



Staff Report to the Zoning Administrator

Application Number: **251198**

Applicant: Chad Williams

Agenda Date: December 5, 2025

Owner: John Larsen

Agenda Item #:

APN: 093-162-16

Time: After 9:00 a.m.

Site Address: 597 Glenwood Cutoff, Scotts Valley CA 95066

Project Description: Proposal to construct a 506 square-foot garage addition to an existing nonconforming 320 square-foot non-habitable accessory structure. Requires a Variance to reduce the required side yard setback from 20 feet to about 10 feet and the required rear yard setback from 20 feet to 1 foot at the building wall and roof eave.

Location: Property is located on the northern side of Glenwood Cutoff (597 Glenwood Cutoff), approximately 800-feet west of Highway 17.

Permits Required: Variance

Supervisory District: 5th District (District Supervisor: Monica Martinez)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251198, based on the attached findings and conditions.

Project Description & Setting

The subject property is approximately 1.57 acres in size and developed with a single-family dwelling constructed in 2003, a detached non-habitable accessory structure constructed in 1984, as well as a non-conforming second unit constructed in 1932. The applicant proposes constructing a 506 square-foot addition to the existing detached accessory structure for the purpose of creating a two-car garage.

The existing accessory structure is non-conforming to the 20-foot setbacks required in the RA (Residential Agricultural) zone district. The proposed addition would further encroach into the required setback area; therefore, a Variance is required.

Zoning & General Plan Consistency

The subject property is a 1.57 acre lot, located in the RA (Residential Agricultural) zone district, a designation which allows residential uses. The existing non-habitable accessory structure is a

principal permitted use within the zone district, and the zoning is consistent with the site's R-R (Rural Residential) General Plan designation.

Residential Development Standards

Santa Cruz County Code 13.10.323 contains development standards for residential zone districts. The RA (Residential Agricultural) zone district site standards are as follows:

Residential Agricultural (RA) Zone District Site Standards

	Required per Zoning Code	Existing non-habitable accessory structure	Proposed Addition
Front Yard Setback	20'	>20'	>20'
Side Yard Setback	20'	34'	10'
Rear Yard Setback	20'	4'	1'
Maximum Height	28'	11'	12'
Maximum Lot Coverage	10%	8.1%	8.8%

Nonconforming Structures

Santa Cruz County Code 13.10.260(B)(4) defines a nonconforming structure as a structure that was lawfully erected but does not conform with standards for lot coverage, setbacks, height, number of stories, distance between structures, or floor area ratio currently prescribed in the regulations for the zoning district in which the structure is located. The non-habitable accessory structure was constructed with permits in 1984 but does not conform to current setback standards for the RA zone district.

The existing structure maintains a 4-foot rear yard setback where 20 feet is required under current regulations. The proposed addition would be located 1 foot from the property line, extending 3 feet further into the required 20-foot rear yard setback; and the proposed addition is also within 10 feet from the required 20-foot side yard setback, extending the building an additional 24 feet closer to the property line. Pursuant to Santa Cruz County Code (SCCC) 13.10.262(A)(2), nonconforming additions are not permitted unless a variance is granted in accordance with SCCC 13.10.230.

Variance Approval

Variance approvals are discretionary authorizations of exceptions to the zoning district site and development standards for a property. The existing non-habitable accessory structure is nonconforming to the rear yard setback, and the proposed garage addition would be constructed towards the rear and side property lines, within the required setback areas.

The existing structure was constructed as a tool shed/garage in 1984 and is located at the end of the driveway, but it requires considerable maneuvering to pull vehicles in or out due to the orientation of the garage door entrance. The proposed garage addition would provide a more functional design that reduces the amount of maneuvering required by placing the entrance at the

end of the driveway, allowing cars to pull straight into the parking area.

The applicant requests a reduction in the side- and rear-yard setback from 20 feet to 10 feet and from 20 feet to 1 foot, respectively. A reduced setback can be supported given the location of the existing nonconforming structure and the unique shape of the parcel. The adjacent parcel, which shares rear and side property lines with the subject parcel, is considered a 'corridor access lot' where the land area adjacent to the proposed addition is utilized as a driveway. Although the proposed addition would encroach towards the neighboring driveway, the properties are separated by mature vegetation and sloping topography.

The existing nonconforming structure and unique parcel shape create a special circumstance that would otherwise preclude the construction of a conforming addition. The proposed addition is sited and designed in a way to minimize impacts to the neighboring parcel and is not anticipated to be detrimental to public health, safety, or welfare, nor injurious to property or improvements in the vicinity.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251198**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Santa Cruz CA 95060
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E-mail: Michael.Lam@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings

- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251198

Assessor Parcel Number: 093-162-16

Project Location: 597 Glenwood Cutoff, Scotts Valley CA 95066

Project Description: Proposal to construct a 506 square-foot garage addition to an existing nonconforming 320 square-foot non-habitable accessory structure. Requires a Variance to reduce the required side yard setback from 20 feet to about 10 feet and the required rear yard setback from 20 feet to 1 foot at the building wall and roof eave.

Person or Agency Proposing Project: Chad Williams

Contact Phone Number: (831) 588-9792

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of an addition to an existing residential accessory structure in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Michael Lam, Project Planner

Date: _____

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the non-habitable accessory structure addition and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the RA (Residential Agricultural) zone district as the primary use of the property will be one single-family dwelling with a non-habitable accessory structure that meets all current site standards for the zone district, with the exception of setbacks for which a Variance can be supported.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed addition to a residential accessory structure is in substantial conformance with the use and density requirements specified for the R-R (Rural Residential) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed addition to the existing non-habitable accessory

structure will not add residential units on the existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase beyond the existing 1 peak trip per day (1 peak trip per dwelling unit). The proposed addition will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed addition to the existing non-habitable accessory structure is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding is not required, in that the project site is not located within the coastal zone.

Site Development Permit Findings

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed addition to an existing non-habitable accessory structure is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood. The existing structure and proposed addition will be painted to match the primary dwelling on site to further complement and harmonize with existing development in the surrounding area.

- (b) **Design.** The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed addition to the existing non-habitable accessory structure is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the shape of the parcel and the configuration of existing development create a special circumstance that prevents the applicant from designing a conforming addition. The existing accessory structure is located at the end of the driveway but requires considerable maneuvering to pull vehicles in or out. The proposed garage addition would provide a more functional design that reduces the amount of maneuvering required. Although the existing accessory structure is nonconforming to the required setbacks, it was constructed with building permits in 1984 and did not require a variance at that time. Strict application of the zoning ordinance would deprive the property owner of the ability to construct an addition to the existing structure without a variance approval. While nearby properties with identical zoning classifications are developed with single-family dwellings and associated accessory structures, the unique shape of the parcel and the location of the existing non-conforming accessory structure would otherwise preclude construction of the proposed addition without approval of a variance.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made, in that single-family dwellings and accessory structures are a principally permitted use within the RA zone district. Authorizing exceptions to the site standards to permit construction of a garage addition is in harmony with the general intent of the residential zone district objectives. The adjacent parcel is considered a 'corridor access lot', where the property adjacent to the existing structure is utilized as a driveway. Although the proposed addition would encroach towards the neighboring driveway, the properties are separated by mature vegetation and sloping topography. The addition is sited and designed in a way to minimize impacts to neighboring parcels, and is not anticipated to be detrimental to public health, safety, or welfare, nor injurious to property or improvements in the vicinity.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the approval of a variance is a discretionary process available to all residentially zoned parcels, provided the findings can be made. Although properties in the vicinity have been developed without variances, the subject property has a unique shape and contains a legal nonconforming accessory structure - constraints not shared by surrounding parcels. Therefore, approval of a variance would not constitute a grant of special privileges inconsistent with limitations imposed on other properties in the vicinity.

Conditions of Approval

Exhibit D: Project plans, prepared by Chad Williams, dated 07/24/2025.

- I. This permit authorizes the construction of a 506 square-foot addition to an existing non-habitable accessory structure as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
 - B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.

1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- E. Meet all requirements and pay any applicable plan check fee of the Scotts Valley Fire Protection District.
- F. Submit a soils report prepared and stamped by a licensed Geotechnical Engineer.
- G. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- H. Complete and record a Declaration of Restriction to maintain a non-habitable accessory structure. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall

immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms

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Owner: John Larsen

or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

PROPOSED ADDITION TO EXISTING TOOL SHED

597 Glenwood Cutoff, Scotts Valley, CA 95066

for owners Rebecca Nolan & John Larsen

apn 093 162 16

ZONING VARIANCE APPLICATION PLAN SET

ZONING REVISION R-1 SET

ABBREVIATIONS USED :

