

## MEMORANDUM

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Date: 2.4.26

To: Deputy Zoning Administrator

From: Alexandra Corvello, Project Planner

Re: 251178 Discretionary Application Continuation

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On December 5<sup>th</sup>, 2025, the Zoning Administrator considered Application 251178. During public comment, members of the public raised concerns pertaining to overall size of the structure, bulk and mass, potential shading impacts to the northern adjacent property, and overall appropriateness of proposed exception to the Pleasure Point Combining District second-story setback requirements, including the requested variance for the front second-story cantilevered deck.

The Zoning Administrator shared these concerns but indicated a willingness to consider a Pleasure Point Exception to the 10-foot second story setback requirement due to the small lot size, right-of-way easement, and double frontage. Specific design modifications mentioned by the Zoning Administrator included shifting the bulk and mass of the structure toward the southern side of the property and removing the roof over the ADU exterior staircase to reduce the shading on the northern neighboring property. Additionally, the Zoning Administrator noted that insufficient information had been provided to evaluate the requested variance for the second-story front cantilevered deck and therefore lacked the necessary context to consider that request. The hearing was continued to a date uncertain to allow the applicant to address the Zoning Administrator's concerns. The continuance was intended to provide an opportunity to revise the design to reduce the bulk, mass and looming effects of the structure, particularly along the northern side, and to submit additional information demonstrating the project's compatibility with surrounding properties.

The applicant has provided revised plans reflecting a redesigned proposal. The updated plans respond to the Zoning Administrator's requested considerations and represent a significant improvement in terms of impacts from shading and looming when compared to the original submittal. This is especially the case with regard to the first and second story setbacks, which have both been increased along the northern property line to provide increased articulation. The updated scope of work is:

*Proposal to demolish an existing 1,436 square foot, one-story single-family dwelling with a 335 square foot attached garage and to construct an 1,888 square foot, two-story single-family dwelling with a 298 square foot second story front deck, an attached 486 square foot garage and second story 496 square foot Accessory Dwelling Unit. Gross total 2,870 square foot structure.*

*Requires a Coastal Development Permit, Pleasure Point exception to reduce the second story side yard setbacks on the northern side from 10 feet to between 6 feet and 9.5 feet, and on the southern side to 6 feet; a Variance to increase the allowed encroachment by a cantilevered deck from 6 feet to 9 feet, and a Site Development Permit for an over height fence in the front yard setback on Rockview Drive.*

The proposed changes in the revised design are noted in bold italics in the tables below (Please note that staff is recommending additional changes, as outlined in this memo):

<b>AREAS</b>			
	<b>Original Proposed 12.5.25</b>	<b>Redesign Proposed 2.13.26</b>	<b>Change</b>
<b>Gross Total Structure</b>	2,917 sf	<b><i>2,870 sf</i></b>	-47 sf
<b>Gross SFD only</b>	1,911 sf	<b><i>1,888 sf</i></b>	-23 sf
<b>SFD Upper floor</b>	910 sf	<b><i>890 sf</i></b>	-20 sf
<b>SFD Lower floor</b>	1001 sf	<b><i>998 sf</i></b>	-3 sf
<b>ADU</b>	522 sf	<b><i>496 sf</i></b>	-26 sf
<b>Garage</b>	484 sf	<b><i>486 sf</i></b>	+2 sf
<b>Deck</b>	258 sf	<b><i>298 sf</i></b>	+40 sf

The proposed structure, as redesigned, will be in greater conformance with all required site and development standards. Standards as proposed by the submitted plans are set out in the table below:

<b>DEVELOPMENT STANDARDS</b>			
	<b>Original Proposed 12.5.25</b>	<b>Redesign Proposed 2.13.26</b>	<b>R-1-4-PP</b>
<u>Front Setbacks</u>			
<b>Rockview Drive</b>	1 <sup>st</sup> Floor: 12 ft 2 <sup>nd</sup> Floor: 15 ft Deck encroach: 9 ft	1 <sup>st</sup> Floor: 12 ft <b><i>2<sup>nd</sup> Floor: 16.5 ft</i></b> Deck encroach: 9 ft ©	1 <sup>st</sup> Floor: 12 ft 2 <sup>nd</sup> Floor: 15 ft Deck encroach: 6 ft
<b>South Palisades Drive</b>	1 <sup>st</sup> Floor(Garage): 18 ft 2 <sup>nd</sup> Floor(ADU): 15.5 ft	1 <sup>st</sup> Floor(Garage): 18 ft 2 <sup>nd</sup> Floor(ADU): 15.5 ft	Garage Ent.: 18 ft ADU front: 4 ft
<u>Side Setbacks</u>			
<b>Northern</b>	1st Floor: 5 ft 2nd Floor: 5 ft ADU: 9 ft ADU stairs: 5ft	<b><i>1st Floor: 6-7 ft</i></b> <b><i>2nd Floor: 6-9.5 ft</i></b> © <b><i>ADU: 10 ft</i></b> <b><i>ADU stairs: 6 ft</i></b>	1st Floor: 5 ft 2nd Floor: 10 ft Deck side: allowed over 1st floor roof eave ADU: 4 ft
<b>Southern</b>	1st Floor: 6 ft 2nd Floor: 8 ft Deck side: 5 ft ADU: 5 ft	<b><i>1st Floor: 5 ft</i></b> <b><i>2nd Floor: 6 ft</i></b> © <b><i>Deck side:**</i></b> <b><i>ADU: 4 ft</i></b>	
<u>Misc.</u>			
<b>Max. Height</b>	Total: 24.2 ft	Total: 24.2 ft ©	Total: 28 ft
<b>Floor Area Ratio</b>	57.87%***	<b><i>57.31%</i></b>	60%
<b>Lot Coverage</b>	34.19%***	<b><i>33.57%</i></b>	45%

\*\*No Pleasure Point Exception required, meets standards

\*\*\*The original staff report incorrectly included the cantilevered deck into calculations, which resulted in larger numbers than the corrected percentages shown here.

© Denotes the standards that are being recommended by staff to be further adjusted, see below

Based on the revised design and Zoning Administrator comments, staff recommends approval of the project as proposed, subject to the following added conditions of approval requiring further minor modifications to the proposed design:

- Increase of the second-story side yard setbacks for all portions of the single-family dwelling, including the proposed elevator shaft, which shall begin at a minimum setback of 7 feet, instead of 6 feet, while retaining all other side setbacks as shown on Exhibit 1D. In addition, the height of the roof shall be reduced to a maximum of 22 feet and the eave projections along both roadway frontages shall extend a maximum of three feet from the front wall at the second story. These modifications result in a project that meets the Pleasure Point setback and height standards applicable to lots 30 feet to 34 feet 11 inches in width, which provides a conservative and well-established benchmark for compatibility and neighborhood scale, even though the subject parcel exceeds that width range.
- The depth of the proposed single-family dwelling front deck shall be reduced by 1.5 feet, allowing the deck to continue to extend 9-foot from the front wall at the second floor, thereby reducing the encroachment to the front yard setback from 9 feet to 7.5 feet. This adjustment will bring the proposed design into greater conformance with neighborhood development patterns while preserving functional outdoor space for the dwelling.

As proposed, the redesigned project is in greater conformance overall with the site and development standards for the R-1-4-PP zone district. No additional permits are required to support the updated project, which will continue to be exempt from further review under CEQA. Updated findings and conditions of approval have been prepared to reflect revised staff recommendations and are included with this report.

Alexandra Corvello  
Development Review Planner – Community Development and Infrastructure

### Attachments

- Exhibit 1A: CEQA Determination
- Exhibit 1B: Revised Findings of Approval
- Exhibit 1C: Revised Conditions of Approval
- Exhibit 1D: Revised Project Plans
- Exhibit 1G: Revised Shade Study
- Exhibit 1H: Revised and Original Rendering
- Exhibit 1I: Comments and Correspondence for 2.13.26 ZA hearing
  - Applicant (Steven Graves) Letter for Revised Design
- Exhibit 1J: Zoning Administrator Staff Report dated 12.1.25 and Late Correspondence

## CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251178  
Assessor Parcel Number: 028-304-50  
Project Location: 31 Rockview Drive, Santa Cruz CA

**Project Description: Demolish an existing single-family dwelling and construct a new two-story single-family dwelling with an attached garage and attached 528 square foot ADU.**

**Person or Agency Proposing Project: Steven Graves**

**Contact Phone Number: 831-325-1219**

- A.  The proposed activity is not a project under CEQA Guidelines Section 15378.
- B.  The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C.  **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D.  **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E.  **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

Construction of a replacement single-family dwelling and an Accessory Dwelling Unit (ADU) on an existing developed parcel within the urbanized area and on a parcel that is zoned for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

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Alexandra Corvello, Project Planner

Date: \_\_\_\_\_

## Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling), a designation which allows residential uses. The proposed project is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Residential - Medium Density) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

The rear property line extends to the centerline of the 20-foot-wide right-of-way for South Palisades Avenue, such that a 10-foot strip of land lies within the easement area. As designed and laid out, all proposed developments will be set back a minimum of 15 feet from the edge of the right-of-way, with the garage entrance being 18 feet, and no development is proposed that would obstruct the easement. Therefore, this finding can be made.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made. The proposed structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood, including that the garage access will be from South Palisades Avenue. In addition, because the existing, older home is now one of only a few remaining one-story dwellings along Rockview Drive, the proposed project will bring the property into greater conformity with the surrounding neighborhood. Developed parcels in the area contain mostly two-story single-family dwellings and the proposed dwelling is consistent with the architectural style of other newer remodeled and constructed homes in the area and will be of a similar size. The design includes natural materials that are consistent with the materials of other nearby homes. The new house will be painted in an off-white color that will match other homes in the neighborhood. In addition, the project is not located on a prominent ridge, beach, or bluff top.

The project has also been designed to conform with the special design criteria for the Pleasure Point Combining District. As set out in SCCC 13.20, the proposed dwelling will be designed to reduce shading on the northern property, provide articulation that reduces looming, and encourage community interaction and orientation towards the street by providing a front porch/entryway. Automobile-oriented features have also been minimized in that vehicle access will be taken from the alley at the rear of the parcel (South Palisades Avenue). Although the proposed dwelling does not conform to the second-floor setbacks for lots of greater than 35 feet in width, the structure will not significantly shade adjacent parcels, and the design of the proposed home is consistent with other homes on similarly sized parcels along the street. A complete list of findings for a Pleasure Point Exception are included with this report.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that although the property is located between the shoreline and the first public road, the project is not visible from any public beach viewshed and does not impact public access to any beach, or to the ocean or other nearby body of water. Public beach access is available approximately 120 feet south of the property along the east side of Rockview Drive. In addition, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed in the R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling, Pleasure Point Combining District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the immediate vicinity contain mostly two-story single-family dwellings and within the wider area contain a mixture of one- and two-story dwellings. Size and architectural styles vary in the area, and the design submitted for the new dwelling is consistent with the pattern of new development within the surrounding area.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first public road there is no direct public access across the property. Existing public beach access is available approximately 120 feet south of the property along the east side of Rockview Drive. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed demolition of the existing dwelling and construction of a replacement two-story single-family dwelling with an attached garage and second story ADU, and the conditions under which it would be operated or maintained, will be in substantial conformance with all pertinent County ordinances and the purpose of the R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling, Pleasure Point Combining Zone District) zone district as the primary use of the property will be one single-family dwelling with an attached garage and ADU. The proposed single-family dwelling includes three bedrooms and an attached ADU. The proposed project will provide adequate parking in accordance with SCCC 13.16. Three parking spaces will be provided (two for the single-family dwelling and one additional parking space for the ADU).

The parcel is within the R-1-5-PP zone district, but the parcel is less than 80% of the required 5,000 square foot minimum per dwelling unit, therefore the R-1-4 development standards apply pursuant to SCCC 13.10.323(E)(2), including a reduced front yard setback at the lower floor as allowed based on front yard averaging in accordance with SCCC 13.10.323(F)(7). The proposed project has been designed in accordance with all site and development standards for the R-1-4 zone district, except that the second-floor deck is proposed to extend 9 feet into the required 15-foot front yard setback, where a maximum of 6 feet is allowed. As outlined in the Variance findings, the project has been conditioned to limit the front yard deck to a maximum encroachment of 7.5 feet which provides sufficient access to open space while maintaining greater conformance with the intent and requirements of the zoning regulations.

While the proposed project does not comply with the 10-foot side yard second floor setbacks specified for properties with a site width of greater than 35-feet within the -PP combining District. A Pleasure Point Exception can be supported to allow for a reduction in the northern side yard setback from 10 feet to between 6 feet and 9.5 feet, and on the southern side yard from 10 feet to 6 feet to the exterior wall at the single-family dwelling. Staff recommends additional modifications to create a more conforming project by conditioning the project to start the second story side setbacks at 7 feet and reduce the roof height to a maximum of 22 feet for the single-family dwelling, while maintaining all other existing setbacks for both the single-family dwelling and ADU as well as the ADU height as shown on Exhibit 1D. These modifications result in a project that meets the Pleasure Point setback and height standards

applicable to lots 30 feet to 34 feet 11 inches in width, which provides a conservative and well-established benchmark for compatibility and neighborhood scale, even though the subject parcel exceeds that width range. In accordance with State Law, the ADU is not required to meet the 10-foot side yard setback and may have a minimum setback of 4 feet. A complete list of findings for a Pleasure Point Exception is included with this report.

