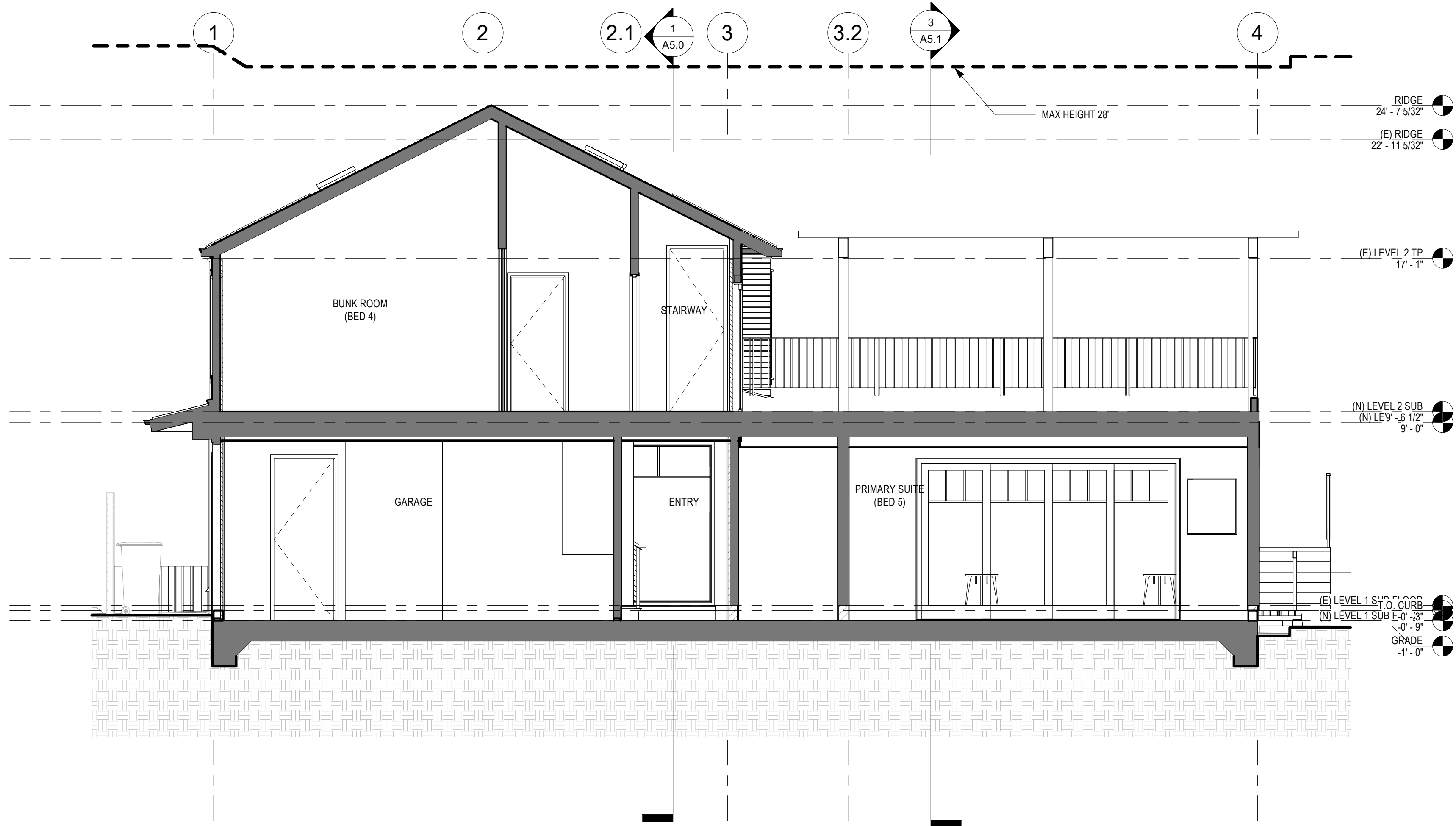
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SECTION 1  
SCALE: 1/4" = 1'-0"

1



SECTION 2  
SCALE: 1/4" = 1'-0"

2

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

KEYNOTE

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED SECTIONS

Scale  
1/4" = 1'-0"

A5.0

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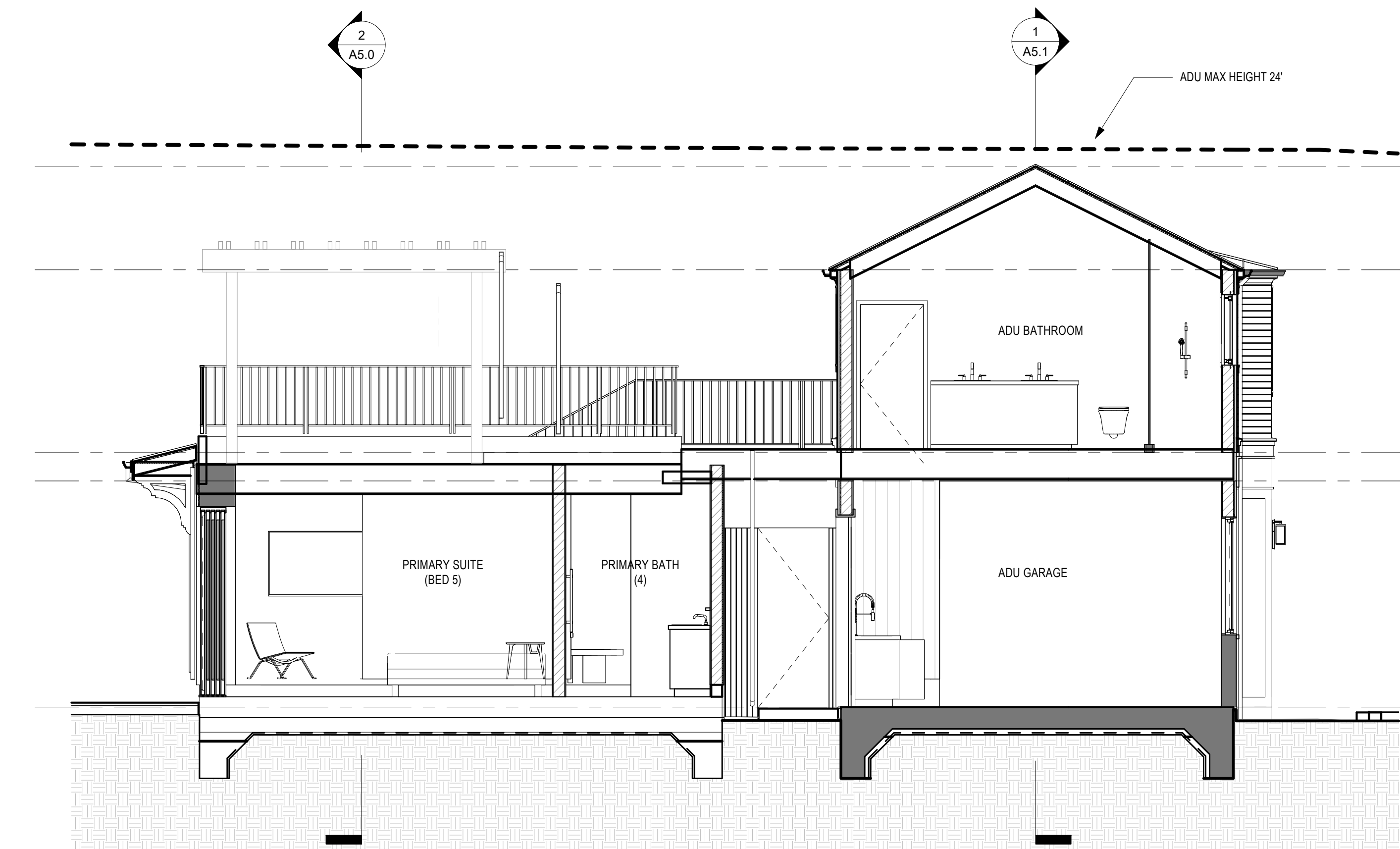


Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

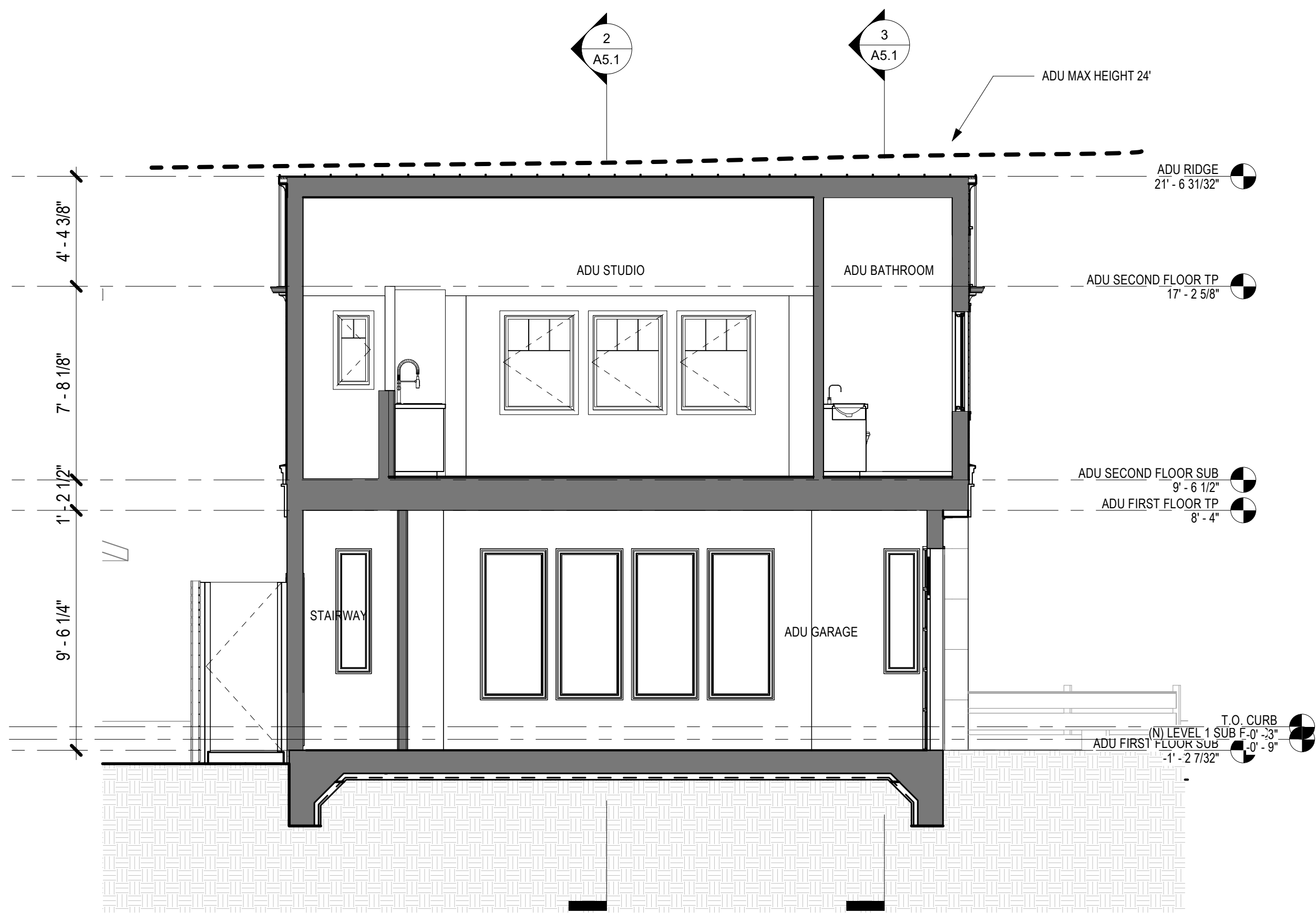
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8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



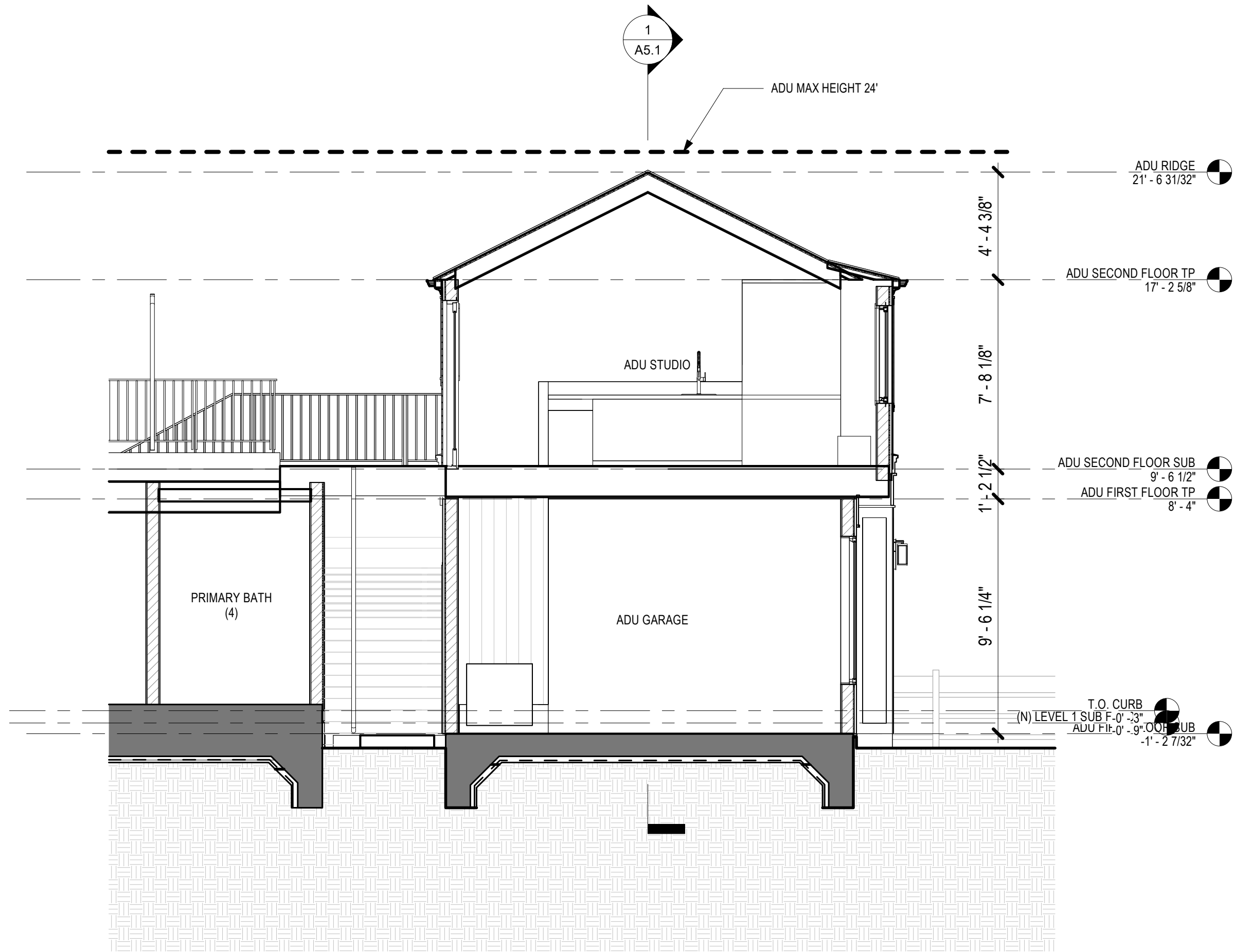
SECTION 3  
SCALE: 1/4" = 1'-0"

