



Staff Report to the Zoning Administrator

Application Number: **251315**

Applicant: Nicholas Butler
Owner: Arch / Davidson / Paradise Park Masonic Club
APN: 061-261-20
Site Address: 651 St. Augustine Avenue, Paradise Park

Agenda Date: 01/30/2026
Agenda Item #: 1
Time: After 9:00 a.m.

Project Description: The proposal is to replace the failing foundation of existing nonconforming 834 square foot 2-bedroom and 1-bathroom single-family residence and raise the height of the house from 13 feet 11 inches to approximately 15 feet 6 inches.

Location: The property is located at 651 Saint Augustine Avenue, approximately 550 feet west from the intersection of St. Augustine Avenue and Ocean Street Extension, within the Paradise Park special subdivision.

Permits Required: A Variance to increase the height of a nonconforming structure within the front and rear yard setbacks.

Supervisory District: 5th District (District Supervisor: Monica Martinez)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251315, based on the attached findings and conditions.

Project Description & Setting

The project site is within the Paradise Park subdivision, a historic single-family neighborhood at the base of the Santa Cruz Mountains and north of the City of Santa Cruz. This densely wooded area is adjacent to the San Lorenzo River and prone to flooding events. Additionally, the subject home sits directly above Eagle Creek and is mapped within the regulatory floodway, subject to FEMA Insurance requirements.

The project intends to preserve the existing home by lifting it and replacing the failing foundation with a taller foundation built to current building codes. Due to the required separation of grade to wood to prevent rot/decay and insect damage, the house will need to be raised approximately 12 to 18 inches from its current level. An existing deck extends an additional 4 feet 10 inches (total of 8 feet 2 inches) into the rear yard setback and will remain as is. The proposal includes elevating the dining room to match the floor level and roofline to that of rest of the home. Outdoor steps from the dining room to the existing deck will bridge the difference in height. The existing peak

height is 14 feet from existing grade level, and the proposed peak height will be 15 feet 6 inches, approximately two and a half feet under the maximum average building height of 18 feet, allowed by the Paradise Park subdivision standards. Because the existing house encroaches into the rear and front yard setbacks, a Variance is required to increase the height of the nonconforming walls located within the setbacks.

Project Background

Paradise Park is a historic area, developed with small single-family homes (many originally built as vacation cabins) on land owned and managed by the Paradise Park Masonic Club. Properties are described as allotments or allocations of land (instead of parcels), with individual homes owned by Masonic Club members. A Planned Unit Development Permit (PUD 74-783-PUD) issued in 1975, capped the number of single-family dwellings at 393 units, with Conditions of Approval requiring the unique development standards as listed in the table below.

Zoning & General Plan Consistency

The subject property is a 5,880 square foot allocation, located on a parcel that has a split zoning of R-1-6 and SU-L (Single-Family Residential and Special Use with Historic Landmark Overlay) zone districts, designations that allow residential uses. The proposed single family dwelling is a principal permitted use within the zone districts and the zoning is consistent with the site's R-UL and O-R (Urban Low Density Residential; Parks, Recreation and Open Space) General Plan designations. The split Zoning and General Plan designations occurred when a 2,608 square foot portion of the common area parcel (currently APN 061-261-12) was added to the adjacent allotment where the existing dwelling is located, to result in the current configuration. No construction or demolition is proposed on this portion of the property.

The existing residence, likely built in the 1930's, was lawfully erected prior to the adoption of Zoning standards and predates the requirement for building permits, but does not conform to the current zoning standards in that it encroaches into both the front and rear yard 10-foot setbacks (SCCC 13.10.323(C)). Pursuant to SCCC 13.10.262(A)(2), nonconforming additions are not permitted unless a variance or minor exception is granted in accordance with SCCC 13.10.230 or 13.10.235 to recognize the increase in the nonconforming dimensions. The proposed modification exceeds the limits for a minor exception and therefore must be processed as a variance. The modification worksheet (Exhibit G) that was submitted in support of the project shows a 40% alteration of the entire structure, which does not meet the threshold of "reconstruction" (defined as modification of 65% or more of the major structural components), pursuant to the definition found in 13.10.260(B).

The subject site, like much of Paradise Park, is located within a FEMA designated floodway, defined in SCCC 16.10.040, as the channel of a river or other watercourse and the adjacent land area that must be reserved in order to carry and discharge the 100-year flood without cumulatively increasing the water surface elevation more than one foot at any point. The proposed elevation of the residence improves the resilience of the existing home to potential future flood events. The project does not propose reconstruction or improvement of the existing structure greater than 50 percent of the structure's fair market value (Exhibit G), and therefore does not meet the definition of substantial improvement in SCCC 16.13.160. Additionally, the project will not increase the existing home's footprint within the floodway.

Paradise Park Development Standards	Requirement	Existing	Proposed
Maximum average building height	18'	13' 11"	15' 6"
Maximum number of stories	2	1	1
Minimum separation between structures	6'	N/A	N/A
Maximum parcel coverage ("lot coverage")	45%	18%	18%
Front yard setback	10'	7'	7'
Side yard setbacks	5'	7' and 69' 6"	7' and 69' 6"
Rear yard setback	10'	7.5'	7.5'

Project Analysis

The subject property exhibits special circumstances that distinguish it from other properties in the same zoning district. The existing residence is legally nonconforming with respect to required setbacks, having been constructed prior to the adoption of current zoning standards. The structure is currently experiencing foundation failure that necessitates repair in order to maintain its structural integrity and habitability. Repair of the foundation requires compliance with current building and safety codes, which mandate increased separation between finished grade and wood framing to meet modern moisture protection and termite resistance standards. Compliance with these requirements necessitates a modest increase in the plate-height of the structure.

The requested increase in plate height, approximately 12 to 18 inches, is the minimum necessary to achieve compliance with current building code requirements and does not alter the established character of the surrounding neighborhood. No adverse impacts to adjacent properties, public health, safety, or welfare are anticipated as a result of the variance. The proposal does not increase the footprint of the home and maximum height of the proposed structure, after it has been elevated will be 15 feet 6 inches, which is still less than the maximum average building height of 18 feet allowed in Paradise Park and therefore will not impact the public or private viewshed or cast significantly greater shadows on the neighboring parcels.

Approval of the variance will not grant a special privilege inconsistent with limitations placed on other properties in the vicinity. Similar properties in the neighborhood are either built within required setbacks due to historical development patterns or have received comparable or greater variances to address foundation repairs in compliance with Building Code or to elevate structures above the base flood elevation.

The need for the variance arises from deterioration of the existing foundation and the application of modern building code requirements, rather than from any voluntary expansion, intensification, or modification of the structure by the property owner.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251315**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Modification Worksheet
- H. Paradise Park Masonic Club Approval

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251315
Assessor Parcel Number: 061-261-20
Project Location: 651 St. Augustine Avenue, Paradise Park

Project Description: Proposal to replace failing foundation of existing nonconforming single-family residence and raise the height of the house one and a half feet

Person or Agency Proposing Project: Nicholas Butler

Contact Phone Number: 831-246-3093

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301)

F. Reasons why the project is exempt:

Repair, which does not affect the intensity of use, to an existing single-family residence in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.



Rebecca Rockom, Project Planner

Date: _____

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed repair of the single family dwelling and the conditions under which it would be operated or maintained will be in substantial conformance with all pertinent County ordinances and the purpose of the R-1-6; SU-L (Single-Family Residential; Special Use) zone district as the primary use of the property will continue to be one single family dwelling that other than encroaching into the setbacks, meets the current site standards for the zone district.

The existing residence, likely built in the 1930's, was lawfully erected prior to the adoption of Zoning standards and predates the requirement for building permits, but does not conform to the current R-1-6 zoning standards for 10-foot front and rear yard setbacks (SCCC 13.10.323(C)). Pursuant to SCCC 13.10.262(A)(2), nonconforming additions are not permitted unless a variance or minor exception is granted in accordance with SCCC 13.10.230 or 13.10.235. The proposed modification exceeds the limits for a minor exception and therefore must be processed as a variance. The variance to allow for an increase in height of between 1 foot and 1 foot 6 inches within the front and rear setbacks is considered appropriate in that the need for the variance arises from deterioration of the existing foundation and the application of modern building code requirements, rather than from any voluntary expansion, intensification, or modification of the structure. A complete list of variance findings is included with this report.

The modification worksheet shows a 40% alteration of the structure, which does not meet the threshold of "reconstruction" (modification of 65% or more of the major structural components), pursuant to the definition found in SCCC 13.10.260(B), or the greater than 50% threshold of "substantial improvement" as defined in SCCC 16.13.160.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL; O-R (Urban Low Density Residential; Parks, Recreation and Open Space) land use designation in the County General Plan.

An objective of the General Plan (BE-4.4) is to provide for the safe and sustainable reuse of existing resources, even development now considered nonconforming. General Plan Policy BE-4.4.1 encourages the maintenance and improvement of legal nonconforming structures, and specifically allows additions and renovations, with variable permit requirements depending upon whether the owner does or does not propose to increase the degree of structural nonconformity.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling will not add any additional residential units on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase and therefore will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the modified single family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The project will not increase the existing footprint of the home, nor add any bedrooms and therefore will not intensify the existing residential use.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding is not required, in that the project site is not located within the coastal zone.