= NUMBER
2 O.B. = LUMBER GRADE MIN. REQ. FOR STRUCTURE
&d = SIZE OF NAIL
(E) = EXISTING
(N) = NEW & OR PROPOSED
/ = PER , AS IN AS PER
@ = AT
= DEGREE
AMP = AMPERES
APC = AS PER CURRENT LOCAL CODE REQ.
ATT = ATTACHED
BOF = BOTTOM OF FOOTING
BOW = BOTTOM OF WALL
B-S = BOTH SIDES
B.T.U = BRITISH THERMAL UNIT
C.C.RDW. = CONSTRUCTION COMMON REDWOOD
CE = CIVIL ENGINEER
CF = CEILING FAN
D = DIMMER SWITCH W/ MANUEL ON / OFF
D.F. = DOUGLAS FIR
DEMO. = DEMOLISH
dia. = DIAMETER
EA-END = BOTH ENDS
EA-S = EACH SIDE
ELE = ELECTRIC
ELV. = ELEVATION
ENC. = ENCLOSED
EQUI. = EQUAL TO
FLR. = FLOOR
FONDO. = FOUNDATION
G = GAS LINE
G.P.M. = GALLONS PER MINUTE
GT = GEOTECHNICAL ENGINEER
GVC = GREEN VINYL SINKER NAIL OR EQUI.
HDG. = HOT DIPPED GALVANIZED
H-E = HIGH EFFICACY
HORZ. = HORIZONTAL
HT. = HEIGHT
le = LENGTH OF EMBEDMENT
L-E = LOW EFFICACY
MANUF. = MANUFACTURE
MAX. = MAXIMUM
ME = MECHANICAL ENGINEER
MIN. = MINIMUM
MS.P = MOTION SENSOR SWITCH W/ PHOTO SENSOR
NG. = NATURAL GRADE
NSCOMP. = COMPOSITE MATERIAL NOT STRUCTURAL
(0) = ORIGINAL - AS BUILT
O.C. = ON CENTER
OG. = AT ZERO ELEVATION
OS. = MANUEL ON / AUTO. OFF MOTION SENSOR SWITCH
P.S.I. = POUNDS PER SQ. INCH
P.T. = PRESSURE TREATED EXT. FOR USE IN GROUND OR WET LOCATION
PSL = A "TRUSS JOIST" PRODUCT SEE MANUF.
PLYWD. = PLYWOOD
RDW. = REDWOOD
REQ. = REQUIRED
SDS = SIMPSON SDS SCREW @ 1/4" X 3 12" TYP.
SE = STRUCTURAL ENGINEER
SHEETS LABELED A = CONSTRUCTION DESIGN & DRAFTING DOCUMENTATION
SHEETS LABELED C = CIVIL ENGINEERING
SHEETS LABELED G = GEOTECHNICAL ENGINEERING
SHEETS LABELED M = MECHANICAL ENGINEERING
SHEETS LABELED PME = PLUMBING, MECHANICAL, HVAC & ELECTRICAL
SHEETS LABELED S = STRUCTURAL ENGINEERING
SPEC. = SPECIFICATION
SQ.FT. = SQUARE FOOT
SW = SEAR LINE DRAIN
T&B = TOP & BOTTOM
T.&G. = TOUNG AND GROOVE
T.B. = TO BE
TOW = TOP OF WALL
TTR = THROUGH THE ROOF
TYP. = TYPICAL ALL CONSTRUCTION
UG = UNDERGROUND
VRT. = VERTICAL
W = WATER LINE
W/ = WITH
X = LUMBER SIZE T.B. AS IN 2X4 = 2" ACROSS GRAIN & 4" ALONG GRAIN

THE CalGreen MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1 CONSTRUCTION WASTE MANAGEMENT PLAN ON GB.1 IS TO BE A DEFERRED SUBMITTAL UNTIL PROJECT CONTRACTOR IS CHOSEN
65% ALL CONST. & DEMO. WASTE REQ TO BE RECYCLED

REQ. HERS TEST CERTIFICATION BY CERTIFIED TESTER BEFORE BUILDING FINIAL

REQ. FOUNDATIONS & FOOTING TO BE PER GEO-TECH REPORT SPECIFICATIONS WHEN GEO-TECH REPORT REQ. PER PROJECT

GENERAL CONSTRUCTION NOTES:

ANY PERSON, BUSINESS THAT UNDERTAKES WORK SHOWN ON THESE PLANS HAS THE SAME RESPONSIBILITY AS THOSE DESCRIBED AS "CONTRACTOR"

ALL SPECIFICATIONS & NOTES APPLY ONLY TO SINGLE & TWO STORY "CONVENTIONAL LIGHT FRAME" RESIDENTIAL CONSTRUCTION.

USER OF THESE DOCUMENTS IS RESPONSIBLE FOR ALL LOCAL JURISDICTION REQUIREMENTS, ENGINEERING & PERMITS NECESSARY. ALL WORK TO COMPLY WITH ISSUING AGENCIES CURRENT CODES AS NOTED IN PLANS OR NOT. CONTRACTOR MUST VERIFY ALL DIMENSIONS, ENGINEERING REQUIREMENTS, HARDWARE, SUPPLIERS & SUB CONTRACTORS MATERIALS & PRODUCTS USED.

CW DESIGNER - BUILDER, Chad Williams, Owner, is not a licensed ARCHITECT, ENGINEER, OR SURVEYOR : The DESIGNER can not perform any of these services. To the extent that DESIGNER makes any suggestions in these areas, the Buyer / User of these plans and services acknowledges and agrees that DESIGNER work here in are merely options that the Buyer / User needs to review with the appropriate design professional for consideration. DESIGNER'S suggestions are not a substitute for professional engineering, architectural, or surveyor services, and are not to be relied on as such by Buyer / User. DESIGNER is not responsible for ascertaining whether details in plans conform to all applicable building and planning codes. The DESIGNER is not responsible for the cost of correcting errors and omissions by the Buyer / User's design professionals and separate contractors. CWDB is not responsible for any revision required by any agency to proposed plan here in.



PERMIT ISSUING AGENCY:
COUNTY OF SANTA CRUZ
COMMUNITY DEVELOPMENT AND INFRASTRUCTURE
710 OCEAN ST, 4 FLOOR
SANTA CRUZ, CA 95060
831 454 2580

APPLICABLE CODES:
2022 CRC, CBC, CPC, CMC, CElectC,
CEnergyC, CalGreen, CITY ORD.

OCCUPANCY GROUP = R-3/U
TYPE OF CONSTRUCTION = VB
ZONING = RA

FIRE PROTECTION DISTRICT:
FIRE DEPARTMENT:
Scotts Valley Fire Station 1
7 Erba Lane
Scotts Valley, Ca 95066
(831) 438-0211 Fax (831) 438-0383

ENERGY SOURCE : ELECTRIC
P&E
995 41 first AVE.
CAPITOLA, CA, 95010
ph: 800.335.2363

WATER SOURCE:
ONSITE WELL

SEWER:
ON SITE DISPOSAL SYSTEM

SCOPE OF WORK:

ADDITION TO EXISTING LEGAL NON CONFORMING TOOL SHED
AS BUILT PERMIT - 77283 ON 09-06-1984
AS BUILT TOOL SHED DOES NOT MEET SETBACK REQUIREMENTS ON NORTH SIDE OF BUILDING
EXISTING TOOL SHED DOES NOT PROVIDE ANY COVERED PARKING

PROPOSED ADDITION IS ONLY LOCATION THAT PRODUCES ANY COVERED PARKING IN A BUILDABLE LOCATION ON SITE

EXISTING SQ FT = 320
ADDITION SQ FT = 506 (TOTAL SQ FT = 826)
OTHER STRUCTURES FOOTPRINT SQ FT = 5240
TOTAL FOOTPRINT SQ FT = 5932
LOT IS 68563 SQ FT
LOT COVERAGE ALL STRUCTURES = 8.7%

NOTE
ALL GAS OIL FERTILIZER AND LIKE SUBSTANCES STORED IN SEPARATE BUILDING ON SITE.

CONSULTANTS:

PRESENTATION AND DRAFTING
CHAD THE BUILDER
CHAD WILLIAMS OWNER
52 EUCALYPTUS DR
WATSONVILLE, CA. 95076
CHAD THE BUILDER .COM
DESIGNBYCHAD@GMAIL.COM
831-588-9792

SURVEY
M.F. BEAUTZ C.E.
565 RISSO CT
SANTA CRUZ, CA 95062
831 476 3748

SHEET INDEX		
Label	Title	Comments
A.0.-1	Cover Sheet	
A.1.1	SURVEY	
A.2.1	EXISTING SITE PLAN	
A.2.2	(E) SITE EXPLODED	
A.3.1	PROPOSED DESIGN SITE PLAN	
A.3.2	(P) SITE EXPLODED	
A.4.1	EXISTING PLANS & ELEVATIONS	
A.5.1	PROPOSED PLANS & ELEVATIONS	
A.5.2	PROPOSED ROOF PLAN & BUILDING SECTION	

ROOF, & SIDING MATERIAL & COLORS ON SHEET A.5.2

SPECIAL CIRCUMSTANCES

EXISTING TOLL SHED DOES NOT ALLOW USE FOR COVERED PARKING
APPROACH LACKS TURNING RADIUS
SLOPE TRANSITION TO ABRUPT
EAST ENTRY LESS THAN 16' WIDE

SITE DOES NOT HAVE ALTERNATE LOCATION FOR GARAGE.
NO ALTERNATE LOCATION LARGE ENOUGH WITH TURNING RADIUS
TO ALLOW ENTRANCE AND EXIT
SLOPES ARE TO STEEP

ON PROPOSED DESIGN SITE PLAN SEE NOTES
#17 AREA TOO NARROW, ADJACENT ARES IS STEEP, LANDSCAPED AND DIVIDED BY RETAINING WALLS
#23 STEEP, LANDSCAPED
#22 STEEP AND NOT ACCESSIBLE, CONCRETE DRAINAGE IN PATH
#18 ENTRY RADIUS TO ADU & PARKING
19 STEEP AND DISTANT FROM RESIDENCE
23 LANDSCAPED STEEP BORDER IS RETAINING WALL