An ADU is a self-contained living area either attached or detached with a single-family residence and equipped with independent kitchen, bath, washer, and sleeping facilities. The proposed 496-square-foot ADU complies with these requirements. As proposed, the setback to the side yard setbacks of the ADU are 10 feet to exterior wall and 6 feet to exterior stair access on the northern side and 4 feet on the southern side.

Fences within front yard setbacks are limited to 3 feet in height, and interior side-yard fences may not exceed 8 feet. The property is currently enclosed by a six-foot fence extending into the required front yards along both Rockview Drive and South Palisades Avenue, including portions within the Rockview Drive right-of-way. All existing nonconforming fencing, except the interior side-yard segments to be retained, will be removed, along with any fencing in the Rockview Drive right-of-way, and fencing along South Palisades Avenue will either be fully removed or conditioned to a height of 3 feet. Although replacement fencing is not shown on the plans, the applicant proposes a new four-foot fence within the front yard along Rockview Drive, requiring a Site Development Permit to exceed the 3-foot height limit. The proposed four-foot fence is considered appropriate because there are no driveways along this portion of the subject or adjacent properties, similar front-yard fencing in the neighborhood exceeds three feet, and the design supports a more pedestrian-oriented streetscape while maintaining opportunities for community interaction, resulting in compliant landscaping upon approval of the permit.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Residential - Medium Density) land use designation in the County General Plan.

The proposed project meets the Coastal Special Communities (BE-5.1b (LCP)) with the intention of maintaining the unique neighborhood characteristic and design that supports community interactions. Removal of existing encroachments located within Rockview Drive right-of-way will result in greater conformance with General Plan objectives.

A specific plan has not been adopted for this portion of the County; however, the project is located in within the Pleasure Point Combining District and subject to relevant site and development standards.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family dwelling and ADU replaces an existing, older single-family home. Therefore, the expected level of traffic generated by the proposed project will increase by only one additional daily trip due to the ADU, which is not anticipated to adversely impact existing roads or intersections in the surrounding area due to the existing urban nature of the neighborhood. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed project is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The use of the residence is consistent with other homes in the neighborhood.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

## Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made in that the proposed project has been thoughtfully designed and appropriately sited to complement and harmonize with the existing and planned physical development patterns within the surrounding neighborhood. As conditioned, the project incorporates enhanced architectural articulation along the northern property line, with the second floor providing multiple step-backs from the initial 7-foot setback, while the first-floor setbacks otherwise conform to the applicable zone district development standards.

The surrounding neighborhood, including residences along Rockview Drive, is predominantly characterized by two-story single-family homes, and the existing one-story structure on the site represents one of the few remaining single-story residences in the area. As conditioned, the proposed roof height of 22 feet reduces the potential for shading impacts on adjacent properties, is in alignment with surrounding roof heights, and is consistent with the modern architectural aesthetic that defines many of the newer homes in the neighborhood. Additionally, the conditioned second-story front deck introduces further articulation to the building facade and is designed to align with neighboring second-story decks, thereby reinforcing visual continuity along the street. Accordingly, the proposed project, as conditioned, will result in greater conformity with the prevailing scale, height, and design character of the surrounding neighborhood.

The proposed 4-foot-tall fence that is proposed along the front property line and within the front yard setback along Rockview Drive will be one foot taller than the allowed 3-foot height. This fencing will replace existing fencing that currently encroaches into the County right-of-way and create a more conforming fencing, since it is conditioned to be located within the property boundaries. For the fencing within the front yard setback along South Palisades Avenue, the existing over-height fencing along the side property lines is appropriate in that it provides privacy to the yard areas of adjacent parcels and does not obstruct sight lines along the alleyway. However, all other over-height fencing within the front yard setback to South Palisades Avenue, including any fencing located on the subject property and within the 10-foot sight distance triangles for the proposed driveway, will either be removed fully or to have a maximum height of three feet. Therefore, the project will bring the fencing at the site into greater conformance with County fence regulations and the one-foot increase in height along Rockview Drive and retention of existing six-foot fencing along the side property lines on the South Palisades Avenue side of the property is appropriate.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made because the proposed project has been carefully planned and appropriately located to be compatible with the established and evolving development pattern of the surrounding neighborhood. As conditioned, the design responds sensitively to adjacent properties through enhanced architectural articulation, particularly along the northern property line. The second story incorporates a series of step-backs beyond the minimum 7-foot setback requirement, which helps to visually break up building mass and reduce perceived bulk, while the first-floor setbacks remain consistent with the applicable zone district development standards.

The surrounding neighborhood, including properties along Rockview Drive, is predominantly developed with two-story single-family residences. The existing one-story dwelling on the subject site is among the few single-story homes remaining in the area. As conditioned, the proposed maximum roof height of 22 feet is compatible with nearby residences, minimizes the potential for shading or privacy impacts on adjacent properties, and aligns with the scale and roof forms commonly found in newer and remodeled homes within the neighborhood. The architectural style reflects a contemporary aesthetic that is already present in the area and contributes to a cohesive streetscape.

Further, the conditioned second-story front deck adds additional façade articulation and visual interest, while its alignment with neighboring second-story decks helps maintain consistency along the street frontage. Collectively, these design elements ensure that the project, as conditioned, will better reflect the prevailing scale, height, and character of surrounding development, thereby improving neighborhood compatibility.

Design-wise, the proposed development is in substantial conformance with the applicable principles of the adopted Countywide Design Guidelines, except where site-specific constraints necessitate reasonable deviations, and complies with all relevant requirements of SCCC 13.11 (Site Development and Design Review) and the policies of the SCCC 13.20 (Local Coastal Program).

This finding can also be made in that the proposed project, including the over-height fencing as conditioned, substantially complies with the County Design Review Ordinance. The project is of an appropriate scale and design type that will enhance the visual quality of the subject property and remain consistent with the character of nearby remodeled and newly constructed homes. Given that the majority of surrounding residences are two stories, the proposed dwelling will blend seamlessly into the existing neighborhood context. Additionally, the project's articulation, reduced massing through step-backs, and moderated height contribute to minimizing shading and looming effects on adjacent properties, resulting in a well-integrated and aesthetically compatible development.

## Variance Findings

- (1) That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

The special circumstances applicable to this property include its size, as the parcel is significantly smaller than the minimum 5,000 square feet required in the R-1-5 Zone District. Additionally, the parcel is encumbered by a 10-foot-wide right-of-way (South Palisades Avenue) that traverses the rear portion of the parcel, reducing the effective developable area to approximately 3,375 square feet. Due to the property's double frontage along both Rockview Drive and South Palisades Avenue, there is no location on the parcel where a private, usable yard area can be established. The proposed 9-foot encroachment into the front yard setback results in an excessive deck at the front of the property. Therefore, staff recommends reducing the requested variance for the cantilevered deck encroachment from 9 feet to 7.5 feet; resulting in a deck with a depth of 9 feet that would provide adequate space for outdoor use while better aligning with the scale and character of existing decks in the neighborhood.

The recommended revisions to the design of the front deck would result in a cantilever of only 4.5 feet beyond the face of the proposed lower floor. This is considered appropriate as it would allow the construction of a second-floor deck of sufficient size to provide a semi-private outdoor area for the residence, while conforming to deck encroachments of neighboring properties that were built with building permits. Therefore, the strict application of the Zoning Ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity and under the same zoning classification. Therefore, the required findings for approval of the variance can be made.

- (2) That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made because, as conditioned, the proposed variance remains consistent with the overall intent and purpose of the Zoning Ordinance, which seeks to ensure reasonable development while protecting neighborhood character, access to light and air, and compatibility among properties. Santa Cruz County Code allows cantilevered decks to encroach up to six feet into required front and rear yard setbacks, recognizing that limited encroachments for decks are generally compatible with residential development patterns and do not result in significant adverse impacts.

While the originally requested nine-foot encroachment would exceed what is typically contemplated by the zoning standards, the recommended reduction to a maximum encroachment of 7.5 feet represents a modest deviation that maintains consistency with zoning objectives. The reduced encroachment limits the scale of the deck, minimizes potential impacts to adjacent properties, and better reflects the proportional relationship between the structure and the front yard setback. This adjustment ensures that the deck remains secondary to the primary structure and does not dominate the streetscape. In addition, the revised deck design provides increased architectural articulation and enhances the front façade facing Rockview Drive by creating a covered porch element at the ground level, which contributes positively to the pedestrian-scale character of the street. With these conditions in place, the proposed variance will not result in any material detriment to public health, safety, or welfare, nor will it adversely affect nearby properties or improvements.

(3) That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made because the requested variance, as conditioned to allow a cantilevered second-story deck to encroach no more than 7.5 feet into the required front yard setback, does not confer a special privilege that is inconsistent with development limitations applicable to other properties within the same zoning district. Instead, it represents a reasonable accommodation consistent with variances granted to other properties in the vicinity and under the same zoning classification. The subject property is located in a neighborhood where numerous existing residences are either legally nonconforming with respect to current setback requirements or have been granted variances to allow reduced setbacks due to similar site constraints.

Several nearby properties demonstrate comparable departures from standard setback requirements, including properties that have received approved variances to accommodate building elements closer to property lines. For example, Permit 07-0755 (APN 028-304-23) authorized reduced side yard setbacks, illustrating that variances have been granted in the immediate vicinity when warranted by site-specific conditions. These approvals establish a pattern of reasonable flexibility in applying setback standards where strict compliance would unduly limit the use of a property.

Although the originally proposed nine-foot encroachment would exceed what has been approved for most surrounding parcels, the recommended reduction to a maximum encroachment of 7.5 feet places the proposed deck within the range of limitations applied to other nearby properties. The example set by 29 Rockview Drive, with a deck setback for 2.5 feet, is not a useful benchmark because the structure was built in 1955 before the acceptance of building or zoning standards. Therefore, the revised encroachment is comparable in scale and impact to decks and structural projections that have been permitted elsewhere in the neighborhood and does not exceed what is necessary to provide a functional and usable outdoor space for the residence.

## Pleasure Point Exception Findings

- (1) There are special existing site or improvement characteristics or circumstances, including but not limited to the absence of adjacent residential parcels that could potentially be shaded by the proposed development, that appropriately excuses the proposed development from meeting one or more of the development standards; or

This finding can be made because the subject property is legally substandard in size and is further constrained by double frontage along Rockview Drive and South Palisades Avenue, as well as a 10-foot-wide right-of-way easement that reduces the effective developable area. These conditions limit building placement and create practical constraints that warrant flexibility from strict application of development standards. As conditioned, the proposed design responds to these constraints by incorporating second-story setbacks, reduced roof height, and architectural articulation that lessen visual massing and reduce the perception of looming along the northern property line. The project is oriented toward the street, which supports neighborhood interaction and contributes positively to the streetscape.

The revised shade study (Exhibit 1G) demonstrates reduced shading impacts on the adjacent northern property, which will be further minimized through conditions of approval. These include a minimum beginning second story setback of 7 feet for the single-family dwelling (including the elevator), a maximum roof height of 22 feet, and a limitation of front eaves on both the single-family dwelling and ADU to no more than three feet. All other setbacks and height limits as shown on Exhibit 1D shall be maintained. As conditioned, the project will minimize shading on adjoining properties.

During winter months, some shading is anticipated on a one-story portion of the residence at 33 Rockview Drive, located immediately north of the site. This shading is influenced in part by the neighboring home's proximity to the property line and the fact that the proposed structure will be two-stories. As there are no windows on the south-facing wall of that residence, the resulting shading is not expected to result in significant adverse impacts.

State law allows accessory dwelling units to be located within four feet of side and rear property lines, which establishes a special circumstance supporting reduced second-story setbacks for the ADU. The proposed ADU provides a 10-foot setback along the northern property line, with the uncovered exterior stairway located 6 feet from the property line, ensuring that shading and visual impacts are minimized.

- (2) The Pleasure Point Community Design "PP" Combining District purposes, found in County Code section 13.10.444, are better achieved by an alternative design; or

This finding is not applicable in that Finding 1 can be made to support an exception to the Pleasure Point Residential Development Standards.

- (3) The granting of an exception will result in a superior residential design that is consistent with the Pleasure Point Community Design "PP" Combining District purposes, found in County Code section 13.10.444.

This finding is not applicable in that Finding 1 can be made to support an exception to the Pleasure Point Residential Development Standards.

## Conditions of Approval

Exhibit 1D: Project plans, prepared by Gordon Gazeley, dated 1/12/26.

- I. This permit authorizes the demolition of the existing one-story single-family dwelling and attached garage, including removing landscaping improvements along the side property lines and within the right-of-way along Rockview Drive, and the construction of an 1,888 square foot, two-story single-family dwelling with a 298 square foot second story front deck, an attached 486 square foot garage and second story 496 square foot Accessory Dwelling Unit, and including a 4 foot fence along the front property facing Rockview Drive, as indicated on the approved Exhibit "1D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official, if required.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way of Rockview Drive.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "1D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "1D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet for Santa Cruz County Planning review and approval.