Variance Findings

The following findings shall be made prior to granting a variance approval in addition to the findings required for the issuance of a development permit pursuant to Chapter 18.10 SCCC:

- a) That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification;

This finding can be made in that the subject property exhibits special circumstances that distinguish it from other properties in the same zoning district. The existing residence is legally nonconforming with respect to required setbacks, having been constructed prior to the adoption of current zoning standards. The structure is currently experiencing foundation failure that necessitates repair in order to maintain structural integrity and habitability.

Repair of the foundation requires compliance with current building and safety codes, which mandate increased separation between finished grade and wood framing to meet modern moisture protection and termite resistance standards. Compliance with these requirements necessitates a modest increase in the structure's plate height.

Strict application of setback requirements would deprive the property owner of reasonable use of the property. Without approval of the requested variance, the applicant would be unable to legally repair the existing foundation in a manner that complies with current building code requirements. Denial of the variance would effectively prevent necessary structural repairs and jeopardize the continued residential use of the property.

The relocation of the residence to comply with current setbacks is not a feasible alternative due to site constraints including lot dimensions, topography, and location of mature redwoods. As a result, the variance is necessary to allow continued reasonable residential use of the property.

- b) That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity; and

This finding can be made in that the proposed variance is consistent with the intent of the zoning ordinance. The project does not propose an expansion of the building footprint, an increase in floor area, or a change in use. The residence will remain a single-family residential use consistent with the zoning designation.

The requested increase in plate height, approximately 12 to 18 inches, is the minimum necessary to achieve compliance with current building code requirements and does not alter the established character of the surrounding neighborhood. The proposal does not increase the footprint of the home and the final peak height of the proposed elevation, at 15 feet 6 inches, is still less than the maximum average building height of 18 feet and therefore will not impact the public or private viewshed or cast significantly greater shadows on the neighboring parcels. No adverse impacts to adjacent properties, public health, safety, or welfare are anticipated as a result of the variance.

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- c) That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made in that the approval of the variance will not grant a special privilege inconsistent with limitations placed on other properties in the vicinity. Similar properties in the neighborhood are either built within required setbacks due to historical development patterns or have received comparable variances to address foundational repairs or flood-related issues.

The hardship necessitating the variance is not self-imposed. The need for the variance arises from deterioration of the existing foundation and the application of modern building code requirements, rather than from any voluntary expansion, intensification, or modification of the structure by the property owner.

Conditions of Approval

Exhibit D: Project plans, prepared by Nicholas Butler, dated 10/01/2025.

- I. This permit authorizes the foundation repair of a single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Details showing compliance with fire department requirements.
 - B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements of the Environmental Planning section of Santa Cruz County

Planning.

- D. Meet all requirements and pay any applicable plan check fee of the CSA 48 Santa Cruz County Fire Protection District.
 - E. Continue to provide required off-street parking for 2 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful

misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Application #: 251315
APN: 061-261-20
Owner: Arch / Davidson / Paradise Park Masonic Club

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

SHEET INDEX

Sht	Description
D0.0	COVER SHEET; PROJECT DATA, VICINITY MAP AND SITE PLANS
D0.1	FEMA FLOODWAY MAP
D1.0	FLOOR PLANS
D1.1	ROOF PLANS
D2.0	EXISTING EXTERIOR ELEVATIONS
D2.1	PROPOSED EXTERIOR ELEVATIONS

SYMBOL LEGEND

DOOR	#	REVISION CLOUD	☁
WINDOW	#	EQUIP	007
INTERIOR ELEVATION	2	TILE	00A
REVISION NUMBER	1	NORTH ARROW	N
EXTERIOR ELEVATION	1	TEMPERED GLASS	T
DETAIL	1		

PROJECT DESCRIPTION

SCOPE: FOUNDATION REPLACEMENT
 SITE ADDRESS: 651 ST. AUGUSTINE AVE., SANTA CRUZ, CA 95060
 APN: 061-26-120
 ZONING: R-1-6
 LOT: 5,881 SF
 EXISTING MAIN SFR: 834 SF
 EXISTING SHED: 33 SF
 EXISTING FRONT PORCH: 106 SF
 EXISTING BACK DECK: 66 SF
 ADDITION SF: 0 SF NO SQUARE FOOTAGE ADDED OR REMOVED

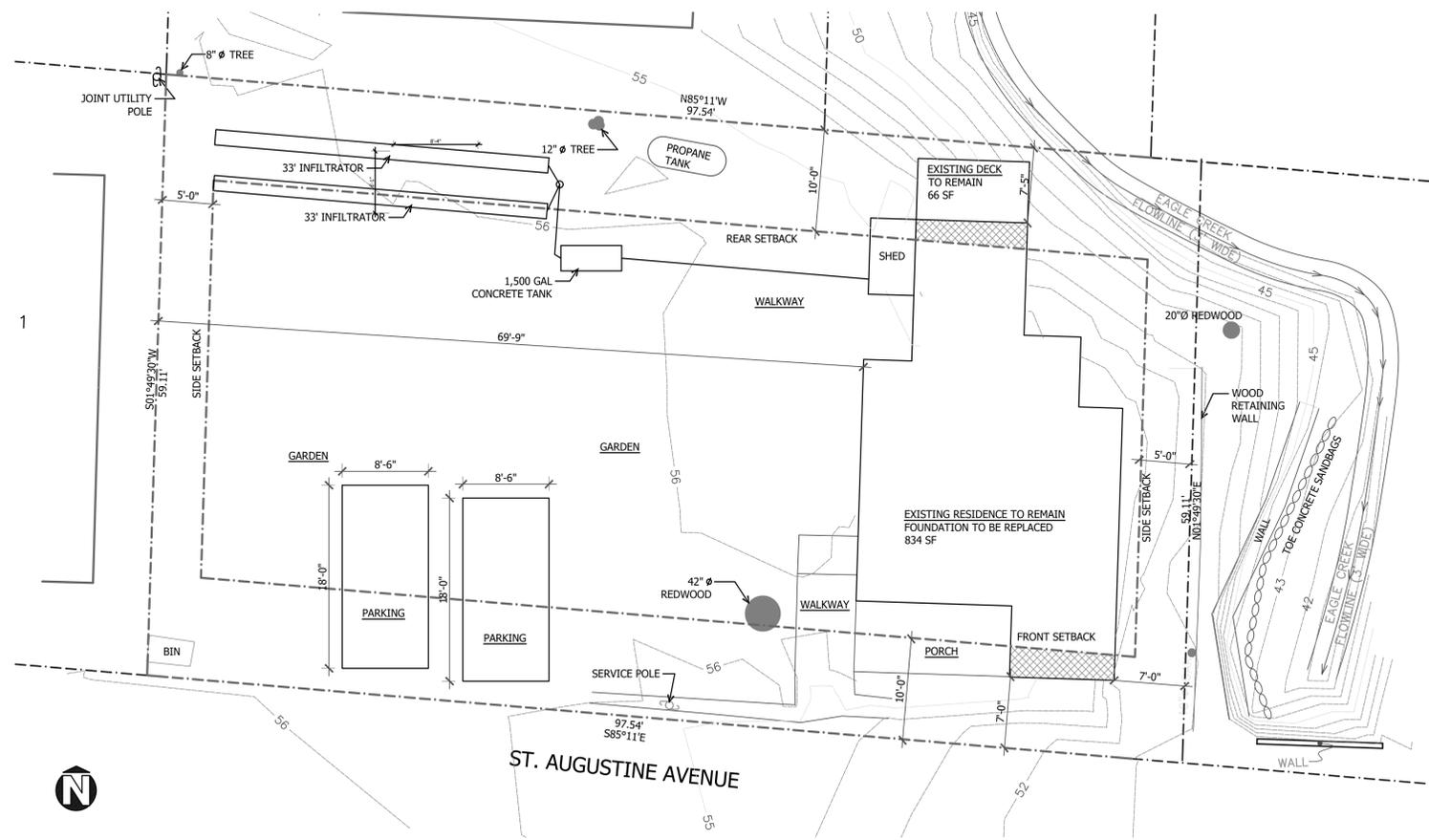
CONTACT INFORMATION

OWNER: ANTHONY & GENEVIEVE ARCH
 CALL: (415) 264-0329
 EMAIL: TONYARCH13@GMAIL.COM
 DRAFTING: GREENSIDE DRAFTING
 NICHOLAS BUTLER
 5523 SCOTT'S VALLEY DR, SUITE 108
 SCOTT'S VALLEY, CA 95066
 CALL: (831) 246-3093
 EMAIL: greensidedrafting@gmail.com

PROJECT SITE: 651 ST. AUGUSTINE AVE
 SANTA CRUZ, CA 95060

OCCUPANCY CLASSIFICATION: R3

APPLICABLE CODES: 2022 C.B.C.
 2022 C.R.C.
 2022 C.E.C.
 2022 C.P.C.
 2022 C.M.C.
 2022 C.F.C.
 2022 C.G.B.C.
 2022 ENERGY CODE
 2022 FIRE



EXISTING SITE PLAN

1/8" = 1'-0"