WEST & SOUTH



SOUTH & EAST

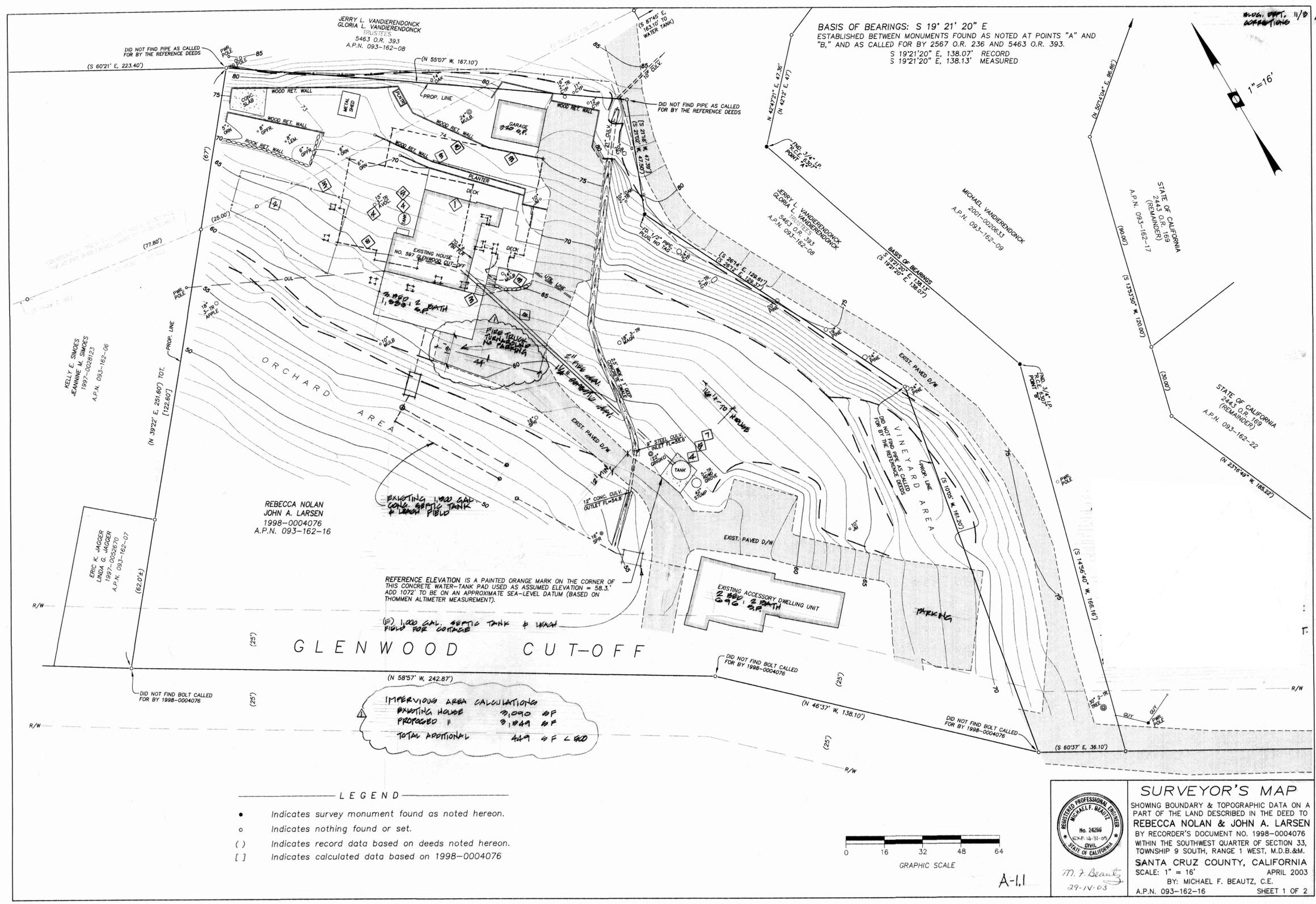
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DELTA	DATE	7/24/2025
1		ZONING SET REVISION R-1

CTB CLIENT:
Rebecca Nolan John Larson
597 Glenwood Cutoff
Scotts Valley, CA 95066
650 465 1100
john-rebecca@comcast.net

SITE ADDRESS:
597 Glenwood Cutoff
APN 093 162 16

Cover Sheet

SHEET A.0.-1 OF 9



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SURVEY

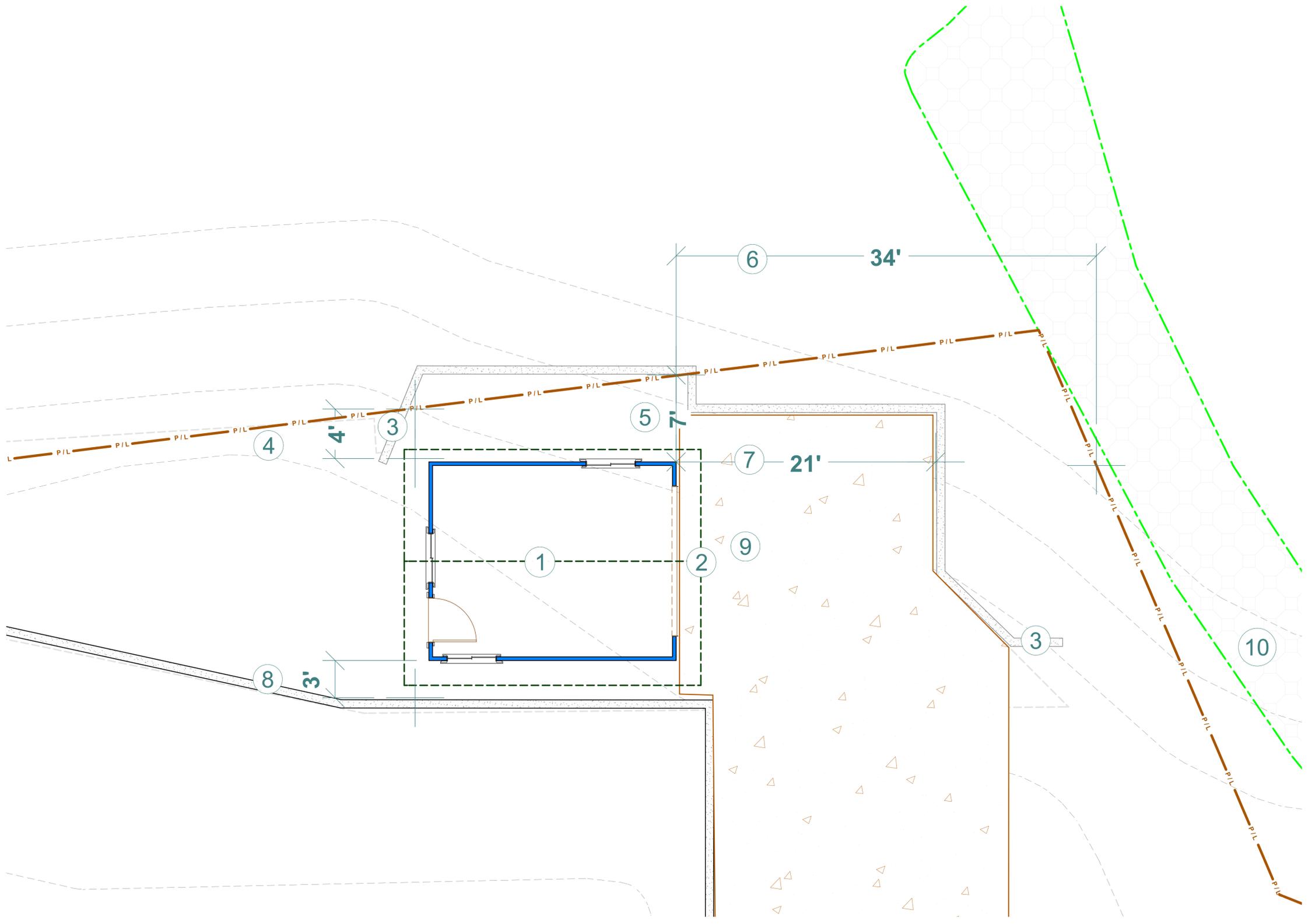
**SHEET
A.1.1
OF
9**

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APN 093 162 16
(E) SITE EXPLODED