3



ADU SECTION 3  
SCALE: 1/4" = 1'-0"

1



ADU SECTION 2  
SCALE: 1/4" = 1'-0"

2

#	Issue	Date	Description
0	1	11/19/24	CDP
1	2	04/21/25	CDP RE-SUB
2	3	06/21/25	CDP RE SUB 2

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
PROPOSED SECTIONS

Scale  
1/4" = 1'-0"

A5.1

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WINDOW SCHEDULE

Mark	Rough Width	Rough Height	Head Height	Sill Height	Frame Material / Color	Glazing	Operation	Egress	Comments
W1	2' - 0"	3' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W4	8' - 0"	8' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W5	8' - 0"	8' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W6	8' - 0"	8' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W7	8' - 0"	8' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W8	2' - 0"	4' - 6"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		Half Frosted
W9	3' - 6"	8' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e			
W10	2' - 6"	4' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W11	4' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Gliding	Yes	
W12	2' - 6"	4' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement	Yes	
W13	2' - 6"	4' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W15	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W16	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W17	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W18	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement	Yes	
W19	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement	Yes	
W20	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W21	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W22	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W23	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W24	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W25	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W26	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W27	3' - 0"	5' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W28	1' - 6"	2' - 0"	11' - 9"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W29	2' - 0"	2' - 0"	N/A		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		Skylight
W30	2' - 0"	2' - 0"	N/A		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		Skylight
W31	1' - 6"	5' - 0"	8' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W32	2' - 9"	6' - 0 1/2"			High-Density Fiberglass / Aluminum / Black	Tempered Low - e			
W33	2' - 9"	6' - 0 1/2"			High-Density Fiberglass / Aluminum / Black	Tempered Low - e			
W34	2' - 9"	6' - 0 1/2"			High-Density Fiberglass / Aluminum / Black	Tempered Low - e			
W35	2' - 9"	6' - 0 1/2"			High-Density Fiberglass / Aluminum / Black	Tempered Low - e			
W36	1' - 6"	5' - 0"	8' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W37	1' - 6"	3' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W38	3' - 0"	4' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W39	3' - 0"	4' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W40	3' - 0"	4' - 0"	8' - 0"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement		
W41	1' - 6"	3' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W42	9' - 2"	4' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Casement / Fixed/ Casement		
W43	2' - 0"	3' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W44	2' - 0"	3' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W45	2' - 0"	3' - 0"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W46	1' - 6"	2' - 0"	11' - 9"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e	Fixed		
W48	4' - 0"	4' - 6"	6' - 8"		High-Density Fiberglass / Aluminum / Black	Tempered Low - e		Yes	
W49	2' - 0"	2' - 0"	N/A		High-Density Fiberglass / Aluminum / Black		Fixed		
W50	2' - 0"	2' - 0"	N/A		High-Density Fiberglass / Aluminum / Black		Fixed		

VERIFY ALL DOOR SIZES AND ROUGH OPENING SIZES PRIOR TO ORDER


SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

				Issue
#	Issue	Date	Description	
0	1	11/19/24	CDP	
1	2	04/21/25	CDP RE-SUB	
2	3	06/21/25	CDP RE SUB 2	

Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
WINDOW SCHEDULE

Scale

A7.0



DOOR SCHEDULE

Assembly	Door			Function	Door		Side Light Width	Material	Finish	Frame			Assembly Rating		Remarks
	Dimensions				Material	Finish				Head	Details		Fire Rating		
Number	Width	Height	Thickness											Jamb	Sill
D1	3'-6"	8'-0"	0'-1 3/8"	Exterior	GL								See Product Documentation Link for more information		
D3	16'-0"	8'-0"	0'-1 21/32"	Interior											
D4	3'-0"	8'-0"	0'-1 3/4"	Interior	HDW/GL										
D5	3'-0"	8'-0"	0'-1 3/4"	Interior	HDW/GL										
D6	3'-0"	8'-0"	0'-1 1/2"	Interior	WD										
D7	2'-8"	8'-0"	0'-1 1/2"	Interior	HDW										
D8	15'-5"	7'-11 1/2"		Interior											
D9	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D10	3'-0"	8'-0"	0'-1 3/4"	Interior	HDW/GL										
D11	12'-11"	7'-11 1/2"		Interior											
D12	2'-1"	6'-8"	0'-1 1/2"	Interior	HDW										
D13	2'-1"	6'-8"	0'-1 1/2"	Interior	HDW										
D14	2'-8"	8'-0"	0'-0 1/2"	Interior	GL										
D16	6'-0"	6'-10"	0'-1 3/4"	Exterior											
D17	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D18	6'-0"	6'-8"	0'-1 1/2"	Interior											
D19	12'-0"	6'-8"		Exterior											
D20	2'-8"	8'-0"	0'-1 1/2"	Interior	HDW										
D21	2'-8"	8'-0"	0'-1 1/2"	Interior	HDW										
D22	2'-8"	6'-8"	0'-1 3/4"	Interior	HDW										
D23	3'-0"	6'-8"	0'-1 3/4"	Interior	HDW/GL										
D24	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D25	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D26	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D27	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D28	2'-8"	8'-0"	0'-1 3/4"	Interior	HDW										
D29	10'-0"	8'-0"	0'-2"	Interior	HDW/GL										
D30	3'-0"	8'-0"	0'-1 3/8"	Interior									See Product Documentation Link for more information		
D31	4'-8 5/8"	6'-10"	0'-1 3/4"	Exterior											
D34	8'-10 3/16"	6'-10"	0'-1 3/4"	Exterior											
D35	2'-8"	6'-8"	0'-1 3/4"	Interior	HDW										
D37	2'-8"	6'-8"	0'-0 1/2"	Interior	GL										
D38	3'-0"	6'-8"	0'-1 3/4"	Interior	HDW/GL										
D39	2'-4"	6'-8"	0'-1 3/4"	Interior	HDW										

VERIFY ALL DOOR SIZES AND ROUGH OPENING SIZES PRIOR TO ORDER

SHEET

Luchetti Residence

4360 Opal Cliff Dr,  
Santa Cruz CA 95062

FOUNDRY.

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578

#	Issue	Date	Description
0	1	11/19/24	CDP
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Seal/Signature



Project Name  
Luchetti Residence

Project APN  
033-151-27

Description  
DOOR SCHEDULE

Scale

A7.2



ABBREVIATIONS			
AB	AGGREGATE BASE	JB	JUNCTION BOX
AC	AIR CONDITIONER UNIT	JT	JOINT TRENCH
AD	AREA DRAIN	L	LANDING
ADU	ACCESSORY DWELLING UNIT	LF	LINEAR FOOT
APN	ASSESSORS PARCEL NUMBER	LIP	LIP OF GUTTER
ARV	AIR-RELEASE VALVE	LOG	LIMIT OF GRADING
BF	BASEMENT FLOOR	LP	LOW POINT
BFP	BACKFLOW PREVENTER	MH	MANHOLE
BO	BLOW-OFF VALVE	MIN	MINIMUM
BRW	FG AT BOTTOM OF RETAINING WALL	N	NORTH
BSW	BACK OF SIDEWALK	NE	NORTHEAST
BVC	BEGIN VERTICAL CURVE	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	NW	NORTHWEST
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OCEW	ON CENTER, EACH WAY
CBC	CALIFORNIA BUILDING CODE	OH	OVERHEAD
CI	CURB INLET	PCC	PORTLAND CEMENT CONCRETE
CIP	CAST IRON PIPE	POC	POINT OF CONNECTION
CL	CENTERLINE	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PRC	POINT OF REVERSE CURVE
CO	CLEANOUT	PS	PLANTING STRIP
CONC	CONCRETE	PSE	PUBLIC SERVICE EASEMENT
COTG	CLEANOUT TO GRADE	PIV	POST-INDICATOR VALVE
DIP	DUCTILE IRON PIPE	PV	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE PIPE
DTL	DETAIL	R	RADIUS
DWG	DRAWING	RC	RELATIVE COMPACTION
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
E	EAST, ELECTRICAL	ROW	RIGHT-OF-WAY
EG	EXISTING GROUND	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
EP	EDGE OF PAVEMENT	RSB	REAR SETBACK
(E)	EXISTING	RW	RECYCLED WATER
EQ	EQUAL	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SE	SOUTHEAST
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SDE	STORM DRAIN EASEMENT
FF	FINISH FLOOR	SHT	SHEET
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOWLINE	SSB	SIDE SETBACK
FNC	FENCE	SSE	SANITARY SEWER EASEMENT
FO	FIBER OPTIC	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	STA	STATION
FSB	FRONT SETBACK	STD	STANDARD
FT	FOOT/FEET	SW	SIDEWALK, SOUTHWEST
FW	FIRE WATER	SWE	SIDEWALK EASEMENT
G	GAS	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
GF	GARAGE FLOOR	TH	THRESHOLD
HT	HEIGHT	TRAN	TRANSFORMER
HDPE	HIGH-DENSITY POLYETHYLENE	TRW	FG AT TOP OF RETAINING WALL
HP	HIGH POINT	TW	TOP OF WALL
INT	INTERSECTION	USA	UNDERGROUND SERVICE ALERT
INV	INVERT	W	WEST, WATER
IRR	IRRIGATION	WM	WATER METER
		WV	WATER WALVE

LEGEND			
	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE -ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	PERFORATED PIPE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	TREE PROTECTION FENCING		
	FIBER ROLLS		
	PROPOSED RETAINING WALL		