SUPPLEMENTAL DOCUMENTS

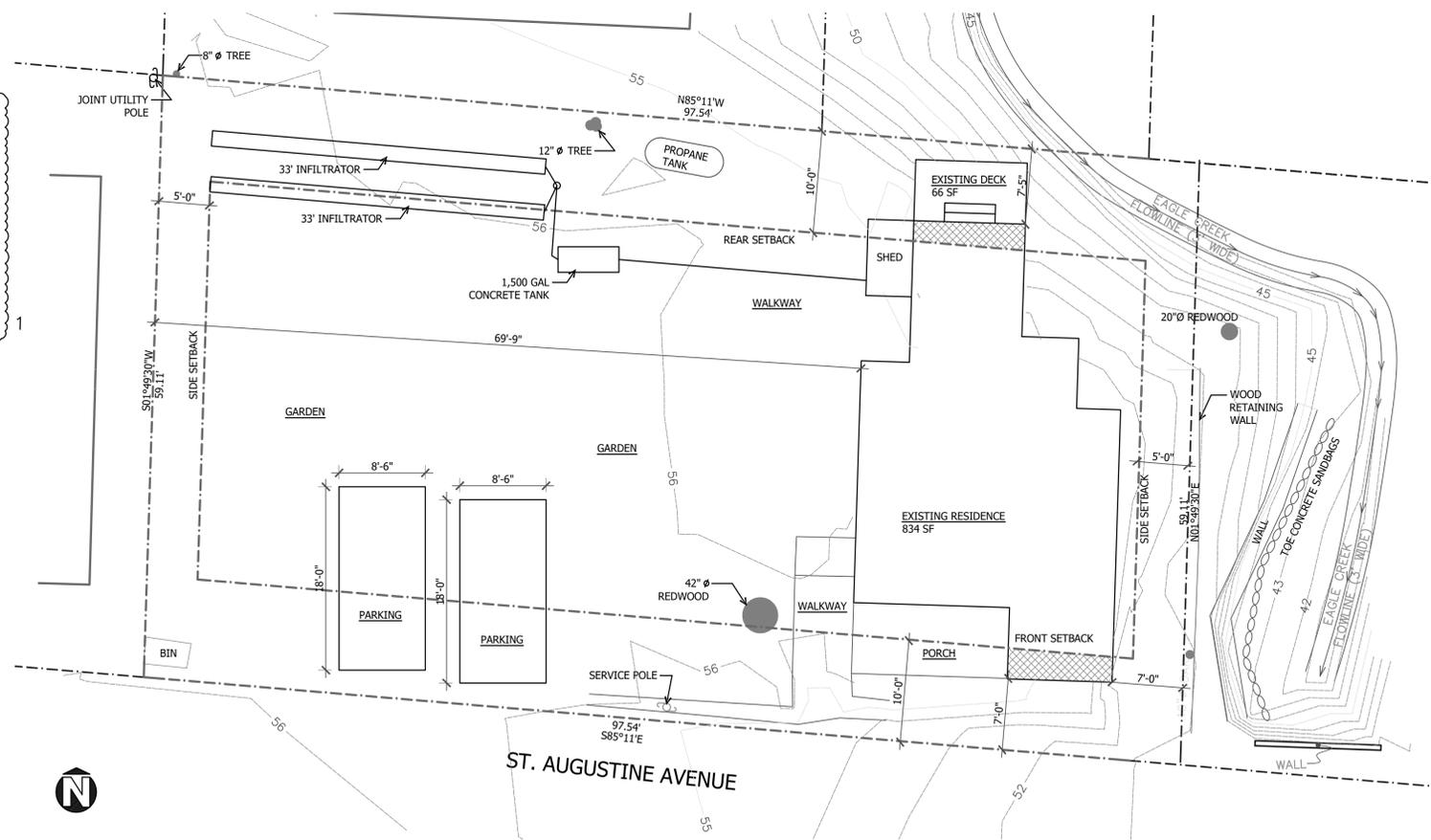
1. PLG 135 - DISCRETIONARY PERMIT SUPPLEMENTAL DOCUMENTS INDEX
2. VARIANCE FINDINGS
3. GEOTECHNICAL REPORT
4. AT COST CONTRACT

ENVIRONMENTAL PLANNING NOTES:

1. THE SOILS REPORT PREPARED BY HARO, KASUNICH AND ASSOCIATES DATED 29 JULY 2004 AND REVISED 19 SEPTEMBER 2022 WAS REVIEWED AND ACCEPTED DURING BUILDING PERMIT APPLICATION B-226617. THE RECOMMENDATIONS OF THIS REPORT SHOULD BE INCORPORATED INTO THE PLANS.
2. THIS PRE-FIRM (FLOOD INSURANCE RATE MAP) STRUCTURE IS LOCATED IN THE FEMA FLOOD HAZARD ZONE AE WITH BASE FLOOD ELEVATION (BFE) OF APPROXIMATELY 63.55 FEET. AN AREA SUBJECT TO INUNDATION BY THE 1-PERCENT-ANNUAL-CHANCE FLOOD EVENT (WITH ADDITIONAL HAZARDS DUE TO STORM-INDUCED VELOCITY WAVE ACTION). THE PROPERTY OWNER IS ADVISED TO INCORPORATE METHODS TO REDUCE FLOOD DAMAGE, SUCH AS THE USE OF FLOOD-RESISTANT MATERIALS AND INSTALLATION OF ELECTRICAL, HEATING, AND AIR CONDITIONING UNITS ABOVE THE BFE. EVEN IF THE PROJECT DOES NOT CONSTITUTE A SUBSTANTIAL IMPROVEMENT. THE OWNER IS ALSO ADVISED TO ELEVATE THE STRUCTURE SUCH THAT THE TOP OF THE BOTTOM FLOOR IS ELEVATED 2-FEET ABOVE THE BASE FLOOD ELEVATION.

DIRECTIONS TO SITE

HEAD NORTHBOUND ON HWY 9
 TURN RIGHT ON KEYSTONE WAY
 TAKE KEYSTONE WAY TO COVERED BRIDGE (APPROX 1 MI)
 TURN RIGHT AT COVERED BRIDGE AND CROSS BRIDGE
 TURN RIGHT ON ST AUGUSTINE AVE AFTER BRIDGE (APPROX 100')
 651 ST AUGUSTINE AVE IS ON LEFT (APPROX 1/4 MI)

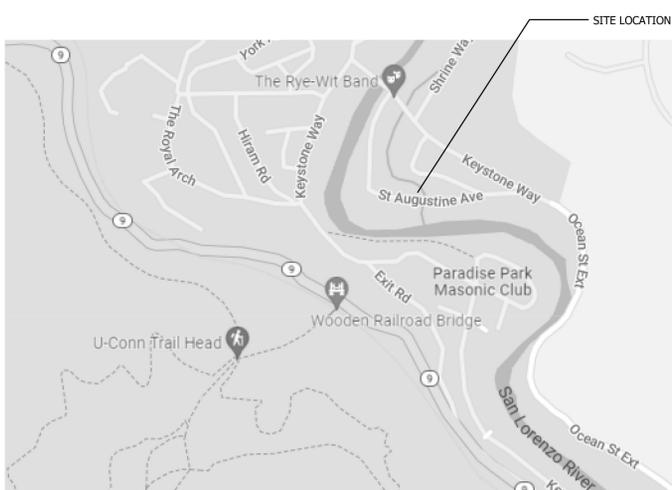


PROPOSED SITE PLAN

1/8" = 1'-0"

PROJECT DATA TABLE

LOT AREA	5,881 SF
EXISTING BUILDING AREA	834 SF
PROPOSED BUILDING AREA	0 SF
EXISTING FAR	14.18%
PROPOSED FAR	14.18%
PROPOSED AREA OF ADDITIONAL DISTURBANCE	0 SF
EXISTING LOT COVERAGE	1,039 SF (17.66%)
PROPOSED LOT COVERAGE	1,039 SF (17.66%)
GRADING CALCULATIONS	NO ANTICIPATED GRADING REQUIRED
PARKING	SEE SITE PLANS
MINIMUM SETBACKS	FRONT: 10', SIDES: 5', REAR: 10'
ACTUAL SETBACKS	FRONT: 7'-0", SIDES: 69'-5" & 7'-0", REAR: 7'-5"
FEMA FLOODZONE	AE - ENTIRE SITE LOCATED IN FEMA FLOODWAY SEE MAP ON SHEET D0.1
MAX HT OF PROPOSED STRUCTURES	15'-6"
NAME OF P.U.D.	PARADISE PARK



VICINITY MAP

NOT TO SCALE

DRAWINGS PREPARED BY :
 GREENSIDE DRAFTING & DESIGN
 NICHOLAS BUTLER
 (831) 246-3093
 greensidedrafting@gmail.com