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A.2.2
OF
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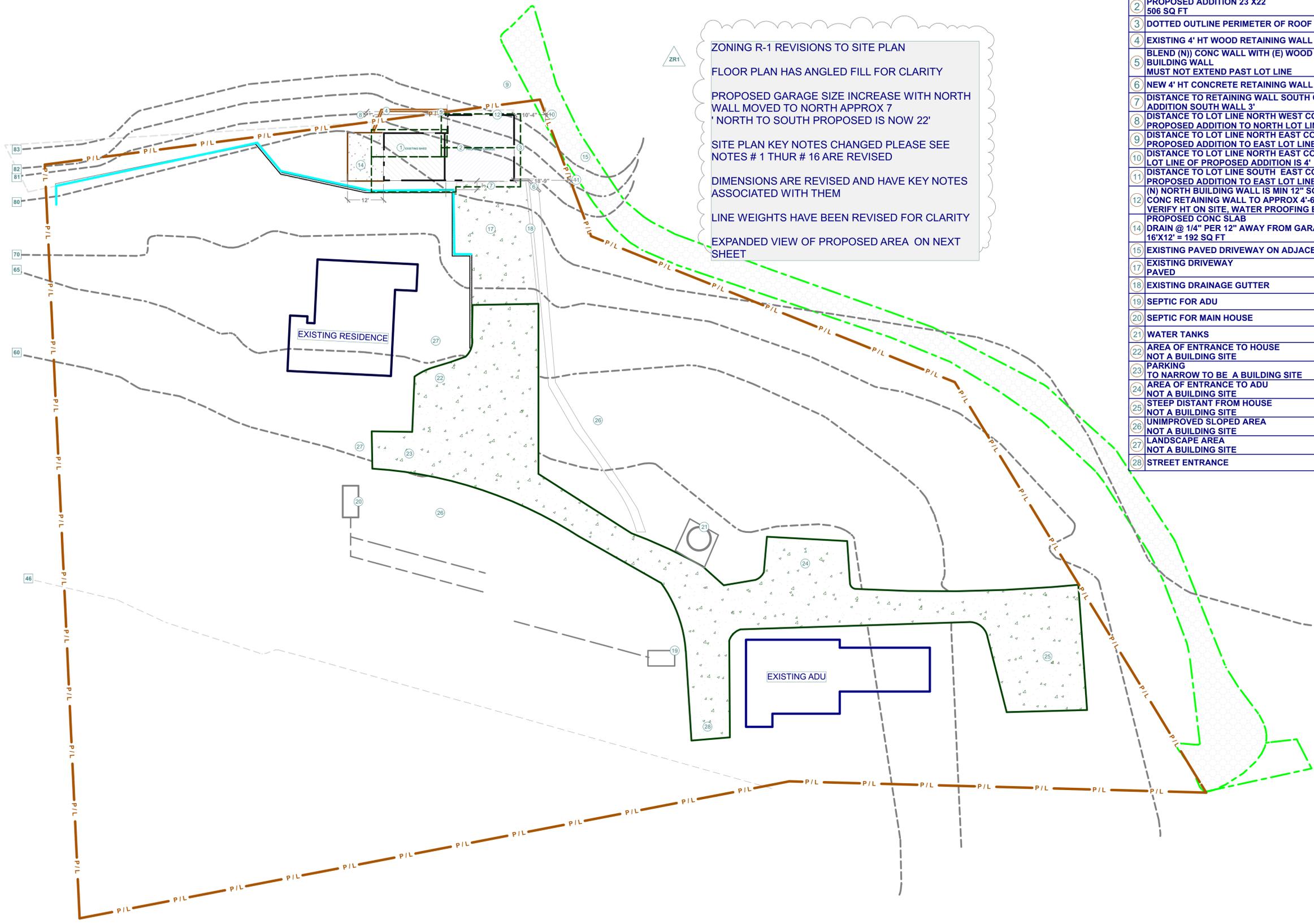


SITE PLAN NOTE SCHEDULE	
1	EXISTING TOOL SHED RIDGE LINE
2	DOTTED OUTLINE IS PERIMETER OF ROOF
3	4' HT WOOD RETAINING WALL
4	DISTANCE TO LOT LINE NORTH WEST CORNER TO NORTH LOT LINE 4'
5	DISTANCE TO LOT LINE NORTH EAST CORNER & INSIDE FACE OF RETAINING WALL TO NORTH LOT LINE 7'
6	DISTANCE TO LOT LINE NORTH EAST CORNER TO EAST LOT LINE 34'
7	DISTANCE TO (E) RETAINING WALL EAST SIDE 21'
8	DISTANCE TO (E) CONC RETAINING WALL SOUTH WEST CORNER 3'
9	EXISTING DRIVEWAY
10	(E) NEIGHBORING DRIVEWAY
11	EXISTING DRIVEWAY ON LOT TO EAST
12	SEPTIC HOUSE
13	SEPTIC ADU
14	WATER TANK
15	ENTRY ON GLENWOOD CUTOFF

EXISTING SITE PLAN EXPANDED VIEW

SCALE: 1/4" = 1'-0"





ZONING R-1 REVISIONS TO SITE PLAN
 FLOOR PLAN HAS ANGLED FILL FOR CLARITY
 PROPOSED GARAGE SIZE INCREASE WITH NORTH WALL MOVED TO NORTH APPROX 7' NORTH TO SOUTH PROPOSED IS NOW 22'
 SITE PLAN KEY NOTES CHANGED PLEASE SEE NOTES # 1 THUR # 16 ARE REVISED
 DIMENSIONS ARE REVISED AND HAVE KEY NOTES ASSOCIATED WITH THEM
 LINE WEIGHTS HAVE BEEN REVISED FOR CLARITY
 EXPANDED VIEW OF PROPOSED AREA ON NEXT SHEET

SITE PLAN NOTE SCHEDULE	
1	EXISTING TOOL SHED 16X20 = 320 SQ FT
2	PROPOSED ADDITION 23 X22 506 SQ FT
3	DOTTED OUTLINE PERIMETER OF ROOF
4	EXISTING 4' HT WOOD RETAINING WALL
5	BLEND (N) CONC WALL WITH (E) WOOD WALL & (N) BUILDING WALL MUST NOT EXTEND PAST LOT LINE
6	NEW 4' HT CONCRETE RETAINING WALL
7	DISTANCE TO RETAINING WALL SOUTH OF PROPOSED ADDITION SOUTH WALL 3'
8	DISTANCE TO LOT LINE NORTH WEST CORNER OF PROPOSED ADDITION TO NORTH LOT LINE IS 1'-0"
9	DISTANCE TO LOT LINE NORTH EAST CORNER OF PROPOSED ADDITION TO EAST LOT LINE IS 10'-4"
10	DISTANCE TO LOT LINE NORTH EAST CORNER TO NORTH LOT LINE OF PROPOSED ADDITION IS 4'
11	DISTANCE TO LOT LINE SOUTH EAST CORNER OF PROPOSED ADDITION TO EAST LOT LINE IS 18'-9"
12	(N) NORTH BUILDING WALL IS MIN 12" SOUTH OF LOT LINE CONC RETAINING WALL TO APPROX 4'-6" ABOVE SLAB, VERIFY HT ON SITE, WATER PROOFING BY OTHERS
14	PROPOSED CONC SLAB DRAIN @ 1/4" PER 12" AWAY FROM GARAGE WALL 16'X12' = 192 SQ FT
15	EXISTING PAVED DRIVEWAY ON ADJACENT LOT
17	EXISTING DRIVEWAY PAVED
18	EXISTING DRAINAGE GUTTER
19	SEPTIC FOR ADU
20	SEPTIC FOR MAIN HOUSE
21	WATER TANKS
22	AREA OF ENTRANCE TO HOUSE NOT A BUILDING SITE
23	PARKING TO NARROW TO BE A BUILDING SITE
24	AREA OF ENTRANCE TO ADU NOT A BUILDING SITE
25	STEEP DISTANT FROM HOUSE NOT A BUILDING SITE
26	UNIMPROVED SLOPED AREA NOT A BUILDING SITE
27	LANDSCAPE AREA NOT A BUILDING SITE
28	STREET ENTRANCE

PROPOSED DESIGN SITE PLAN PLAN

SCALE: 1" = 16'



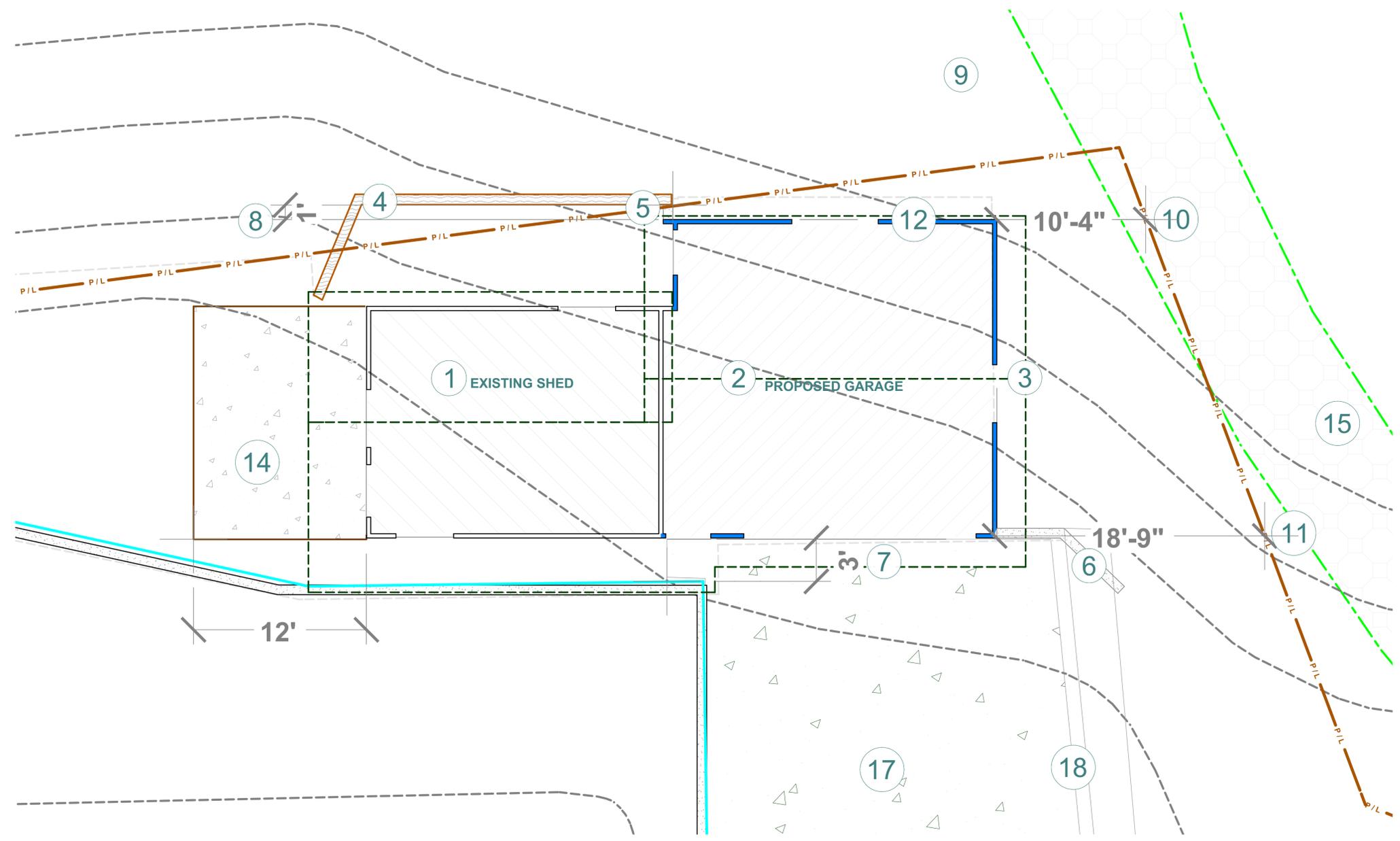
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PROPOSED DESIGN SITE PLAN