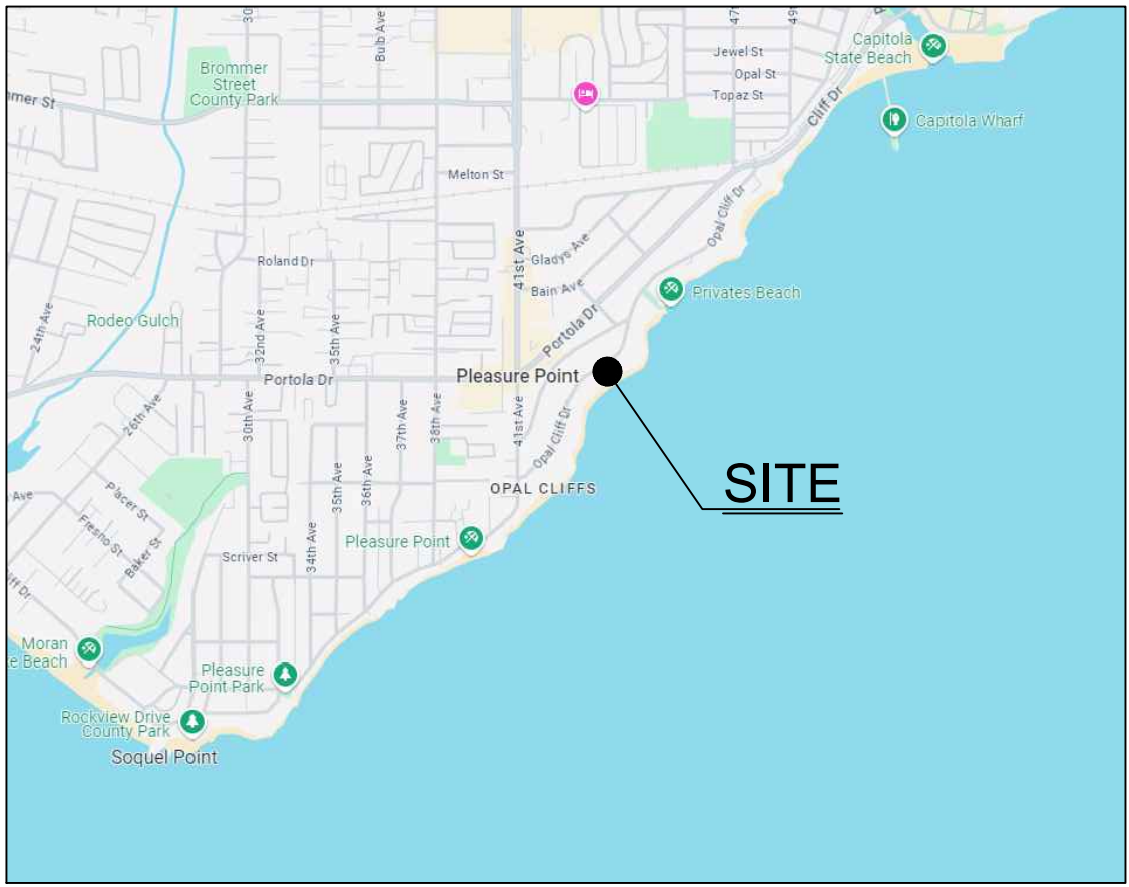
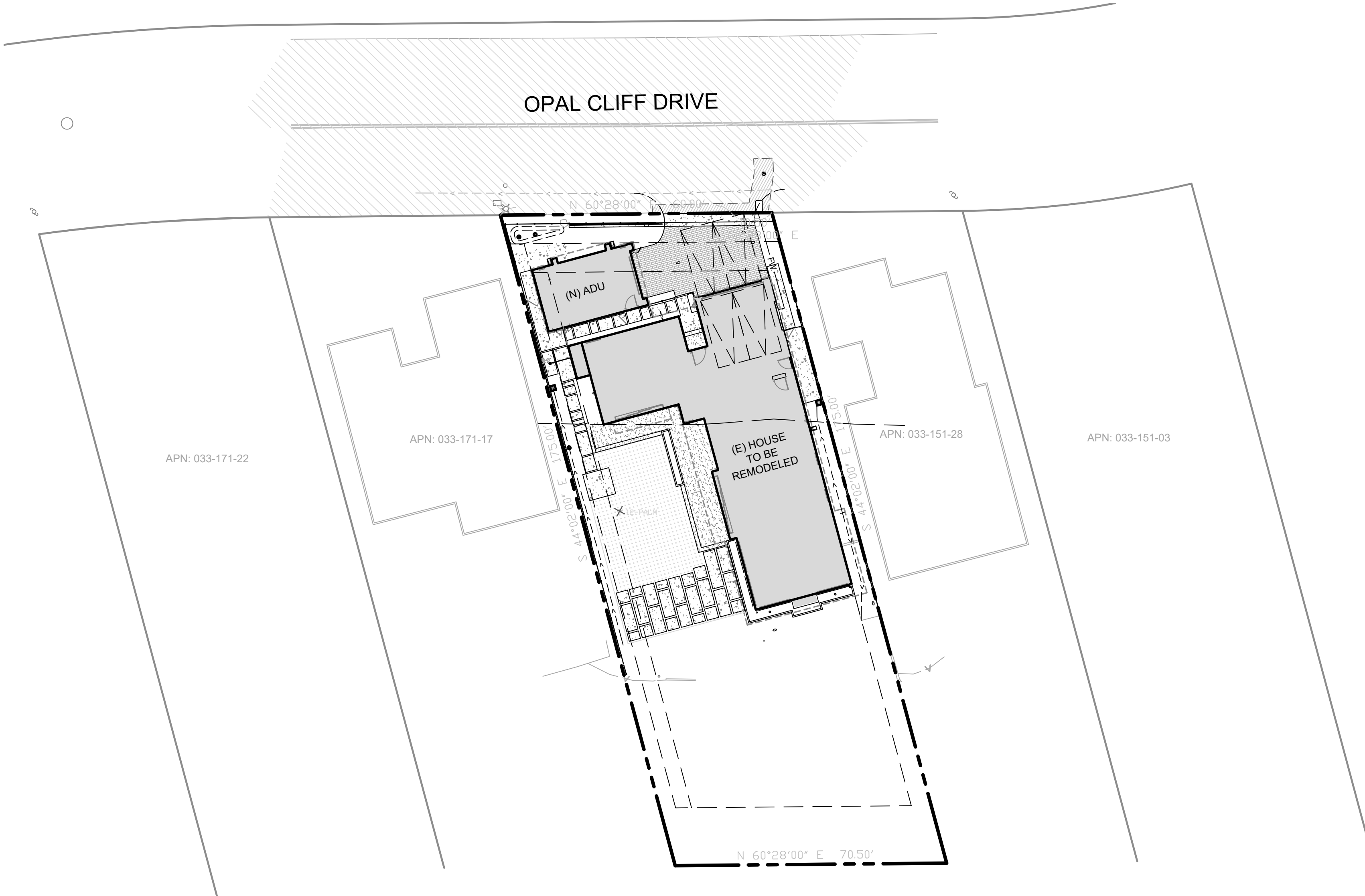
# IMPROVEMENT PLANS

## FOR

# LUCHETTI RESIDENCE

### 4360 OPAL CLIFF DRIVE

### SANTA CRUZ, SANTA CRUZ COUNTY, CALIFORNIA



VICINITY MAP  
N.T.S.

#### SURVEY

SURVEY FOR THIS PROJECT PROVIDED BY ALPHA LAND SURVEYS, INC.,  
JOB NO. 2024-167, DATED 7/17/2024.

#### BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE SHOWN IN THE NORTH AMERICAN  
VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED WITH A  
REAL TIME KINEMATIC (RTK) GPS TIE TO CONTROL SET AS A PART OF  
THIS PROJECT. PROJECT BENCHMARK IS CONTROL POINT #51 AS  
SHOWN HEREON

BENCHMARK ELEVATION #51 = 51.68' (NAVD88)

#### BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE CALCULATED TIE  
BETWEEN FOUND MONUMENTS LOCATED AT THE NORTHWESTERN  
CORNER OF LOT 37 AND THE SOUTHWESTERN CORNER OF LOT 42, AS  
SAID LOTS ARE SHOWN ON THE MAP ENTITLED "OPAL CLIFFS", FILED FOR  
RECORD IN BOOK 25 OF MAPS AT PAGE 12, SANTA CRUZ COUNTY  
RECORDS

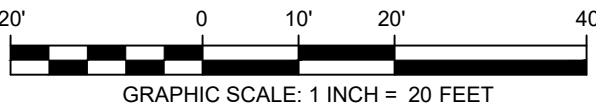
NORTH 55°42'57" EAST

#### UTILITIES

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP  
WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND  
LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN JULY 2024.

#### INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	NOTES
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SECTIONS
C4.0	DETAILS
C5.0	EROSION CONTROL PLAN & DETAILS






**RAMSEY**  
CIVIL ENGINEERING INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com



DAVID RAMSEY      DATE  
RCE# 73735

APN# 033-151-27

PLAN TYPE  
RESIDENTIAL

COVER SHEET

**LUCHETTI RESIDENCE**

4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

REVISION BLOCK	DESCRIPTION	DATE
1	DMR	6/19/2025
2	BY	
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	04/21/2025
SCALE:	AS NOTED
PROJECT NO:	24-042
SHEET:	C1.0



3. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THESE PLANS IS SCHEMATIC ONLY AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THIS DRAWING SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL FROM RAMSEY CIVIL ENGINEERING, INC.
2. THE PROPOSED BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE CURRENT EDITION OF NFPA 13D, ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY NFPA 13, 24, AND THE LOCAL FIRE MARSHAL. THE SHOP DRAWINGS SHALL ALSO COMPLY WITH ALL OTHER NFPA REQUIREMENTS IN ADDITION TO LOCAL AND STATE REGULATIONS AND CODES.
4. THE FIRE SPRINKLER DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE REVIEWING AGENCY FOR APPROVAL. CUT SHEETS SHALL INCLUDE, BUT NOT LIMITED TO PIPING, VALVES, GAUGES, AND SPRINKLER HEADS.
5. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO START OF WORK.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF SHOP DRAWINGS TO ALL PLANS AND SPECIFICATIONS IN ADDITION TO CITY OR AGENCY STANDARD DETAILS AND SPECIFICATIONS.
7. GENERAL CONTRACTOR AND UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS IN ADDITION TO SPACE CONSTRAINTS, REQUIRED PAD AREAS, AND CLEARANCES FROM OTHER UTILITIES, TREES, OR PERMANENT STRUCTURES.
8. PROVISIONS SHALL BE MADE IN THE SHOP DRAWINGS FOR MONITORING ALL VALVES AS REQUIRED BY THE LOCAL FIRE MARSHAL. SHOP DRAWINGS PREPARED BY THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE ELECTRICAL DESIGNER FOR INSTALLATION OF ALL ALARM SYSTEMS AS REQUIRED BY THE LOCAL FIRE MARSHAL.
9. CONTRACTOR SHALL OBTAIN A PERMIT FROM THE LOCAL FIRE MARSHAL PRIOR TO INSTALLATION.
10. A 100-FOOT CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES.
11. ADDRESS NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT AND BE OF A CONTRASTING COLOR TO THEIR BACKGROUND.
12. GATE INSTALLATIONS SHALL CONFORM WITH FIRE DEPARTMENT STANDARDS AND, WHEN OPEN, SHALL NOT OBSTRUCT ANY PORTION OF THE REQUIRED WIDTH OF 12-FEET FOR EMERGENCY ACCESS.
13. GATE LOCKS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
14. GATES ACROSS THE DRIVEWAY SHALL BE EQUIPPED WITH AN APPROVED ACCESS DEVICE. IF THE GATES ARE OPERATED ELECTRONICALLY, AND APPROVED KNOX KEY SWITCH SHALL BE INSTALLED. IF THEY ARE OPERATED MANUALLY, THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED. GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY OR ANOTHER ROADWAY SHALL BE AT LEAST 30-FEET FROM THE ROAD BEING EXITED.

1. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
2. UNLESS OTHERWISE AGREED UPON WITH THE COUNTY OF SANTA CRUZ, WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
3. A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME OF CONSTRUCTION AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
4. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
5. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
6. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
7. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
8. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.
9. UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
10. CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
11. PRIOR TO CONSIDERATION FOR FORMAL COUNTY ACCEPTANCE OF THE IMPROVEMENTS, AS-BUILT PLANS WILL BE PREPARED BY COUNTY STAFF. ANY CHANGES FROM THE IMPROVEMENT PLANS NOT PREVIOUSLY APPROVED BY THE DEPARTMENT OF PUBLIC WORKS WILL REQUIRE NEGOTIATION AND ADJUSTMENT TO THE SATISFACTION OF THE COUNTY.
12. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
13. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL", "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
14. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
15. THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
17. CIVIL ENGINEER OF RECORD, SHALL INSPECT THE DRAINAGE IMPROVEMENTS ON THE PARCEL AND PROVIDE PUBLIC WORKS WITH A LETTER CONFIRMING THAT THE WORK WAS COMPLETED PER THE PLANS, AS-BUILT PLANS, STAMPED BY THE CIVIL ENGINEER, MAY BE PROVIDED IN LIEU OF SAID LETTER.

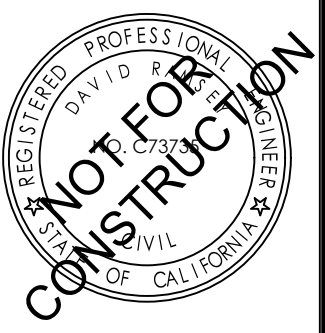
3. SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY ALPHA LAND SURVEYS, INC., DATED 7/17/2024.
2. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT BY CMAG ENGINEERING, INC., DATED 11/11/2024, PROJECT NO. 24-127-SC AND THE GEOLOGIC INVESTIGATION BY EASTON GEOLOGY, INC., DATED 10/17/2024 (UPDATED 4/15/2025), PROJECT NO. C24010 AND ANY SUBSEQUENT ADDENDUM LETTERS. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT.
3. REFER TO ABOVE REFERENCED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OVEREXCAVATION AND RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
4. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022.
5. NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
6. EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
8. ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO DRAIN.
9. ALL COMPACTION TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
10. THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD INVESTIGATION PRIOR TO CONSTRUCTION TO VERIFY UTILITY LOCATIONS. CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. IF AT ANYTIME THE CONTRACTOR IS UNSURE OF UTILITY LOCATIONS, A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR ONSITE UTILITIES, OR CONTACT U.S.A (OR 811) FOR OFFSITE UTILITIES.
11. ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, INCLUDING, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
12. ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
13. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
14. CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
15. ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A REGULATIONS.
16. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
17. NO ADDITIONAL IMPERVIOUS OR SEMI-IMPERVIOUS SURFACE AREA COVERAGE BEYOND THE LIMITS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED WITHOUT UPDATED MITIGATIONS AND PRIOR APPROVAL OF THE COUNTY OF SANTA CRUZ.
18. RAMSEY CIVIL ENGINEERING PERFORMED AN UPSTREAM AND DOWNSTREAM SITE ASSESSMENT FOR STORMWATER RUNOFF ON APRIL 15TH, 2025. THERE ARE NO KNOWN DRAINAGE ISSUES THAT CURRENTLY EXIST. THERE WILL BE NO SIGNIFICANT IMPACT TO DOWNSTREAM PROPERTIES DUE TO THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



**RAMSEY**  
CIVIL ENGINEERING INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
[www.ramseycivilengineering.com](http://www.ramseycivilengineering.com)