ANTHONY ARCH & GENEVIEVE DAVIDSON
 651 ST AUGUSTINE AVE
 SANTA CRUZ, CA 95060
 APN: 061-261-20

DISCRETIONARY PROJECT:
 COVER SHEET
 SITE PLAN & VICINITY MAP

DATE : OCT 1, 2025
 SCALE:
 DRAWN:
 SHEET

1ST REVISIONS - 10/1/25

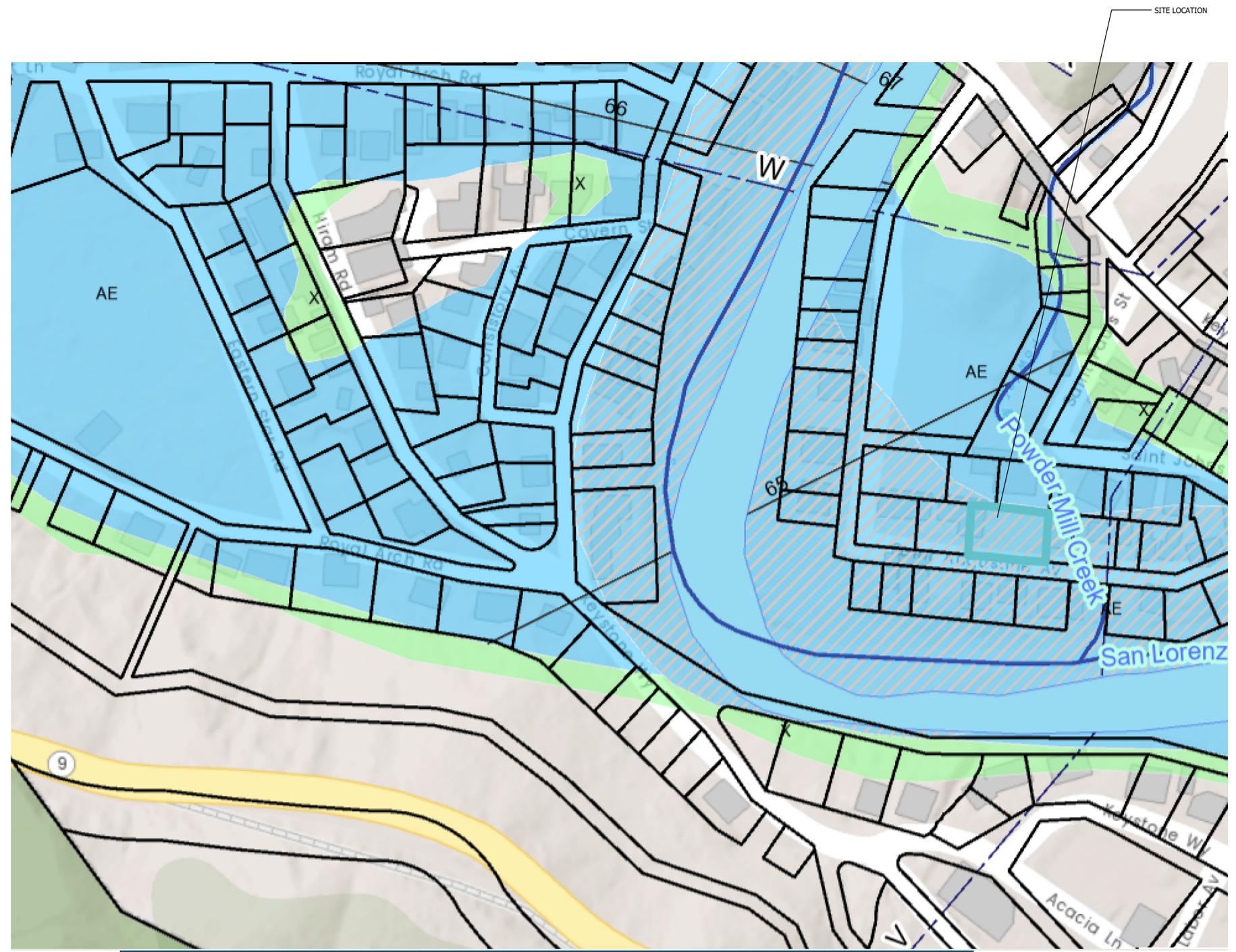
DRAWINGS PREPARED BY :
 GREENSIDE DRAFTING & DESIGN
 NICHOLAS BUTLER
 (831) 246-3093
 greensidedrafting@gmail.com

Nicholas Butler

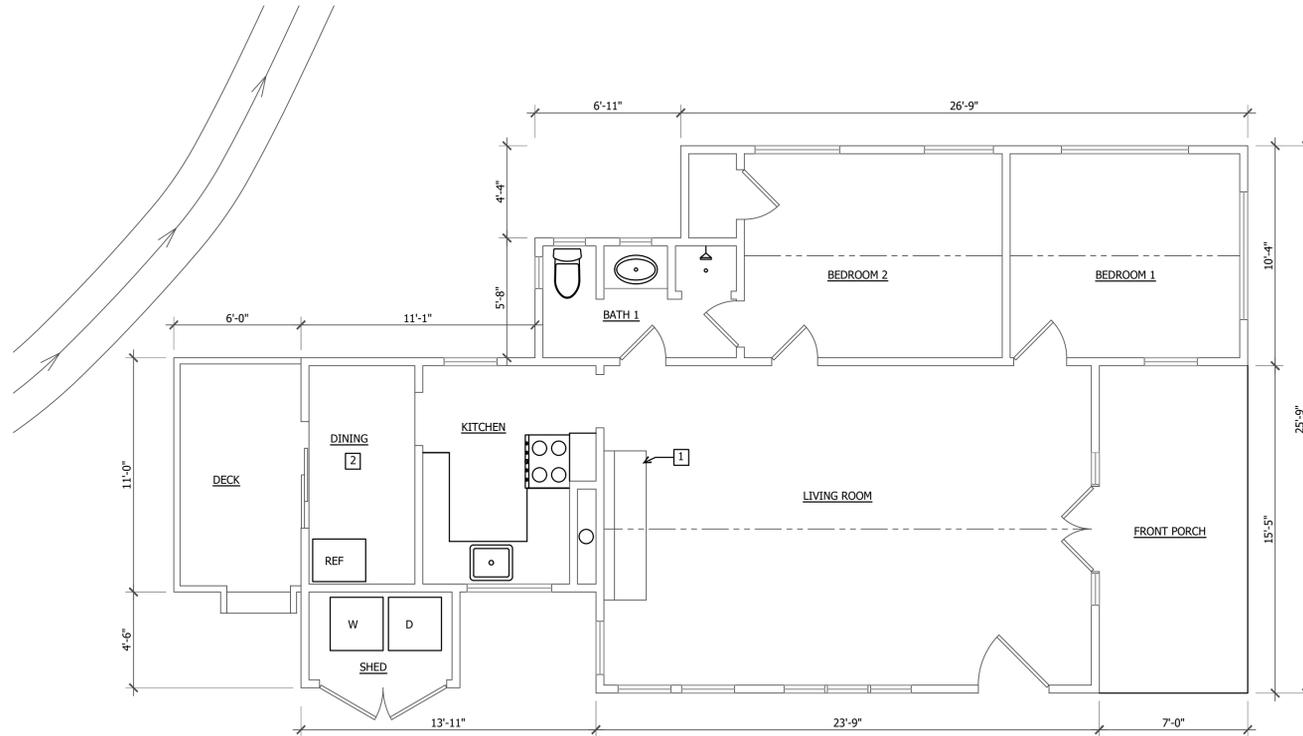
**ANTHONY ARCH &
 GENEVIEVE DAVIDSON**
 651 ST AUGUSTINE AVE
 SANTA CRUZ, CA 95060
 APN: 061-261-20

**DISCRETIONARY PROJECT:
 FEMA FLOODWAY MAP**

DATE : OCT 1, 2025
 SCALE:
 DRAWN:
 SHEET



FEMA FLOODWAY MAP
 NOT TO SCALE



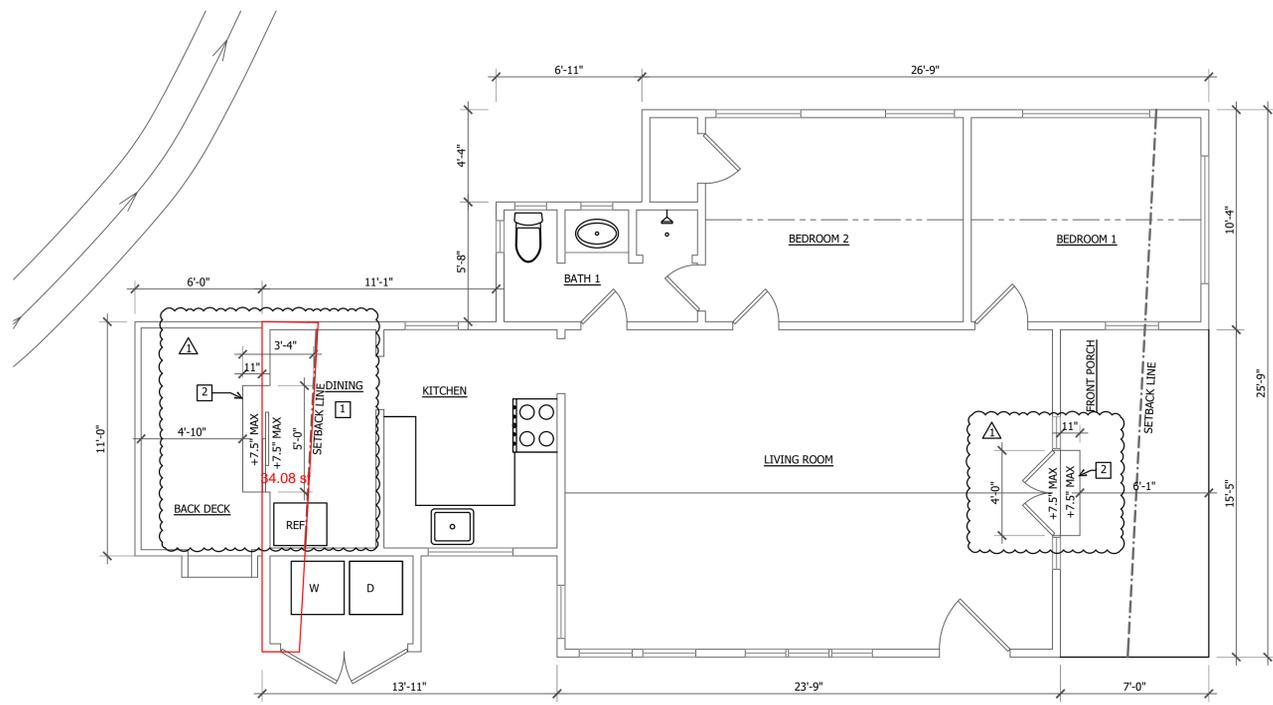
EXISTING FLOOR PLAN NOTES

- 1. (E) FIREPLACE, CHIMNEY AND MANTLE TO BE REMOVED
- 2. (E) DINING ROOM FLOOR LEVEL TO BE RAISED TO MATCH REST OF EXISTING MAIN HOUSE