3. Correct all of the square footage numbers on all sheets to be consistent with the proposed floor plans.
4. Correctly annotate the North and South elevation views (currently reversed)
5. Show on the plans that eaves along the front and back of the dwelling/ADU shall not extend more than 3 feet beyond the exterior wall to reduce shading impact.
  - a. Show the second story side setbacks for the proposed single-family dwelling to begin at a minimum of 7 feet while retaining all other second story setbacks for the single-family dwelling and ADU, as shown on Exhibit 1D.
  - b. Maximum height shall not exceed 22 feet for the single-family dwelling, as measured to the highest point of the roof. While the ADU height is to be retained as shown on Exhibit 1D.
6. Update the second story cantilevered front deck to encroach 7.5 feet, not 9 feet, into the front yard setback along Rockview Drive.
7. Indicate the height and location of all replacement fencing onto the site plan and remove any fencing on proposed plan pages that is located within the right-of-way. All fencing within the front yard setback along Rockview Drive shall have a maximum height of 4 feet as authorized by this Permit and all fencing within the front yard at South Palisades Avenue shall have a maximum height of 3 feet, except that existing fencing along the side property lines that is not located within the 10-foot sight distance triangle adjacent to any driveway may be retained. All new fencing shall be located fully within the subject property boundaries and shall be designed using materials and colors that will complement the proposed dwelling and that will blend with other existing fencing on the property and in the neighborhood. Proposed colors and materials for the fences shall be included on the sheet depicting colors and materials for the dwelling.
  - a. All other unpermitted fencing on the subject property along all property lines must be removed, including the existing gate and fencing along the frontage on Rockview Drive is to be removed in its entirety from the County ROW.
8. Grading, drainage, and erosion control plans.
9. Show that the proposed lighting meets the SCCC 13.11 lighting standards by having downward directed and shielded lighting that is low lumens to not impact neighboring properties.
10. Details showing compliance with fire department requirements.
11. Show the proposed landscaping within Rockview Drive right-of-way for review and compliance confirmation by Public Works Encroachments/Road

Engineering.

- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
  - 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
  - 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  - 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Public Works Driveway standards, including:
  - 1. The development is subject to Live Oak Transportation Improvement (TIA) fees at the current rate within the County Unified Fee Schedule. The new development shall be assessed at the rate of a bedroom addition, currently \$2,000 per bedroom addition (\$1,000 for Transportation Improvement fee and \$1,000 for Roadside Improvement fee). The total fee of \$2,000 is to be split evenly between transportation improvement and roadside improvement fees.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- F. Submit soils report plan review letters prepared and stamped by the project Geotechnical Engineer.
- G. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings based upon additional habitable square footage.
- H. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for single family dwellings based upon additional habitable square footage.
- I. Pay the current Affordable Housing Impact Fee based upon additional habitable square footage. The fees are based on unit size and the current fee for a dwelling between 2001 and 2500 square feet is \$3.00 per square foot.
- J. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.

K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

A. All site improvements shown on the final approved Building Permit plans shall be installed.

B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.

C. The project must comply with all recommendations of the approved soils reports.

D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

A. All lighting shall be maintained in perpetuity to comply with SCCC 13.11 lighting standards, including downward directed and shielded lighting that is low lumens to result in lighting that does not go beyond the subject property.

B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the

applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor'(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the**

**building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

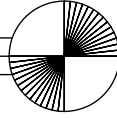
Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

# LOPES RESIDENCE



LEGEND OF SHEETS	
PAGE	TITLE
A1	COVER SHEET, PROJECT INFO
A2	EXISTING FLOORPLAN W/SITE
A3	PROPOSED SITE PLAN
A4	PROPOSED LOWER FLOORPLAN
A5	PROPOSED UPPER FLOORPLAN
A6	ELEVATIONS
A7	ROOF PLAN
A8	SECTIONS
L1	LANDSCAPE PLAN
C1	EXISTING SITE CONDITIONS
C2	GRAVING PLAN
C3	UTILITY PLAN
C4	GRAVING PLAN
S	SURVEY/TOPO

**CODE ANALYSIS:**  
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES & CARPUELA MUNICIPAL CODE (2022)

OCCUPANCY CLASSIFICATION: **R-3/A**  
 BUILDING CONSTRUCTION TYPE: **VB**  
 FIRE RATING: **SPRINKLERED**

**THE FOLLOWING CODES APPLY:**  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA ENERGY STANDARDS  
 2022 CALIFORNIA GREEN BUILDING CODE  
 2022 CALIFORNIA RESIDENTIAL CODE  
 AND SANTA CRUZ COUNTY AMENDMENTS.

THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE.

COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

**PROJECT DESCRIPTION:**  
 PROPOSAL TO DEMOLISH AN APPROXIMATELY 1,771 S.F. EXISTING SINGLE LEVEL SINGLE FAMILY HOME AND CONSTRUCT A NEW 1,850 S.F. 2-STORY SINGLE FAMILY DWELLING WITH A 480 S.F. TWO-CAR GARAGE, AN ATTACHED 40' X 6' S.F. AND ONE UNCOVERED DECK TOTALING 288 S.F., REQUIRES A COASTAL DEVELOPMENT PERMIT. AN EXCEPTION TO THE PLEASURE POINT DESIGN GUIDELINES IS PROPOSED TO REDUCE THE SECOND STORY REAR YARD SETBACKS FROM 10' AND 10' TO 4' AND 4'. WRITTEN FINDINGS ARE PROVIDED WITH THE APPLICATION.

**PROJECT DATA:**  
 APN: 038-304-60  
 3,700 S.F.  
 ZONE/DISTRICT: R4-R (ROUTE STANDARDS OF R4-R DISTRICT APPLY PER SUBSTANDARD LOT RES)  
 RESIDENTIAL URBAN NEURBA  
 MAX # STORES: 2  
 #F ALLOWED: PROPOSED 24'1"  
 YES  
 LOT COVERAGE: 45% ALLOWED, PROPOSED 32.7%  
 F.A.R.: 60% ALLOWED, PROPOSED 56.4%  
 FRONT YARD SB (1ST FLOOR): 15'0" ALLOWED, PROPOSED 15'0" (BASED ON FRONT YARD AVERAGING)  
 FRONT YARD SB (2ND FLOOR): 10'0" ALLOWED, PROPOSED 10'0" (BASED ON FRONT YARD AVERAGING)  
 SIDE YARD SB: 5'0" ALLOWED, PROPOSED 6' & 7'  
 FRONT YARD AVERAGING: 10' & 10' ALLOWED, PROPOSED 6' & 4' (EXCEPTION FINDINGS ATTACHED)  
 ADDRESS: - FRONT YARD SETBACK  
 31 ROCKVIEW - 14'-0" SETBACK  
 31 ROCKVIEW - 11'-0" SETBACK  
 10'0" SETBACK - 138,2712 - 11'-0" FRONT YARD SETBACK

**FLOOR AREA RATIO CALC:**  
 TOTAL SQUARE FOOTAGE: 1,850 S.F. HABITABLE  
 261 S.F. GARAGE (480' GARAGE CREDIT = 261)  
 2,111 S.F. / 3,700 = 56.4%

**LOT COVERAGE CALC:**  
 F1ST FLOOR SF: 666 + 480 + 225 (GARAGE CREDIT) = 1,273,750 = 32.7%

**Owners:**  
 Luis and Hilda Lopes  
 31 Rockview Drive  
 Santa Cruz, CA 95062  
 (408) 650-0471  
 hlope@aol.com  
 hlope@pacnet.com

**PROJECT CONSULTANTS:**

**Architect:**  
 Gordon Gazeley  
 Land Use Consultant  
 175 Enterline Drive  
 Ashland, CA 95003  
 (531) 325-1219  
 steveengvesmuk@gmail.com

**Designer:**  
 Gordon Gazeley  
 831 845-2421  
 gordon@lupdesign.com

**Surveyor:**  
 Andrew Sill  
 LupConsult Engineers  
 PO Box 13  
 Ashland, CA 95004  
 (531) 724-2000 ext 103  
 andrews@lupconsultengineers.com

**Civil Engineer:**  
 Jeff Roper  
 Roper Engineering  
 40 Mars Ave.  
 Corralton, CA 95076  
 (931) 724-0300

**Geotechnical Report:**  
 Betsy Davis  
 Davis & Associates  
 501 Mission St, Suite 6A  
 Santa Cruz, CA 95060  
 (831) 427-1770  
 bsdavis@betsydavisassociates.com

**3D Model/Photos:**  
 Alan Hynes  
 A Hynes House  
 578 Larkwood Drive  
 Ashland, CA 95003  
 (531) 282-2719  
 alan@ahyneshouse.com



VICINITY MAP

## Exhibit 1D

REVISIONS:	BY:
△ 08/14/25	GG
01/12/26	GG

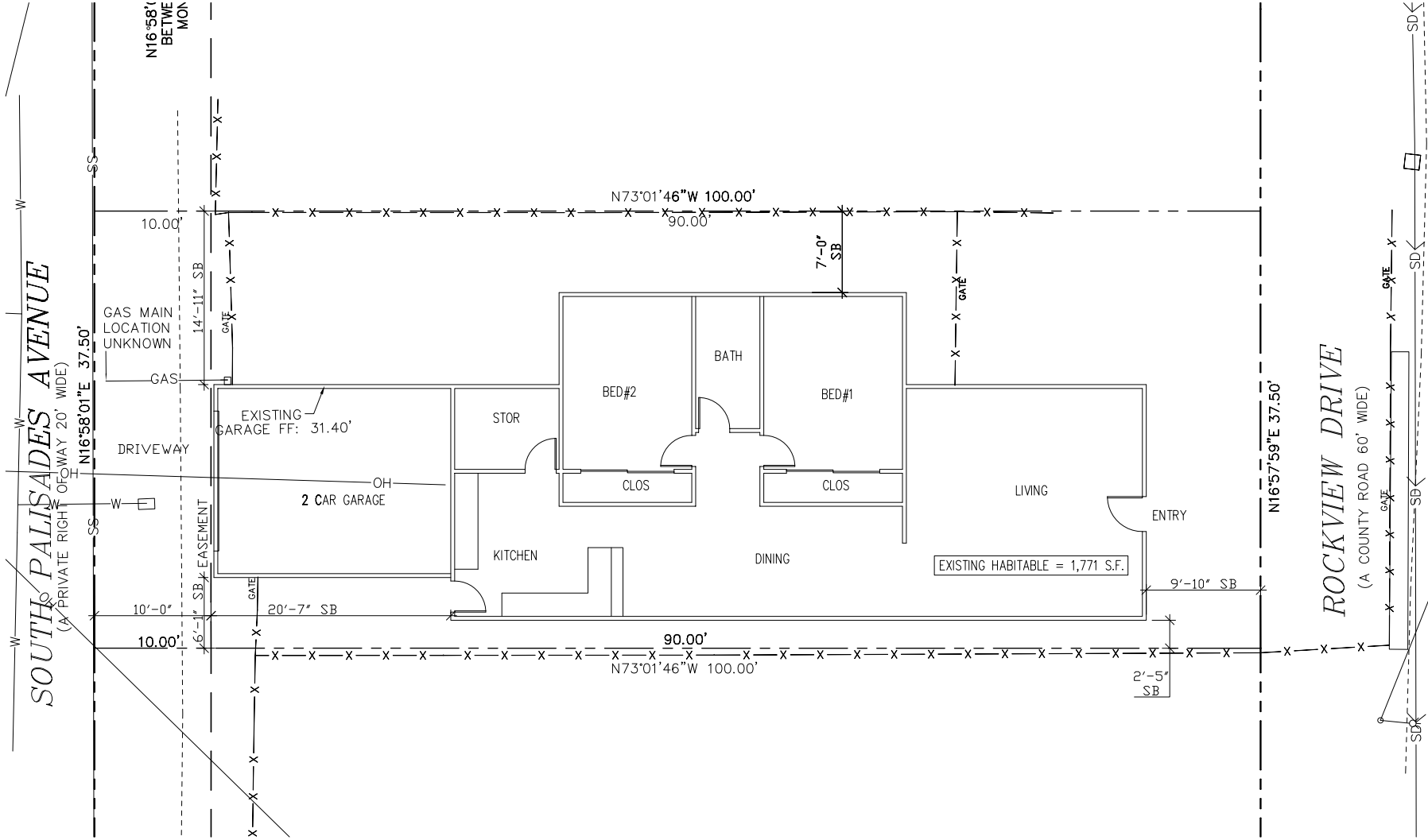
**OWNER:**  
 LUIS & HILDA LOPES  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 408-656-0471

LOPES RESIDENCE  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 APN 028-304-31

**GORDON GAZELEY**  
 HOME DESIGN AND PROJECT PLANNING

COVER SHEET  
 LEGEND OF SHEETS

DRAWN:	GG
CHECKED:	
JOB NO.:	31 ROCK
DATE:	04/28/25
SHEET	A1
OF # SHEETS	



**SOUTH PALISADES AVENUE**  
(A PRIVATE RIGHT OF WAY 20' WIDE)

N16°58'1" BETW MON

**ROCKVIEW DRIVE**  
(A COUNTY ROAD 60' WIDE)

**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

EXISTING S.F.:  
HOUSE = 1,436 S.F.  
GARAGE = 318 S.F.