DAVID RAMSEY      DATE  
RCE# 73735

APN# 033-151-27

PLAN TYPE  
RESIDENTIAL

NOTES

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**LUCHETTI RESIDENCE**

4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

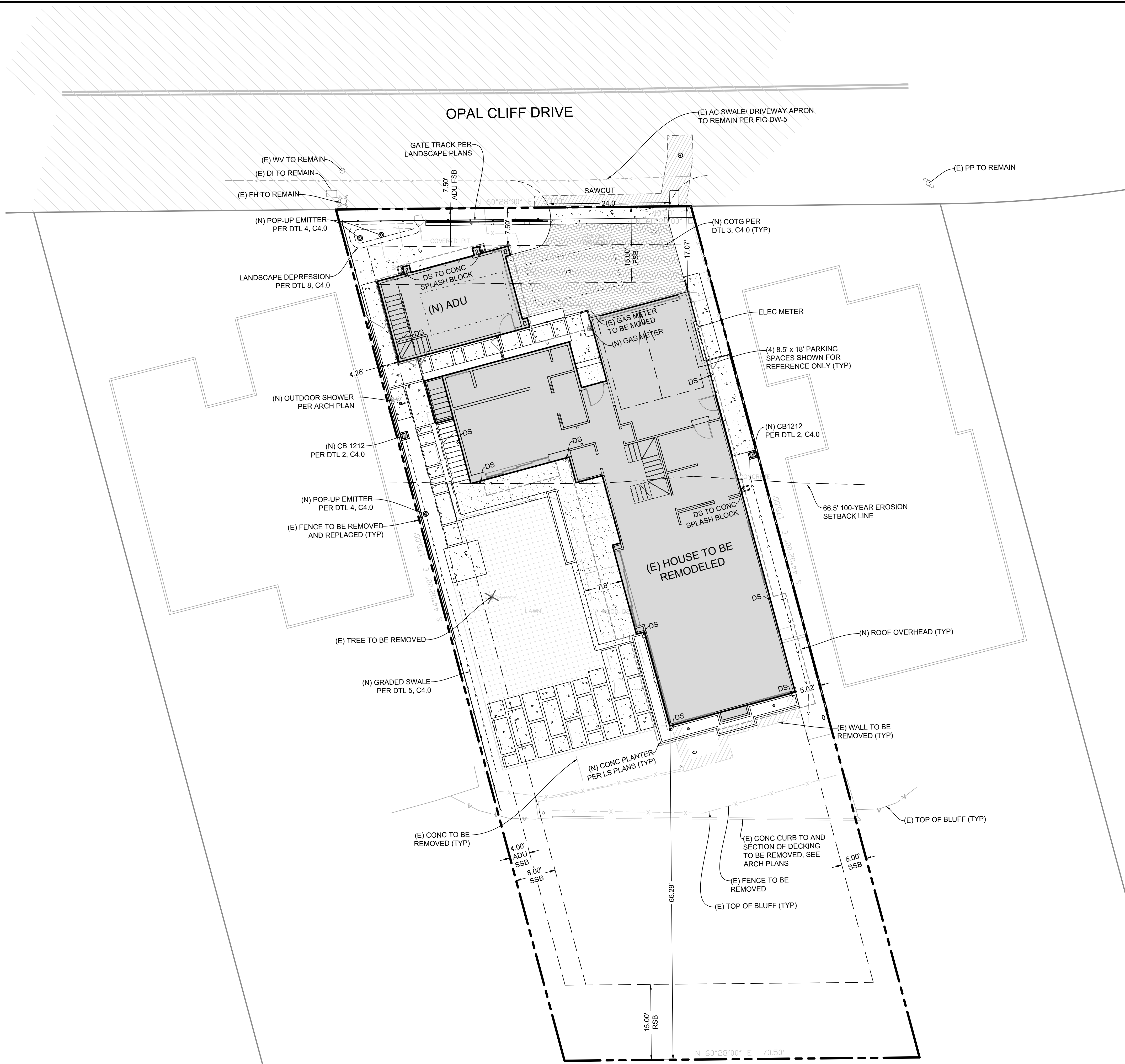
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DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	04/21/2025
SCALE:	AS NOTED
PROJECT NO:	24-042
SHEET:	

## C1.1







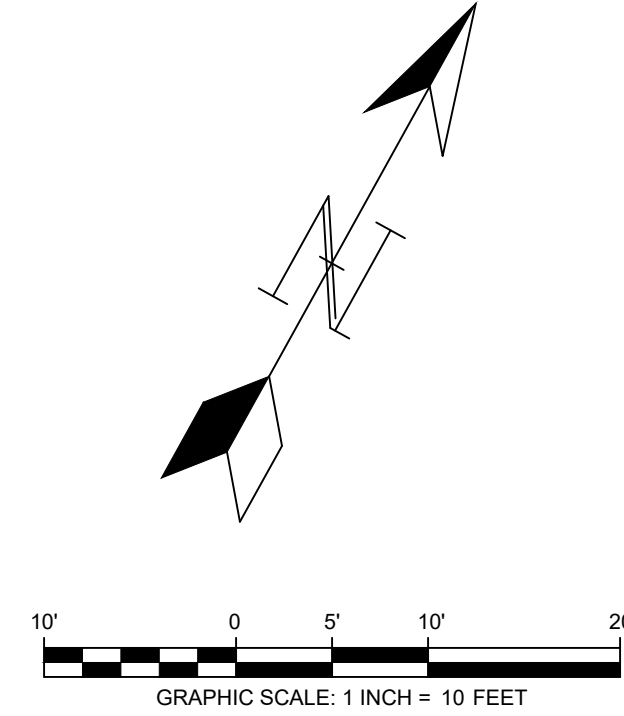
**HATCH LEGEND**

- PROPOSED STRUCTURE (SEE ARCH DRAWINGS)
- SEGMENTED CONCRETE SLAB (4" MIN PERVIOUS GAPS, REFER TO LS PLANS)
- RAISED CONCRETE PATIO (SEE STRUCTURAL PLANS FOR DESIGN)
- ARTIFICIAL TURF (PER LS PLAN)
- PERMEABLE PAVERS (SEE DTL 7, SHT C4.0)
- ASPHALT (3" AC/ 9" CLASS II AB @ 95% R.C.)

IMPERVIOUS AREA BREAKDOWN		
ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	2,304	3,150
CONCRETE	2,585	796
ASPHALT	0	0
*PERMEABLE PAVERS (DRIVEWAY)	0	*264 (527)
**SEGMENTED CONCRETE SLAB WITH GRAVEL	0	**0 (586)
TOTAL	4,889	4,210

PER PART 3, SECTION C.1.a OF THE SANTA CRUZ COUNTY DESIGN CRITERIA THIS PROJECT IS CONSIDERED A MEDIUM PROJECT (500SF-5,000SF) AND REQUIRES IMPLEMENTATION OF BMP's

NOTES:  
1. \* PERMEABLE PAVERS COUNT AS 50% IMPERVIOUS  
2. \*\*AREA CONSIDERED SELF-TREATING AND THEREFORE, COUNTS AS 0% TOWARDS IMPERVIOUS AREA  
3. TOTAL INCLUDES EXISTING BUILDING FOOTPRINT TO REMAIN PLUS PROPOSED ADDITION AND PROPOSED IMPERVIOUS SURFACE.



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REGISTERED PROFESSIONAL  
NOT FOR CONSTRUCTION  
DAVID RAMSEY  
RCE# 73735

APN# 033-151-27

PLAN TYPE  
RESIDENTIAL

SITE PLAN

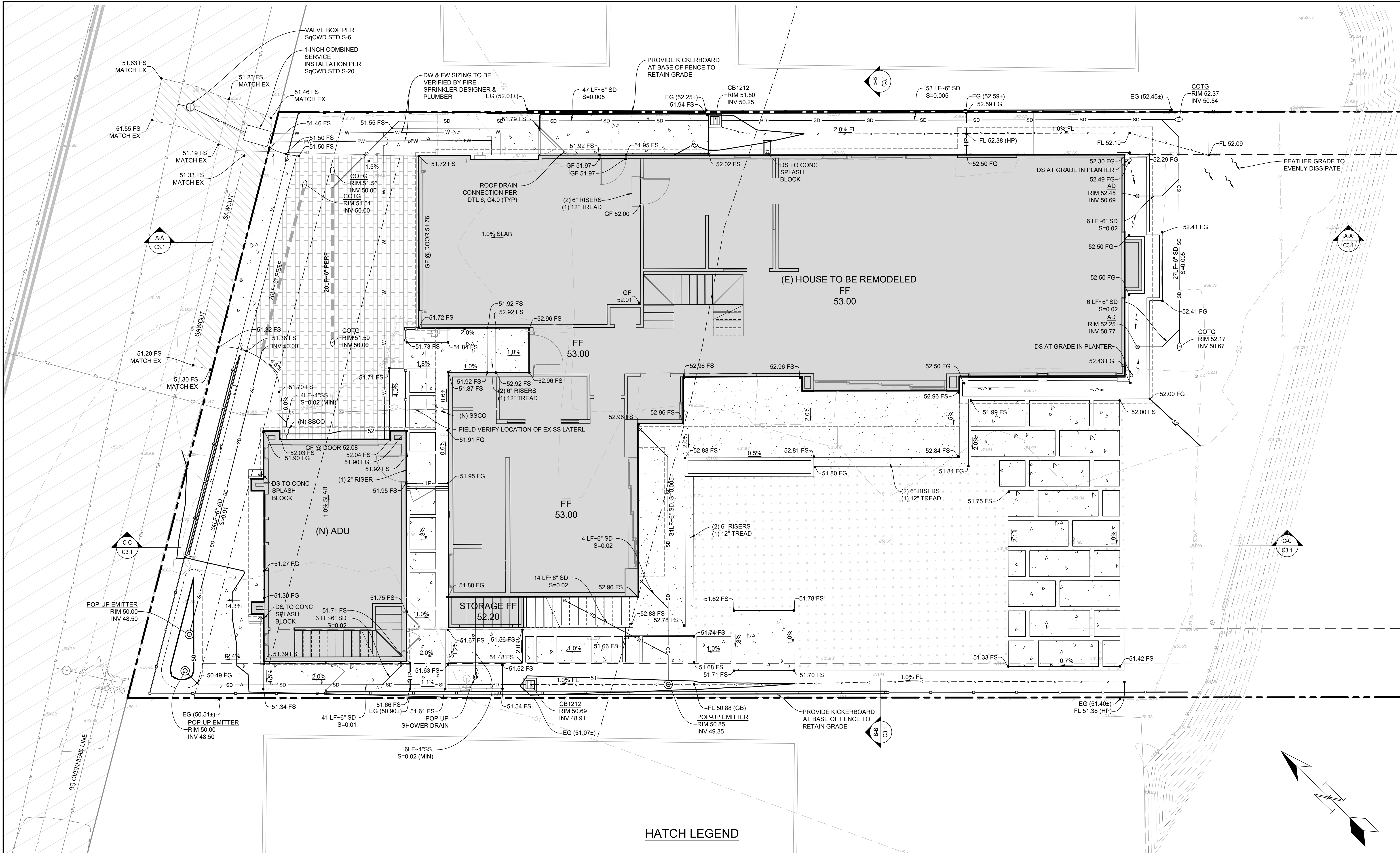
**LUCHETTI RESIDENCE**

4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

DATE	6/19/2025
DESCRIPTION	DEVELOPMENT PERMIT - 1ST ROUTING COMMENTS
REVISION BLOCK	
NUMBER	1
BY	DMR

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	04/21/2025
SCALE:	AS NOTED
PROJECT NO:	24-042
SHEET:	C2.0





#### HATCH LEGEND

	PROPOSED STRUCTURE (SEE ARCH DRAWINGS)		TURF (PER LS PLAN)
	SEGMENTED CONCRETE SLAB (4" MIN PERVIOUS GAPS, REFER TO LS PLANS)		PERMEABLE PAVERS (SEE DTL 7, SHT C4.0)
	RAISED CONCRETE PATIO (SEE STRUCTURAL PLANS FOR DESIGN)		ASPHALT (3" AC/ 9" CLASS II AB @ 95% R.C.)
	EXISTING ASPHALT ROAD (OPAL CLIFFS)		

#### PLAN NOTES:

- STORM DRAIN PIPES DESIGNATED AS "SD" SHALL BE SDR-35 P.V.C. OR APPROVED ALTERNATE, HDPE STORM DRAIN PIPE WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, MEETING AASHTO M252, TYPE S, AASHTO M294, TYPE S, OR ASTM F2306 SPECIFICATIONS, WITH WATER-TIGHT INTEGRATED BELL JOINTS PER ASTM D3212 OR APPROVED ALTERNATE WITH CLASS 1 BACKFILL. NO OTHER PIPE MATERIALS MAY BE USED UNLESS APPROVED BY THE ENGINEER.
- ALL EXISTING UTILITY PIPES ARE TO BE VERIFIED IN THE FIELD. NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARISE.



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REGISTERED PROFESSIONAL ENGINEER  
NOT FOR CONSTRUCTION  
DAVID RAMSEY DATE  
RCE# 73735

APN# 033-151-27  
PLAN TYPE  
RESIDENTIAL

GRADING & DRAINAGE PLAN  
**LUCHETTI RESIDENCE**  
4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

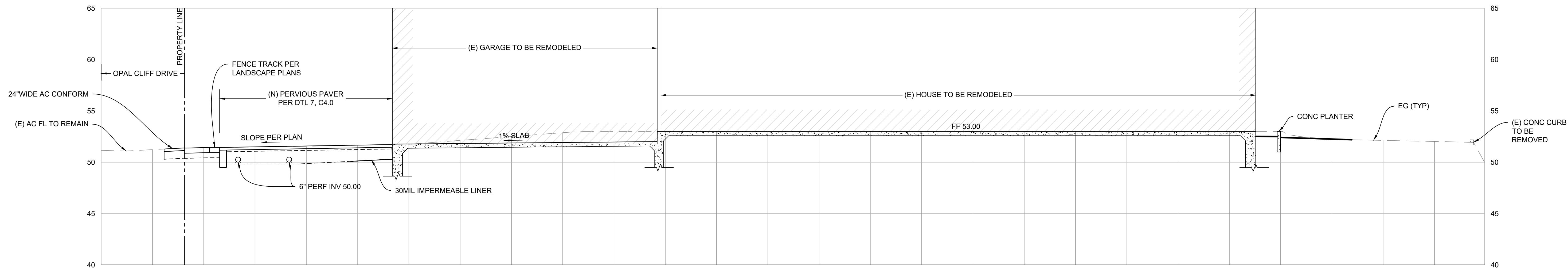
NUMBER	BY	DMR	DATE	DESCRIPTION	REVISION BLOCK
1			6/19/2025	DEVELOPMENT PERMIT - 1ST ROUTING COMMENTS	

DRAWN BY:	GS
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SHEET:	