EXISTING FLOOR PLAN

1/4" = 1'-0"



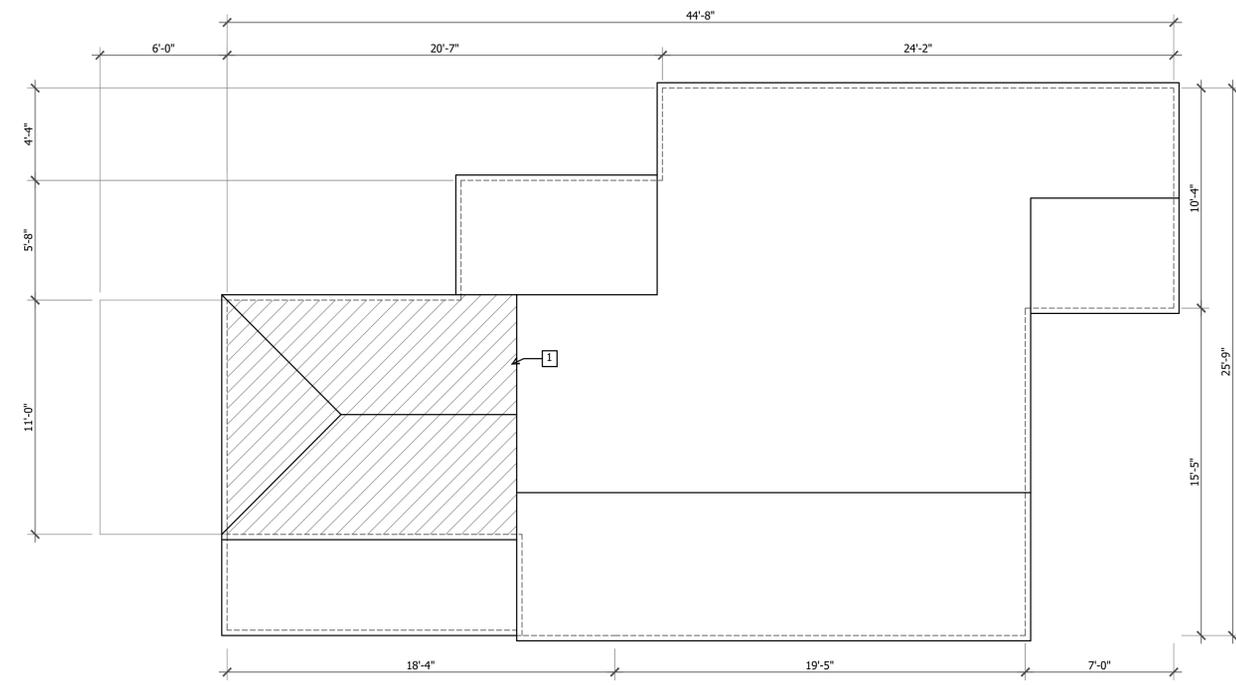
PROPOSED FLOOR PLAN NOTES

- 1. NEW DINING ROOM FLOOR LEVEL RAISED TO MATCH REST OF EXISTING MAIN HOUSE
- 2. ALLOCATED SPACE FOR NEW STAIRS TO ACCESS EXISTING PATIO & DECK AS NEEDED



PROPOSED FLOOR PLAN

1/4" = 1'-0"



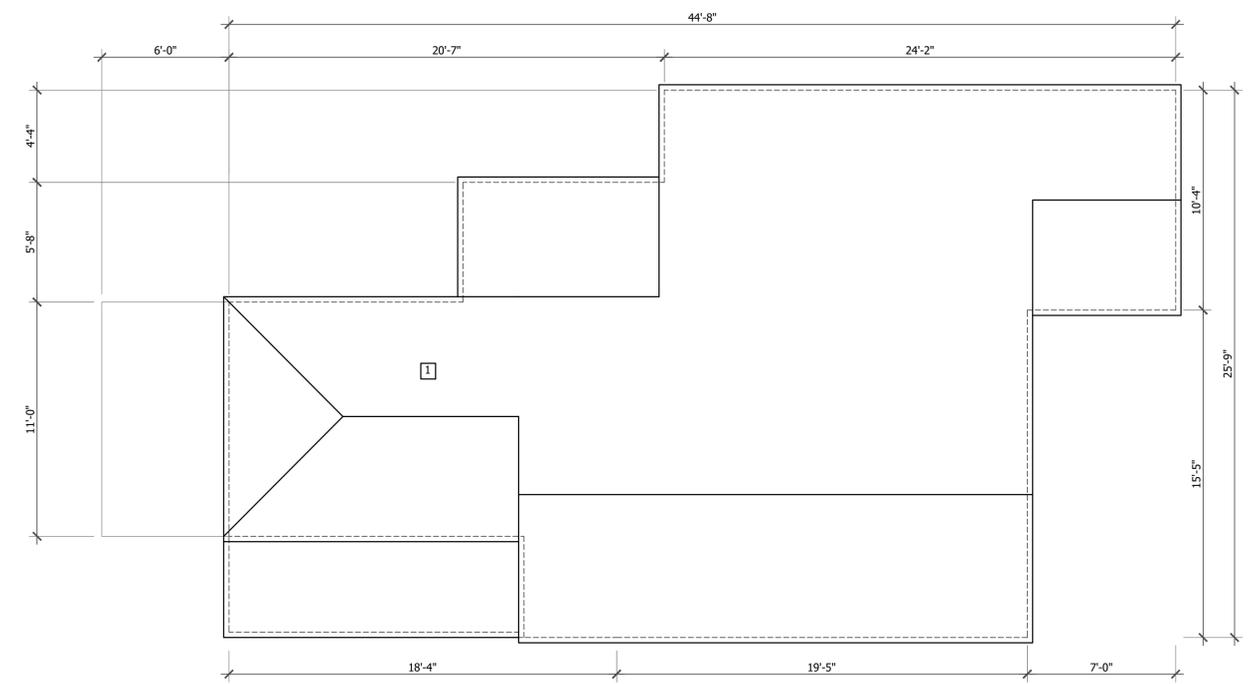
EXISTING ROOF PLAN NOTES

- 1. (E) ROOF OVER DINING ROOM TO BE REPLACED



EXISTING ROOF PLAN

1/4" = 1'-0"



PROPOSED ROOF PLAN NOTES

- 1. NEW ROOF OVER DINING ROOM AREA



PROPOSED ROOF PLAN

1/4" = 1'-0"

DRAWINGS PREPARED BY :
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**ANTHONY ARCH &
 GENEVIEVE DAVIDSON**
 651 ST AUGUSTINE AVE
 SANTA CRUZ, CA 95060
 APN: 061-261-20

**DISCRETIONARY PROJECT:
 ROOF PLANS**

DATE : OCT 1, 2025
 SCALE:
 DRAWN:
 SHEET

EXISTING EXTERIOR ELEVATION NOTES

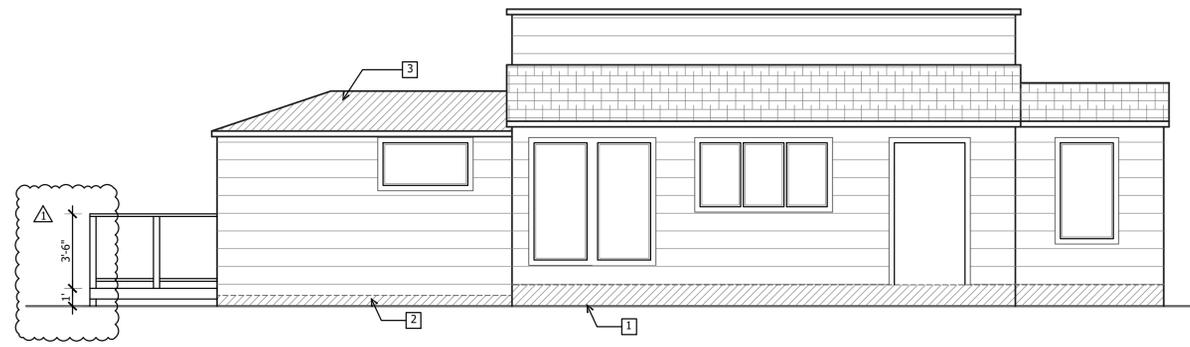
- 1. (E) RESIDENCE TO BE LIFTED AND CRIBBED TO SUPPORT FOUNDATION REPLACEMENT
- 2. (E) DINING ROOM FLOOR AREA TO BE REPLACED TO MATCH REST OF MAIN RESIDENCE
- 3. (E) DINING ROOM ROOF AREA TO BE REPLACED

DRAWINGS PREPARED BY :
 GREENSIDE DRAFTING & DESIGN
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**ANTHONY ARCH &
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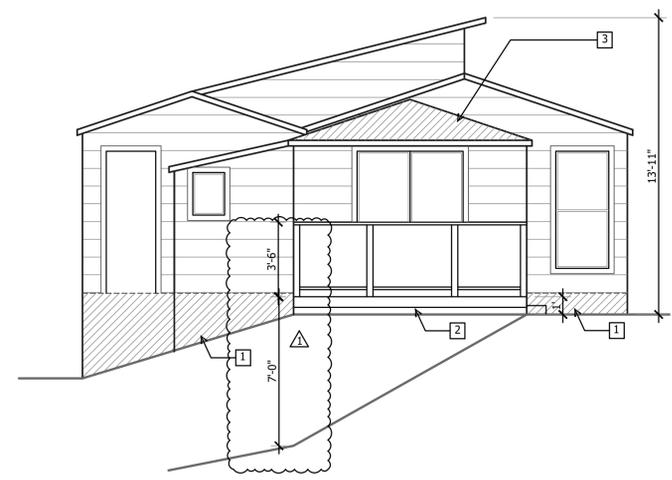
**DISCRETIONARY PROJECT:
 EXISTING EXTERIOR ELEVATIONS**