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28	STREET ENTRANCE

PROPOSED SITE PLAN EXPANDED VIEW

SCALE: 1/4" = 1'-0"



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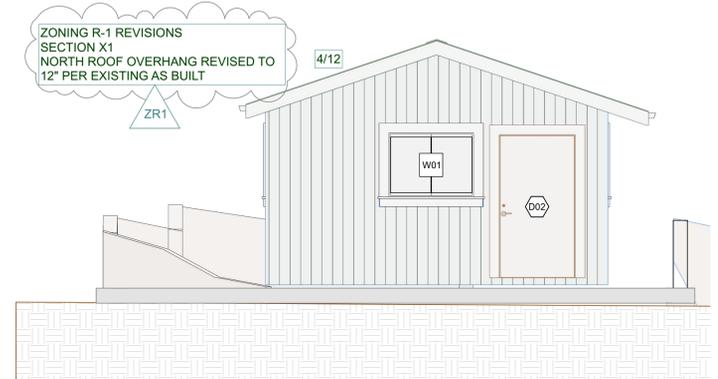
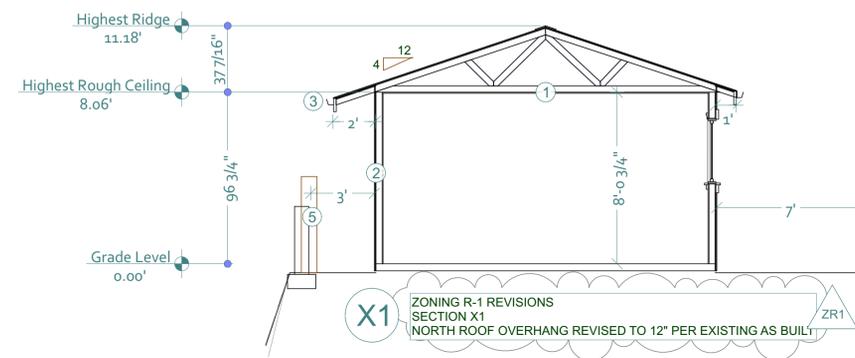
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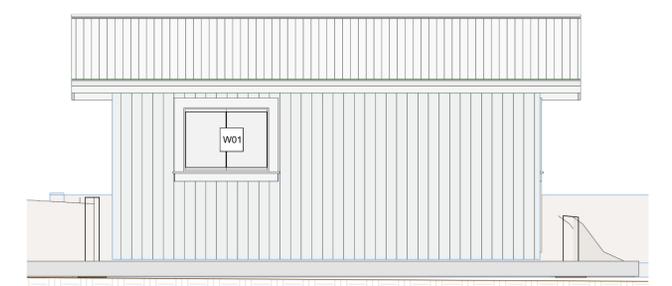
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EXISTING PLANS & ELEVATIONS

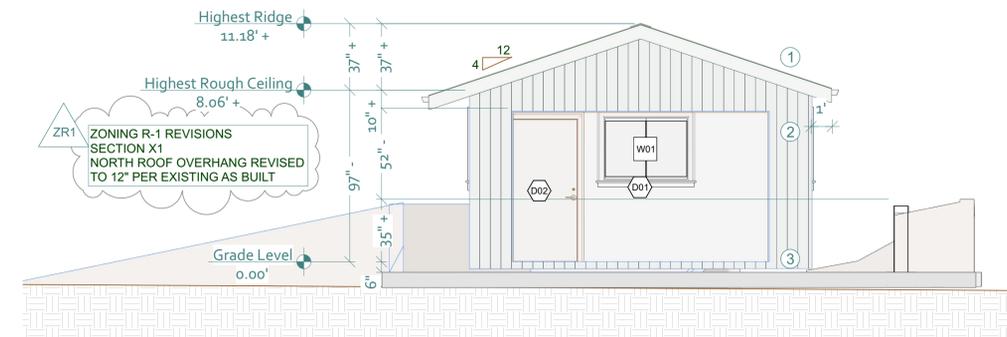
SECTION	NOTE	SCHEDULE	EXISTING SHED
1	COMP ROOFING TRUSS ROOF STRUCTURE SITE BUILT 2X6 TOP CORD 2X4 BTM CORD 4/12 SLOPE 24" OH TYP		
2	2X4 16"OC TYP STUDS DBL TOP PLATE 2X4 RDW BTM PLATE 1/2" AB 48" OC SLAB ON GRADE NO INSULATION		
3	2X6 FASCIA OGEE GUTTER TYP DBL TO SPLASH BLOCKS TYP		
4	WOOD RETAINING WALL 7' FROM GARAGE WALL EFER TO SITE PLAN		
5	36 HT RETAINING WALL 36" FROM GARAGE WALL REFER TO SITE PLAN		



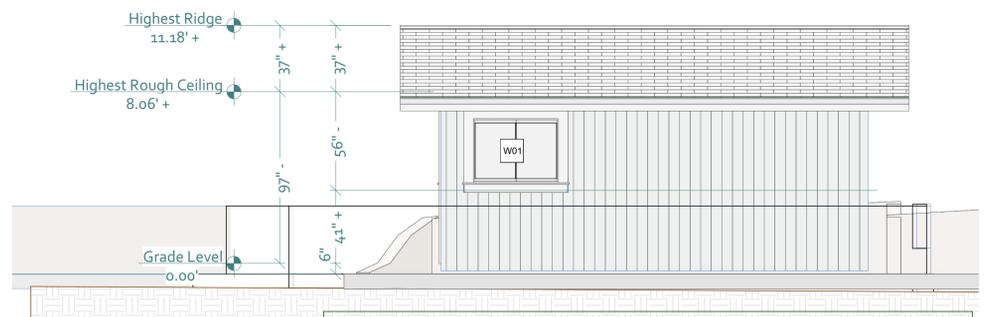
EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



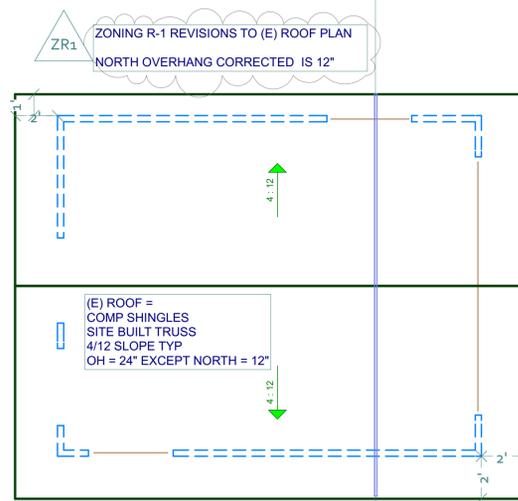
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



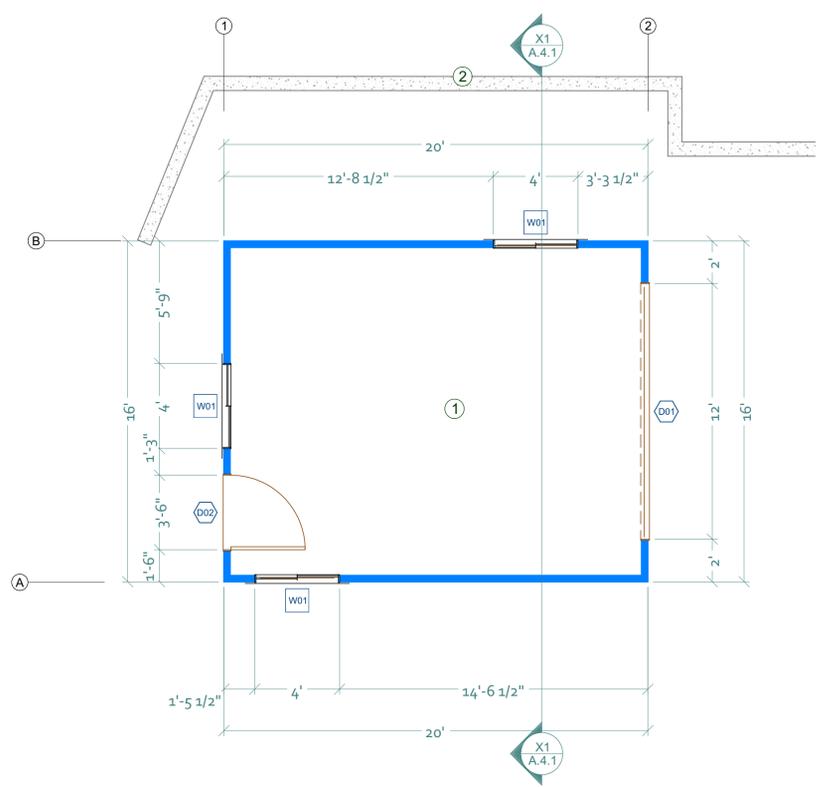
EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN NOTE SCHEDULE
1 EXISTING WOOD FRAME TOOL SHED 10x20 320 SQ. FT TYP 2X4 STUDS, 5/8" PLY SIDING, TRUSS ROOF, COMP ROOFING
2 EXISTING RETAINING WALL REFER TO SITE PLAN