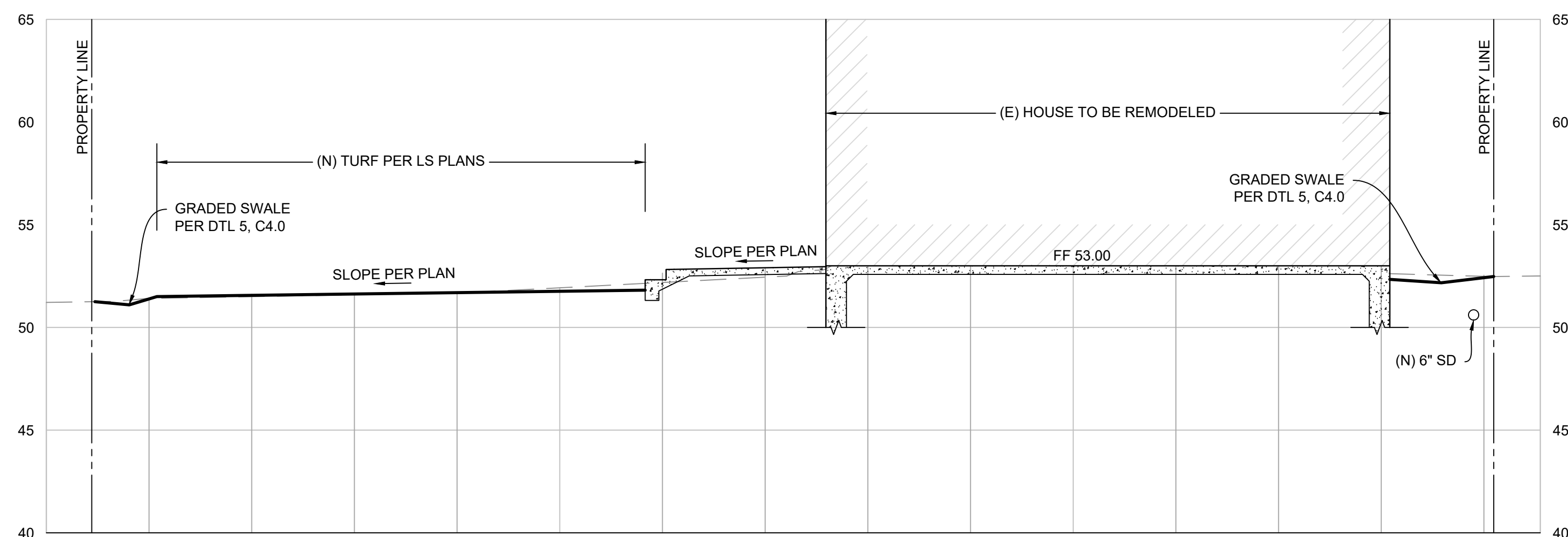
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EXHIBIT D

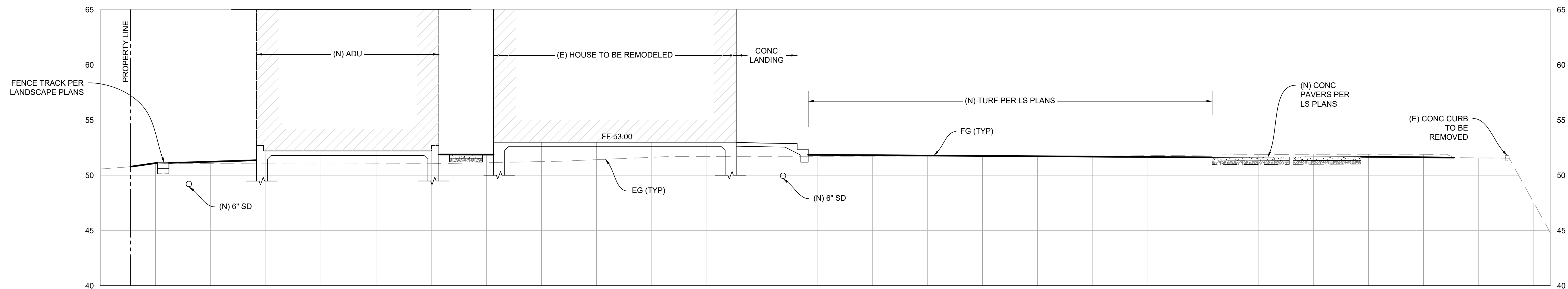




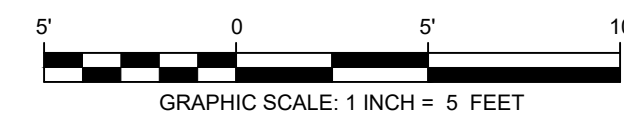
SECTION A-A  
1"=5' (H)  
1"=5' (V)



SECTION B-B  
1"=5' (H)  
1"=5' (V)



SECTION C-C  
1"=5' (H)  
1"=5' (V)

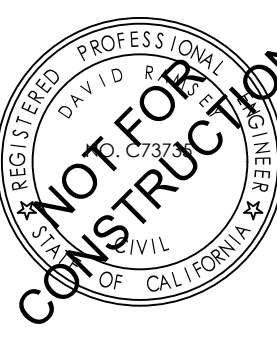




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DAVID RAMSEY      DATE  
RCE# 73735

APN# 033-151-27

PLAN TYPE  
RESIDENTIAL

SECTIONS

LUCHETTI RESIDENCE

4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

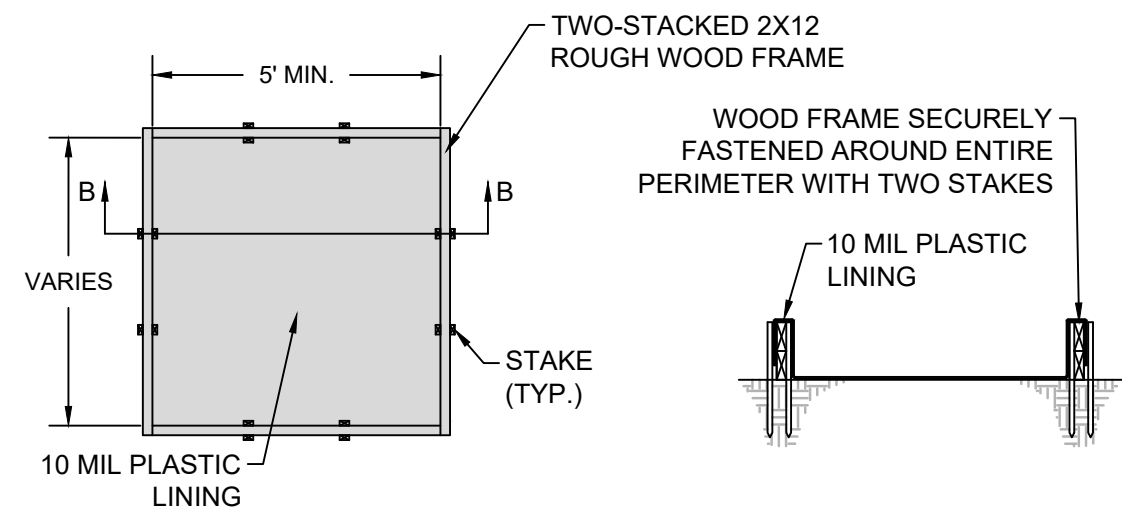
REVISION BLOCK	DATE	DESCRIPTION
1	6/19/2025	DEVELOPMENT PERMIT - 1ST ROUTING COMMENTS
DMR	BY	NUMBER

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	04/21/2025
SCALE:	AS NOTED
PROJECT NO:	24-042
SHEET:	C3.1





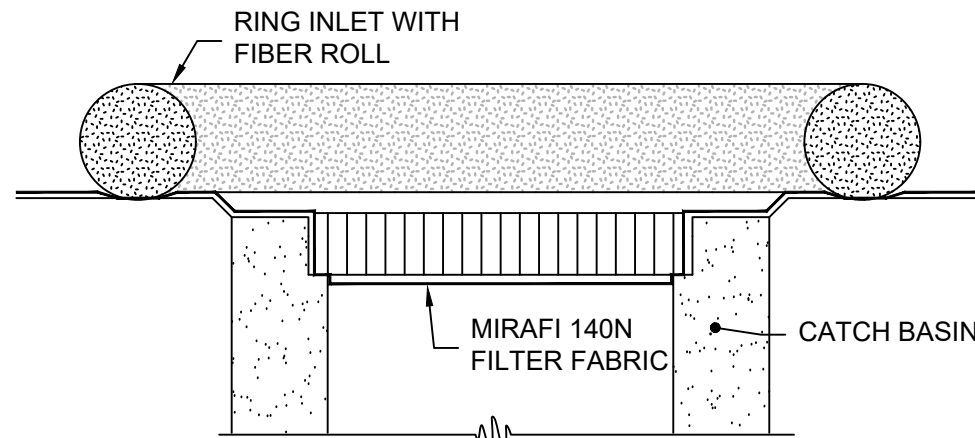




OPTION #1  
ABOVE GRADE  
(WOOD PLANKS)

SECTION B - B

NOTE:  
ACTUAL LAYOUT DETERMINED IN THE FIELD.  
ALTERNATIVE WASHOUTS AVAILABLE, CONFIRM  
WITH ENGINEER PRIOR TO INSTALLATION

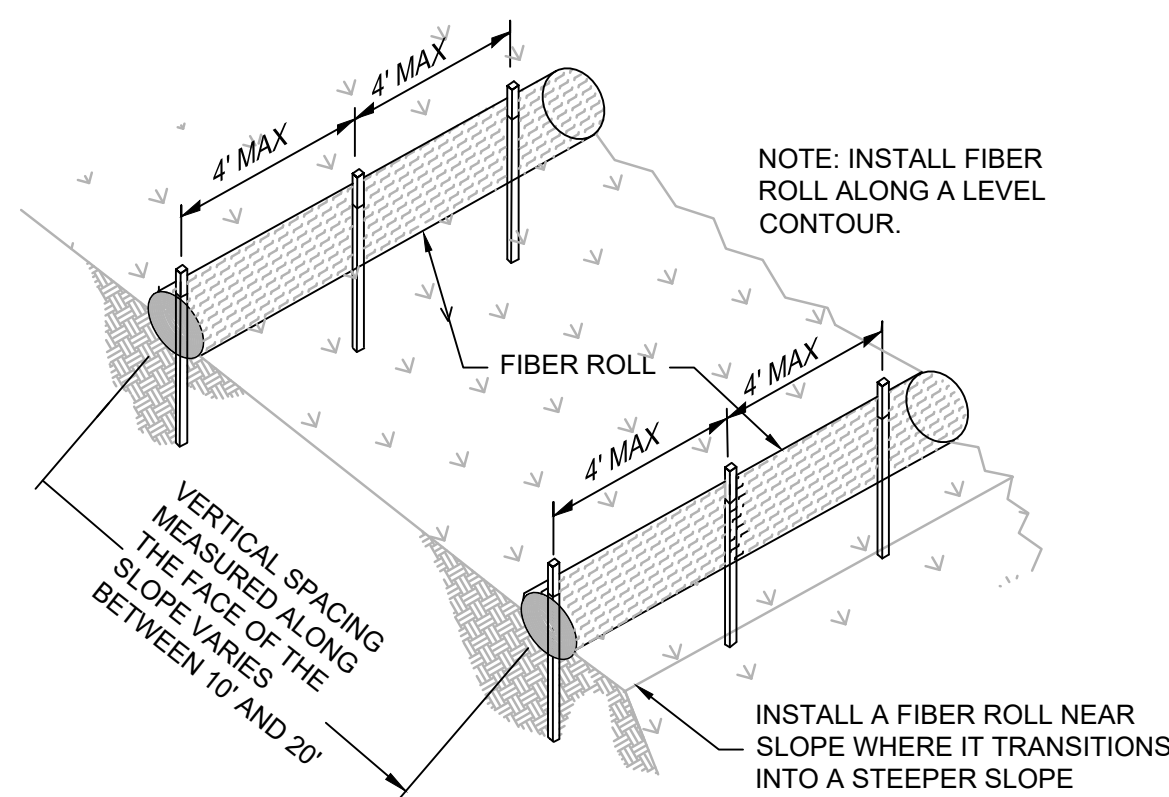


INSPECTION AND MAINTENANCE:

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

CATCH BASIN PROTECTION  
NTS

CONCRETE WASHOUT  
NTS



TYPICAL INSTALLATION

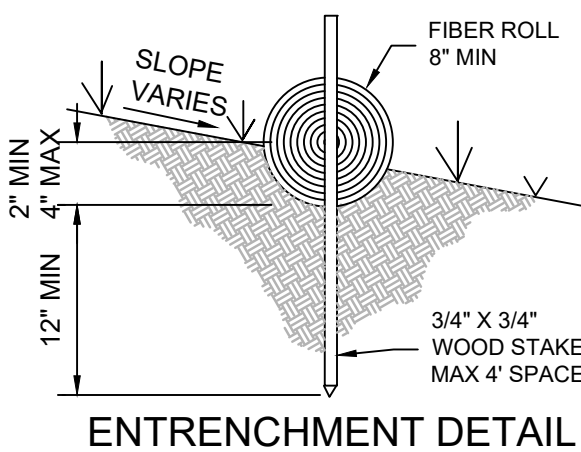
FIBER ROLLS CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