DATE : OCT 1, 2025
 SCALE:
 DRAWN:
 SHEET



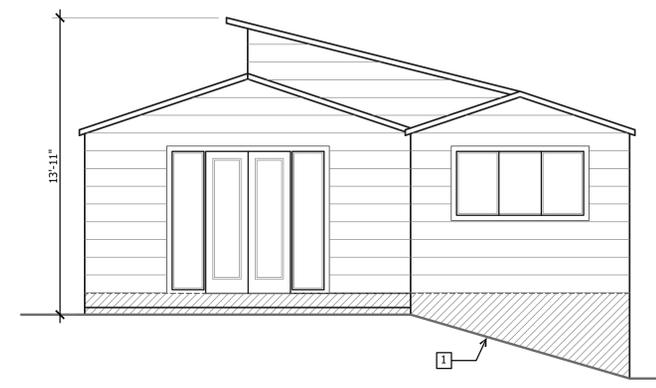
EXISTING/DEMO EXTERIOR ELEVATION (WEST)

1/4" = 1'-0"



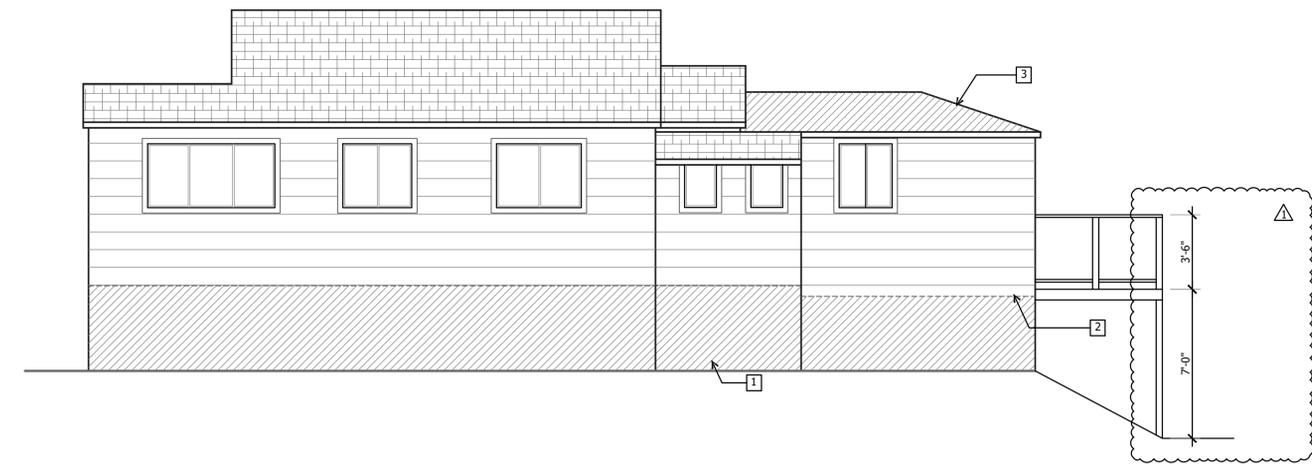
EXISTING/DEMO EXTERIOR ELEVATION (NORTH)

1/4" = 1'-0"



EXISTING/DEMO EXTERIOR ELEVATION (SOUTH)

1/4" = 1'-0"



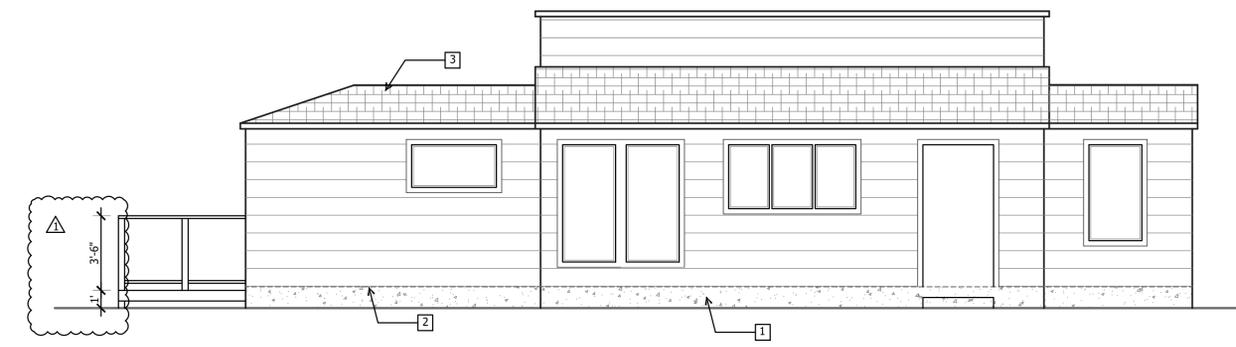
EXISTING/DEMO EXTERIOR ELEVATION (EAST)

1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION NOTES

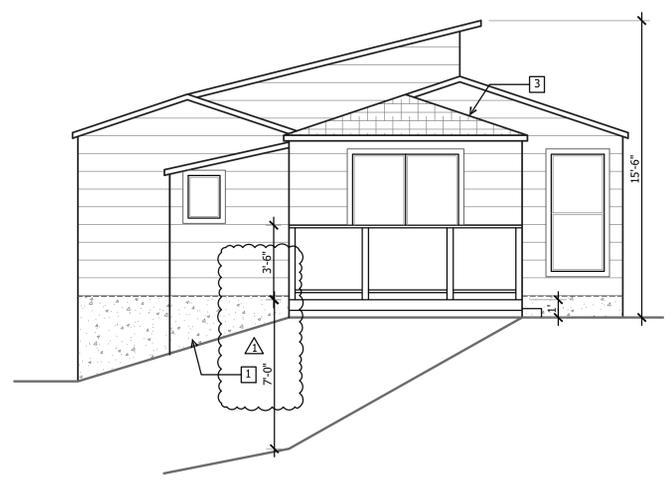
- 1. (N) FOUNDATION
- 2. (N) DINING ROOM FLOOR AREA
- 3. (N) DINING ROOM ROOF AREA
- 4. ALL REPLACED SIDING AND ROOFING TO MATCH EXISTING MATERIALS

DRAWINGS PREPARED BY :
 GREENSIDE DRAFTING & DESIGN
 NICHOLAS BUTLER
 (831) 246-3093
 greensidedrafting@gmail.com
Nicholas Butler



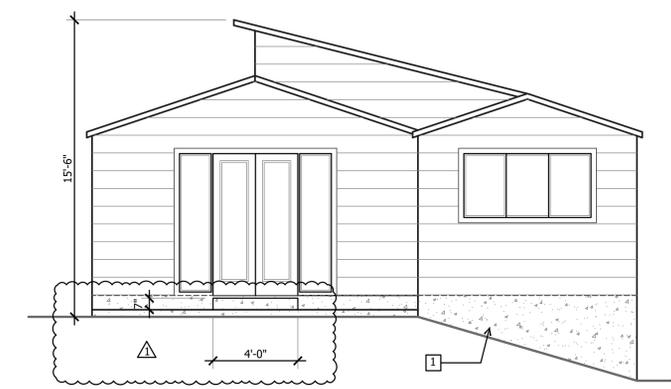
PROPOSED EXTERIOR ELEVATION (WEST)

1/4" = 1'-0"



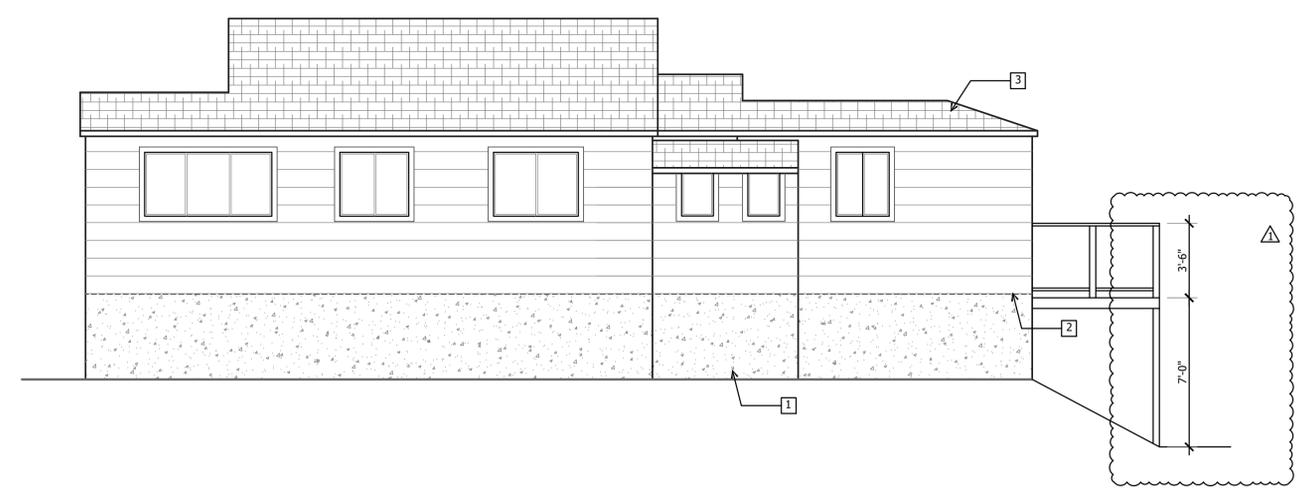
PROPOSED EXTERIOR ELEVATION (NORTH)