DOOR SCHEDULE EXISTING TOOL SHED						
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	COMMENTS
D01	1	144"	84"	DOORWAY		
D02	1	42"	80"	EXT. HINGED SLAB	1 3/4"	

EXISTING TOOL SHED WINDOW SCHEDULE					
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	3	48"	36"	RIGHT SLIDING SINGLE PANE ALUMINUM FRAME	

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



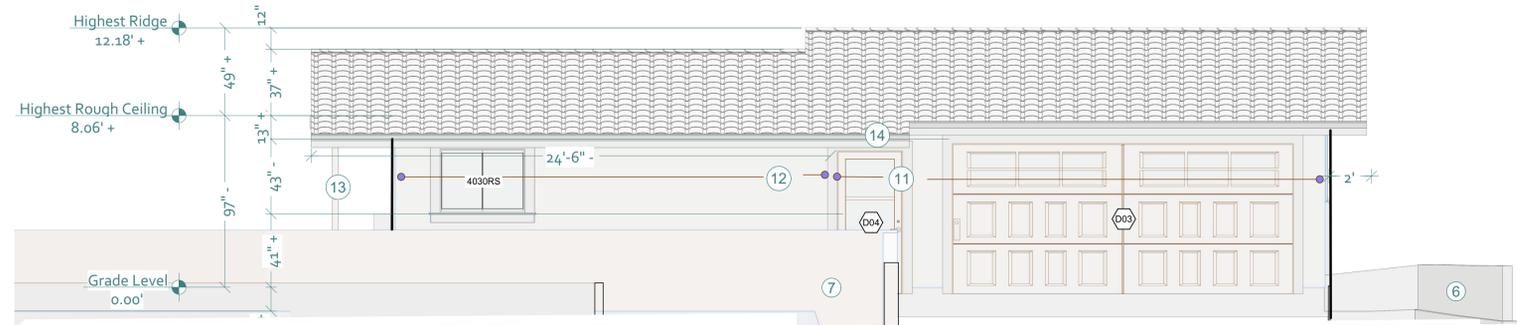
ELEVATION NOTE SCHEDULE
1 ROOF COMP ROOFING 2X6 TOP CORD TRUSS 2X6 FASCIA
2 SIDING 5/8" DF PLY
3 FOUNDATIONS SLAB ON GRADE

ADDITION DOOR SCHEDULE				
#	QTY	WIDTH	HEIGHT	COMMENTS
D03	1	192"	84"	STYLE PER OWNER MUST BE 20 MIN FIRE DOOR
D04	2	36"	80"	STYLE PER OWNER MUST BE 20 MIN FIRE DOOR

ADDITION WINDOW SCHEDULE					
#	QTY	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	1	48"	34"	RIGHT SLIDING	TYP MILGUARD TUSCONY OR EQUI, WHITE VINYL SHASH, DUAL PANE, LOWE GLAZING REQ ONE PANE TEMPERED
W02	1	72"	24"	RIGHT SLIDING	TYP MILGUARD TUSCONY OR EQUI, WHITE VINYL SHASH, DUAL PANE, LOWE GLAZING REQ ONE PANE TEMPERED

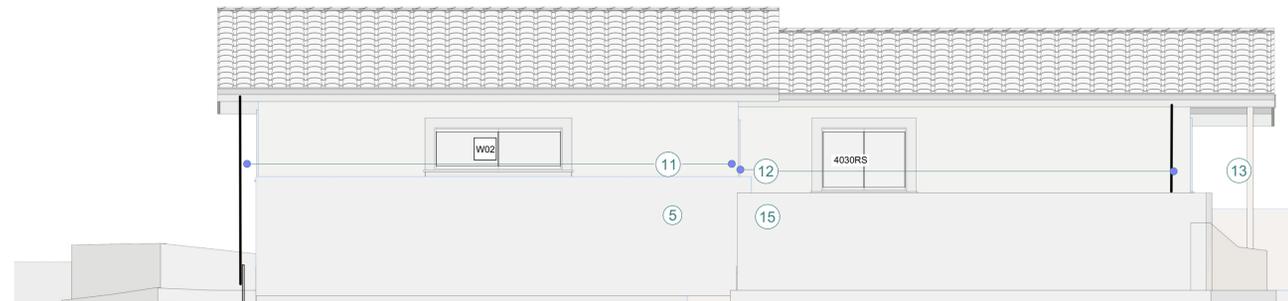
FLOOR PLAN PROPOSED NOTE SCHEDULE	
①	WALL LEGEND EXISTING WALL NO FILL PROPOSED WALLS SOLID FILL
②	AREA OF EXISTING SHED 16'X20' = 320 SQ FT
③	AREA OF ADDITION 22X23' = 506 SQ FT
⑤	PROPOSED RETAINING WALL REFER TO SITE PLAN
⑥	PROPOSED EAST WALL CONC RETAINING WITH WOOD FRAME ABOVE
⑧	TOP OF CONC WALL APPROX 4'-0" ABOVE SLAB VERIFY HT AND WINDOW SIZE ON SITE WATERPROOFING BY OTHERS WINDOW TO BE ABOVE CONC.
⑦	EXISTING RETAINING WALL TO REMAIN IN PLACE REFER TO SITE PLAN
⑧	PROPOSED RETAINING WALL JOG TO MEET NORTH BUILDING WALL CAN NOT EXTEND PAST LOT LINE REFER TO SITE PLAN
⑨	PROPOSED NORTH WALL CONC RETAINING WITH WOOD FRAME ABOVE, VERIFY CONC WALL HT AND WINDOW SIZE ON SITE WATER PROOFING BY OTHERS WINDOW TO BE ABOVE CONC.

PROPOSED ELEVATION NOTE SCHEDULE	
①	ROOF CLASS A COMP ROOFING 2X6 TOP CORD TRUSS 2X6 FASCIA
②	PROPOSED WOOD FRAME FOUNDATION & FLOOR SLAB ON GRADE
③	3X4 PTDF MUDSILL 2X4 STUDS 16" OC 5/8" PLYWD SIDING
④	EAST RETAINING WALL OF GARAGE WITH WOOD FRAME WALL ABOVE WINDOW TO BE ABOVE CONC. VERIFY CONC WALL HT AND WINDOW SIZE ON SITE WATER PROOFING BY OTHERS
④	NORTH FASCIA 3" TO WALL LINE
⑤	NORTH BUILDING WALL IS CONC RETAINING WALL TOW = SLAB HT + 60" APPROX. VERIFY ON SITE WOOD FRAME ABOVE WINDOW PLACED ABOVE CONC VERIFY WIDOW SIZE ON SITE FOUNDATION WATER PROOFING BY OTHERS.
⑥	PROPOSED RETAINING WALL
⑦	EXIST RETAINING WALL SOUTH OF BUILDING TO REMAIN IN PLACE AS BUILT
⑧	OGEE GUTTER TO D/S @ GRADE W/ SPLASH BLOCKS TYP
⑨	OH AT EXISTING SOUTH WALL = 3'-9" OH AT PROPOSED SOUTH WALL = 24"
⑪	PROPOSED GARAGE ADDITION WALL
⑫	EXISTING TOOL SHED WALL
⑬	POST & BEAM SUPPORTING EXTENDED OVERHANG
⑭	OVERHANG EXTENDS EAST TO COVER ENTRY
⑮	EXIST RETAINING WALL NORTH OF (E)BUILDING WALL TO REMAIN IN PLACE



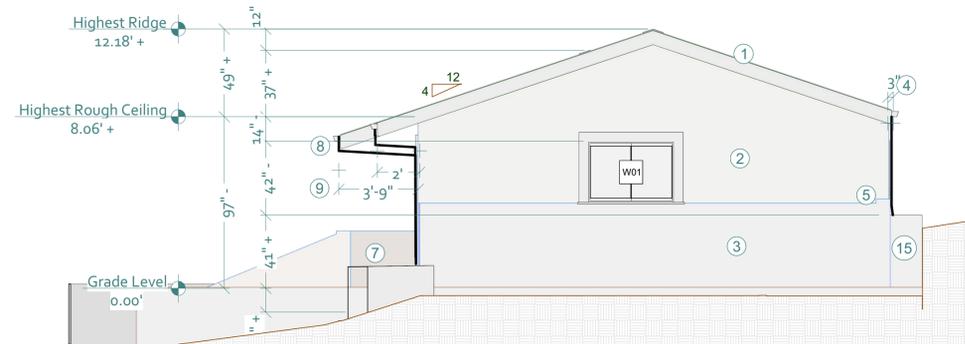
PROPOSED SOUTH ELEVATION

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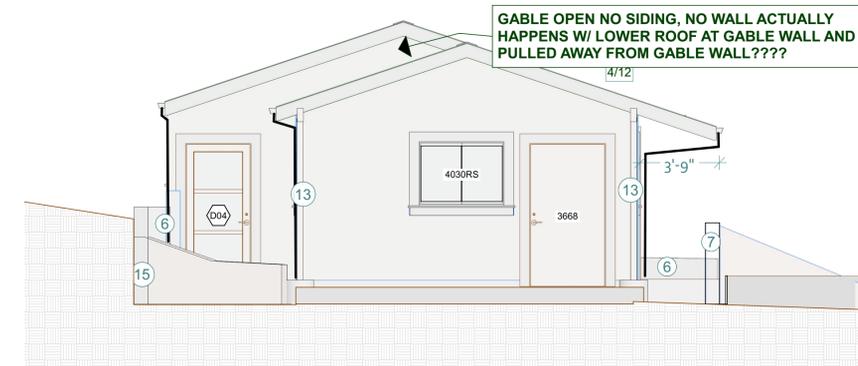
PROPOSED NORTH ELEVATION