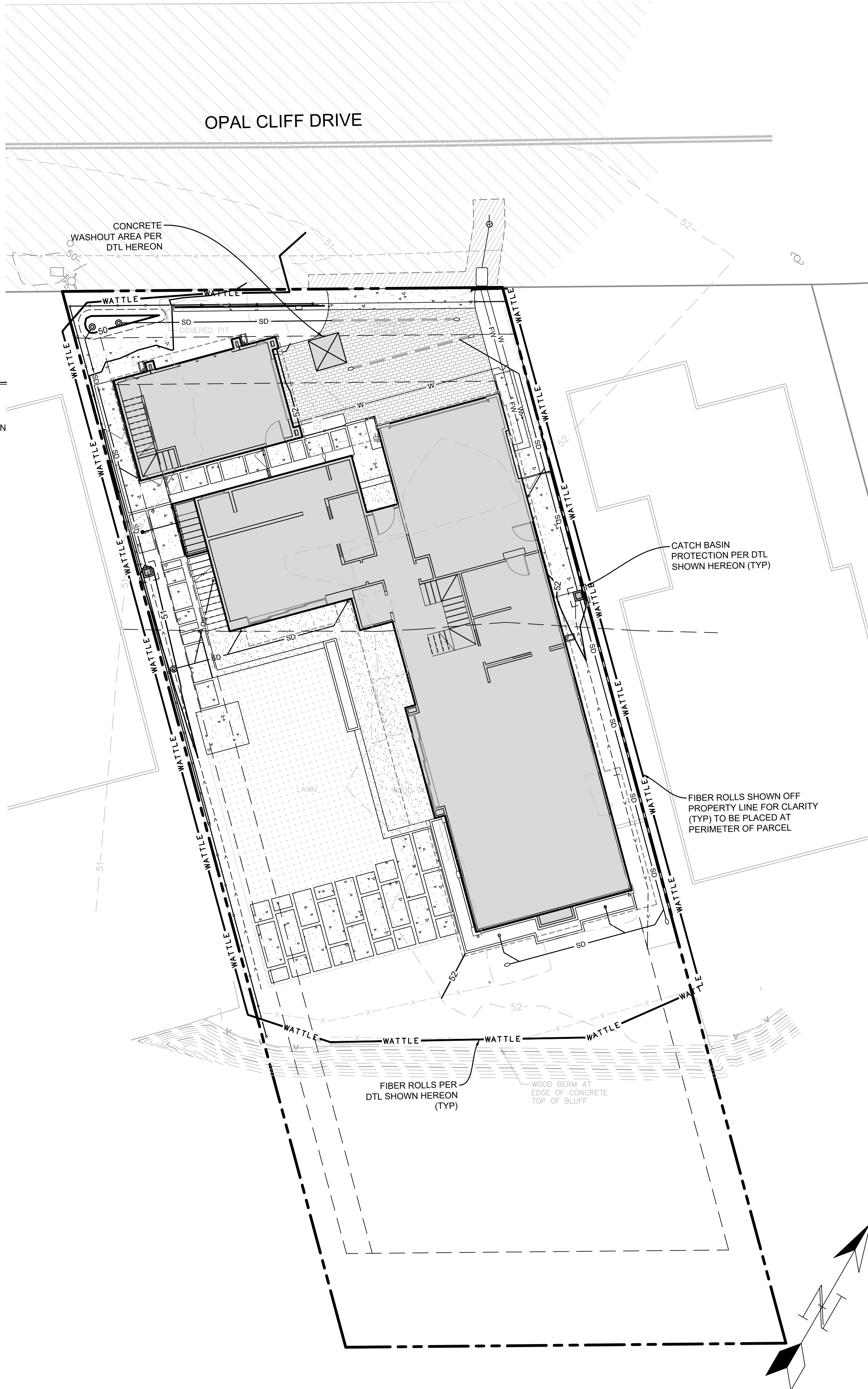
INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

FIBER ROLLS  
NTS



ENTRENCHMENT DETAIL



EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

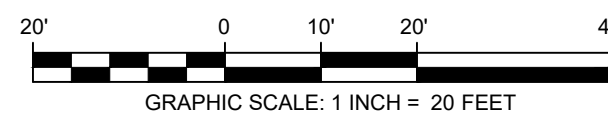
STORMWATER O&M PLAN

1. REFER TO THE RECORDED STORMWATER MAINTENANCE AGREEMENT (SCC FIG. SWM-25A) FOR ADDITIONAL SITE/PROJECT INFORMATION AND REQUIREMENTS, AS WELL AS RESPONSIBLE PARTY AGREEMENT.
2. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP
3. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS, REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
4. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
5. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
  - 5.1. ROOF DOWNSPOUTS:
    - 5.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED OF.
  - 5.2. GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRIAN SLAB AREAS:
    - 5.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
    - 5.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
      - 5.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
      - 5.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
      - 5.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW, REMOVE AS NECESSARY.
      - 5.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

SOURCE CONTROL MEASURES

BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:

- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
- LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
- OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
- UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.



**RAMSEY**  
CIVIL ENGINEERING INC.  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES  
2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

REGISTERED PROFESSIONAL  
NOT FOR CONSTRUCTION  
DAVID RAMSEY DATE  
RCE# 73735

APN# 033-151-27  
PLAN TYPE  
RESIDENTIAL

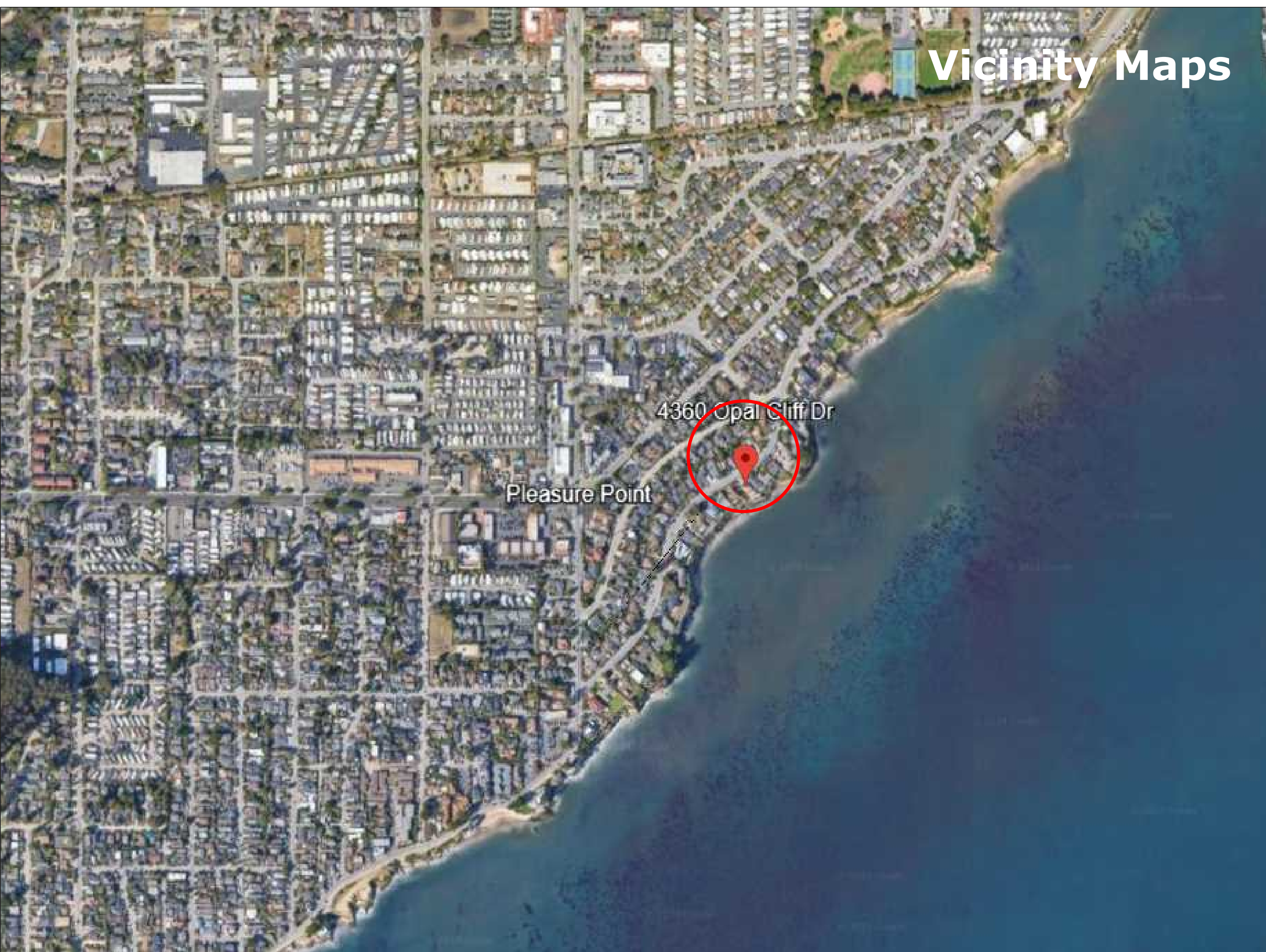
EROSION CONTROL PLAN AND DETAILS  
**LUCHETTI RESIDENCE**  
4360 OPAL CLIFF DRIVE, SANTA CRUZ, CA, 95062

REVISION BLOCK	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT - 1ST ROUTING COMMENTS	6/19/2025
DMR	BY	

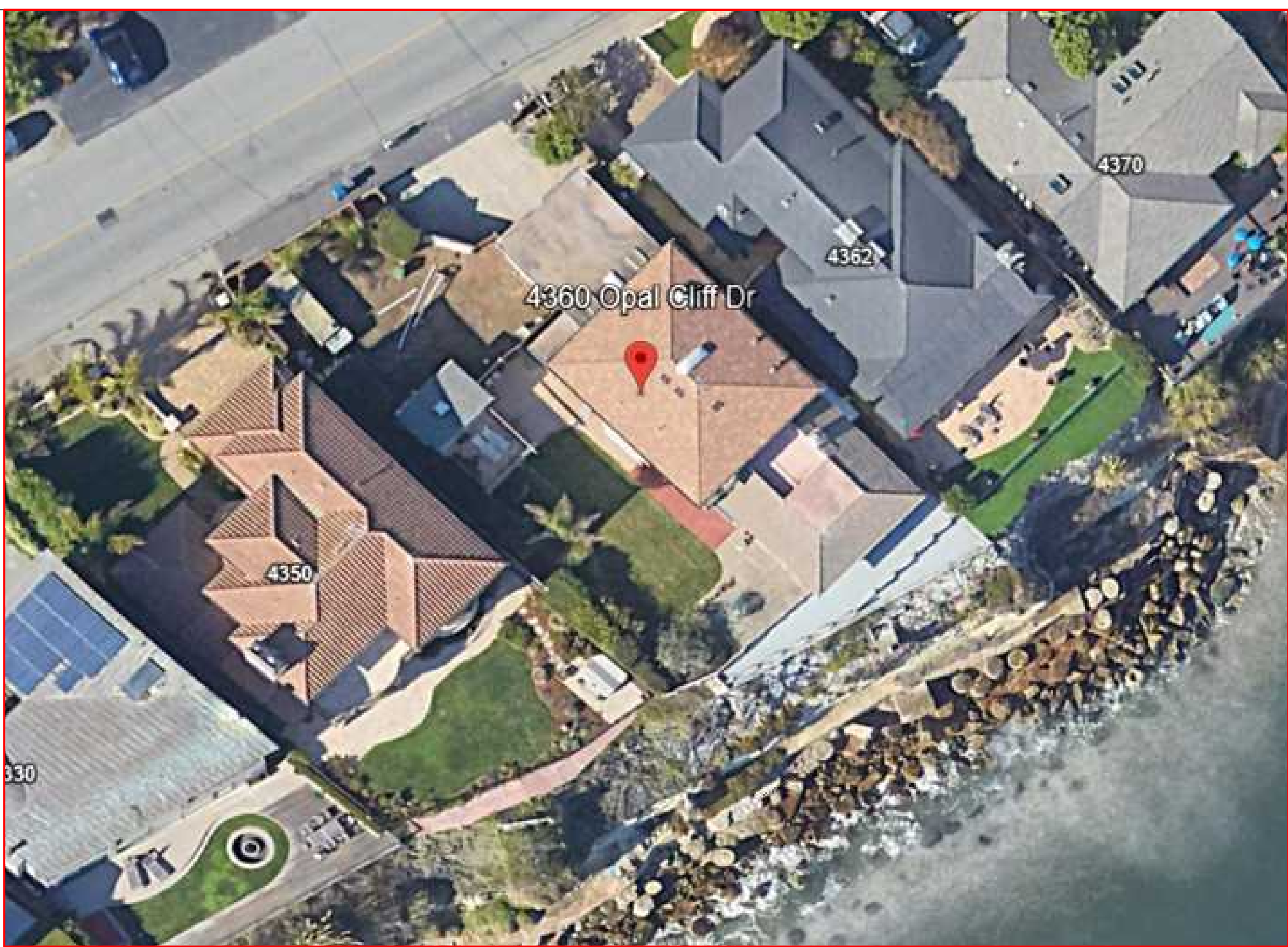
DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	04/21/2025
SCALE:	AS NOTED
PROJECT NO:	24-042
SHEET:	

C5.0





## Vicinity Maps



# Luchetti Residence

4360 Opal Cliff Drive Santa Cruz 95062

K&D Landscaping, inc.

### GENERAL NOTES:

1. All construction shall be per the 2022 California Codes and local jurisdiction ammendments.
2. Ground surfaces on accessible routes must maintain CBC 11B-1008.26 and 2.6.1
3. Accessible path of travel from residential buildings to allamenities shall comply with CBC 11B-1008.
4. Hardscape, plant material, and other landscape elements depicted in this landscape design to be installed per K&D Landscaping, Inc. standards.
5. Irrigation and drainage to be retrofitted and/or installed per K&D Landscaping, Inc. standards.

### SHEET INDEX:

L-1.0	COVER PAGE
L-2.0	LANDSCAPE DESIGN
L-2.1	MASTER PLAN
L-3.0	PLANTING PLAN

### PROJECT CONTACTS:

MAIN CONTACT: Jeff Luchetti  
(707)975-5564  
jeffl@jlcbuild.com

SECONDARY CONTACT: Russell Simpkins  
Foundry Architecture  
russ@foundryarchitecture.com

K&D OFFICE: (831) 728-4018  
info@kndlandscaping.com

PROJECT PM: Jason Paskus  
(831)566-7271  
jpaskus@kndlandscaping.com

Josh Ross  
(831) 291-1665  
josh@kndlandscaping.com

DESIGNER: Liz Ryan  
(831)785-7381  
liz@kndlandscaping.co

### SCOPE:

This project involves the design and enhancement of the landscape, including planting, hardscape, circulation, irrigation, and improvements to existing site features

### NOTES:

APN - 033-151-27  
ZONE DISTRICT - USL, R-1-5,  
AND COASTAL ZONE  
LOT SIZE - 11,945 SF  
APPROX 8576 SF AT BLUFF  
COVERAGE - 11,945 x (40%) = 4,778 SF  
APPROX. 3,430 SF AT BLUFF  
OCCUPANCY GROUP - R-UM  
CONSTRUCTION TYPE - 020-SINGLE RES



K&D Landscaping, Inc.