1/4" = 1'-0"



PROPOSED EXTERIOR ELEVATION (SOUTH)

1/4" = 1'-0"



PROPOSED EXTERIOR ELEVATION (EAST)

1/4" = 1'-0"

ANTHONY ARCH &
 GENEVIEVE DAVIDSON
 651 ST AUGUSTINE AVE
 SANTA CRUZ, CA 95060
 APN: 061-261-20

DISCRETIONARY PROJECT:
 PROPOSED EXTERIOR ELEVATIONS

DATE : OCT 1, 2025
 SCALE:
 DRAWN:
 SHEET

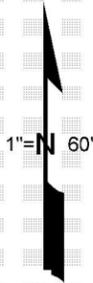
FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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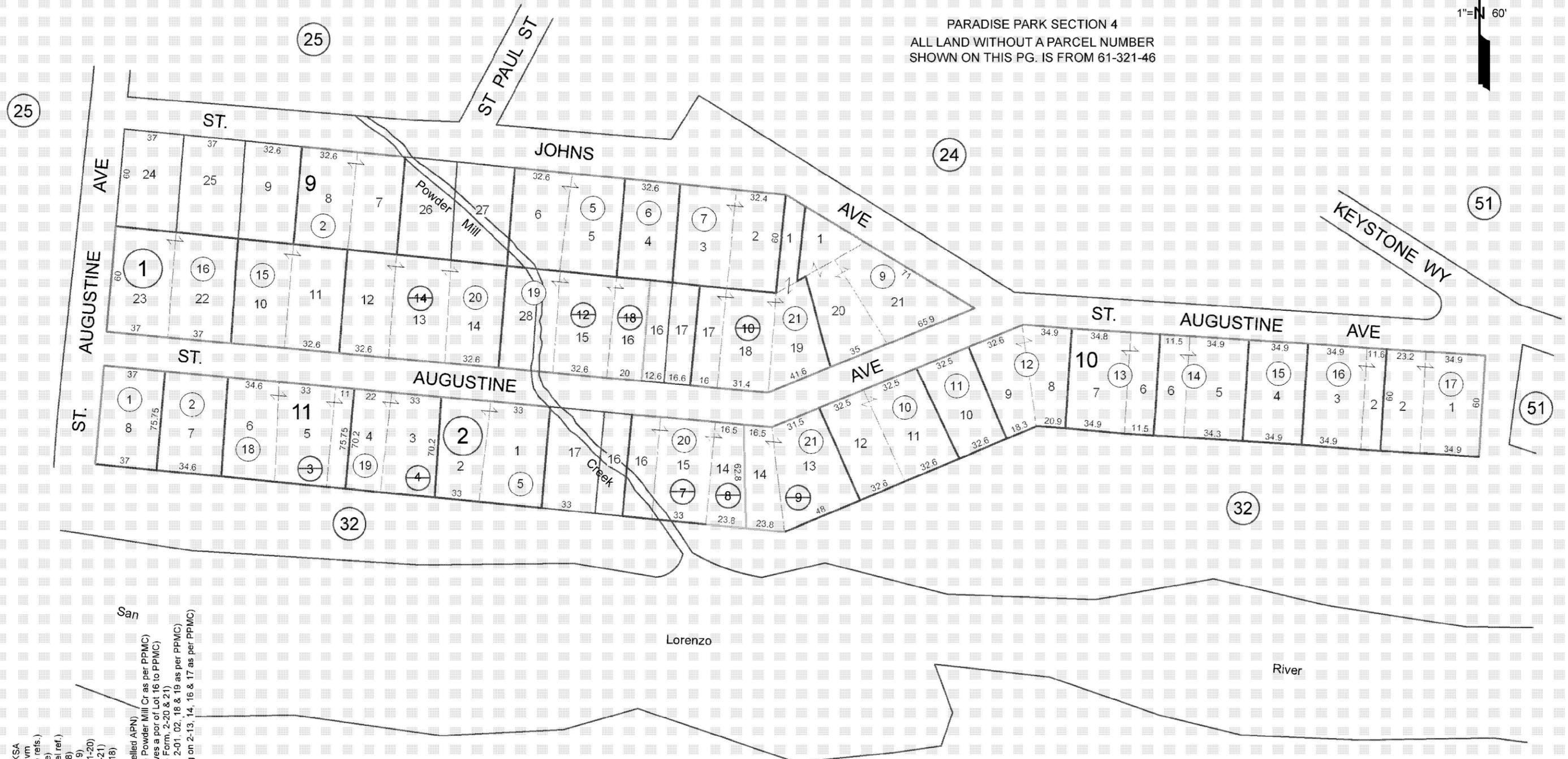
POR. RINCON RANCHO
SEC. 2, T.10S., R.2W., M.D.B. & M.

Tax Area Code
92-003

61-26



PARADISE PARK SECTION 4
ALL LAND WITHOUT A PARCEL NUMBER
SHOWN ON THIS PG. IS FROM 61-321-46



- Electronically Redrawn 6/17/96 KSA
- Rev. 6/28/00 (line adjustment) mvm
- Rev. 7/6/01 mvm (changed page refs.)
- Rev. 8/15/02 mvm (changed note)
- Rev. 9/9/02 mvm (changed parcel ref.)
- Rev. 4/8/08 CB (Comb form, 1-18)
- Rev. 6/4/08 mc (Comb. form, 1-19)
- Rev. 12/23/08 CB (Comb. form, 1-20)
- Rev. 4/14/09 mc (Comb. form, 1-21)
- Rev. 5/20/09 CB (Comb Form 2-18)
- Rev. 5/20/09 CB (Sp Form 2-19)
- Rev. 5/26/09 CB (Cor 1-21 Cancelled APN)
- Rev. 7/6/10 CB (Cor Eagle Cr to Powder Mill Cr as per PPMC)
- Rev. 10/5/10 CB (Cor to 2-07, gives a por of Lot 16 to PPMC)
- Rev. 10/5/10 CB (LBA w/ Combo Form, 2-20 & 21)
- Rev. 6/28/11 CB (Cor to Dims on 2-01, 02, 18 & 19 as per PPMC)
- Rev. 7/6/11 CB (Cor to Lot config on 2-13, 14, 16 & 17 as per PPMC)

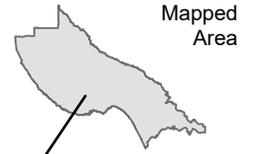
Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Assessor's Map No. 61-26
County of Santa Cruz, Calif.
June 2001



Santa Cruz County Planning Department

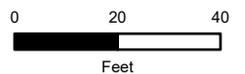
Parcel Location Map



Parcel: 06126120

 Subject Parcel

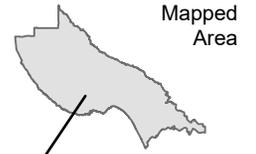
Map printed: 22 Jan. 2026



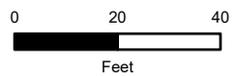
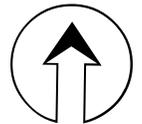


Santa Cruz County Planning Department

Parcel General Plan Map



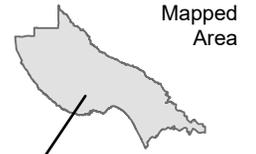
Subject Parcel



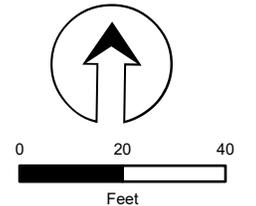


Santa Cruz County Planning Department

Parcel Zoning Map



 Subject Parcel



Application #: 251315
APN: 061-261-20
Owner: Arch / Davidson / Paradise Park Masonic Club

Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Santa Cruz Water
Sewage Disposal: CSA 12 Septic Maintenance District
Fire District: CSA 48 Santa Cruz County Fire
Drainage District: N/A

Parcel Information

Parcel Size: 5,880 SF
Existing Land Use - Parcel: Single-family residential
Existing Land Use - Surrounding: Single-family residential
Project Access: St. Augustine Avenue
Planning Area: Carbonera
Land Use Designation: R-UL; O-R (Urban Low Density Residential; Parks, Recreation and Open Space)
Zone District: R-1-6; SU-L (Single-Family Residential; Special Use)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm.: Yes No

Technical Reviews:

Environmental Information

Geologic Hazards: Floodway (Flood zone AE)
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site

Modification Worksheet

To be used in association with evaluating the extent of proposed modifications of the major structural components of a nonconforming structure or structure accomodating a nonconforming use, and for a determination whether a structure may be considered development per the Geologic Hazards Ordinance and thus may be required to prepare a geologic report or geologic assessment.

How to use this calculator:

For each building component (roof, exterior walls, floor framing or foundation), you may enter either an estimated percentage to be modified or you can enter the actual measurements and use the calculator to obtain the percent modification of that component. Enter values only in the green fields. The result is given in the blue box a the bottom of the spreadsheet.

For spreadsheet guidelines, click the index tab (below page margin at bottom of this page) called "User Guide".