**Exhibit 1D**

REVISIONS:	BY:

OWNER:  
LUIS & HELDA LOPES  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
408-636-0871

LOPES RESIDENCE  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
APN 028-304-31

GORDON GAZELEY  
HOME DESIGN AND PROJECT PLANNING

PHONE: 519-845-7471  
EMAIL: gordon@fgdp.com

**EXISTING FLOORPLAN  
W/SITE**

DRAWN: GG

SCALE: 1/4"=1'-0"

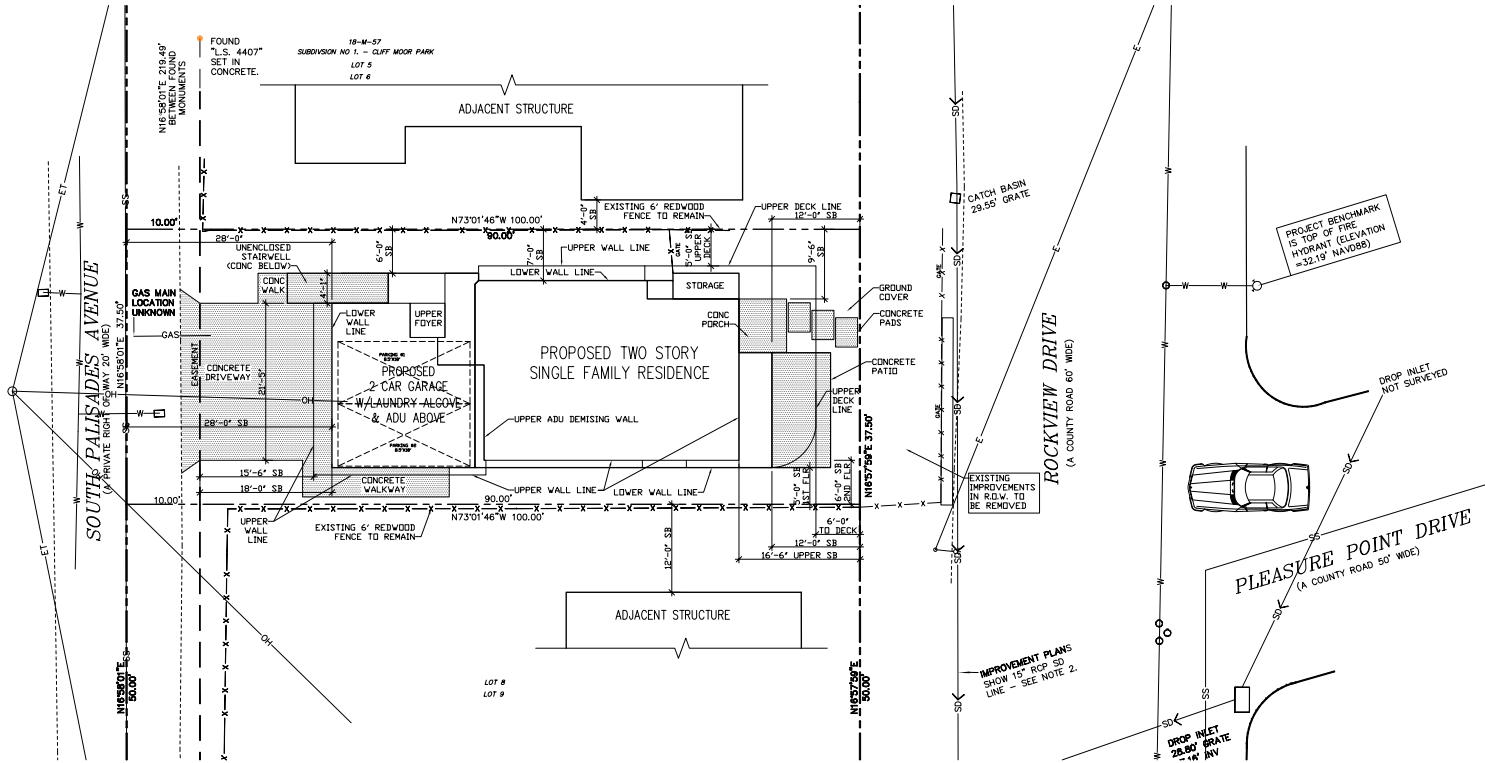
JOB NO. 31 ROCK

DATE: 08/14/25

SHEET

**A2**

OF # SHEETS



REVISIONS:	BY:
12/18/25	GG

OWNER:  
 LUIS & HELDA LOPES  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 408-636-5871

LOPES RESIDENCE  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 APN 028-304-31

GORDON GAZELEY  
 HOME DESIGN AND PROJECT PLANNING

PHONE: 831 445-2471  
 EMAIL: gordon@gazeley.com

PROPOSED  
 SITE PLAN

DRAWN: GG

SCALE: 1/8" = 1'-0"

JOB NO. 31 ROCK

DATE: 08/08/25

SHEET

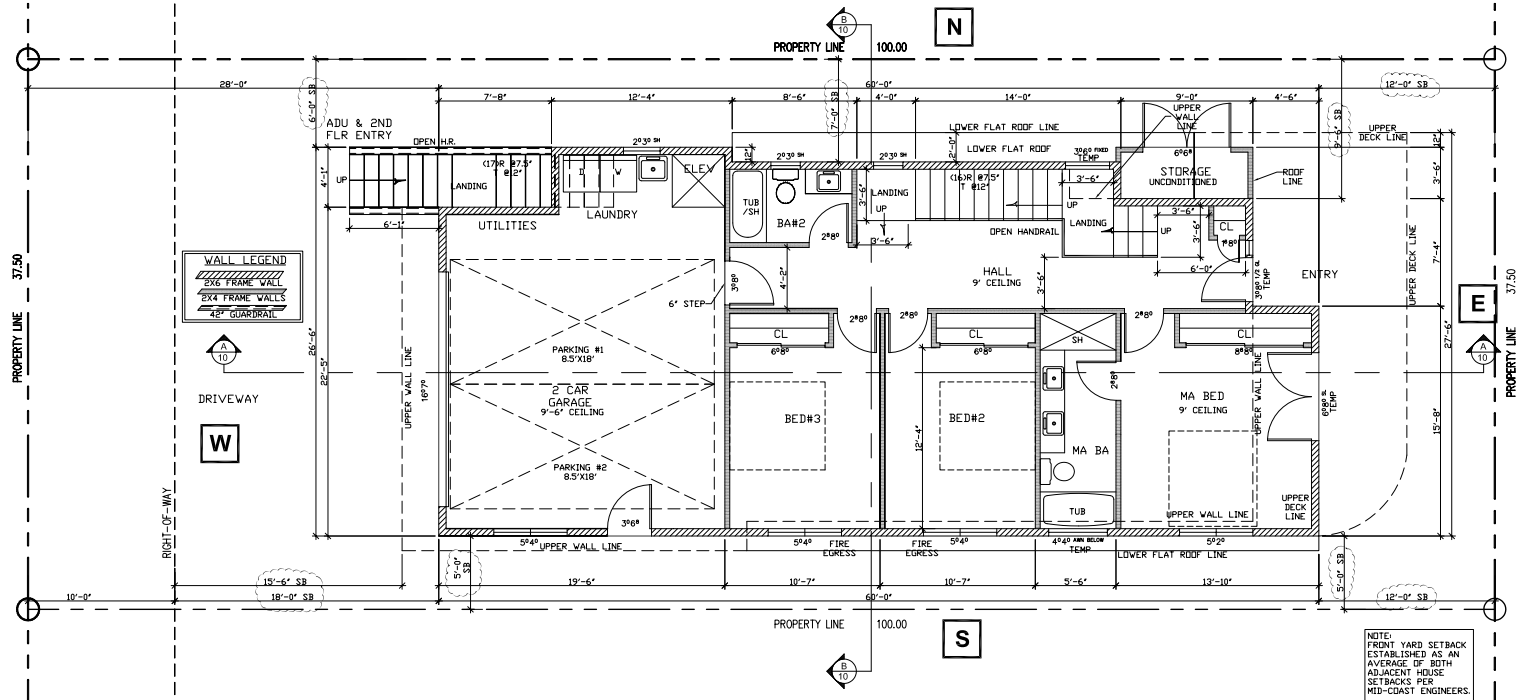
A3

OF # SHEETS

SITE PLAN  
 SCALE: 1/8"=1'-0"

Exhibit 1D

SOUTH PALISADES AVENUE



WALL LEGEND  
 6X6 FRAME WALL  
 2X4 FRAME WALLS  
 48" GUARDRAIL

NOTE: FRONT YARD SETBACK ESTABLISHED AS AN AVERAGE OF BOTH ADJACENT HOUSE SETBACKS PER MID-COAST ENGINEERS.

PROPOSED S.F.  
 LOWER LEVEL = 466 S.F.  
 UPPER LEVEL = 890 S.F.  
 TOTAL LIVING = 1356 S.F.  
 UPPER ADU = 474 S.F.  
 UPPER COVER = 22 S.F.  
 UPPER DECK = 298 S.F.  
 GARAGE = 486 S.F.  
 LOWER STORAGE = 33 S.F.

FLOOR PLAN  
 SCALE: 1/4"=1'-0"

Exhibit 1D

REVISIONS:	BY:
▲ 08/14/23	GG
▲ 12/15/23	GG

OWNER:  
 LUIS & HELDA LOPES  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 408-636-687

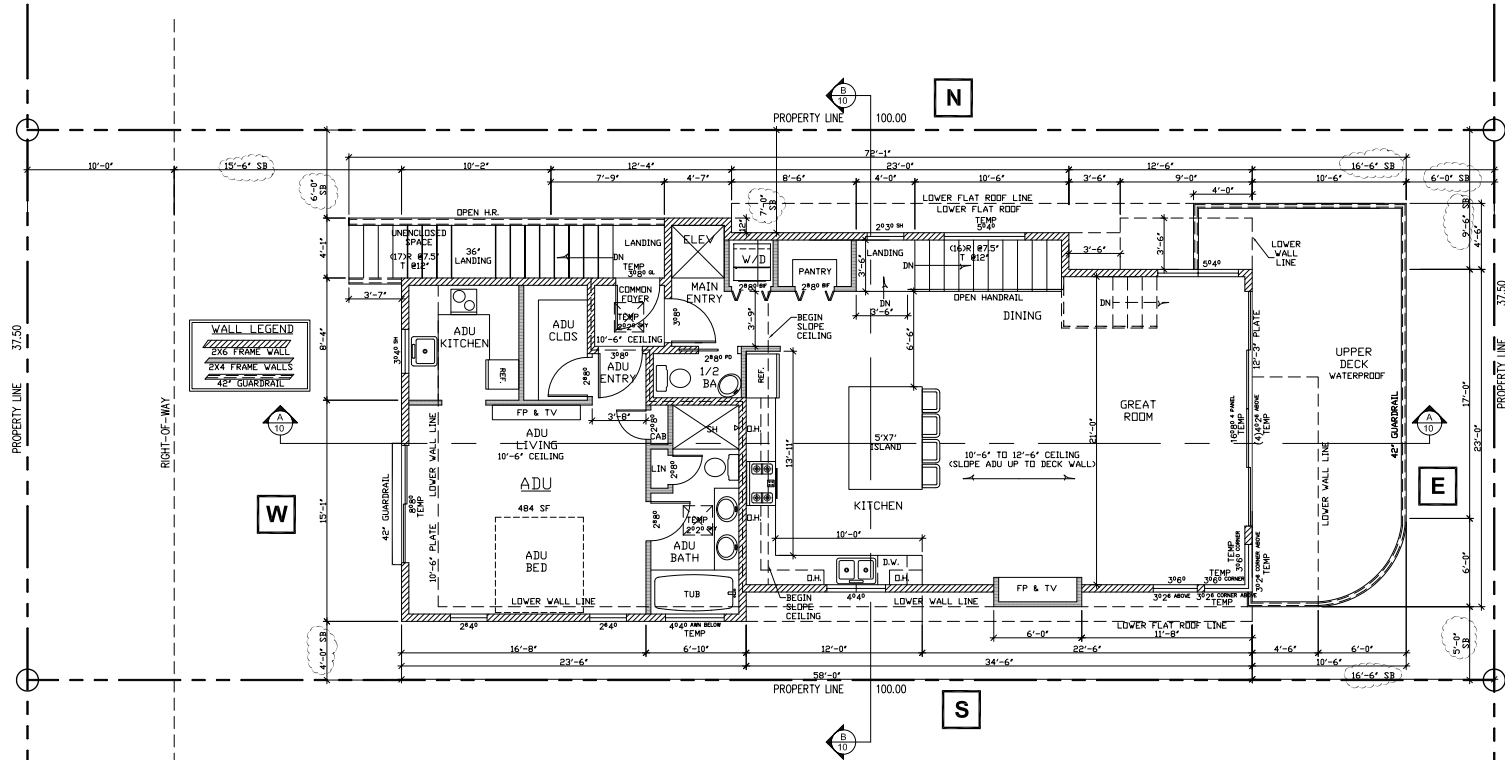
LOPES RESIDENCE  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 APN 028-304-31

GORDON GAZELEY  
 HOME DESIGN AND PROJECT PLANNING  
 PHONE: 531-845-2421  
 EMAIL: gordon@fgazepdp.com

PROPOSED LOWER  
 FLOORPLAN

DRAWN:	GG
SCALE:	1/4"=1'-0"
JOB NO.:	31 ROCK
DATE:	07/21/25
SHEET:	A4
OF #	SHEETS

SOUTH PALISADES AVENUE



**WALL LEGEND**  
 2x4 FRAME WALL  
 42" GUARDRAIL

PROPOSED S.F.:  
 LOWER LIVING = 966 S.F.  
 UPPER LIVING = 895 S.F.  
 TOTAL LIVING = 1,861 S.F.  
 UPPER ADU = 474 S.F.  
 UPPER FOYER = 22 S.F.  
 GARAGE = 480 S.F.  
 LOWER STOR = 325 S.F.

**FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**Exhibit 1D**

REVISIONS:	BY:
▲ 08/14/25	GG
▲ 01/29/28	GG

OWNER:  
 LUIS & HELDA LOPES  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 408-636-0571

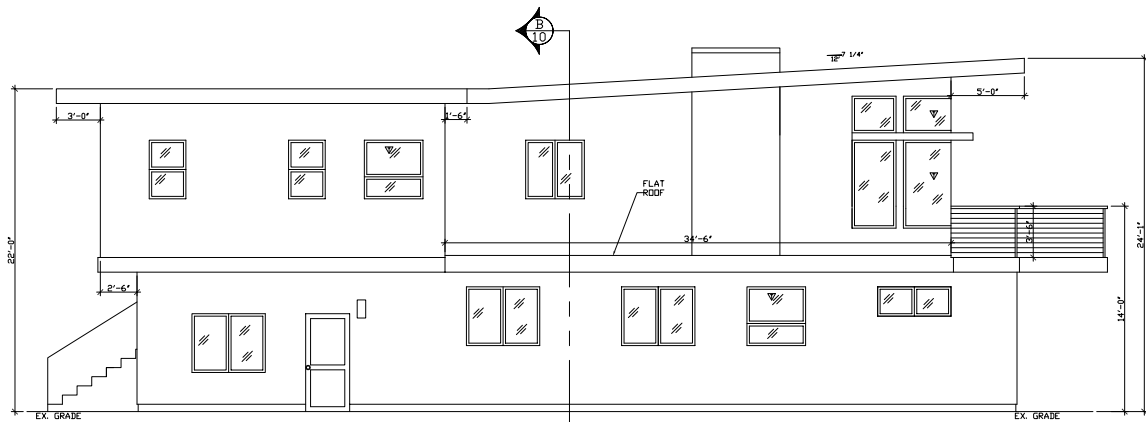
LOPES RESIDENCE  
 31 ROCKVIEW DR  
 SANTA CRUZ, CA 95062  
 APN 028-304-31

GORDON GAZELEY  
 HOME DESIGN AND PROJECT PLANNING  
 PHONE: 531.845.2471  
 EMAIL: gordon@fgcgsd.com

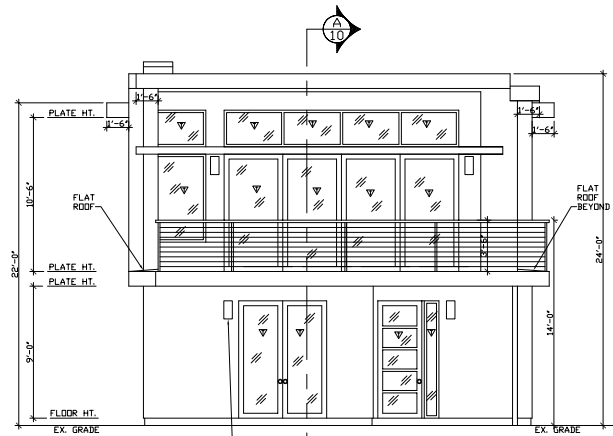
**PROPOSED UPPER FLOORPLAN**

DRAWN: GG  
 SCALE: 1/4"=1'-0"  
 JOB NO. 31 ROCK  
 DATE: 07/21/25

SHEET  
**A5**  
 OF # SHEETS



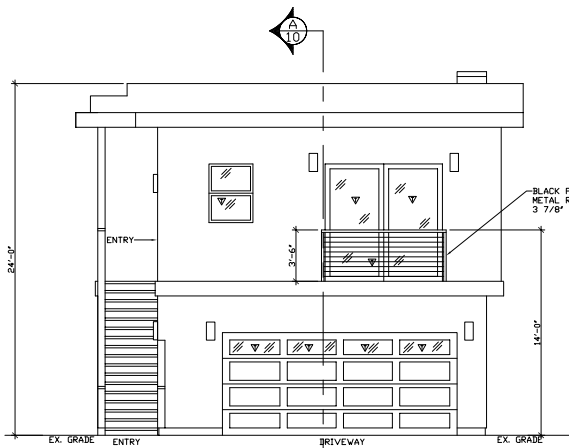
**NORTH**  
SCALE: 1/4"=1'-0"



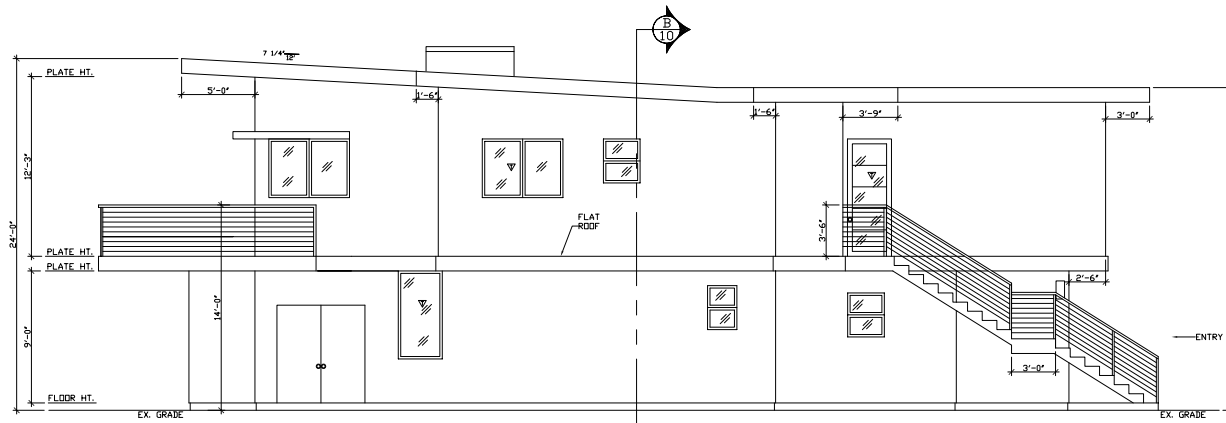
**EAST**  
SCALE: 1/4"=1'-0"

NOTE:  
ALL LIGHTING FIXTURES TO BE  
UP/DOWN DIRECTED TO AVOID  
LIGHT POLLUTION TO NEIGHBORHOOD

TYPICAL  
LIGHT  
FIXTURE



**WEST**  
SCALE: 1/4"=1'-0"



**SOUTH**  
SCALE: 1/4"=1'-0"

NOTE: ▽ = TEMPERED GLASS

**Exhibit 1D**

REVISIONS:	BY:
▲ 08/14/25	GG
▲ 01/29/26	GG

OWNER:  
LUIS & HELDA LOPES  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
408-636-5875

LOPES RESIDENCE  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
APN 028-304-31

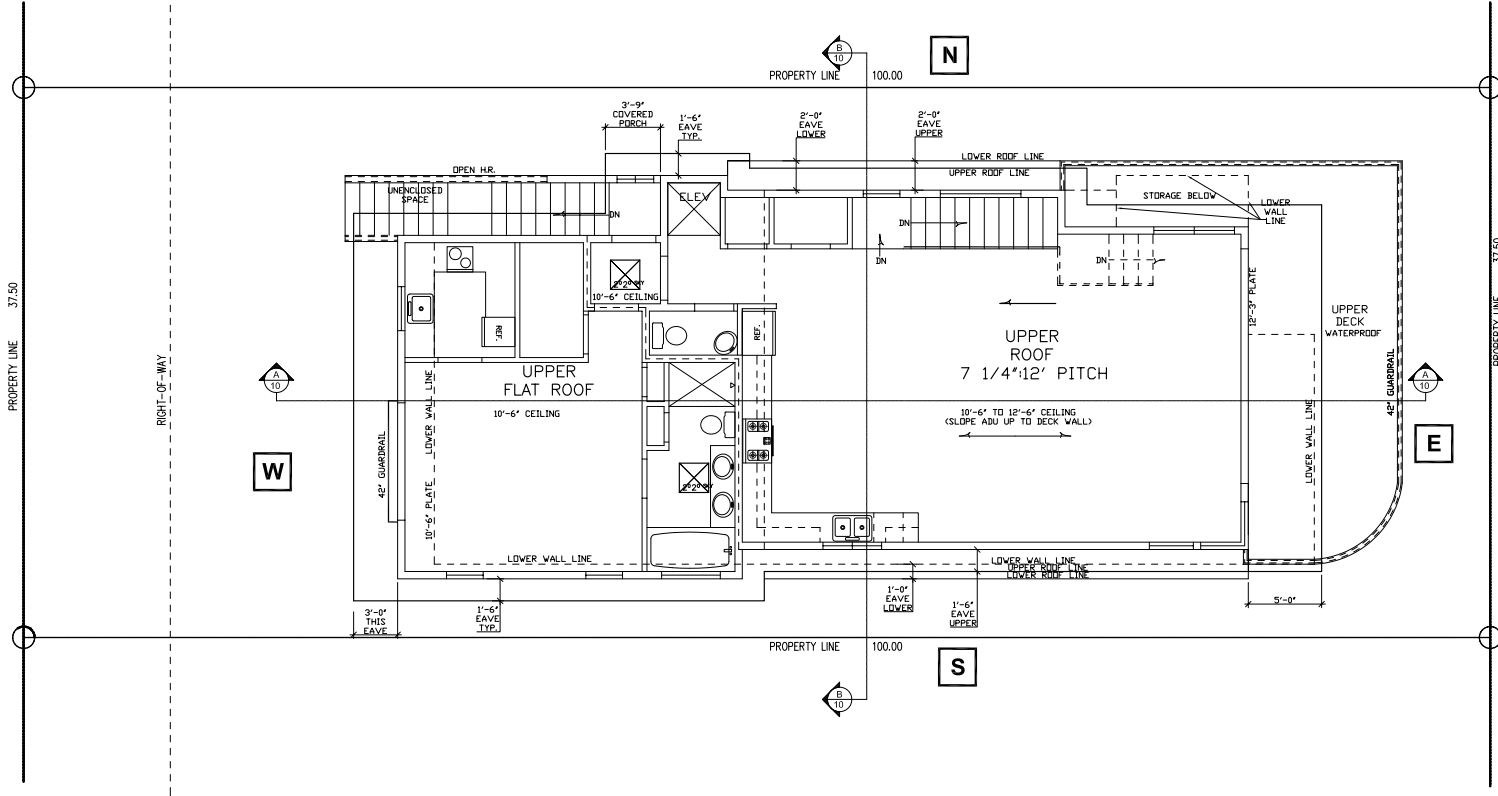
GORDON GAZELEY  
HOME DESIGN AND PROJECT PLANNING  
PHONE: 831-445-2471  
EMAIL: gordon@fgazepdp.com

**ELEVATIONS**

DRAWN: GG  
SCALE: 1/4"=1'-0"  
JOB: 31 ROCK  
DATE: 04/28/25

SHEET  
**A6**  
OF # SHEETS

SOUTH PALISADES AVENUE



NOTE:  
ALL ROOF DRAINAGE  
DOWNSPOUTS TO SPASHBLOCKS  
TO VEGETATED AREAS  
SEE CIVIL ENGINEERING PLANS

ROOF PLAN  
SCALE: 1/4"=1'-0"

Exhibit 1D

REVISIONS:	BY:
▲ 08/14/25	SG
▲ 12/18/25	SG

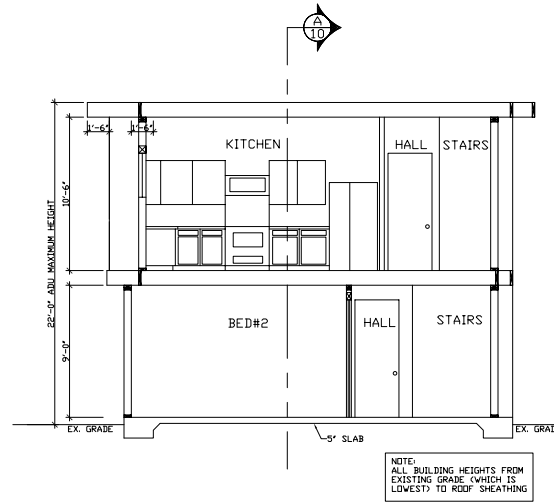
OWNER:  
LUIS & HELDA LOPES  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
408-656-0871