62 Hangar Way, Watsonville CA  
(831) 728-4018  
info@kndlandscaping.com

### Luchetti Residence

Jeff Luchetti  
4360 Opal Cliff Dr,  
Santa Cruz, CA

(707)975-5664

jeffl@jlcbuild.com

### COVER PAGE

Designer:  
Liz Ryan

Notes

\*ALL DRAWING FOR CONCEPTUAL USE  
NOT FOR CONSTRUCTION

PROJECT APN:  
033-151-27

Revision

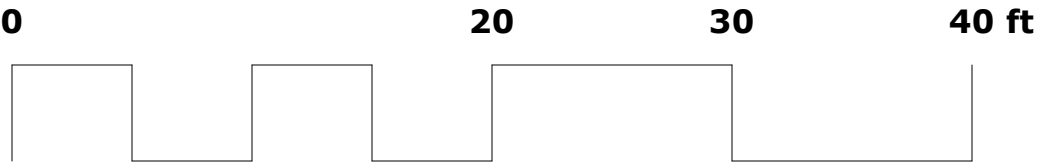
VERSION 4 AS OF 6/20/2025

CA LICENSE #  
C27  
664584

7/19/2024

L-1.0





MASTER PLAN MATERIAL AND ELEMENT LEGEND:

1. Concrete Paths/Steppers/Pad

Color: Outback

Finish: Sand Finish
2. Permeable Paver Patio/Driveway

Brand: Belgard

Line: Permeable Mission

Color: Victorian

Pattern/Size: Running Bond
3. Porcelain Tile Patios/Steps/Steppers (On Concrete Slab)

Brand: Belgard

Style: Travertini Pearly

Pattern/Size: Cross Cut

\*Installed By Others
4. Artificial Turf (Not Irrigated)

Brand: Synlawn
5. Built-In Kitchen (No sink)

\*Installed By Others
6. Porcelain Tile Pads (On Concrete Slab)

Brand: Belgard

Style: Travertini Pearly

Pattern/Size: Cross Cut

\*Installed By Others
7. Concrete Pad for Hot Tub (Plug In)
8. Gravel/Stone Mulch with Metal Edging
9. Granite Boulders
10. Mulch
11. 6' Ht. Redwood and Hog Panel Trellis
12. Raised Stone Planting Bed

\*Installed By Others
13. 6' Redwood Good Neighbor Fence with Lattice
14. 36" Tall Stylized Redwood Fence
15. 36" Tall Custom Metal Ocean-Side Fence
16. 6' Good Neighbor Gate
17. FX Luminaire Path Light

Model: JS

Color: Flat Black
18. FX Luminaire Step Light

Model: HS

Color: Black
19. 36" Rolling Driveway xxxxGate with Track (to match stylized fencing)

\*Installed By Others
20. Outdoor Shower with Pop Up Drain
21. Existing Concrete

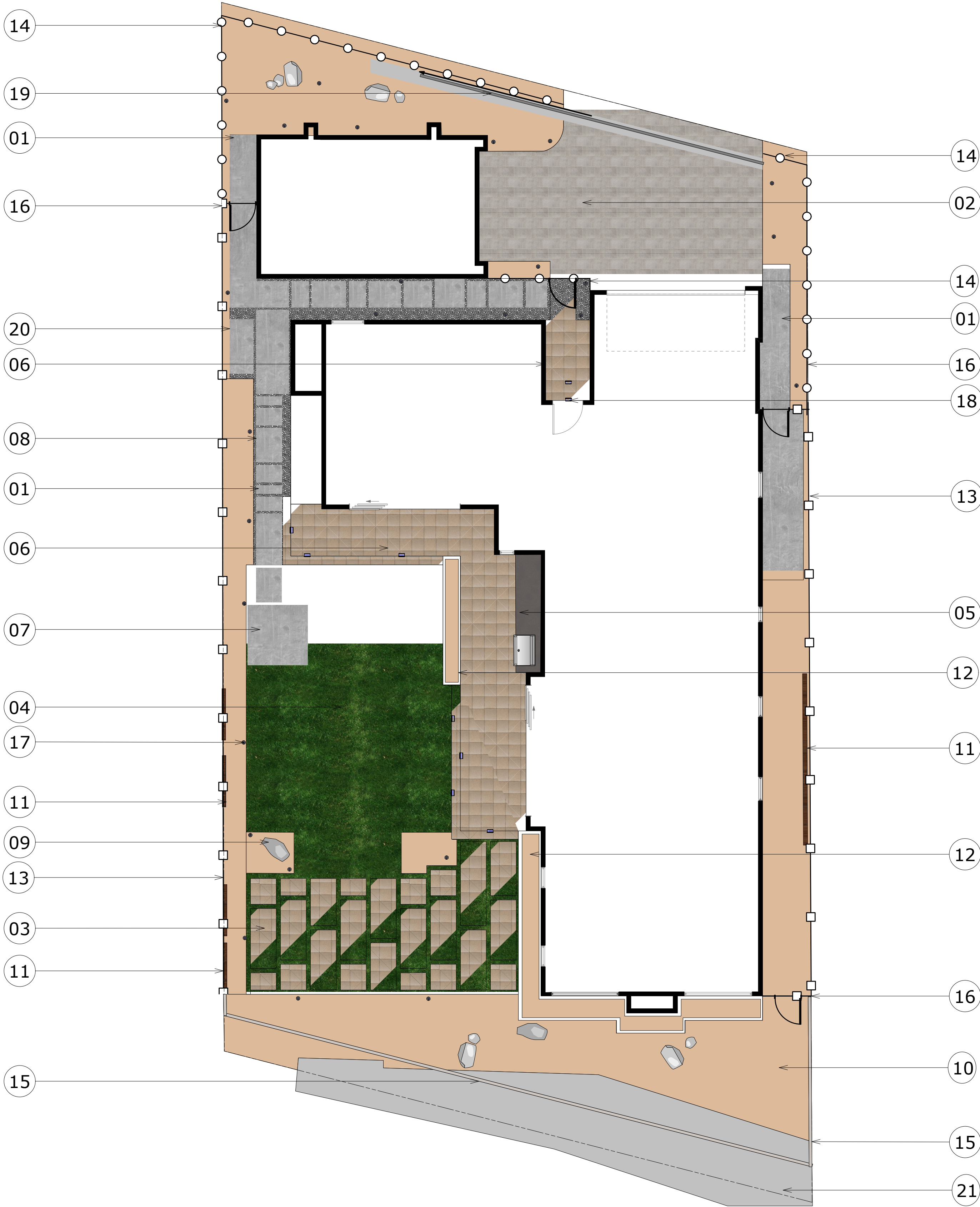
NOTES:

-HARDSCAPE, PLANT MATERIAL AND OTHER LANDSCAPE ELEMENTS DEPICTED IN THIS LANDSCAPE DESIGN TO BE INSTALLED PER K&D LANDSCAPING, INC. STANDARDS.

-ALL NEW PLANTS TO BE PLANTED IN GOPHER BASKETS.

-IRRIGATION AND DRAINAGE TO BE DESIGNED, RETROFITTED AND/OR INSTALLED PER K&D LANDSCAPING, INC. STANDARDS.

-ALL SEATING IS REMOVABLE.



K&D Landscaping, Inc.

62 Hangar Way, Watsonville CA  
(831) 728-4018  
info@kndlandscaping.com

Luchetti Residence

Jeff Luchetti  
4360 Opal Cliff Dr,  
Santa Cruz, CA

(707)975-5664

jeffl@jlcbuild.com

MASTER PLAN

Designer:  
Liz Ryan

Notes

\*ALL DRAWING FOR CONCEPTUAL USE  
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PROJECT APN:  
033-151-27

Revision

VERSION 4 AS OF 6/20/2025

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664584

7/19/2024

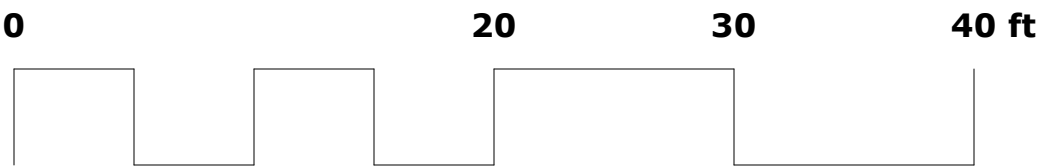
L-2.1



2

PLANTING PLAN

Scale: 1/8" = 1'-0"



Plant List - Simple with Images						
Image	ID	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
	AGO FLE	3	Agonis flexuosa	Peppermint Willow	15" BOX	Non native, water wise, not invasive
	CLE ARM	6	Clematis armandii 'Snowdrift'	Snowdrift Evergreen	1 GAL	CA native
	DEL NUB	49	Delosperma nubigenum	Yellow Ice	1 GAL	Non native, water wise, not invasive
	DIA CLA	13	Dianella 'Clarity Blue'	Clarity Blue	1 GAL	Non native, water wise, not invasive
	DIC SF	7	Dichondra 'Silver Falls'	Silver Falls	5 GAL	Non native, water wise, not invasive
	LIM PER	19	Limonium perezii	Sea lavender	1 GAL	Non native, water wise, not invasive
	LOM PB	32	Lomandra 'Platinum Beauty'	Platinum Beauty Dwarf	1 GAL	Non native, water wise, not invasive
	MUH CAP	23	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly	1 GAL	Non native, water wise, not invasive
	PER ATR	27	Perovskia atriplicifolia 'Blue Spires'	Blue Spires Russian Sage	1 GAL	Non native, water wise, not invasive
	POD IB	11	Podocarpus 'Icee Blue'	Podocarpus 'Icee Blue'	15 GAL	Non native, water wise, not invasive
	SES AUT	58	Sesleria autumnalis	Autumn Moor Grass	1 GAL	Non native, water wise, not invasive



NOTES:

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- ALL NEW PLANTS TO BE PLANTED IN GOPHER BASKETS.
- IRRIGATION AND DRAINAGE TO BE DESIGNED, RETROFITTED AND/OR INSTALLED PER K&D LANDSCAPING, INC. STANDARDS.
- ALL PROPOSED PLANTS ARE DROUGHT TOLERANT.



K&D Landscaping, Inc.

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info@kndlandscaping.com

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Santa Cruz, CA

(707)975-5664

jeffl@jlcbuild.com

PLANTING PLAN

Designer:  
Liz Ryan

Notes  
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PROJECT APN:  
033-151-27

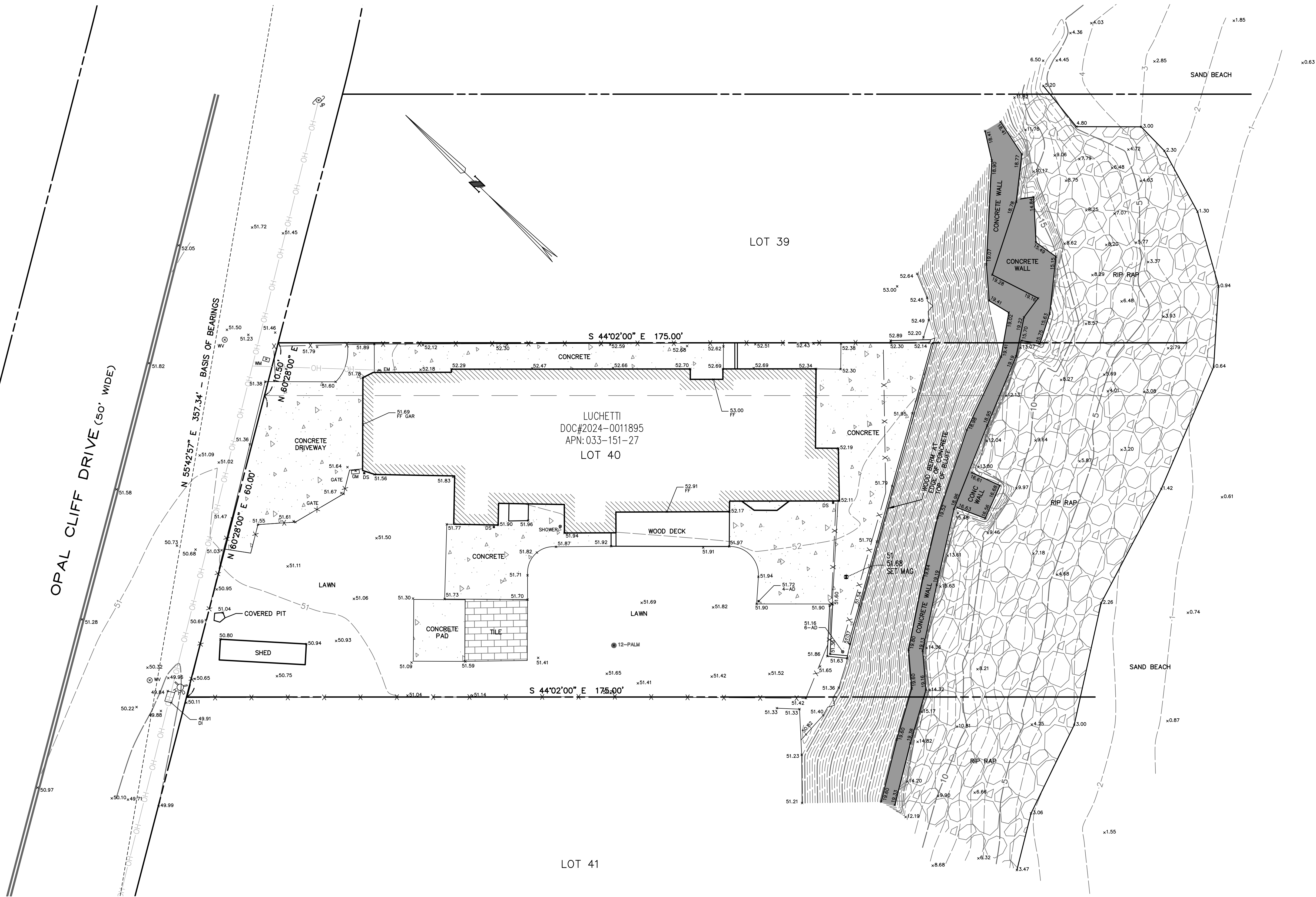
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VERSION 4 AS OF 6/20/2025

CA LICENSE #  
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664584

7/19/2024

L-3.0





**BASIS OF BEARINGS**

BEARINGS FOR THIS SURVEY ARE BASED ON THE CALCULATED TIE BETWEEN FOUND MONUMENTS LOCATED AT THE NORTHWESTERN CORNER OF LOT 37 AND THE SOUTHWESTERN CORNER OF LOT 42, AS SAID LOTS ARE SHOWN ON THAT MAP ENTITLED "OPAL CLIFFS", FILED FOR RECORD IN BOOK 25 OF MAPS AT PAGE 12, SANTA CRUZ COUNTY RECORDS

NORTH 55°42'57" EAST

**BASIS OF ELEVATIONS**

ELEVATIONS FOR THIS SURVEY ARE SHOWN IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED WITH A REALTIME KINEMATIC (RTK) GPS TIE TO CONTROL SET AS A PART OF THIS PROJECT. PROJECT BENCHMARK IS CONTROL POINT #51 AS SHOWN HEREON

ELEVATION #51 = 51.68' (NAVD88)

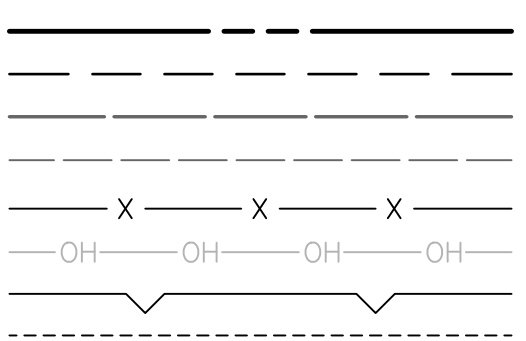
**UTILITY NOTE**

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN JULY 2024.

**ABBREVIATIONS**

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
CO	CLEANOUT
DOC	DOCUMENT
EM	ELECTRIC METER
FF	FINISHED FLOOR
FH	FIRE HYDRANT
GM	GAS METER
HB	HOSE BIB
JP	UTILITY POLE
SD	STORM DRAIN
SS	SANITARY SEWER
WM	WATER METER
WV	WATER VALVE

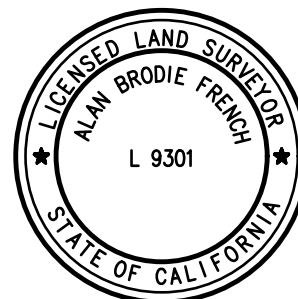
**LEGEND**



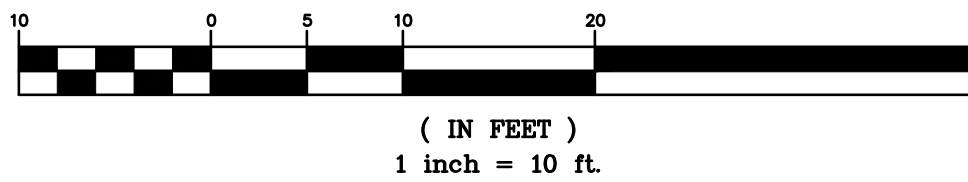
100  
(100)  
+99.99

CONTOUR INTERVAL = 1 FOOT  
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

PROPERTY LINE  
EASEMENT LINE  
CONTOUR INTERVAL, MAJOR  
CONTOUR INTERVAL, MINOR  
FENCE LINE  
OVERHEAD UTILITY LINE  
TOP OF BLUFF  
TIE LINE  
DISTANCE MEASURED  
RECORD DATA PER  
SITE BENCHMARK  
TREE, AS NOTED  
SPOT ELEVATION



**GRAPHIC SCALE**



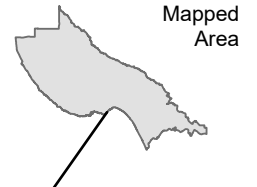
SANTA CRUZ COUNTY APN: 033-151-27

ALPHA LAND SURVEYS, INC.				SHEET
4444 SCOTT'S VALLEY DR. #7 SCOTT'S VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP 4360 OPAL CLIFF DRIVE SANTA CRUZ COUNTY OF SANTA CRUZ	1	OF ONE
1" = 10'	DATE: 10/17/2024	JOB#: 2024-167		





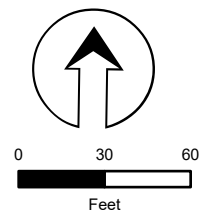
## Parcel Location Map



**Parcel: 03315127**

 Subject Parcel

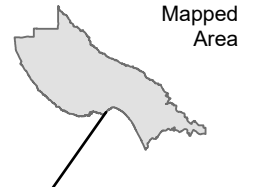
Map printed: 5 Sep. 2025



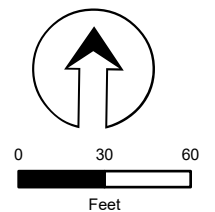




# Parcel General Plan Map



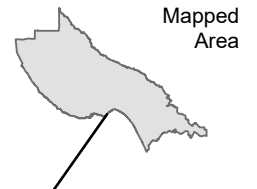
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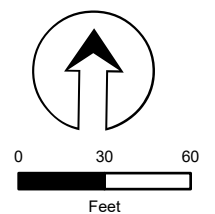




# Parcel Zoning Map



 Subject Parcel





# FOR TAX PURPOSES ONLY

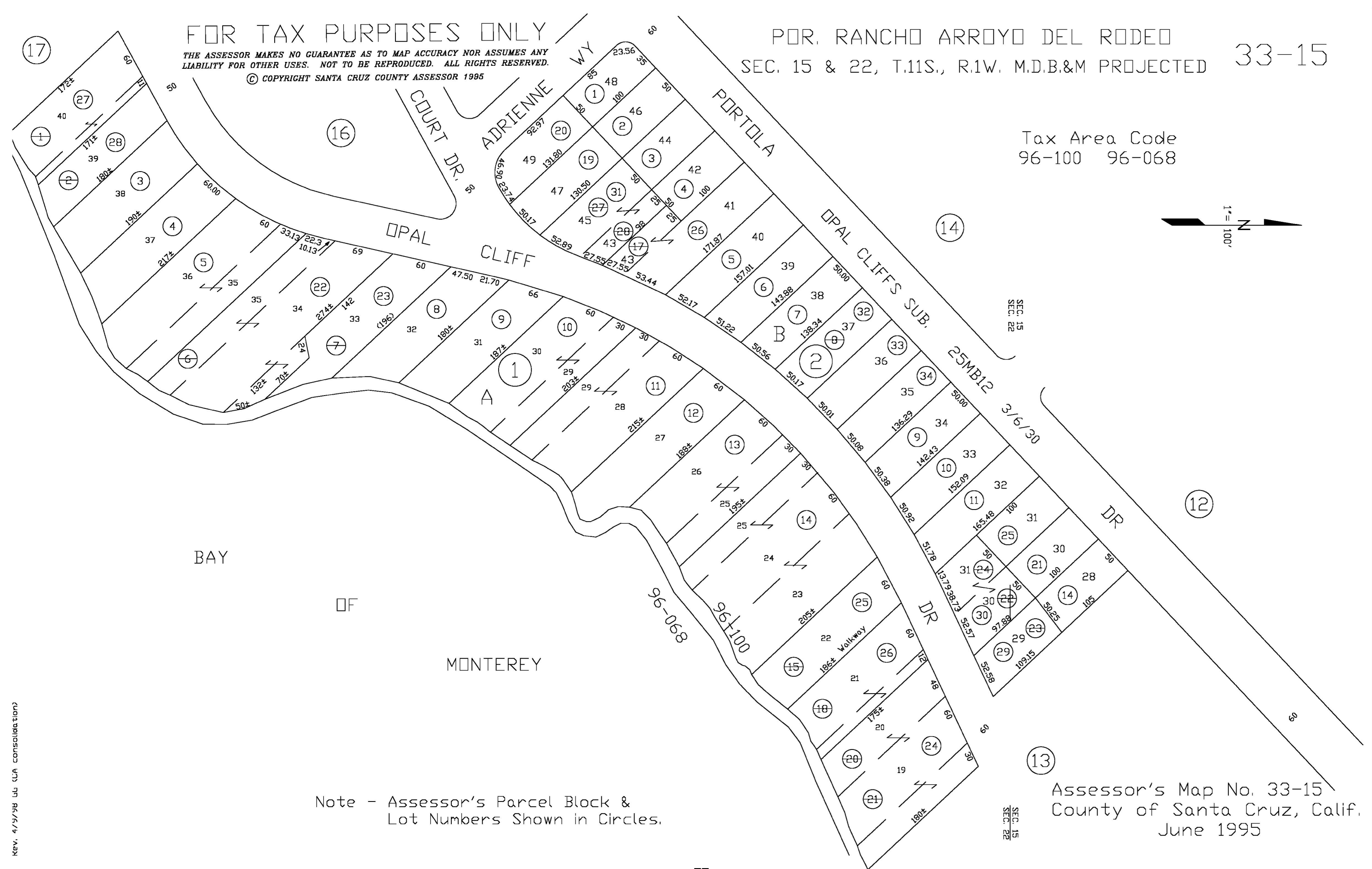
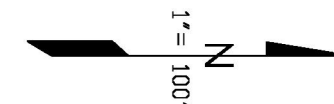
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POR. RANCHO ARROYO DEL RODEO  
SEC. 15 & 22, T.11S., R.1W. M.D.B.&M PROJECTED

33-15

Tax Area Code  
96-100 96-068



Note - Assessor's Parcel Block &  
Lot Numbers Shown in Circles.

Assessor's Map No. 33-15  
County of Santa Cruz, Calif.  
June 1995



## Parcel Information

### Services Information

Urban/Rural Services Line:	<u>  X  </u> Inside <u>    </u> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	Santa Cruz Sanitation District
Fire District:	Central Fire Protection District
Drainage District:	Flood Control Zone 5

### Parcel Information

Parcel Size:	8,576 square feet (excluding coastal bluff)
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Opal Cliffs Drive
Planning Area:	Live Oak
Land Use Designation:	R-UM (Urban Residential - Medium Density)
Zone District:	R-1-5 (Single Family Residential, 5,000 square foot minimum per dwelling)
Coastal Zone:	<u>  X  </u> Inside <u>    </u> Outside
Appealable to Calif. Coastal Comm.	<u>  X  </u> Yes <u>    </u> No

**Technical Reviews:** REV241232 - Combined Geologic and Geotechnical reports Review

### Environmental Information

Geologic Hazards:	Mapped on site / all additions outside geologic setback
Fire Hazard:	Not a mapped constraint
Slopes:	Slopes on coastal bluff only
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No significant grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	Not a mapped resource
Archeology:	Not mapped/no physical evidence on site





## County of Santa Cruz

### Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580    Public Works (831) 454-2160  
[cdi.santacruzcountyca.gov](http://cdi.santacruzcountyca.gov)

Foundry Architecture  
Attn: Russell Simpkins <[russ@foundryarchitecture.com](mailto:russ@foundryarchitecture.com)>  
8070 Soquel Drive Suite 130  
Aptos, CA 95003

1 July 2025

Subject:        Review of the Geologic Investigation dated 17 October 2024 and updated 15 April 2025 by Easton Geology, Inc. - Job No. C24010

Review of the Geotechnical Investigation dated 11 November 2024 and Addendum to Geotechnical Report dated 2 June 2025 by CMAG Engineering, Inc.  
Project No. 24-127-SC

Project Site:   4360 Opal Cliff Drive  
                    APN 033-151-27  
                    Application Nos. REV241232 (related to 241451)

Dear Applicant(s):

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports. We understand the project geologist has performed additional analysis to provide an updated bluff retreat setback. Proposed development should comply with the revised setback recommended by Easton Geology, Inc in the report updated 15 April 2025. The following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports. [SCCC 16.10.070]
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. [SCCC 16.10.070]
3. After plans are prepared that are acceptable to all reviewing agencies, please request both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by the last revision date. [SCCC 16.10.070]
4. A Declaration of Coastal and Geologic Hazards shall be recorded prior to the issuance of building permit(s) for the proposed project. The declaration form will be provided along with instructions for recording upon submission of the building permit application. [SCCC 16.10.070]



Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports.

Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website:

<https://cdi.santacruzcountyca.gov/UPC/EnvironmentalPermitsTechnicalReviews/GeologyandSoils/AssistanceandForms.aspx>

After building permit issuance the engineering geologist and geotechnical engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.

Please contact Rick Parks at (831) 454-3168/email: [Rick.Parks@santacruzcountyca.gov](mailto:Rick.Parks@santacruzcountyca.gov) or Craig Stewart at (831) 454-3175/email: [Craig.Stewart@santacruzcountyca.gov](mailto:Craig.Stewart@santacruzcountyca.gov) if we can be of any further assistance.

Sincerely,



Rick Parks GE 2603  
Civil Engineer  
County of Santa Cruz  
CDI - Planning Division

A handwritten signature of Craig Stewart.

Craig Stewart CEG 2779  
County Geologist  
County of Santa Cruz  
CDI - Planning Division



Cc: Environmental Planning, Attn: Jessica deGrassi  
Easton Geology, Inc., Attn: Greg Easton CEG  
CMAG Engineering, Inc., Attn: Adrian Garner GE  
Owner: JL Modular – Inc <JeffL@jlcbuild.com>

Attachments: Notice to Permit Holders



**NOTICE TO PERMIT HOLDERS WHEN GEOLOGIC AND GEOTECHNICAL REPORTS  
HAVE BEEN PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After the issuance of the building permit, the County requires your engineering geologist and geotechnical engineer to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the geologic and geotechnical reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the geotechnical engineer and/or engineering geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The geotechnical engineer and/or engineering geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.