Roof

Enter either		Do not enter words or symbols
Estimated % of roof to be modified		
or		
Area of Existing Roof	834	SF
Total Modified Area of Roof	181	SF
		22%

Calculation Tips

Roof Calculation Notes:

Measure as a flat plane, neglecting slope. Do not count deck roofs or eaves. Do count sealed decks that are part of the main roof system. On most one-story structures, the roof area will equal the floor area.

Exterior Walls

Enter either		
Estimated % of exterior walls to be modified		
or		
Total length of <u>existing</u> exterior walls	140.75	LF
Total length of <u>modified</u> exterior walls	36.25	LF
		26%

Exterior Walls Calculation Notes:

Modified segments wrap around corners and have no minimum separation. Attic walls and most cripple walls do not count. To assist with measuring modified segments in multiples of four feet, use the wall modification calculator.

Floors

Enter either		
Estimated % of floor area to be modified		
or		
Total area of <u>existing</u> floors	834	SF
Total area of <u>modified</u> floors	834	SF
		100%

Floor Calculation Notes:

The modified area of each structural member extends halfway to each adjacent member. For cross pieces and diagonal members, the modified area extends 16 inches on either side. Exclude decks and additions. Do not use FAR guidelines.

Foundations

Enter either

Estimated % of foundations to be modified	100%
---	------

or

Perimeter Foundations	
Total length of <u>existing</u> perimeter foundation	LF
Total length of <u>modified</u> perimeter foundation	LF
Area of first floor supported by perimeter foundation	SF
Slab Foundations	
Total area of <u>existing</u> slab foundation	SF
Total area of <u>modified</u> slab foundation	SF
Area of first floor supported by slab foundation	SF
Pier and Grade Beam Foundation	
Total length of <u>existing</u> pier and grade beam foundation	LF
Total length of <u>modified</u> pier and grade beam foundation	LF
Area of first floor supported by pier and grade beam foundation	SF

Foundation Calculation Notes:

Modification of a perimeter and pier and grade beam foundations are measured as percentage of length;

Modification of a slab is measured as percentage of area.

Where piers are added or reinforced, multiply the number of modified piers by the average spacing. Where one pier or anchor is added, count as a modification of 4'.

Modification of an existing foundation to enable an addition is included, but not a separate addition foundation.

Summary	
Roof Modification (15%)	3%
Exterior Wall Modification (65%)	17%
Floor Framing Modification (10%)	10%
Foundation Modification (10%)	10%
	40%

For Planning Staff Only

If structural modifications exceed the level of modification indicated below, a discretionary application is required.

65%

Other*

50%

No Maximum*

*Explain: _____

APN: 061-26-120 Owner Name: Genevieve Davidson & Tony Arch Date: 7/31/2025

I certify that this worksheet is accurate. I understand that when the worksheet is evaluated as part of the application review, if the proposed work exceeds the established threshold, additional permits, information, and fees may be required for my project.

Nicholas Butler

Nicholas Butler

Signature

Print Name

File # _____

Paradise Park Masonic Club
211 Paradise Park, Santa Cruz, CA 95060-7003
Phone: 831-423-1530

Permit Rec'd _____

Final Rec'd _____

PPMC BUILDING PROJECT PACKET

The PPMC Board of Directors, Park Manager and the Building Committee want to support members in their building projects, including obtaining permits required. This form is for Members to acquire the appropriate permission or permit for building projects and to meet the Planned Unit Development Permit (PUD), the Santa Cruz County Codes and other PPMC Rules & Procedures requirements.

Per PPMC's PUD, an Authorized Signature must be obtained before any building permit can be issued by Santa Cruz County Planning Dept.

DESCRIPTION OF WORK TO BE PERFORMED AND IDENTIFICATION OF RESPONSIBLE PARTY:

PPMC Member Name: Genevieve Davidson Street Address 651 St Augustine Contact # 415-624-0329 E-mail tonyarch3@gmail.com

DESCRIBE THE WORK TO BE PERFORMED: Foundation replacement

Member's Signature: _____ Date _____

Work will be performed by PPMC Member Licensed Contractor APN 061-26-120

PERMIT will be issued in the name of: PPMC Member Licensed Contractor, Architect or Engineer

Contractor Name: TBD Contact # _____

License # _____ All CONTRACTORS must register at the PPMC Office & provide a Certificate of Insurance naming PPMC as Additional Insured with job site showing 1 M General Liability & Workers Compensation coverage. Can be faxed. MEMBERS acting as Owner-Builder must provide a signed copy of the County's Notice to Property Owner form.

Option A: PROJECT STEPS IF THERE IS NO CHANGE TO THE FOOTPRINT OR HEIGHT OF YOUR STRUCTURE:

IF PERMIT IS REQUIRED:

1. Complete this Building Project Packet by providing a full description of your project and attaching detailed drawings when needed. One copy each for PPMC, SCC Planning Dept & Member ** (See bottom of page 2)
2. Present Packet and drawing(s) to Park Manager for review.
3. When Packet and drawings are approved, they will be officially stamped and signed to take to SCC Planning Dept.
4. When PERMIT is issued, bring to PPMC office for a copy to be made prior to the start of construction.
5. Post your PERMIT outside where it is visible from the street.
6. At project completion bring a FINAL sign-off of the PERMIT to PPMC office where a copy will be made to close your file. The Building Project Packet will then be put in the Member's file.
7. This approval is conditional on receiving all required bldg. permits (electrical, plumbing, framing, etc.) If in the floodwa or riparian corridor, written permission from the County of Santa Cruz Bldg. & Environment Health, FEMA. & /or Fish & Game.

IF NO PERMIT IS REQUIRED

1. If SCC Planning states NO PERMIT is required, notify Park Manager and the Building Project Packet will be used as authorization of the building project and posted as stated in #5.

AUTHORIZED SIGNATURE FOR
SANTA CRUZ COUNTY
PLANNING DEPARTMENT

Pat McDonald, Treasurer
for Cindy Cooper, VP.

Mgr _____ Date: 1-17-26

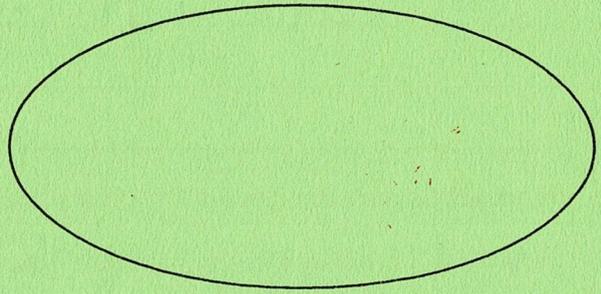
B: PROJECTS WITH CHANGES TO THE FOOTPRINT, HEIGHT OF STRUCTURE OR REQUEST FOR FENCE & OTHER BARRIERS:

1. Present THIS PACKET with your completed SITE PLAN to the PPMC Manager, showing all county requirements.
2. A verification of staking will be required for a new building or alteration of structure prior to submitting plans to the PPMC Board of Directors and the Count of Santa Cruz.
3. If Trees are to be trimmed or removed, contact the Tree Committee for approval. (Rules & Procedures 5.01)
4. After the PPMC Manager and the Building Committee review your SITE PLAN, your project will be submitted to the Board of Directors. Allow sufficient time for this review, as board meets once a month.
5. When the building project is approved by PPMC BOD, the Park Manager will stamp & sign this form and your SITE PLANS to take to the SC County Planning Department.
6. PPMC will need a Site PLAN and a copy of this form for Park records.
7. When PERMIT is issued, bring it to PPMC office for a copy to be made prior to the start of construction
8. When there is a FINAL sign-off of the PERMIT at project completion, bring to PPMC office to make a copy to close your file. The Building Project Packet will be put in the Member's file.

Approved *Mark Oung* Date 1/17/16
 Board President

Approved _____ Date _____
 Board Director

AUTHORIZED SIGNATURE FOR
 SANTA CRUZ COUNTY
 PLANNING DEPARTMENT



Mgr _____ Date: _____

GENERAL INFORMATION TO HELP YOU WITH YOUR PROJECTS:

1. PPMC office hours: Tues.-Fri. 1:00- 5:00 Sat. 8:00-12:00 Manager@paradiseparkmasonicclub.org
2. Santa Cruz County Planning Department's information:
 - a. SCC Planning Dept. 701 Ocean St. Santa Cruz, CA 95060
 - b. Office Hours: Mon – Thurs, 8:00 - 12:00 & 1:00 - 3:00 (must be signed up by 2:30)
 - c. Questions by phone: between 1:00 and 4:00, M – T (Expect to leave a voice mail and receive a returned call. Give as much detail as possible.)
 - d. Zoning Questions: 831-454-2130
 - e. Building Questions: 831-454-2260
3. General Information and Forms: www.sccoplanning.com (if you live out of town it would be advisable to have an Owner/Agent form completed so someone can pick up and deliver items to Planning for you)
4. To confirm your Contractor's license check: www.cslb.ca.gov
5. As a courtesy to your neighbors, the Park/Manager will notify them of your building project.
6. By signing the **Building Project Packet**, the Member or contractor shall defend, indemnify & hold PPMC & its directors, officers, members, employees & agents harmless from & against any & all actions, demands, fines, damages, injuries, judgments awards & claims asserted by any person or entity.

****Example of a site plan is available at PPMC office. Note: this is just a drawing example to show the BOD and SCC Planning what you want to do as a project. Once your project is approved by the BOD and SCC Planning, your project will move forward with full sets of plans with Planning requirements.**

If changes were made during this process, a copy of the changes must be given to the PPMC office.

ATTACHMENTS: Site plans/Elevations where needed.