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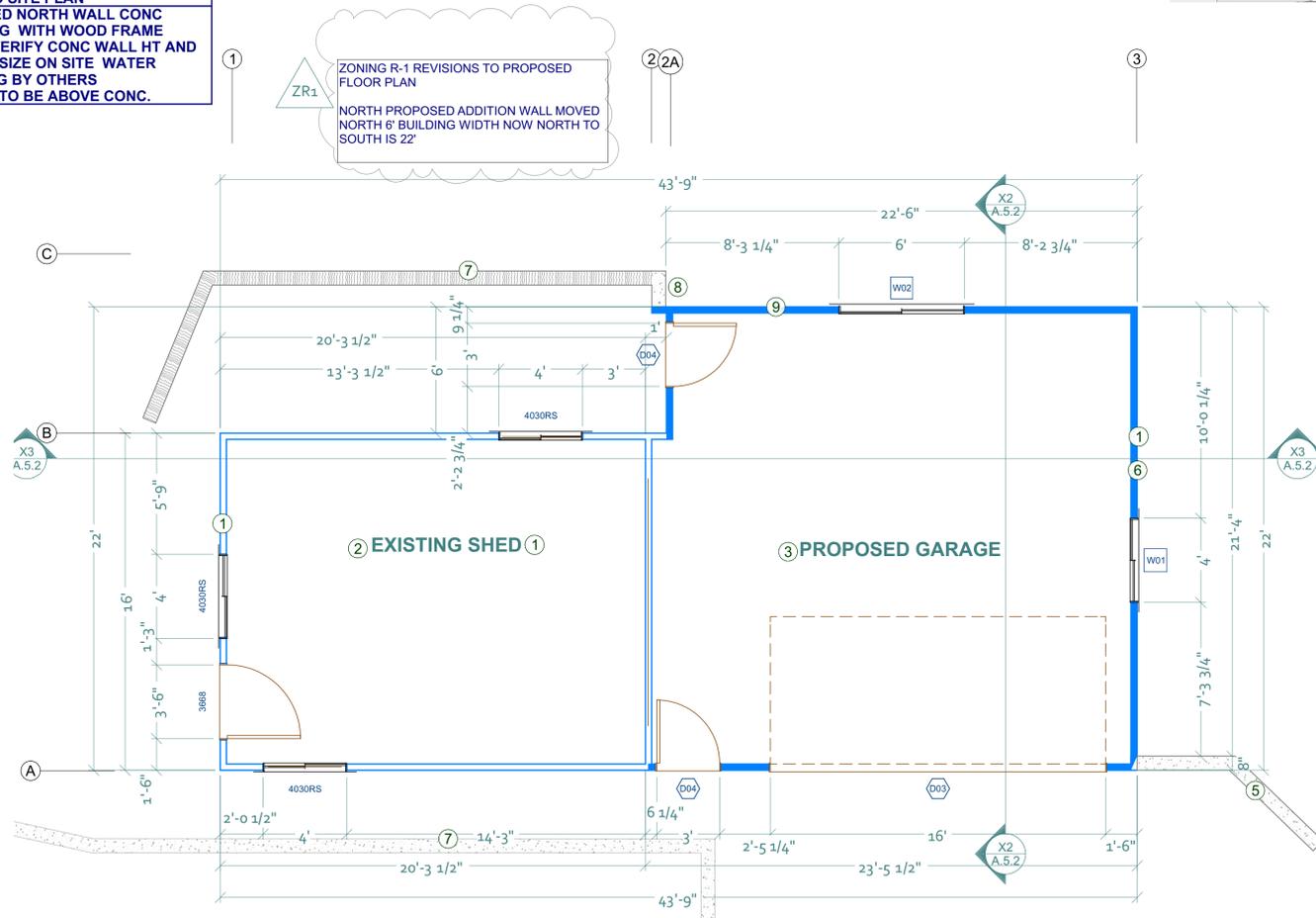
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

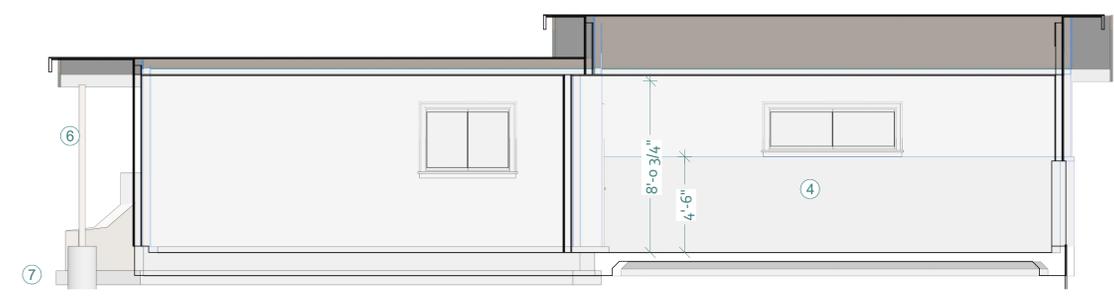


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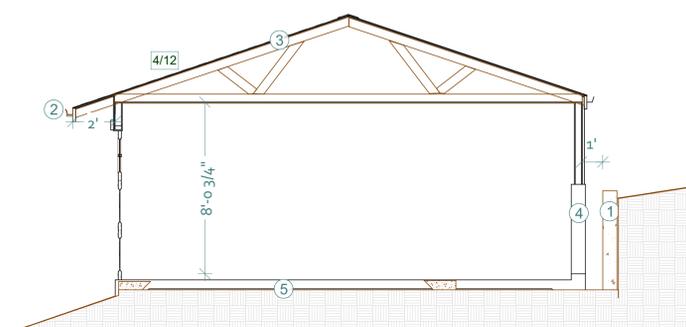
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PROPOSED PLANS & ELEVATIONS



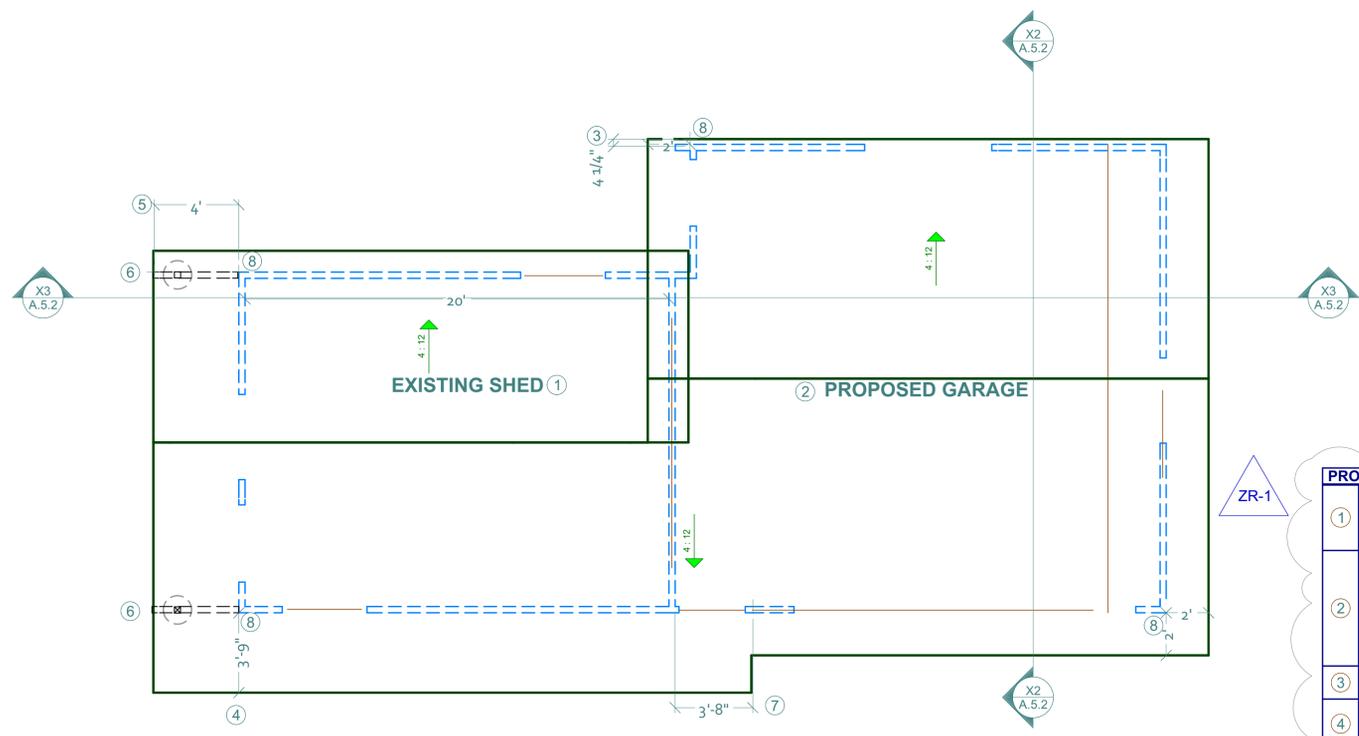
PROPOSED X3 SECTION
SCALE: 1/4" = 1'-0"



PROPOSED X2 SECTION
SCALE: 1/4" = 1'-0"