LOPES RESIDENCE  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
APN 028-304-31

GORDON GAZELEY  
HOME DESIGN AND PROJECT PLANNING  
PHONE: 831.464.0421  
EMAIL: gordon@gazeley.com

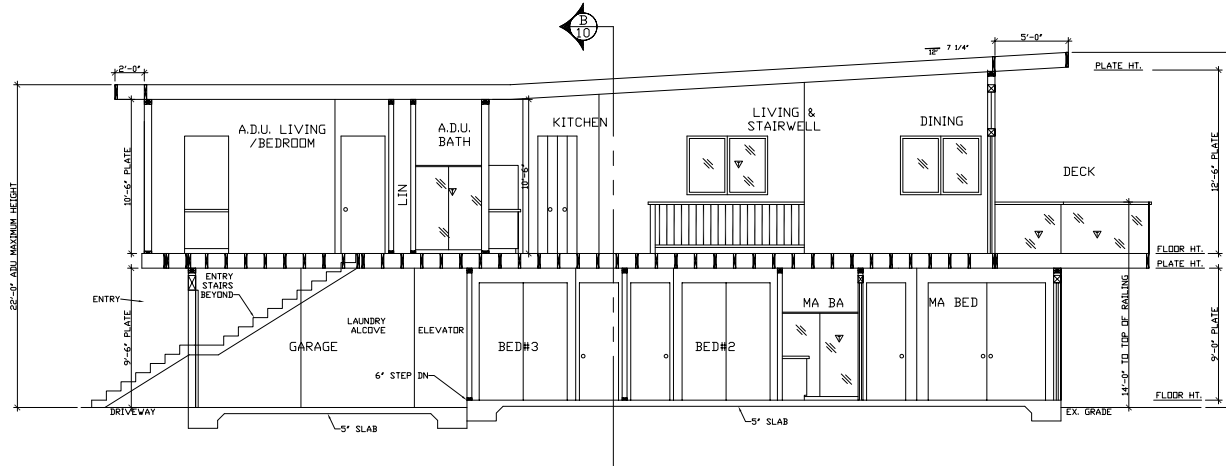
ROOF PLAN

DRAWN:	GG
SCALE:	1/4"=1'-0"
JOB NO.:	31 ROCK
DATE:	04/28/25
SHEET:	A7
OF # SHEETS:	



**SECTION B**  
SCALE: 1/4"=1'-0"

NOTE:  
ALL BUILDING HEIGHTS FROM  
EXISTING GRADE (WHICH IS  
LOWEST) TO ROOF SHEATHING



**SECTION A**  
SCALE: 1/4"=1'-0"

NOTE:  
THE CAL GREEN MANDATORY REQUIREMENTS  
ARE LOCATED ON SHEET GB.1

REVISIONS:	BY:
△ 07/23/25	GG
12/19/23	GG

OWNER:  
LUIS & HELDA LOPES  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
408-636-587

LOPES RESIDENCE  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
APN 028-304-31

GORDON GAZELEY  
HOME DESIGN AND PROJECT PLANNING

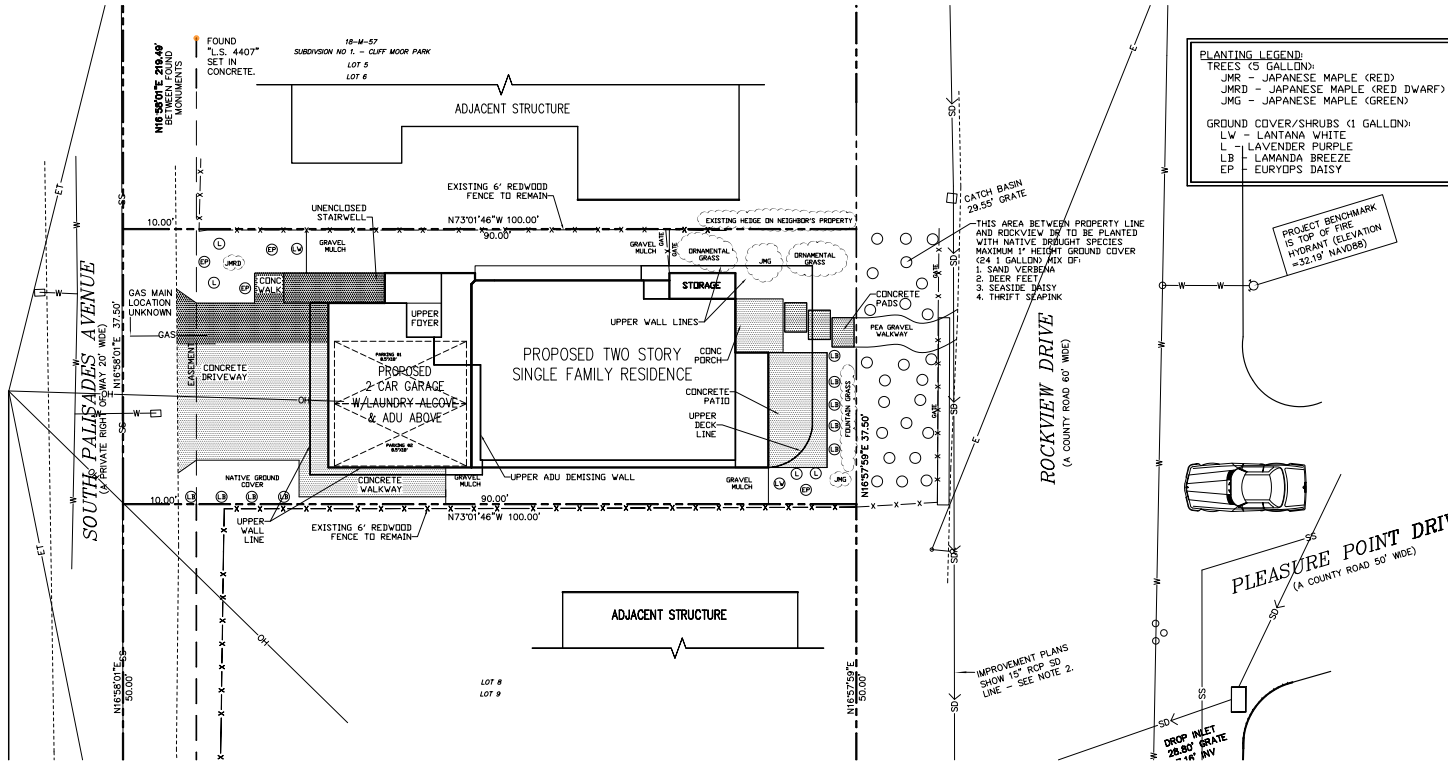
PHONE: 831.845.2471  
EMAIL: gordon@fgbcgpa.net

SECTIONS

DRAWN: GG  
SCALE: 1/4"=1'-0"  
SCALE: 31 ROCK  
DATE: 04/28/25

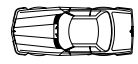
SHEET  
A8  
OF # SHEETS

**Exhibit 1D**



PLANTING LEGEND:	
TREES (5 GALLON):	
JMR	- JAPANESE MAPLE (RED)
JMRD	- JAPANESE MAPLE (RED DWARF)
JMG	- JAPANESE MAPLE (GREEN)
GROUND COVER/SHRUBS (1 GALLON):	
LW	- LANTANA WHITE
L	- LAVENDER PURPLE
LB	- LAMANDA BREEZE
EP	- EURYDPS DAISY

PROJECT BENCHMARK  
IS TOP OF FIRE  
HYDRANT (ELEVATION  
+32.19' NAVD83)



1. FINAL LANDSCAPE CONSTRUCTION DRAWINGS TO INCLUDE A DETAILED IRRIGATION PLAN, PLANTING & IRRIGATION DETAILS, AND SPECIFICATIONS.
2. EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
3. IRRIGATION - PLANTS WILL BE DRIP IRRIGATED AND DIFFERENT HYDROZONE AREAS WILL BE ON DIFFERENT VALVES. THE CONTROLLER WILL CHANGE THE VALVE RUN TIMES BASED ON CURRENT WEATHER AND SHUT OFF IRRIGATION DURING RAIN EVENTS. ALL APPLICABLE COUNTY WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS WILL BE FOLLOWED.

REVISIONS:	BY:
12/19/23	GG

OWNER:  
LUIS & HELDA LOPES  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
408-636-5871

LOPES RESIDENCE  
31 ROCKVIEW DR  
SANTA CRUZ, CA 95062  
APN 028-304-31

GORDON GAZELEY  
HOME DESIGN AND PROJECT PLANNING  
PHONE: 831-445-2471  
EMAIL: gordon@fgbcgpa.net

LANDSCAPE  
PLAN

DRAWN:	GG
SCALE:	1/8" = 1'-0"
JOB NO.:	31 ROCK
DATE:	08/14/25
SHEET:	L
OF #	SHEETS

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY MID COAST ENGINEERS, DATED 2-4-25 JOB NO. 2417822, WAD 1988 DATUM 1/2 FOOT CONTOUR INTERVAL. BOUNDARY LINES COMPILED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.



FIELD NOTES BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE OWNER SHALL BE RESPONSIBLE FOR THE USE FOR CONSTRUCTION.

**ROPER ENGINEERING**  
**CIVIL ENGINEERING & LAND SURVEYING**  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (631) 724-5300 #rif@operengineering.com



**NEW RESIDENCE FOR HELDA & LUIS LOPES**  
 31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50  
**EXISTING SITE CONDITION**

SCALE: AS NOTED  
 DESIGNED BY: JR  
 DRAWN BY: JR  
 DATE: AUG. 14, 2025  
 REVISED:  
 JOB NO.: 25002  
 SHEET

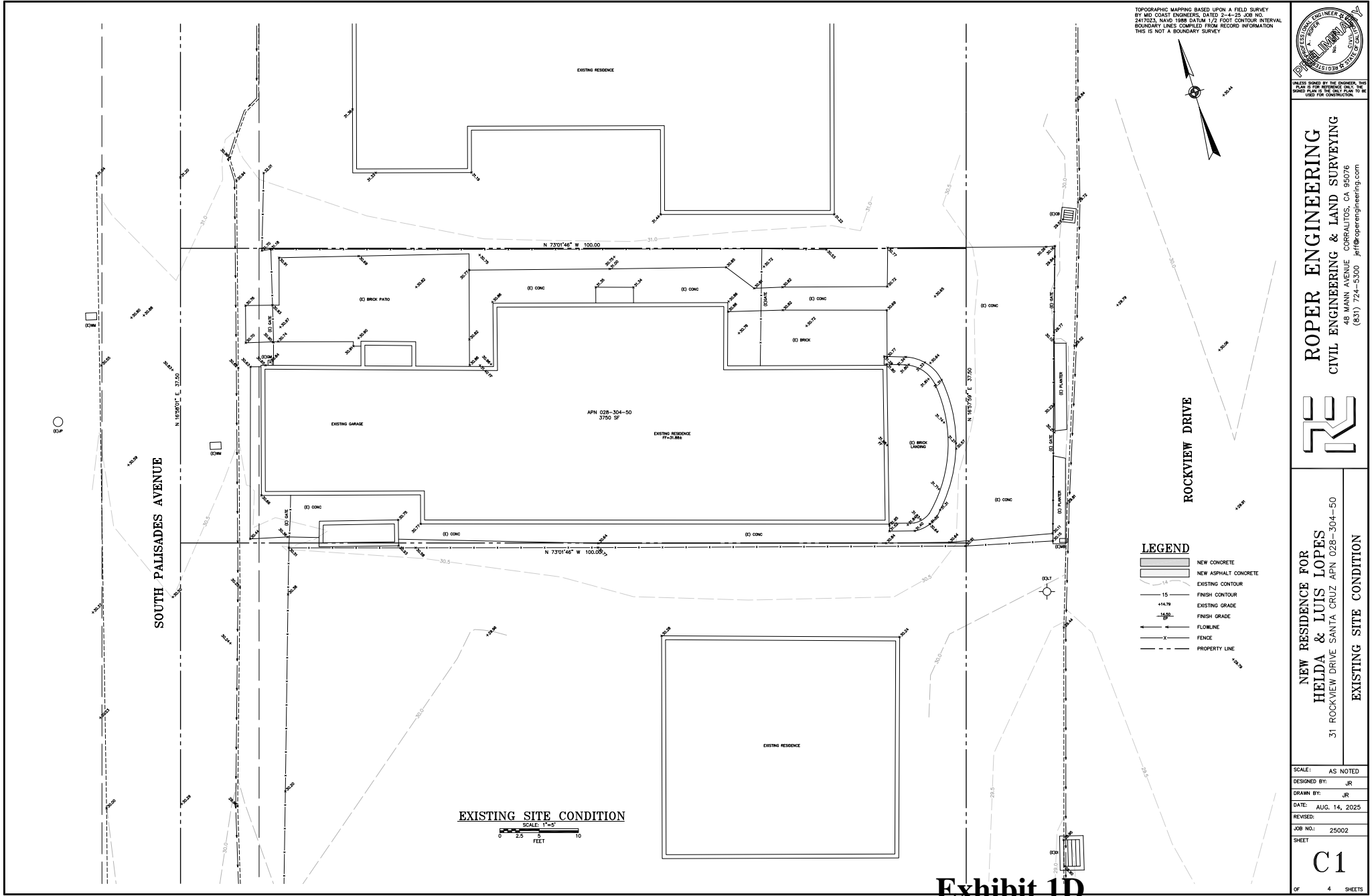
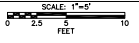
**C1**  
 OF 4 SHEETS



**LEGEND**

- NEW CONCRETE
- NEW ASPHALT CONCRETE
- EXISTING CONTOUR
- FINISH CONTOUR
- EXISTING GRADE
- FINISH GRADE
- FLOWLINE
- FENCE
- PROPERTY LINE

**EXISTING SITE CONDITION**



**Exhibit 1D**

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY MID COAST ENGINEERS, DATED 2-4-25 JOB NO. 2417022, WAD 1988 DATUM 1/2 FOOT CONTOUR INTERVAL. BOUNDARY LINES COMPILED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.



PROJECT SIGNED BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE USER SHALL BE RESPONSIBLE FOR THE USE OF THIS INFORMATION.

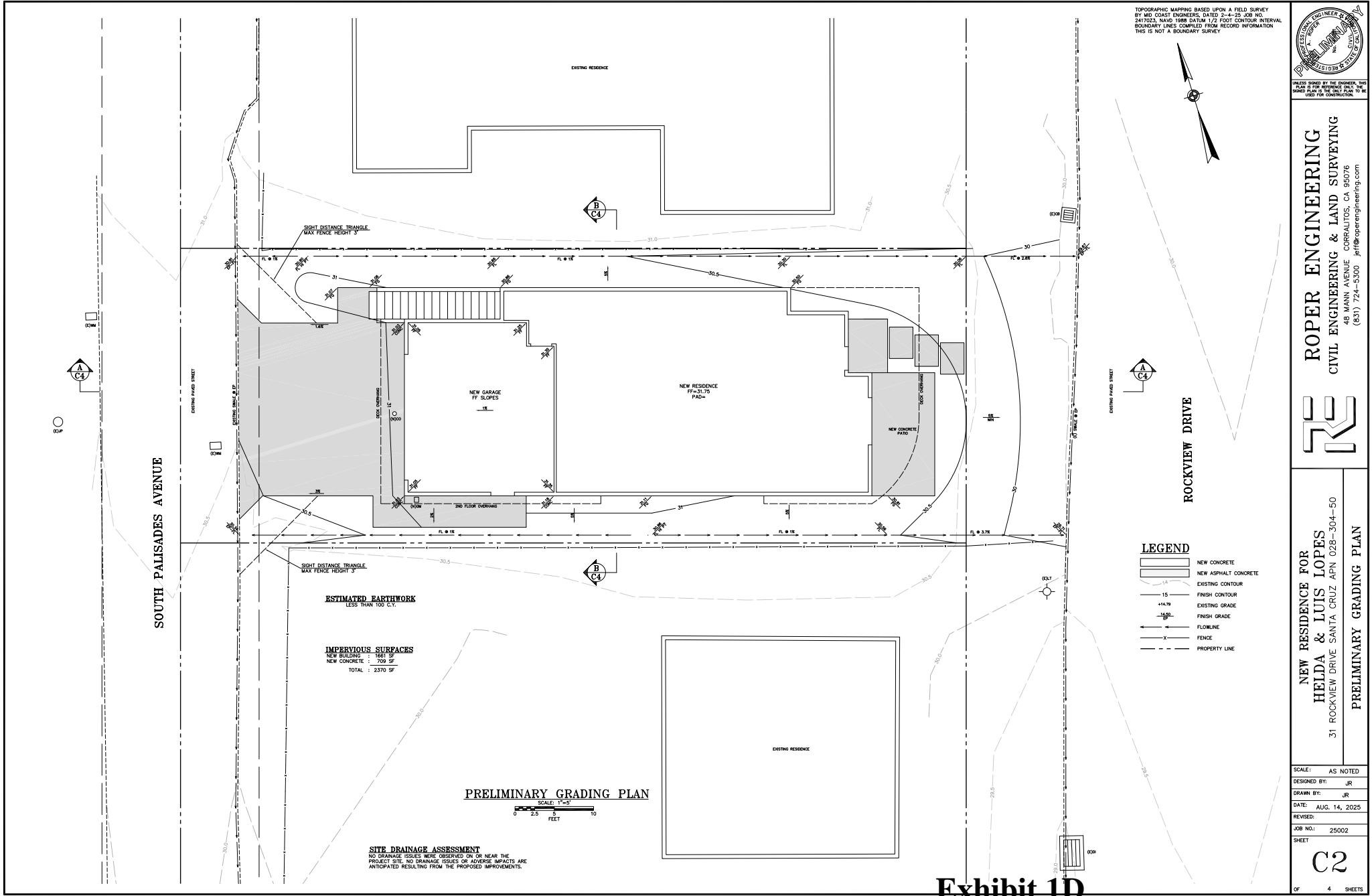
**ROPER ENGINEERING**  
 CIVIL ENGINEERING & LAND SURVEYING  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (831) 724-5300 #rfe@roperengineering.com



**NEW RESIDENCE FOR HELDA & LUIS LOPES**  
 31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50  
**PRELIMINARY GRADING PLAN**

SCALE: AS NOTED  
 DESIGNED BY: JR  
 DRAWN BY: JR  
 DATE: AUG. 14, 2025  
 REVISED:  
 JOB NO.: 25002  
 SHEET

**C2**  
 OF 4 SHEETS



**Exhibit 1D**



PROJECT CHECKED BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE OWNER SHALL BE RESPONSIBLE FOR THE USE OF THIS PLAN FOR CONSTRUCTION.

**ROPER ENGINEERING**  
CIVIL ENGINEERING & LAND SURVEYING  
48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 #rfe@roperengineering.com



**NEW RESIDENCE FOR  
HELDA & LUIS LOPES**  
31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50  
**PRELIMINARY UTILITY PLAN**

SCALE: AS NOTED  
DESIGNED BY: JR  
DRAWN BY: JR  
DATE: AUG. 14, 2025  
REVISED:  
JOB NO.: 25002  
SHEET

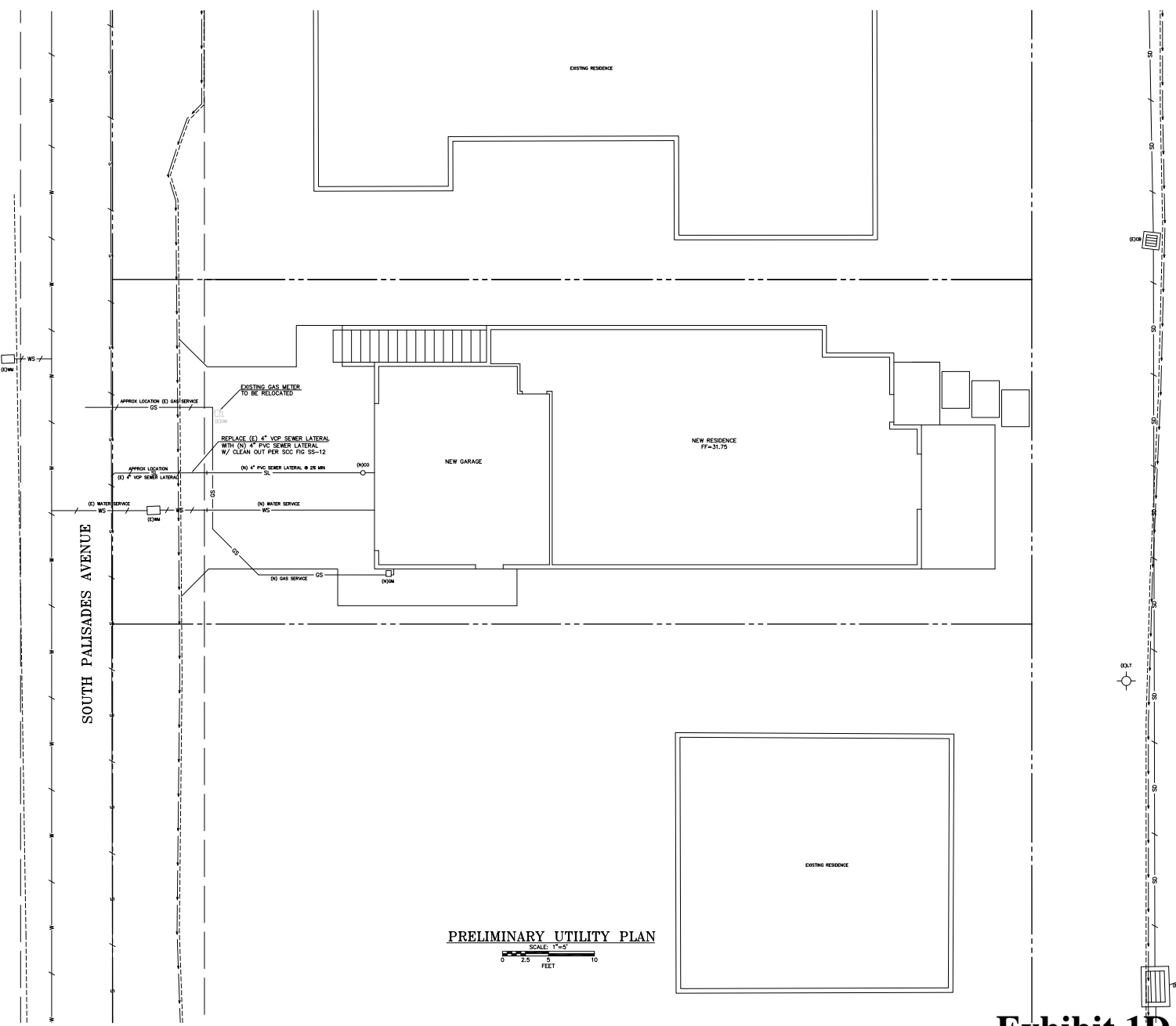
**C3**  
OF 4 SHEETS



ROCKVIEW DRIVE

**LEGEND**

- GS --- EXISTING GAS SERVICE
- SD --- EXISTING STORM DRAIN
- S --- EXISTING SEWER MAIN
- SL --- EXISTING SEWER LATERAL
- NL --- NEW SEWER LATERAL
- WM --- EXISTING WATER MAIN
- WS --- EXISTING WATER SERVICE
- WSL --- NEW WATER SERVICE



**PRELIMINARY UTILITY PLAN**  
SCALE: 1"=5'  
0 2.5 5 10  
FEET

**Exhibit 1D**

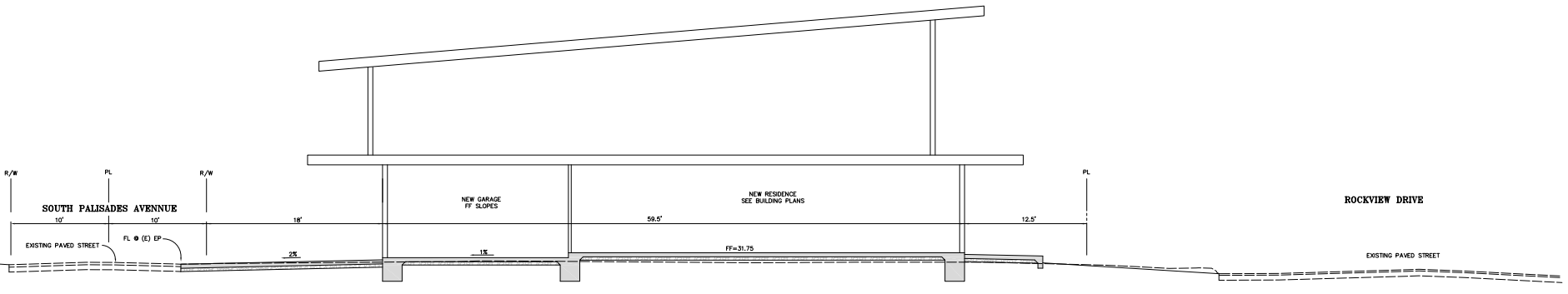


ALL SETS BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE SHOWN DIMENSIONS SHALL BE USED FOR CONSTRUCTION.

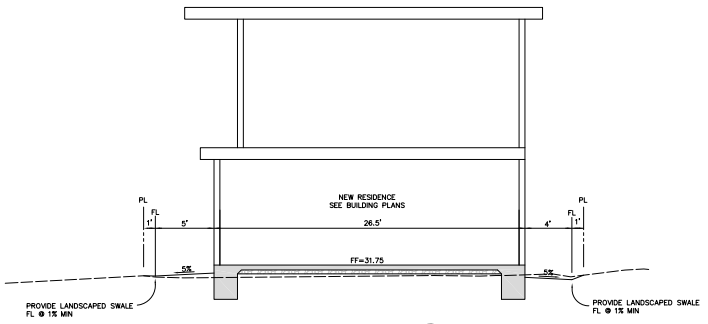
**ROPER ENGINEERING**  
 CIVIL ENGINEERING & LAND SURVEYING  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (831) 724-5300 #rlf@roperengineering.com



**NEW RESIDENCE FOR HELDA & LUIS LOPES**  
 31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50  
**GRADING PLAN**



**SECTION A**  
 SCALE: 1"=5'  
 C4



**SECTION B**  
 SCALE: 1"=5'  
 C4

**GRADING NOTES**

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 4" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 90% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 39-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE GEOTECHNICAL INVESTIGATION PREPARED BY DEES AND ASSOCIATES FOR LOUIS AND HELDA LOPES DATED APRIL 2022, PROJECT NO. SCH-1443 SHALL BE STRICTLY ADHERED TO DURING THE GRADING AND CONSTRUCTION OF THIS PROJECT.

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	AUG. 14, 2025
REVISED:	
JOB NO.:	25002
SHEET	

**C4**



**MID COAST ENGINEERS**  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 • (831) 724-2580



TOPOGRAPHIC SURVEY  
 LANDS CONVEYED TO HELDA LOPES AND EGGIDIO LOPES  
 BY GRANT DEED RECORDED JUNE 25, 2024 IN DOCUMENT NO.  
 2024-0011917, OFFICIAL RECORDS OF SANTA CRUZ COUNTY.  
 A.P.N. 028-304-50  
 31 ROCKVIEW DRIVE, SANTA CRUZ, CALIFORNIA

SCALE: 1" = 10'  
 DATE: JAN 9 2025  
 REVISED: FEB 4 2025  
 APR 16 2025  
 AUG 13 2025  
 JOB NO: 2417023  
 SHEET

**BASIS OF BEARINGS**  
 BASIS OF BEARINGS FOR THIS SURVEY IS NAD83 (2024) CCS ZONE 3  
 ESTABLISHED USING R.T.K. G.P.S. TECHNIQUES AND ACCESSED VIA THE  
 SMARTNET NORTH AMERICA G.P.S. NETWORK.

**LEGEND**

● FOUND MONUMENT AS SHOWN	
—————	SUBJECT PROPERTY BOUNDARY
- - - - -	ADJACENT PROPERTY BOUNDARY
- - - - -	FORMER PROPERTY BOUNDARY
- - - - -	EASEMENT
- - - - -	EDGE OF PAVEMENT
X - X - X - X - X	FENCE
—SS—	SANITARY SEWER MAIN
—SD—	STORM DRAIN MAIN/LATERAL
—W—	WATER MAIN/LATERAL
—OH—	OVERHEAD UTILITY SERVICE
—ET—	OVERHEAD POWER AND TELEPHONE
—E—	OVERHEAD POWER
▨	ROOF OVERHANG

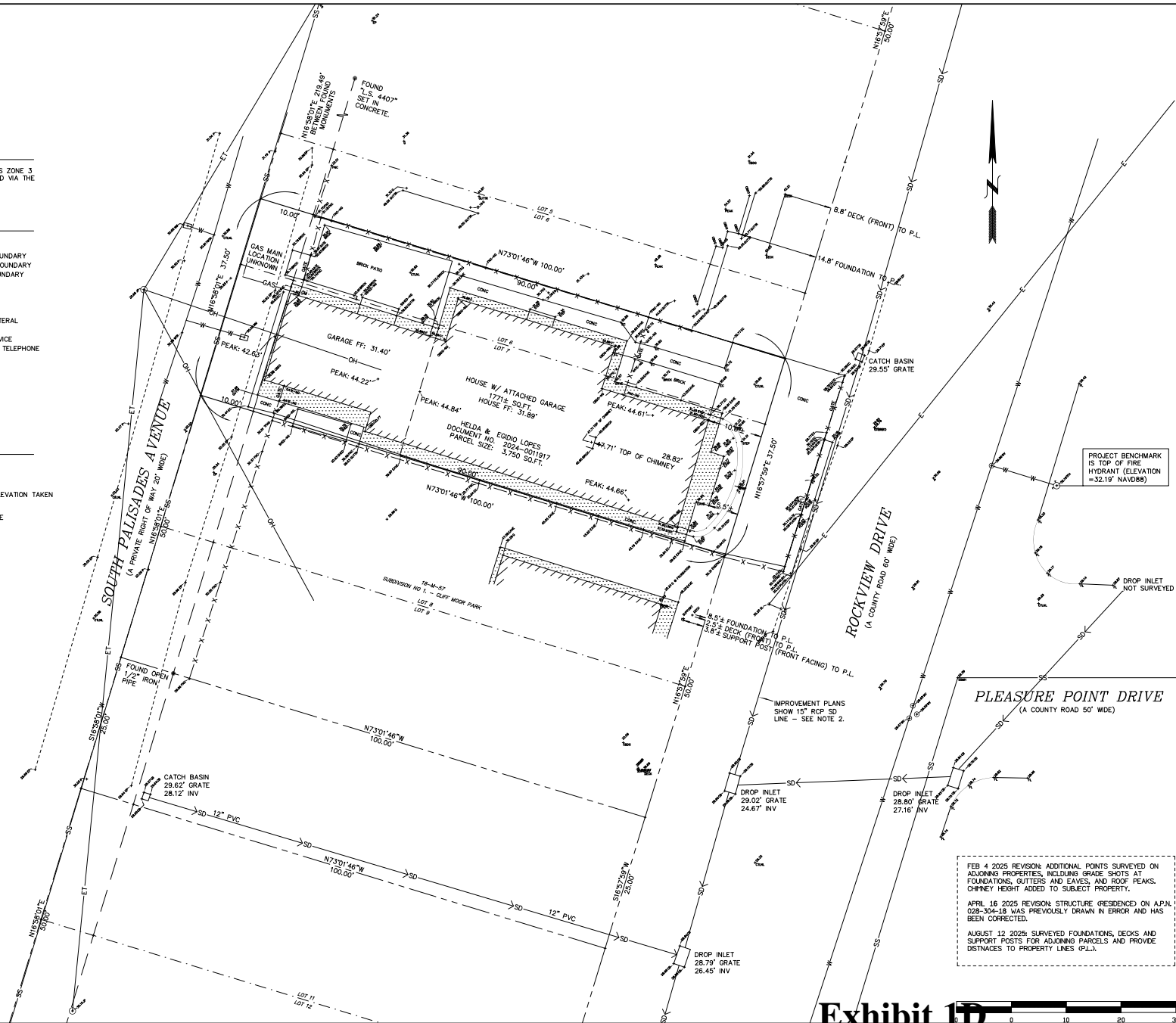
DISTANCES ARE IN FEET AND DECIMALS THEREOF.

**ABBREVIATIONS**

BEG-FNC	BEGGING OF FENCE
C	CONCRETE
CB	CATCH BASIN OR DROP INLET
CBDF	CORNER BUILDING FOUNDATION
CBDF-NG	CORNER BUILDING FOUNDATION - NO ELEVATION TAKEN
CTNL	TEMPORARY SURVEY CONTROL
EC	EDGE OF CONCRETE
EC/BRICK	EDGE OF CONCRETE AND BRICK SURFACE
END-FNC	END OF FENCE
EP	EDGE OF PAVEMENT
EAVE	ROOF EAVE
FL	FLOW LINE
FNC	FENCE
FNC-NG	FENCE - NO ELEVATION TAKEN
G	GRADE
GATE-NG	GATE - NO ELEVATION TAKEN
GM	GAS METER
GUTTR	ROOF GUTTER
INV	INVERT (ELEVATION)
JP	JOINT UTILITY POLE
LANDG	LANDING
MAILBX	MAILBOX
P	PAVEMENT
PLNTR	PLANTER
SHED-NG	SHED - NO ELEVATION TAKEN
SSMH	SANITARY SEWER MANHOLE
TPH	TOP OF FIRE HYDRANT
TPNC	TOP OF FIRE HYDRANT
TWTR	TOP OF INTERSECTION WATER LINE
WM	WATER METER
WV	WATER VALVE

**NOTES**

- UNDERGROUND STORM DRAIN, SEWER, AND WATER LINES ARE BASED ON ABOVE GROUND EVIDENCE AND SANTA CRUZ GIS SYSTEM DATA.
- STORM DRAIN LINE SHOWN AS 15" RCP ON AS-BUILT PLANS ENTITLED "COUNTY OF SANTA CRUZ PUBLIC WORKS DEPARTMENT, POST PROPERTY CURB AND GUTTER GRADES - EAST CLIFF DRIVE."



**Exhibit 1D**

# Shadow Study

31 Rockview Drive, Santa Cruz  
Proposed Lopes Residence -(Revised Design - 1/8/2026)  
A.P.N. 028 - 304 - 31



## June Solstice



## December Solstice

# REVISED RENDERING



**Exhibit 1H**

# ORIGINAL RENDERING



**Exhibit 1H**

## **Applicant Letter (Steven Graves)**

Steven Graves Land Use Consulting

775 Estates Drive

Aptos CA 95003

(831) 325-1219

January 5, 2026

Alexandra Corvello

County of Santa Cruz

701 Ocean Street

Santa Cruz, CA 95060

Re: # 251178 – 31 Rockview Dr. Revised House Design Plans.

Dear Alexandra:

We are pleased to send you (see attached) our revised design for the Lopes replacement dwelling at 31 Rockview. We have addressed the issues of concern that were expressed at the December 5th, ZA hearing. Attached are 4 renderings, as well as the revised architectural drawings and the revised streetscape rendering. The plans and renderings have been uploaded to the portal by Gordon Gazeley. Here is a summary of the changes that we have made:

1. Secondary story setbacks on both the south and north elevations accentuated by lower roofs and varying wall articulation. As requested by the ZA we shifted the house to the south where there were no expressed concerns by the public or ZA. As shown here's what have done for each elevation:

A. North Elevation. By shifting the entry door and interior stairs further to the rear we were able to create a 9'6" setback to the second floor for a significant portion of the upstairs great room. The 9' 6" setback to the second story applies to the first 29' of the north side second story setback (in addition to another 10'-12' distance from the property line to the street), setting back the second story within 9'6" at least 40' from the street. The deck is expanded to cover the entry as allowed out in the PPG. By eliminating the exterior ADU stair case wall, we have a 10' 6" setback to the rear of the building. In total only 28' of the property's 100' width along this side has less than a 9' 6" setback (28' feet: all but 4'7" is at 7" setback). The use of the lower metal roof and the two tone stucco colors accentuate the second story setback and the multiple wall plans along this elevation creating a high level of articulation.

B. South Elevation. The upper story ADU has been shifted to a 4' side yard setback (previously 5') as allowed by County code. The remaining upper floor is setback 6' creating an offset. The lower roof, the upper story fireplace chimney chase, two tone stucco and the upper corner glass windows with the exterior soffit, accentuate this offset and bring a high level of articulation and interest to this elevation.

C. Rear Elevation. As shown in both rear elevation renderings, the north and south side walls are extremely well articulated and the offsets to the second story are accentuated. The exterior stairway

**Exhibit 1I**

to the ADU opens up the entire rear of the structure and creates a 10'+ setback to the north side along the ADU.

2. Overall reduction in size, mass and scale. The project square footage has been reduced by 184 sf, reducing the lot coverage from 43.4% to 32.7% and the FAR from 59.6% to 56.4%. The upper roof eaves on both sides have been reduced from 3' to 18" and the exterior stairs to the ADU are completely unenclosed. These changes along with those outlined above has created a superior design.

3. Front Yard Setback for upper deck. As shown on the Mid Coast Engineers aerial photo there are several decks on the parcels to the north that are closer to the street including the Taylor residence (37 Rockview), one of the neighbors who opposed the project with concerns about private views. The majority of homes along Rockview are nonconforming to front yard setbacks, have no second story setback and are over built for the lots (including 37 Rockview) based upon current codes. All of the homes including 33 Rockview (built in 1998) predated the PPG. We are requesting a 3' variance for the upper deck which technically only extends 6' into the 12' front yard setback which is allowed by code, except that. Planning's interpretation is that the deck is measured from the second story wall (15' setback). Clearly the code does not address how to apply this section when the second story setback is greater than the first floor. Since this is the only outdoor gathering space and adds greatly to the socially enhanced street front with no cars/garages, this small encroachment is not greater than that enjoyed by most of the immediate neighbors and is keeping with the site and overall character of the neighborhood.

4. Neighborhood compatibility. A revised streetscape rendering is attached to this letter and also has been uploaded to the portal. As shown, with the increased articulation, offsets, and setbacks and an overall reduction in massing the new home will blend seamlessly into the neighborhood. The revised design exhibits a modern elegance that is present in the house directly across the street, as well as in many of the newer homes facing the ocean on both Pleasure Point Drive and South Palisades as well as Rockview. The project includes a full ADU which is a benefit to the County's overall housing element and goal to increase residential units within existing neighborhoods.

In summary, staff rightfully supported our original design with only a couple of minor recommendations. Based upon input from several neighbors and the Zoning Administrator we have come up with a new revised plan that we feel addresses those concerns and results in a superior design. We are requesting to be included on the next available ZA meeting so that the project can proceed.

Thanks!

Steven

325-1219

Cc: Lezanne Jeffs