ZR-1

NO.	PROPOSED SECTION PLAN NOTE SCHEDULE
1	PROPOSED RETAINING WALL BLEND INTO (E) WOOD RETAINING WALL AT INTERSECTION WITH LOT LINE AND (E) WOOD RETAINING WALL
2	PROVIDE OGEE GUTTERS W/ 3" ROUND DOWNSPOUT TO SPLASH GUARD ON GRADE PROVIDE GUTTER SCREE" GUTTER GUARD" TYP.
3	PROPOSED TRUSS ROOF 2X6 TOP CORD 2X4 BTM CORD FLAT CEILING AT 96 3/4"
4	PROPOSED NORTH WALL OF ADDITION CONC RETAILING WALL APPROX 4'-6" ABOVE SLAB, VERIFY ON SITE WATER PROOFING BY OTHERS VERIFY WINDOW SIX-ZE ON SITE, WINDOW PLACED ABOVE CONC
5	PROPOSED SLAB ON GRADE FOUNDATION
6	EXTEND OH 4' TO WEST SUPPORT W/ 4X BEAM & 4X POST TO FOOTING
7	EXTEND NEW CONC SLAB ON GRADE WIDTH OF BUILDING AND 12' TO WEST WEST END OF SLAB NOT SHOWN THIS DRAWING SEE SITE PLAN EXPLODED



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

ZR-1

NO.	PROPOSED ROOF PLAN NOTE SCHEDULE
1	PROPOSED DEMO (E) REPLACE W/ (N) TRUSS ROOF SYSTEM NOTE OH LENGTH VARIES
2	ALL ROOFING MATERIAL TO BE APPROVED ROOF MEMBRANE OVER 5/8" 5 PLYWD ROOF SHEETING WITH CLASS A COMPOSITION ASPHALT SHINGLES COLOR SIMILAR TO SPANISH TILE TYP
3	PROPOSED FASCIA IS 3" FROM BUILDING WALL
4	PROPOSED EXTEND - CANTILEVER TOP CORD 3'-9"
5	PROPOSED EXTEND OVERHANG 4'
6	PROPOSED PROVIDE BEAM AT PLATE HT & POST W/ FOOTING TO SUPPORT BEAM
7	PROPOSED EXTEND OVERHANG TO SHELTER ENTRANCE
8	LOCATION OF GUTTER DOWNSPOUT W/ SPLASH GUARD AT GRADE TYP

SHERWIN-WILLIAMS
COLORSNAP

COLOR #	COLOR NAME	LOCATOR #	RED	GREEN	BLUE	HEX	COLOR
SW0010	Wickerwork	N/A	193	158	128	C19E80	STUCCO SIDING
SW6006	Black Bean	252-C2	64	51	48	403330	EXT TRIM

SW-ColorSnap-Color-Swatches-for-SW-Site-locator-031319, Page 2

ROOF AND SIDING MATERIAL & COLOR

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PROPOSED ROOF PLAN & BUILDING SECTION

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9**

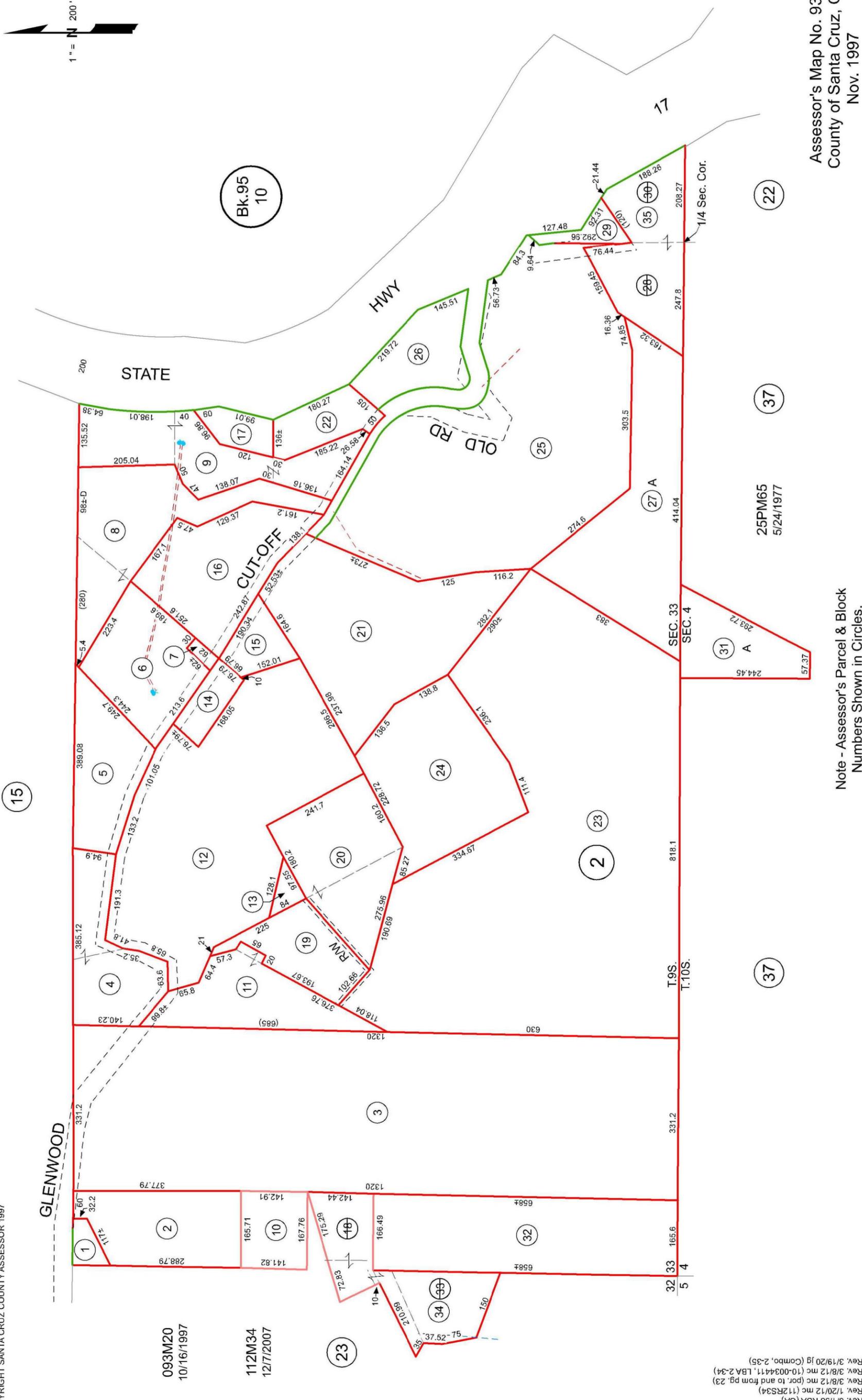
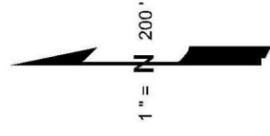
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POR. S.W. 1/4 SEC. 33, T.9S., R.1W., M.D.B. & M.

Tax Area Code
94-066

93-16



093M20
10/16/1997

112M34
12/7/2007

Bk.95
10

Electronically Redrawn 11/18/97 rw
Rev. 11/18/97 (93RS20) rw
Rev. 6/1/98 KSA (CA)
Rev. 1/20/12 mc (112RS34)
Rev. 3/8/12 mc (por. to and from pg. 23)
Rev. 3/8/12 mc (10-0034411, LBA 2-34)
Rev. 3/19/20 Jg (Combo, 2-35)

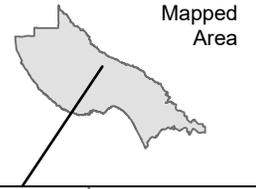
Note - Assessor's Parcel & Block
Numbers Shown in Circles.

25PM65
5/24/1977

Assessor's Map No. 93-16
County of Santa Cruz, Calif.
Nov. 1997

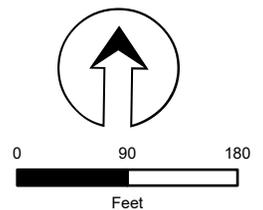


Parcel Location Map



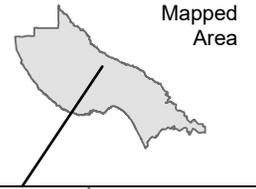
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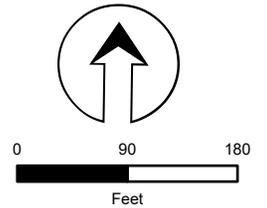




Parcel General Plan Map

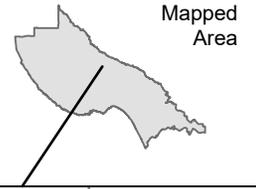


 Subject Parcel

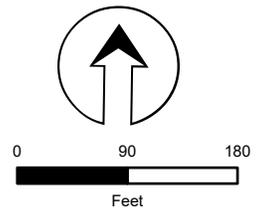




Parcel Zoning Map



 Subject Parcel



Parcel Information

Services Information

Urban/Rural Services Line: ___ Inside X Outside
Water Supply: Well
Sewage Disposal: Septic
Fire District: Scotts Valley Fire Protection District
Drainage District: N/A

Parcel Information

Parcel Size: 1.57 acres
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Glenwood Cutoff
Planning Area: Skyline
Land Use Designation: R-R (Rural Residential)
Zone District: RA (Residential Agricultural)
Coastal Zone: ___ Inside X Outside
Appealable to Calif. Coastal
Comm. ___ Yes X No

Technical Reviews: None

Environmental Information

Geologic Hazards: Not mapped
Fire Hazard: Not a mapped constraint
Slopes: 0 to 30%; greater than 50%
Env. Sen. Habitat: Not mapped
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped