



Staff Report to the Zoning Administrator

Application Number: **251178**

Applicant: Steven Graves

Agenda Date: 12/5/2025

Owner: Helda and Edigio Lopes

Agenda Item #: 1

APN: 028-304-50

Time: After 9:00 a.m.

Site Address: 31 Rockview Drive, Santa Cruz CA

Project Description: Proposal to demolish an existing 1,436 square foot, one-story single-family dwelling (with a 335 square foot attached garage) and to construct a 2,961 square foot two-story single-family dwelling with a 430 square foot attached garage and 528 square foot ADU at the second floor. The project includes updated landscaping and fencing.

Location: Property is located on the western side of Rockview Drive (31 Rockview Drive), at the intersection with Pleasure Point Drive.

Permits Required: Coastal Development Permit, a Pleasure Point Exception to reduce both second story side setbacks from 10 feet to 5 feet, a Site Development Permit for an over height fence in the front yard setback on Rockview Drive and on South Palisades Avenue, and a Variance to increase the allowed encroachment by a cantilevered deck from 6 feet to 9 feet.

Supervisory District: 1st District (District Supervisor: Manu Koenig)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251178, based on the attached findings and conditions.

Project Description & Setting

The subject parcel is located on the west side of Rockview Drive, which is a dead-end street terminating at the coastal bluff, south of the intersection with East Cliff Drive and roughly opposite the intersection with Pleasure Point Drive. The parcel is also accessed via South Palisades Avenue, an alleyway that runs at the rear of the parcel and that also connects with East Cliff Drive. The property is situated within a residential neighborhood characterized by an eclectic mix of one- and two-story single-family homes featuring diverse architectural styles, materials, and colors and that also includes a growing number of larger, modernized homes with contemporary design elements. Many of the older homes in the neighborhood contain legal nonconforming structures built prior to the adoption of current building and zoning codes and several of the newer structures have been granted variances to the site and development standards, including setbacks.

The property is currently developed with a nonconforming 1,436 square foot, one-story single-family dwelling and a 337 square foot nonconforming, attached garage, originally constructed in 1924 before building permit requirements. The proposed project includes demolishing the existing structure and constructing a replacement gross total 2,961 square foot, two-story single-family dwelling with a 430 square foot attached garage and attached 528 square foot ADU on the second floor.

The property is located within the appeals jurisdiction of the Coastal Zone; therefore, because the project involves demolition of an existing dwelling and the construction of a new, larger residence (an increase of 1,095 square feet of habitable space), a Coastal Development Permit (CDP) is required. Additionally, the property lies within the Pleasure Point Combining District, which requires that parcels of 35 feet or greater in width provide 10-foot side yard setbacks for any portion of a structure over 15 feet in height. Because the structure has been designed such that it will not meet the required additional setbacks at the second floor, a Pleasure Point Exception is required. A Site Development Permit is also required to allow for the erection of a 4-foot fence in the front yard at Rockview Drive.

Zoning & General Plan Consistency

The subject property is a 3,750 square foot double frontage lot (inclusive of land within the right-of-way for South Palisades Avenue) located in the R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling and Pleasure Point Combining District) zone district, which allows residential uses.

However, the parcel is less than 80% of the required 5,000 square foot minimum per dwelling unit, therefore the development standards for the R-1-4 zone apply pursuant to SCCC 13.10.323(E)(2). Additionally, in accordance with SCCC 13.10.323(F)(7), because existing dwellings on either side of the subject parcel are nonconforming to the required 15-foot front yard setback, a reduced setback at the first floor of the replacement structure is allowed based upon front yard averaging. The proposed dwelling has been designed to take advantage of this provision. The proposed single-family dwelling with an attached garage and ADU constitutes a principal permitted use within the zone district and the zoning is consistent with the site's R-UM (Urban Residential - Medium Density) General Plan designation. The diagram and table below show both the applicable development standards, and the existing and proposed standards.

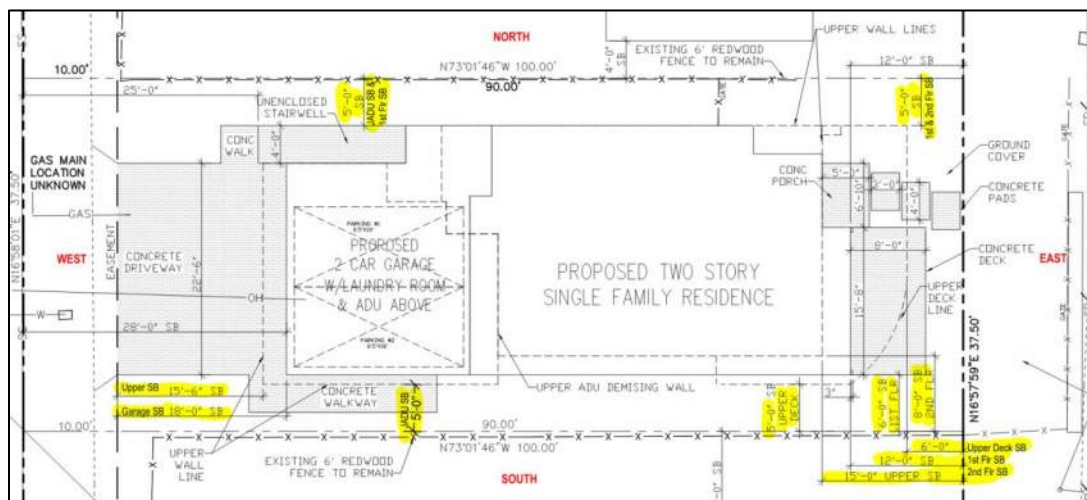


Exhibit 1J

Development Standards	R-1-4-PP District***	Existing	Proposed
Front Yard Setback*	First Floor (front yard averaging): 12 feet Second Floor: 15 feet Cantilevered deck encroachment Max 6 feet ADU 4 feet	<u>Rockview Dr</u> First Floor: 9 feet 10 inches <u>South Palisades Ave</u> First Floor: 2 feet 6 inches	<u>Rockview Dr</u> First Floor: 12 feet Second Floor: 15 feet Deck encroachment: <u>9 feet</u> <u>South Palisades Ave</u> First Floor: 18 feet ADU on Second Floor: 15 feet 6 inches
Side Yard Setbacks	First Floor: 5 feet Second Floor: 10 feet** ADU 4 feet	<u>Northern side</u> First Floor: 7 feet <u>Southern side</u> First Floor: 2 feet 5 inches	<u>Northern side</u> First Floor: 5 feet Second Floor: <u>5 feet</u> (same for ADU on Second Floor) <u>Southern side</u> First Floor: 6 feet Second Floor: <u>8 feet to exterior wall and 5 feet to the deck</u> ADU on Second Floor: 5 feet
Maximum Height	28 feet	Under 20 feet	24 feet 2 inches
Maximum Number of Stories	2 stories	1 story	2 stories
Garage Entrance Setback	18 feet	2 feet 6 inches	18 feet
Required Number of Parking Spaces	Three bedrooms: Two parking spaces	Two bedrooms: Two parking spaces	Three bedrooms: Two parking spaces
Floor Area Ratio	60%	41%	59.6%
Lot Coverage	45%	41%	43.4%

*Double Frontage on Rockview Drive and South Palisades Avenue.

**Parcel width is 37.5 feet, therefore any part of the structure over 15 feet in height or the second floor must be set back at least 10 feet from the side yard property line pursuant to Pleasure Point Combining District standards (SCCC 13.10.446(A)(1)(a)).

***Pursuant to SCCC 13.10.323(E)(2), the lot contains less than 80% of the minimum site area and therefore the building setbacks shall equal those in the R-1-4 zone district.

Exhibit 1J

Other code sections and standards that apply to the proposed project include the following:

SCCC 13.10.323(F)(7) Front Yard Averaging

Pursuant to SCCC 13.10.323(F)(7), on a site situated between sites improved with buildings, the minimum front yard setback for the first floor of structures, other than garages or carports, may be the average depth of the front yards on the improved sites adjoining the site, but in no case shall be less than 10 feet. Based upon information provided by the project surveyor, the average of the front yards on the immediately adjoining properties along Rockview Drive is 12 feet. The proposed first floor setback to Rockview Drive is 12 feet and therefore the project has been designed in conformance with this development standard.

SCCC 13.10.444-447 Pleasure Point Standards and Exceptions

According to County Code section 13.10.444(A), one of the purposes of the Pleasure Point Community Design PP Combining District is to “Reduce the visual and shading impacts of new and expanded houses on neighboring parcels and houses.” To ensure this, within the PP zone district, increased second-floor side yard setbacks are required, based upon the width of the parcel. For the subject parcel, which exceeds 35 feet in width, a minimum second-floor side yard setback of 10 feet is required. In addition, the design of new single-family homes within Pleasure Point area should encourage community interaction and orientation towards the street by providing features such as front porches. Automobile-oriented features on residential building facades and in front yards are also required to be minimized.

As shown by the preceding table, the proposed project does not comply with the 10-foot side yard second floor setback; therefore, a Pleasure Point Exception is required to allow for a reduction in the northern side yard setback from 10 feet to 5 feet, and on the southern side yard from 10 feet to 5 feet for the proposed deck and from 10 feet to 8 feet for the exterior wall at the single-family dwelling. In accordance with State Law, the ADU is not required to meet the 10-foot side yard setback and may have a minimum setback of 4 feet. As proposed the setback to the wall of the ADU will be 5 feet.

The proposed project, conditioned to limit eaves on the front and back of the structure to 3 feet, substantially conforms with the Pleasure Point design objectives through the reduction of shading on neighboring properties and the promotion of pedestrian aspects along Rockview Drive. As shown by the submitted shade study (Exhibit H), the proposed home will not significantly shade the neighboring two-story house located to the north of the parcel (33 Rockview Drive) during the summer months and during the winter months will mostly cast shade over a one-story portion of the structure that extends to within 5 feet of the property line and that does not include windows along the south-facing wall. Other portions of dwelling at 33 Rockview Drive are set back further from the property line (approximately 10 feet) and therefore, impacts to light and air from the proposed dwelling will be minimal.

Although the impact of the proposed dwelling is acceptable, the second-story ADU above the garage along South Palisades Avenue is likely to have a more significant shading impact on the adjacent dwelling to the north. However, as allowed by State Law, and in accordance with the County’s ADU Ordinance, ADUs may have a setback of 4 feet from any property boundary by right. The proposed ADU is located 5 feet from property lines and therefore conforms to ADU

standards. It should also be noted that the proposed ADU is set back from the 10-foot right-of-way by 15 feet 6 inches, which meets zone district standards. Therefore, the proposed rear of the structure will be conforming to the zone district standards. In addition, the proposed structure is appropriately sized for the parcel in that it complies with the standards for floor area ratio and lot coverage.

Consistent with neighboring properties, the primary frontage, which is along Rockview Drive, is designed to be pedestrian-oriented and the proposed garage has been located such that it is accessed from South Palisades Avenue, the alley at the rear of the dwelling. The proposed second floor deck has been designed such that it will create a covered entry porch at the lower floor as well as providing a community focused outdoor area for residents on the second floor. To reduce the impact of automobile-oriented features at South Palisades Avenue, the entrance to the garage has been set back to meet the minimum 18-foot setback to a garage entrance, with the second story ADU extending three additional feet closer to the street, thus reducing the visual impact of the garage. Therefore, the proposed project complies with the purpose and design standards of the Pleasure Point combining district. A complete list of Findings for the requested Pleasure Point Exception is included with this report.

SCCC 13.10.230 Variance approvals

The subject property is located in an area where many of the neighboring homes are nonconforming to the required setbacks for the zone district or have been granted variances to allow for reduced setbacks. The property is also significantly less than 5,000 square feet in size and is further restricted by the right-of-way for South Palisades Avenue such that the available land area is restricted to just 3,375 square feet. Furthermore, because the property has a double frontage onto both Rockview Drive and South Palisades Avenue, there is no location on the parcel where a private, useable yard area could be developed. The proposed Variance, which would increase the allowed encroachment by a cantilevered deck from 6 feet to 9 feet, is considered appropriate in that it allows for the construction a second-floor deck that would be large enough to provide a semi-private outdoor area for the home. It should also be noted that the deck will cantilever only 6 feet forward of the proposed lower floor, which has been designed to comply with a 12-foot front yard setback as allowed by front yard averaging. In addition, as designed, the deck will provide greater articulation to the front façade facing Rockview Drive and will also serve as a covered front porch and entryway in conformance with the goals of the Pleasure Point area. Furthermore, the project has been conditioned to require a maximum three-foot eave at the second story to ensure that the deck will be open and uncovered. A complete list of Variance findings is included in Exhibit B of this report.

SCCC 13.10.681 Accessory Dwelling Units

An ADU is an attached or detached residential dwelling unit which provides complete independent living facilities for one or more people and located on a lot with a proposed or existing primary residence; equipped with independent kitchen, bath, washer hookup, and sleeping facilities. The proposed attached second story ADU will have a floor area of 528 square feet. As set out in SCCC13.10.681 et seq., there are special site and development standards that may be applied to an ADU. These include that the structure, whether attached or detached, may have reduced setbacks to a minimum of 4 feet. Attached ADUs are, however, required to meet the zone district height standard. With the exception of the increased second-floor side yard setbacks specified for

the Pleasure Point Combining District, the proposed second story ADU meets all zone district standards, and will have a maximum height of 22 feet, which is less than the maximum 28 feet allowed in the zone district.

SCCC 13.16 Parking

The proposed single-family dwelling includes three bedrooms and an attached ADU. Two standard parking spaces are required for the single-family dwelling and, because ADUs are not eligible for exemptions from parking requirements in the Coastal Zone, one additional parking space is required for the ADU. As proposed three parking spaces measuring 8.5 feet by 18 feet will be available on the parcel.

In accordance with SCCC 13.16.060(H), the proposed driveway and parking area will not cover more than 50% of the front yard area of the parcel area. This is because all vehicle related uses are located within the front yard at South Palisades Avenue and no parking-related paving is located within the front yard setback along Rockview Drive.

SCCC 13.10.525 Fencing in yards

Fences within front yard setbacks are limited to a maximum height of 3 feet, and fences within an interior side yard are limited to a maximum height of 8 feet. The property is currently enclosed by a six-foot-tall fence that extends into the required front yards along both Rockview Drive and South Palisades Avenue. Existing 4-foot-tall fencing also extends into the Rockview Drive right-of-way. Except for the segments of fencing located within the interior side yards, which will be retained, all existing fencing will be removed, as will associated landscaping that also extends into the Rockview Drive right-of-way.

Although replacement fencing is not shown on the submitted plans, the applicant has indicated that new fencing with a maximum height of four feet is proposed within the front yard along Rockview Drive and that all existing fencing along the edge of the right-of-way at South Palisades Avenue will be removed. A Site Development Permit is therefore required to allow an increase in the permitted height from 3 feet to 4 feet within the front yard setback at Rockview Drive and to allow for the retention of existing six-foot tall fencing along the side property lines that lie within the front yard at South Palisades Avenue.

The proposed four-foot fence along Rockview Drive is appropriate because there are no driveways located along this portion of the subject property or adjacent properties, other fences in the neighborhood exceed three feet within the front yard setback, and the four-foot height supports a more pedestrian-oriented streetscape while still encouraging community interaction. The project will remove all existing nonconforming fencing and landscaping located within the Rockview Drive right-of-way, resulting in a project that, with the approval of a Site Development Permit fully conforms to applicable zone district standards. For the fencing within the front yard setback along South Palisades Avenue, the existing over-height fencing along the side property lines is appropriate in that it provides privacy to the yard areas of adjacent parcels and does not obstruct sight lines along the alleyway. However, as a condition of approval of this Permit, all other fencing within the front yard setback to South Palisades Avenue, including any fencing located within the 10-foot sight distance triangles for the proposed driveway, will be required to either be removed fully or to have a maximum height of three feet. A complete list of Site Development Permit findings is included in Exhibit B of this report.

Local Coastal Program Consistency

The proposed demolition of the existing one-story single-family dwelling and construction of a two-story single-family dwelling with attached garage and attached second story ADU are in conformance with the County's certified Local Coastal Program. The proposed structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood, including that the garage access will be from South Palisades Avenue. In addition, because the existing, older home is now one of only a few remaining one-story dwellings along Rockview Drive, the proposed project will bring the property into greater conformity with the surrounding neighborhood. Developed parcels in the area contain mostly two-story single-family dwellings and the proposed dwelling is consistent with the architectural style of other newer remodeled and constructed homes in the area and will be of a similar size. The design includes natural materials that are consistent with the materials of other nearby homes. The new house will be painted in an off-white color that will match other homes in the neighborhood. While the property is located between the shoreline and the first public road, the project is not visible from any public beach viewshed and does not impact public access to any beach, or to the ocean or other nearby body of water.

The project also significantly conforms to the special design criteria for the Pleasure Point Special Community set out in SCCC 13.20, in that the replacement dwelling has been designed to encourage community interaction and orientation towards the street by providing a front porch/entryway. Automobile-oriented features have also been minimized in that vehicle access will be taken from the alley at the rear of the parcel (South Palisades Avenue). Although the proposed dwelling does not conform to the second-floor setbacks for lots of greater than 35 feet in width, the structure will not significantly shade adjacent parcels and the design of the proposed home is consistent with other homes on similarly sized parcels along the street. A complete list of findings for a pleasure Point Exception are included with this report.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251178**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Shade Study

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251178
Assessor Parcel Number: 028-304-50
Project Location: 31 Rockview Drive, Santa Cruz CA

Project Description: Demolish an existing single-family dwelling and construct a new two-story single-family dwelling with an attached garage and attached 528 square foot ADU.

Person or Agency Proposing Project: Steven Graves

Contact Phone Number: 831-325-1219

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. **Categorical Exemption**

Specify type: Class 3 - New Construction (15303)

F. Reasons why the project is exempt:

Construction of a replacement single-family dwelling and an Accessory Dwelling Unit (ADU) on an existing developed parcel within the urbanized area and on a parcel that is zoned for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling), a designation which allows residential uses. The proposed project is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Residential - Medium Density) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

The rear property line extends to the centerline of the 20-foot-wide right-of-way for South Palisades Avenue, such that a 10-foot strip of land lies within the easement area. As designed and laid out, all proposed developments will be set back a minimum of 15 feet from the edge of the right-of-way, with the garage entrance being 18 feet, and no development is proposed that would obstruct the easement. Therefore, this finding can be made.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made. The proposed structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood, including that the garage access will be from South Palisades Avenue. In addition, because the existing, older home is now one of only a few remaining one-story dwellings along Rockview Drive, the proposed project will bring the property into greater conformity with the surrounding neighborhood. Developed parcels in the area contain mostly two-story single-family dwellings and the proposed dwelling is consistent with the architectural style of other newer remodeled and constructed homes in the area and will be of a similar size. The design includes natural materials that are consistent with the materials of other nearby homes. The new house will be painted in an off-white color that will match other homes in the neighborhood.

The project has also been designed in significant conformance with the special design criteria for the Pleasure Point Special Community set out in SCCC 13.20, in that the replacement dwelling has been designed to encourage community interaction and orientation towards the street by providing a front porch/entryway. Automobile-oriented features have also been minimized in that vehicle access will be taken from the alley at the rear of the parcel (South Palisades Avenue). Although the proposed dwelling does not conform to the second-floor setbacks for lots of greater than 35 feet in width, the structure will not significantly shade adjacent parcels and the design of the proposed home is consistent with other homes on similarly sized parcels along the street. A complete list of findings for a pleasure Point Exception are included with this report.

In addition, the project is not located on a prominent ridge, beach, or bluff top.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that although the property is located between the shoreline and the first public road, the project is not visible from any public beach viewshed and does not impact public access to any beach, or to the ocean or other nearby body of water. Public beach access is available approximately 120 feet south of the property. In addition, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed in the R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling, Pleasure Point Combining District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the immediate vicinity contain mostly two-story single-family dwellings and within the wider area contain a mixture of one- and two-story dwellings. Size and architectural styles vary in the area, and the design submitted for the new dwelling is consistent with the pattern of new development within the surrounding area.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first public road there is no direct public access across the property. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed demolition of the existing dwelling and construction of a replacement two-story single-family dwelling with an attached garage and second story ADU, and the conditions under which it would be operated or maintained, will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-5-PP (Single Family Residential, 5,000 square foot minimum per dwelling, Pleasure Point Combining Zone District) zone district as the primary use of the property will be one single-family dwelling with an attached garage and ADU. The proposed single-family dwelling includes three bedrooms and an attached ADU. Therefore, two parking spaces are required for the single-family dwelling, and one additional parking space is required for the ADU.

While the parcel is within the R-1-5-PP zone district, the parcel is less than 80% of the required 5,000 square foot minimum per dwelling unit, therefore the R-1-4 development standards apply pursuant to SCCC 13.10.323(E)(2), including a reduced front yard setback at the lower floor as allowed based on front yard averaging in accordance with SCCC 13.10.323(F)(7). The proposed project has been designed in accordance with all site and development standards for the R-1-5 zone district, except that the second-floor deck will extend 9 feet into the required 15-foot front yard setback, where a maximum of 6 feet is allowed. A complete list of Variance findings in support of the additional 3-foot encroachment is included with this report.

However, the proposed project does not comply with the 10-foot side yard second floor setbacks specified for properties with a site width of greater than 35-feet within the -PP combining District. Therefore, in accordance with SCCC 13.10.447(A)(3), a Pleasure Point Exception is required to allow for a reduction in the northern side yard setback from 10 feet to 5 feet, and on the southern side yard from 10 feet to 5 feet for the proposed deck and from 10 feet to 8 feet for the exterior wall at the single-family dwelling. In accordance with State Law, the ADU is not required to meet the 10-foot side yard setback and may have a minimum setback of 4 feet. As proposed the setback to the side yard setbacks of the ADU are 5 feet. A complete list of findings for a Pleasure Point Exception is included with this report.

An ADU is a self-contained living area either attached or detached with a single-family residence

and equipped with independent kitchen, bath, washer, and sleeping facilities. The proposed 528-square-foot ADU complies with these requirements.

Fences within front yard setbacks are limited to 3 feet in height, and interior side-yard fences may not exceed 8 feet. The property is currently enclosed by a six-foot fence extending into the required front yards along both Rockview Drive and South Palisades Avenue, including portions within the Rockview Drive right-of-way. All existing nonconforming fencing, except the interior side-yard segments to be retained, will be removed, along with associated landscaping in the Rockview Drive right-of-way, and fencing along South Palisades Avenue will either be fully removed or conditioned to a height of 3 feet. Although replacement fencing is not shown on the plans, the applicant proposes a new four-foot fence within the front yard along Rockview Drive, requiring a Site Development Permit to exceed the 3-foot height limit. The proposed four-foot fence is considered appropriate because there are no driveways along this portion of the subject or adjacent properties, similar front-yard fencing in the neighborhood exceeds three feet, and the design supports a more pedestrian-oriented streetscape while maintaining opportunities for community interaction, resulting in compliant landscaping upon approval of the permit.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Residential - Medium Density) land use designation in the County General Plan.

The proposed project meets the Coastal Special Communities (BE-5.1b (LCP)) intention to maintain the unique neighborhood characteristic and design that supports community interactions and remove the encroachments in Rockview Drive right-of-way.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family dwelling and ADU replaces an existing, older single-family home. Therefore, the expected level of traffic generated by the proposed project is not anticipated to increase and the project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance

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to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed project is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. The use of the residence is consistent with other homes in the neighborhood.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed project is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

The proposed 4-foot-tall fence that is proposed along the front property line and within the front yard setback along Rockview Drive will be one foot taller than the allowed 3-foot height. This fencing will replace existing fencing, that that currently encroaches into the County right-of-way, and associated landscaping within the right-of-way will also be removed. For the fencing within the front yard setback along South Palisades Avenue, the existing over-height fencing along the side property lines is appropriate in that it provides privacy to the yard areas of adjacent parcels and does not obstruct sight lines along the alleyway. However, all other over-height fencing within the front yard setback to South Palisades Avenue, including any fencing located within the 10-foot sight distance triangles for the proposed driveway, will either be removed fully or to have a maximum height of three feet. Therefore, the project will bring the fencing at the site, into greater conformance with County fence regulations.

Furthermore, all new fencing will be located fully on the property and will be constructed from wood to complement the proposed dwelling and that will blend with other existing fencing around the parcel and in the neighborhood. Therefore, the one-foot increase in height along Rockview Drive and retention of existing six-foot fencing along South Palisades Avenue is appropriate

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed project, including the proposed over-height fencing, is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and will result in a dwelling that will be similarly scaled to other remodeled and newly constructed homes in the surrounding area. The surrounding homes are mostly two stories and therefore the new structure will blend into the neighborhood.

Variance Findings

- (1) That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

The special circumstances applicable to this property include its size, in that the parcel is significantly less than 5,000 square feet in size and is further restricted by the 10-foot right-of-way for South Palisades Avenue, which crosses the rear of the parcel such that the available land area is restricted to just 3,375 square feet. Furthermore, because the property has a double frontage onto both Rockview Drive and South Palisades Avenue, there is no location on the parcel where a private, useable yard area could be developed. The proposed Variance, which would increase the allowed encroachment by a cantilevered deck from 6 feet to 9 feet, is considered appropriate in that it allows for the construction a second-floor deck that would be large enough to provide a semi-private outdoor area for the home. Therefore, the strict application of the Zoning Ordinance would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. It should also be noted that the deck will cantilever only 6 feet forward of the proposed lower floor, which has been designed to comply with a 12-foot front yard setback as allowed by front yard averaging such that the cantilevered portion of the deck will not extend further beyond the lower wall on other properties where front yard averaging does not apply. Therefore, this finding can be made.

- (2) That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made because cantilevered, uncovered decks are allowed to encroach into the front and rear setbacks by 6 feet by the development standards. The proposed additional three feet of encroachment will not impact neighboring properties in that, as designed, the deck will provide greater articulation to the front façade facing Rockview Drive and will also serve as a covered front porch and entryway in conformance with the goals of the Pleasure Point area. Furthermore, the project has been conditioned to require a maximum three-foot eave at the second story to ensure that the deck will be open and uncovered.

- (3) That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

The subject property is located in an area where many of the neighboring homes are nonconforming to the required setbacks for the zone district or have been granted variances to allow for reduced setbacks. An example includes Permit 07-0755 (APN 028-304-23) which was granted a Variance to allow for reduced side yard setbacks. Therefore, granting a variance to allow for a cantilevered second-story deck that encroaches an additional three feet into the required front yard setback is not a grant of special privileges inconsistent with the limitations upon other properties in the vicinity, and this finding can be made.

Pleasure Point Exception Findings

- (1) There are special existing site or improvement characteristics or circumstances, including but not limited to the absence of adjacent residential parcels that could potentially be shaded by the proposed development, that appropriately excuses the proposed development from meeting one or more of the development standards; or

As shown by the submitted shade study, the proposed single-family dwelling, which has been conditioned to limit eaves on the front and back of the structure to 3 feet, will not significantly shade the neighboring two-story house located to the north of the parcel (33 Rockview Drive) during the summer months. During the winter months the proposed dwelling will mostly cast shade over a one-story portion of 33 Rockview Drive where it extends to within 5 feet of the property line and that does not include windows along the south-facing wall and would have a minimal impact on other portions of 33 Rockview Drive, which are set back further from the property line (approximately 10 feet). Therefore the proposed exception for the single family dwelling is acceptable. However, the second-story ADU above the garage along South Palisades Avenue is likely to have a more significant shading impact on the adjacent dwelling to the north, particularly in the winter months

The special circumstance that applies to this portion of the dwelling is that, as allowed by State Law, and in accordance with the County's ADU Ordinance, ADUs may, by right, have a setback of 4 feet from any property boundary; therefore, the proposed 10-foot second floor side yard setback cannot be applied to this portion of the structure. The proposed ADU is located 5 feet from property lines and is set back further than is required. In addition, the proposed ADU has a maximum height of 22 feet where 28 feet would be allowed and is set back 15 feet 6 inches from the edge of the 10-foot right-of-way for South Palisades Avenue, which significantly reduces the potential shading of the neighboring parcel. Therefore, this finding can be made.

- (2) The Pleasure Point Community Design "PP" Combining District purposes, found in County Code section 13.10.444, are better achieved by an alternative design; or
- (3) The granting of an exception will result in a superior residential design that is consistent with the Pleasure Point Community Design "PP" Combining District purposes, found in County Code section 13.10.444.

Conditions of Approval

Exhibit D: Project plans, prepared by Gordon Gazeley, dated 8/14/25.

- I. This permit authorizes the demolition of the existing one-story single-family dwelling and attached garage, including removing landscaping improvements along the side property lines and within the right-of-way along Rockview Drive, and the construction of a gross total 2,961 square foot, two-story single-family dwelling with a 430 square foot attached garage and attached 528 square foot ADU at the second floor, including a four foot fence along the front property facing Rockview Drive, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official, if required.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way of Rockview Drive.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing

the materials and colors on the elevation, the applicant shall supply a color and material sheet for Santa Cruz County Planning review and approval.

3. Correct all of the square footage numbers on all sheets to be consistent with the proposed floor plans.
 4. Correctly annotate the North and South elevation views (currently reversed)
 5. Show on the plans that eaves along the front and back of the dwelling/ADU shall not extend more than 3 feet beyond the wall of the structure to reduce shading impact.
 6. Indicate the height and location of all replacement fencing onto the site plan. All fencing within the front yard setback along Rockview Drive shall have a maximum height of 4 feet as authorized by this Permit and all fencing within the front yard at South Palisades Avenue shall have a maximum height of 3 feet, except that existing fencing along the side property lines that is not located within the 10-foot sight distance triangle adjacent to any driveway may be retained. All new fencing shall be located fully on the property and shall be designed using materials and colors that will complement the proposed dwelling and that will blend with other existing fencing on the property and in the neighborhood. Proposed colors and materials for the fences shall be included on the sheet depicting colors and materials for the dwelling.
 - a. All other unpermitted fencing must be removed.
 7. Grading, drainage, and erosion control plans.
 8. Show that the proposed lighting meets the Dark Sky standards and is low wattage, low lumens, and will not impact neighboring properties.
 9. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.

- C. Meet all requirements of the Public Works Driveway standards, including:
 - 1. The existing gate, fencing and associated landscaping along the frontage on Rockview Drive is to be removed in its entirety from the County ROW.
 - 2. Remove proposed pea gravel walkway from the County ROW.
 - 3. Pave 3-inch asphalt concrete over 9-inch aggregate base for 8 feet starting from existing gate towards Rockview Drive along whole frontage, to provide public parallel parking.
 - 4. The development is subject to Live Oak Transportation Improvement (TIA) fees at the current rate within the County Unified Fee Schedule. The new development shall be assessed at the rate of a bedroom addition, currently \$2,000 per bedroom addition (\$1,000 for Transportation Improvement fee and \$1,000 for Roadside Improvement fee). The total fee of \$2,000 is to be split evenly between transportation improvement and roadside improvement fees.
- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- F. Submit soils report plan review letters prepared and stamped by the project Geotechnical Engineer.
- G. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings based upon additional habitable square footage.
- H. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for single family dwellings based upon additional habitable square footage.
- I. Pay the current Affordable Housing Impact Fee based upon additional habitable square footage. The fees are based on unit size and the current fee for a dwelling between 2001 and 2500 square feet is \$3.00 per square foot.
- J. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. All lighting must be compliant with Dark Sky standards.
- B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are

intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

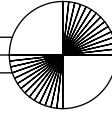
Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

LOPES RESIDENCE



CODE ANALYSIS:

THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES & CANTON MUNICIPAL CODE (2022)

OCCUPANCY CLASSIFICATION: R-3/U
BUILDING CONSTRUCTION TYPE: XB
FIRE RATING: SPRINKLERED

THE FOLLOWING CODES APPLY:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY STANDARDS
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- AND SANTA CRUZ COUNTY AMENDMENTS.

THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE. COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

PROJECT DESCRIPTION:

PROPOSED TO DEMOLISH AN APPROXIMATELY 1,771 S.F. EXISTING SINGLE LEVEL SINGLE FAMILY HOME AND CONSTRUCT A NEW 1,933 S.F., 2-STORY SINGLE FAMILY DWELLING WITH A 488 S.F., TWO CAR GARAGE, AN ATTACHED JUDO OF 500 S.F., AND ONE UNCOVERED BICK TO PARKING 228 S.F., REQUIRES A CONSTRUCTION DEVELOPMENT PERMIT. AN EXCEPTION TO THE PLEASURE POINT DESIGN GUIDELINE IS PROPOSED TO REDUCE THE SECOND STORY SIDE YARD SETBACK FROM 10' AND 10' TO 5' AND 5'. WRITTEN FINDINGS ARE PROVIDED WITH THE APPLICATION.

PROJECT DATA:

028-03450
3,750 S.F.
R-4-16 (PROTE STANDARDS OF R-4-14 DISTRICT APPLY PER SUBSTANDARD LOT REGS)
RESIDENTIAL URBAN MEDIUM
2
28' ALLOWED PROPOSED 24'2"
YES
LOT COVERAGE: 45% ALLOWED, PROPOSED 34%
F.A.C. 2020 ALLOWED, PROPOSED 30%
FRONT YARD SB (1ST FLOOR): 15'0" ALLOWED, PROPOSED 15'0" (BASED ON FRONT YARD AVERAGE)
FRONT YARD SB (2ND FLOOR): 15'0" ALLOWED, PROPOSED 15'0" (BASED ON FRONT YARD AVERAGE)
SIDE YARD SB: 5' 0" ALLOWED, PROPOSED 8' 0"
10' 0" IF ALLOWED PROPOSED 8' 0" (EXCEPTION FINDINGS ATTACHED)
FRONT YARD AVERAGE:
ADDRESS: - FRONT YARD SETBACK
33 ROCKVIEW - 14'0" = 17'
28 ROCKVIEW - 8'0" = 10'
1970E - 27'0" = 13.5'12" = 11'0" FRONT YARD SETBACK

FLOOR AREA RATIO CALC:
TOTAL SQUARE FOOTAGE:
1,933 S.F. / 5,478 S.F. = 35.1%
298.5% GARAGE (EM GARAGE -22' CREDIT = 259)
2,192 S.F. / 5,478 = 39.9%

LOT COVERAGE CALC:
LOT COVERAGE:
1,001 / 468 + 258 (GARAGE CREDIT) = 1,259 / 750 = 16.8%

Owner:

Luis & Felicia Lopes
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
408-656-5874

PROJECT CONSULTANTS:

Architect:
Steven Torres
Land Use Consultant
775 Gates Drive
Aliso, CA 95023
(831) 320-1219
stevengtorres@aol.com

Designer:

Gordon Gazley
712 C. Capistrano Ave
San Jose, CA 95009
831 840-2421
ggazley@gsd.com

Structural:

Michael Engineers
PO Box 13
Aliso, CA 95004
831 724-2500 Ext 103
michael@microengineers.com

Civil Engineer:

Jeff Cooper
Roper Engineering
48 Main Ave
Corralito, CA 95076
(831) 754-3300

Geotechnical Report:

Rocky Dines
Dines & Associates
507 Mission St, Suite 5A
Santa Cruz, CA 95060
(831) 425-1770
dines@rockyanddines.com

3D Model/Photonic:

Mark Hume
Agnate House
118 Lafayette Drive
Aliso, CA 95023
(831) 299-9719
mark@agnatehouse.com

LEGEND OF SHEETS	
PAGE	TITLE
A1	COVER SHEET, PROJECT INFO
A2	EXISTING FLOORPLAN, W/SITE
A3	PROPOSED SITE PLAN
A4	PROPOSED LOWER FLOORPLAN
A5	PROPOSED UPPER FLOORPLAN
A6	ELEVATIONS
A7	ROOF PLAN
A8	SECTIONS
A9	LANDSCAPE PLAN
C1	EXISTING SITE CONDITIONS
C2	GRADING PLAN
C3	UTILITY PLAN
C4	GRADING PLAN
S	SURVEY/TOPO

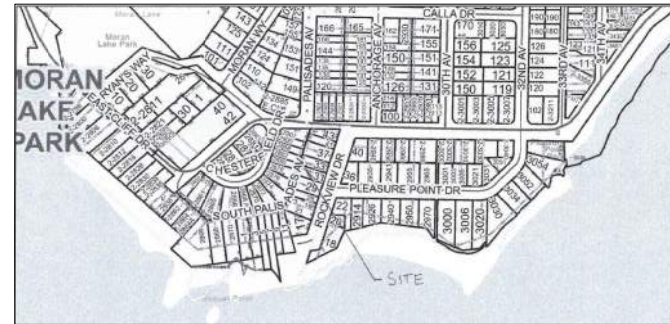


Exhibit 1J

REVISIONS:	BY:
Δ 08/14/25	GG

OWNER:
Luis & Felicia Lopes
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
408-656-5874

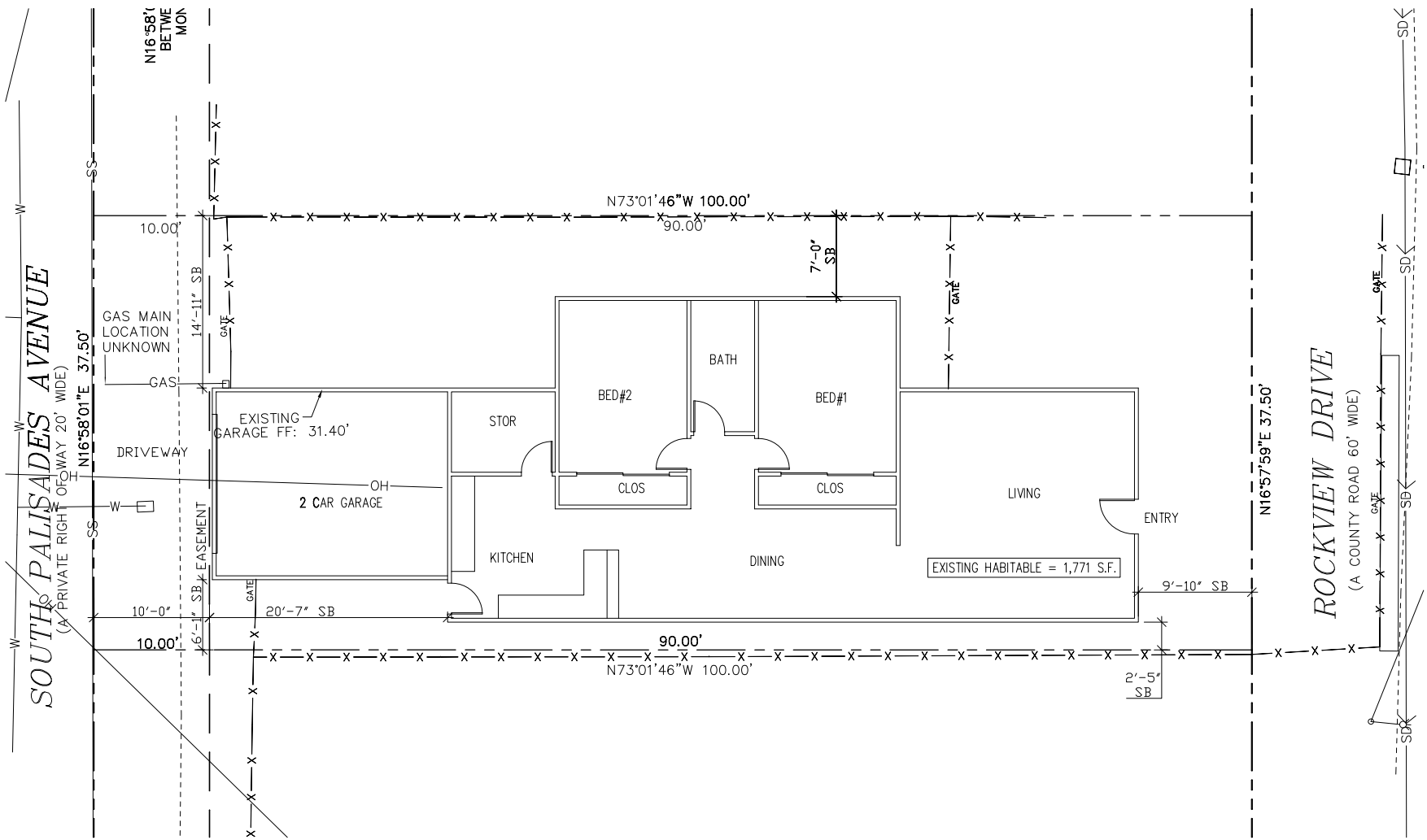
LOPES RESIDENCE
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
APN: 028-304-31

GORDON GAZELEY
HOME DESIGN AND PROJECT PLANNING

712 C. CAPISTRANO AVENUE, CANTON, CALIFORNIA 95019
PHONE: 831 840-2421
EMAIL: ggazley@gsd.com

COVER SHEET
LEGEND OF SHEETS

OWNER:	GG
CHECKED:	
JOB NO.:	31 ROCK
DATE:	04/28/25
SHEET:	A1
OF # SHEETS:	



REVISIONS:	BY:

OWNER:
 LUIS & MELBA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-1587

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE: 831-840-2621
 EMAIL: gordon@designproject.com

EXISTING FLOORPLAN
 W/SITE

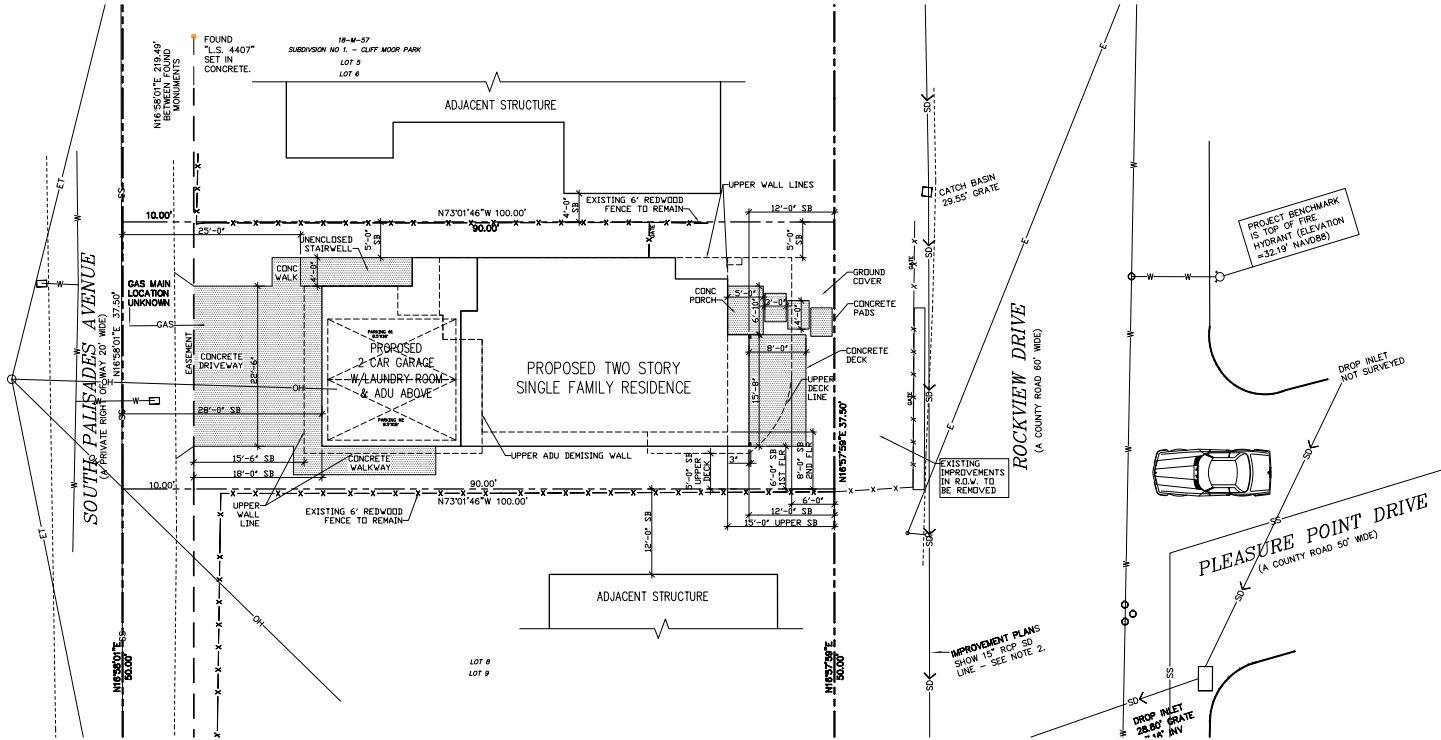
DRAWN: GG
 SCALE: 1/4" = 1'-0"
 JOB NO. 31 ROCK
 DATE: 08/14/25

SHEET
 A2
 OF # SHEETS

Exhibit 1J

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

EXISTING S.F.:
 HOUSE = 1,436 S.F.
 GARAGE = 319 S.F.



REVISIONS:	BY:
06/14/25	GG

OWNER:
 LUIS & HELGA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-1587

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE: 831-840-2421
 EMAIL: gordon@designproject.com

PROPOSED
 SITE PLAN

DRAWN: GG
 SCALE: 1/8"=1'-0"
 JOB NO. 31 ROCK
 DATE: 08/08/25

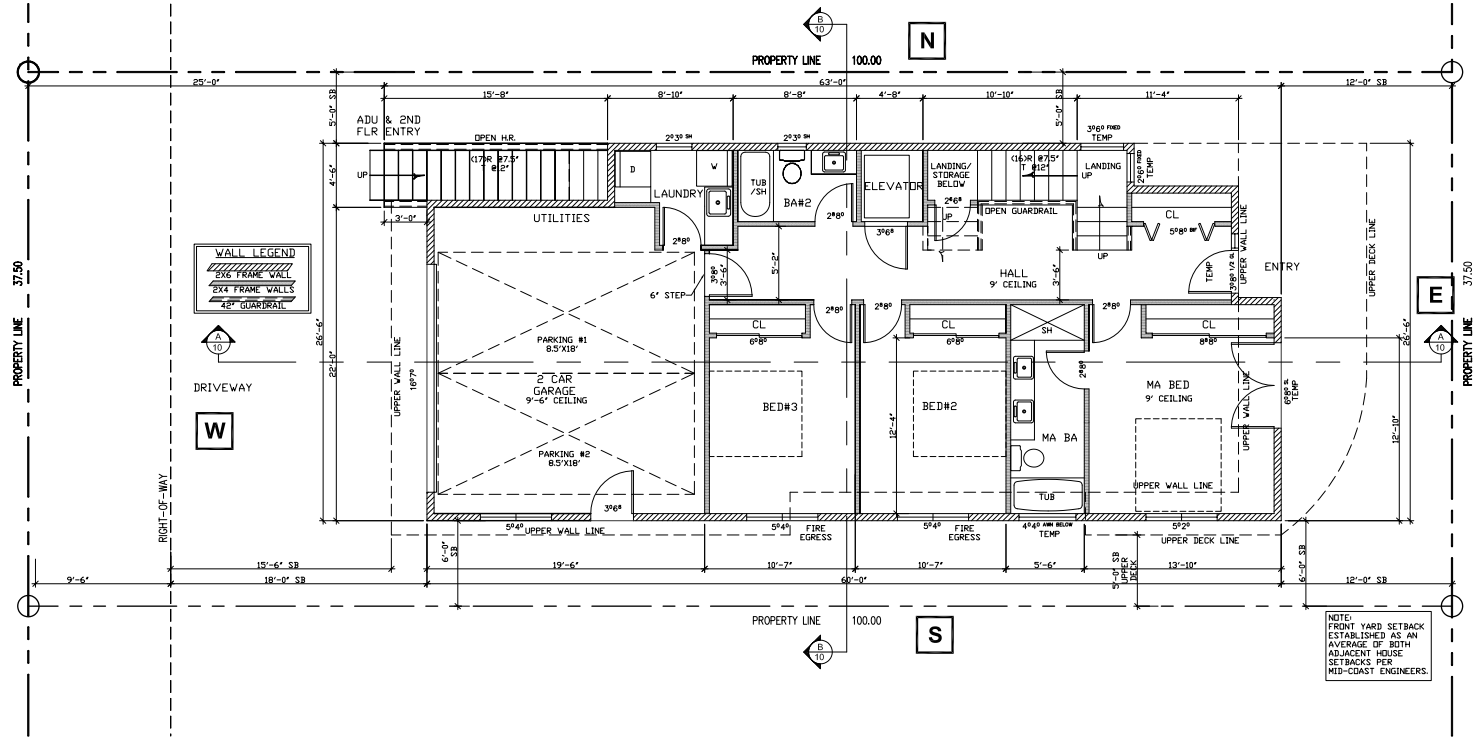
SHEET
 A3
 OF 1 SHEETS

Exhibit 1J

SITE PLAN
 SCALE: 1/8"=1'-0"



SOUTH PALISADES AVENUE



WALL LEGEND
 Hatched pattern: 2X6 FRAME WALL
 Dashed pattern: 2X4 FRAME WALLS
 Solid line: 48" GUARDRAIL

NOTE: FRONT YARD SETBACK ESTABLISHED AS AN AVERAGE OF BOTH ADJACENT HOUSE SETBACKS PER MID-COAST ENGINEERS.

PROPOSED S.F.:
 LOWER LIVING = 1,001 S.F.
 UPPER LIVING = 632 S.F.
 TOTAL LIVING = 1,633 S.F.
 UPPER LAUN = 160 S.F.
 UPPER DECK = 228 S.F.
 GARAGE = 404 S.F.

Exhibit 1J

FLOOR PLAN
 SCALE: 1/4"=1'-0"

REVISIONS:	BY:
▲ 06/14/25	GR

OWNER:
 LUIS & HELGA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-1587

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

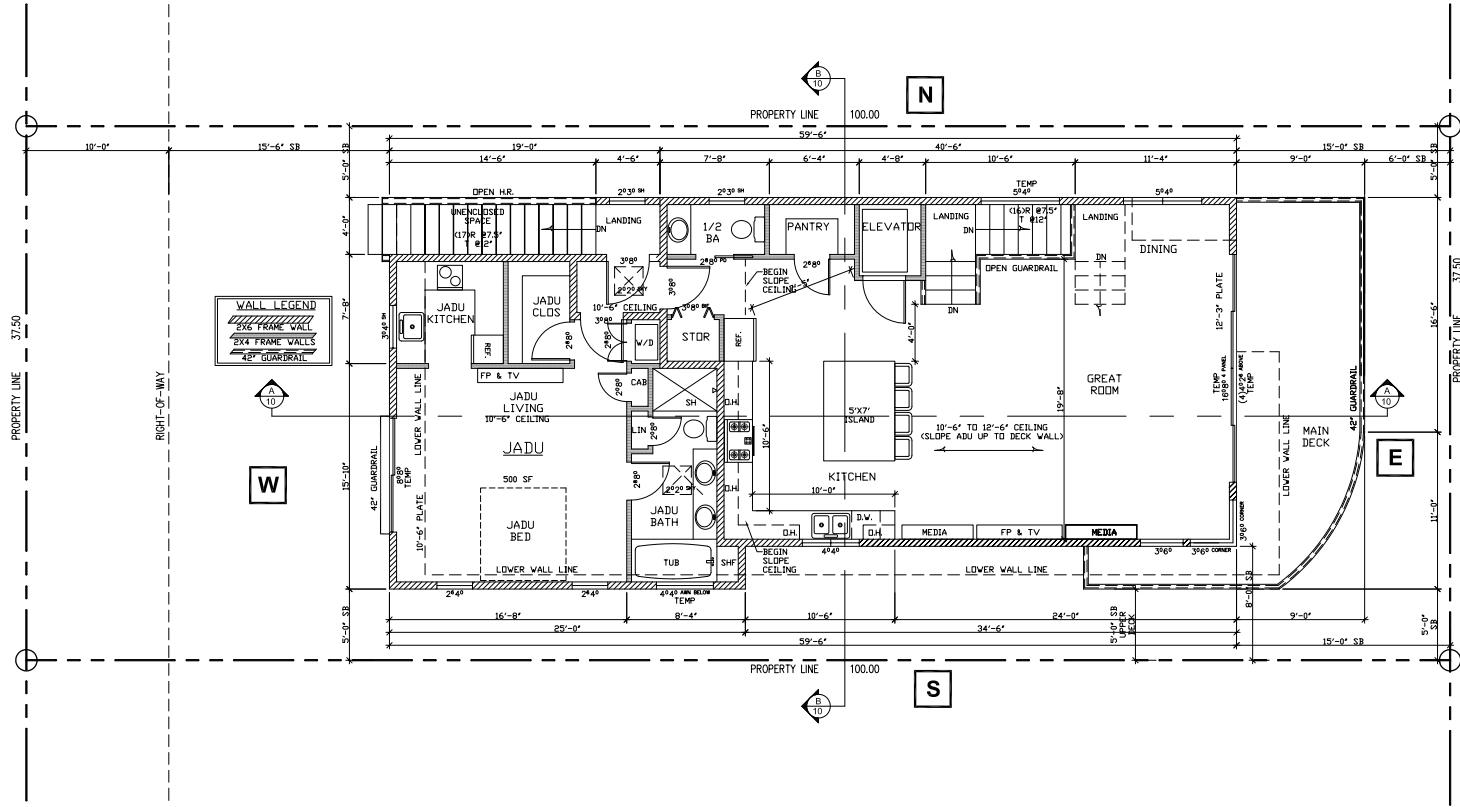
GORDON GAZLEY
 HOME DESIGN AND PROJECT PLANNING
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE: 831-840-2421
 EMAIL: gordon@designproject.com

PROPOSED LOWER FLOORPLAN

DRAWN: GG
 SCALE: 1/4"=1'-0"
 JOB NO. 31 ROCK
 DATE: 07/21/25

SHEET
A4
 OF 4 SHEETS

SOUTH PALISADES AVENUE



REVISIONS:	BY:
▲ 06/14/25	GG

OWNER:
 LUIS & HELGA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-1587

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

GORDON GAZLEY
 HOME DESIGN AND PROJECT PLANNING
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE: 831-840-2461
 EMAIL: gordon@designproject.com

PROPOSED UPPER
 FLOORPLAN

DRAWN: GG
 SCALE: 1/4" = 1'-0"
 JOB NO. 31 ROCK
 DATE: 07/21/25

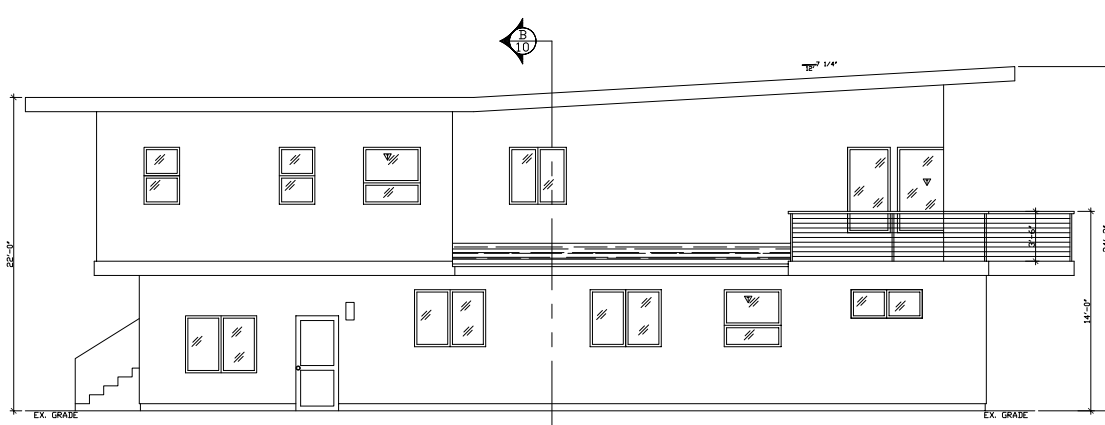
SHEET
 A5
 OF 1 SHEETS

PROPOSED S.F.:
 LOWER LIVING = 1,001 S.F.
 UPPER LIVING = 323 S.F.
 TOTAL LIVING = 1,323 S.F.
 UPPER JADU = 500 S.F.
 UPPER DECK = 209 S.F.
 GARAGE = 484 S.F.

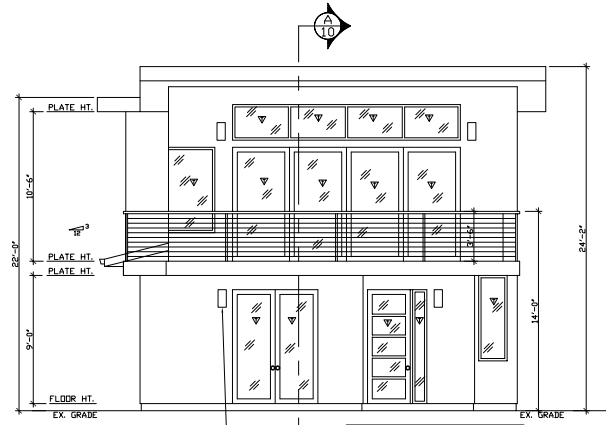
Exhibit 1J

FLOOR PLAN
 SCALE: 1/4"=1'-0"



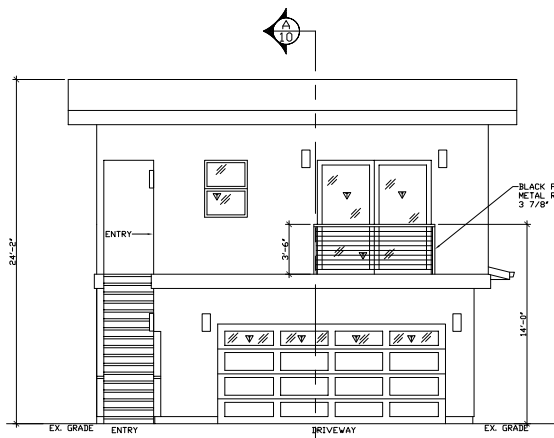


NORTH
SCALE: 1/4"=1'-0"

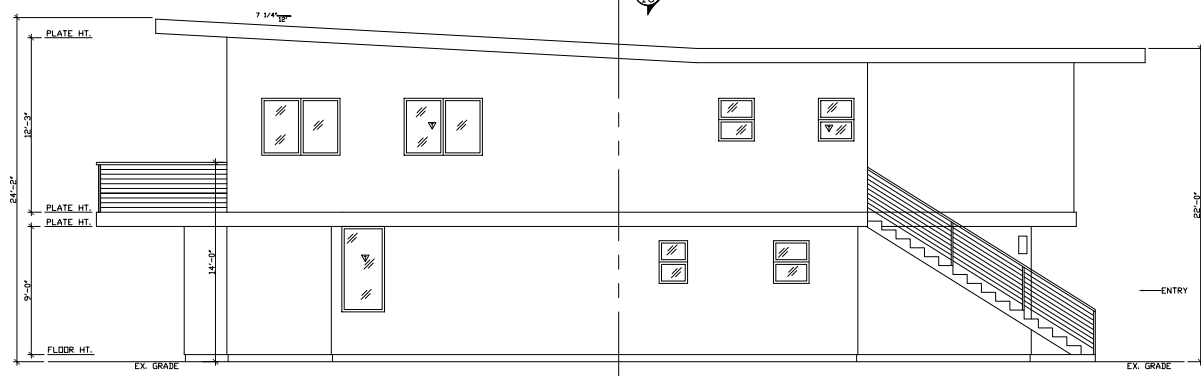


EAST
SCALE: 1/4"=1'-0"

NOTE:
ALL LIGHTING FIXTURES TO BE
UP/DOWN DIRECTED TO AVOID
LIGHT POLLUTION TO NEIGHBORHOOD



WEST
SCALE: 1/4"=1'-0"



SOUTH
SCALE: 1/4"=1'-0"

REVISIONS:	BY:
Δ 06/14/25	GG

OWNER:
LUIS & HELDA LOPES
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
408-656-5871

LOPES RESIDENCE
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
APN 028-304-31

GORDON GAZLEY
HOME DESIGN AND PROJECT PLANNING
712 E CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: 831-840-2421
EMAIL: gordon@designproject.com

ELEVATIONS

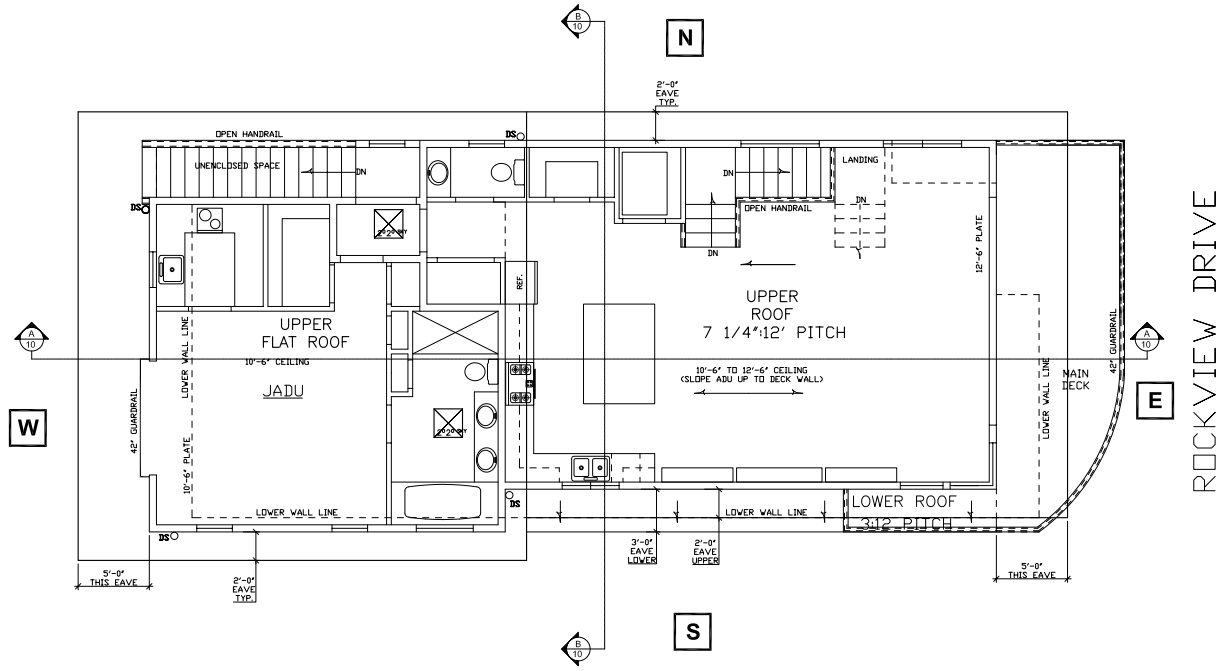
DRAWN: GG
SCALE: 1/4"=1'-0"
JOB: 31 ROCK
DATE: 04/28/25

SHEET
A6
OF # SHEETS

Exhibit 1J

NOTE: ▽ = TEMPERED GLASS

SOUTH PALISADES AVENUE



NOTES:
 ALL ROOF DRAINAGE
 DOWNSPOUTS TO SPASHBLOCKS
 TO VEGETATED AREAS
 SEE CIVIL ENGINEERING PLANS

ROOF PLAN
 SCALE: 1/4"=1'-0"

REVISIONS:	BY:
1	GG
2	GG
3	GG
4	GG
5	GG
6	GG
7	GG
8	GG
9	GG
10	GG

OWNER:
 LUIS & FELDA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-1587

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

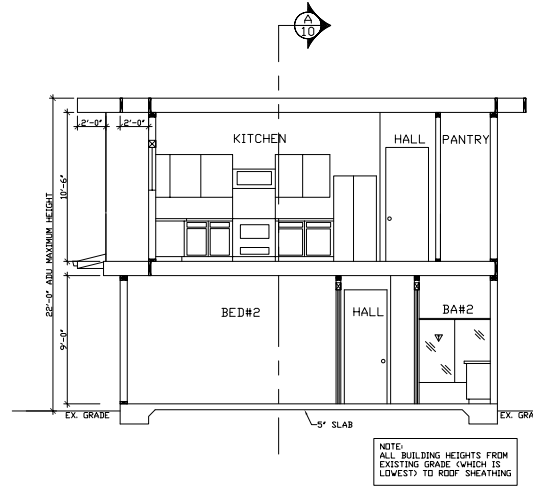
GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 172 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE 831 846-8241
 EMAIL: GORDON@GORDONGAZELEY.COM

ROOF PLAN

DRAWN: GG
 SCALE: 1/4"=1'-0"
 JOB NO. 31 ROCK
 DATE: 04/28/25

SHEET
 A7
 OF # SHEETS

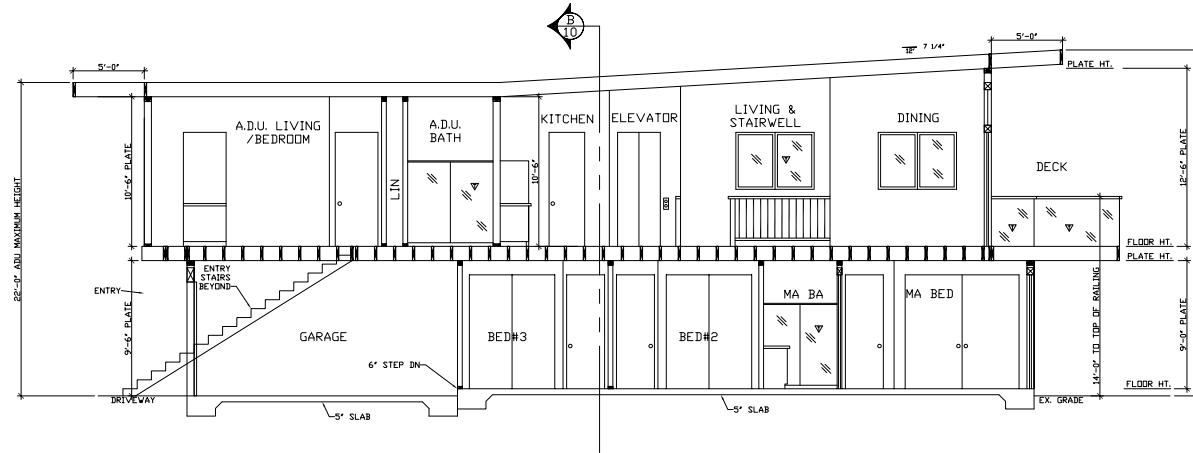
Exhibit 1J



SECTION B

SCALE: 1/4"=1'-0"

NOTE:
ALL BUILDING HEIGHTS FROM
EXISTING GRADE (WHICH IS
LOWEST) TO ROOF SHEATHING



SECTION A

SCALE: 1/4"=1'-0"

Exhibit 1J

NOTE:
THE CAL GREEN MANDATORY REQUIREMENTS
ARE LOCATED ON SHEET GB.1

REVISIONS:	BY:
Δ 07/23/25	GG

OWNER:
LUIS & HELDA LOPES
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
408-656-1587

LOPES RESIDENCE
31 ROCKVIEW DR
SANTA CRUZ, CA 95062
APN 028-304-31

GORDON GAZELEY
HOME DESIGN AND PROJECT PLANNING
712 E CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: 831-840-2401
EMAIL: gordon@designproject.com

SECTIONS

DRAWN: GG

SCALE: 1/4"=1'-0"

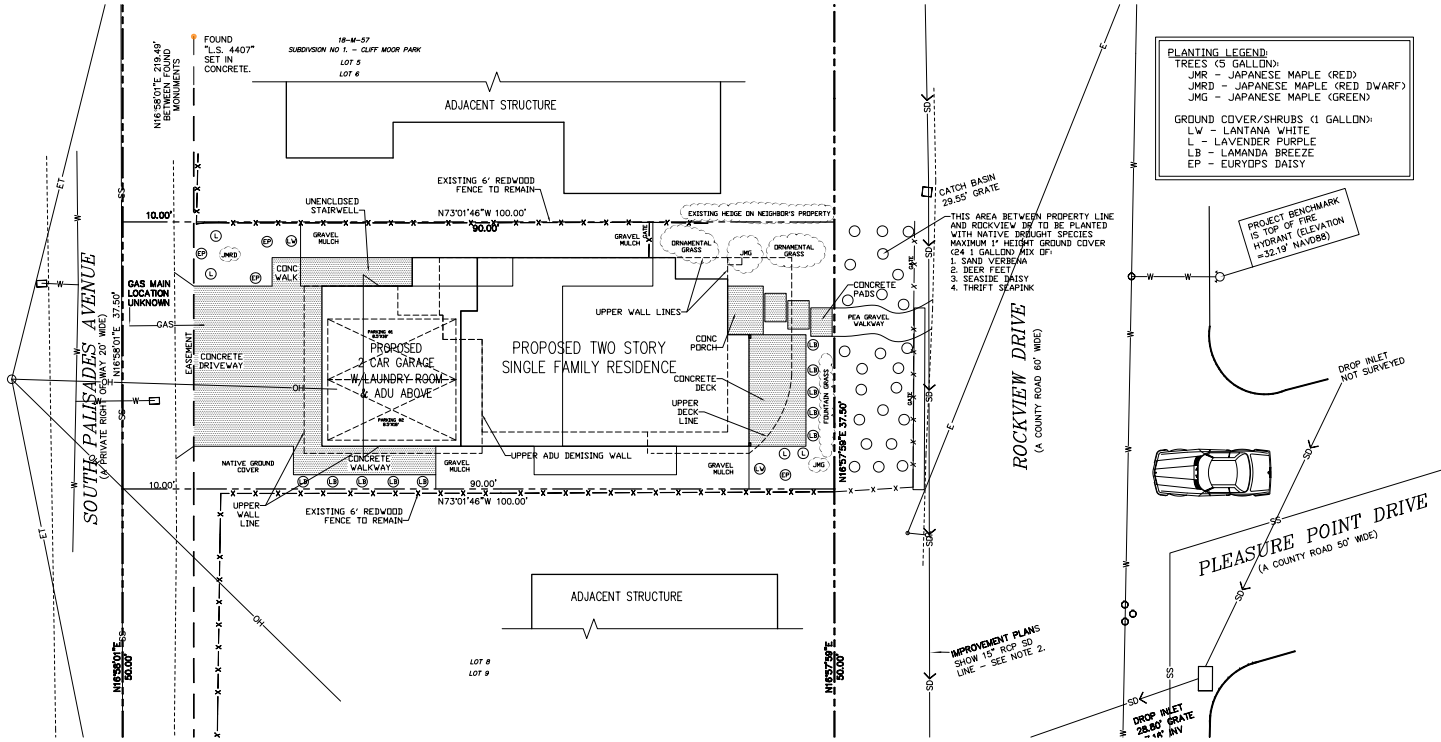
SCALE: 31 ROCK

DATE: 04/28/25

SHEET

A8

OF # SHEETS



1. FINAL LANDSCAPE CONSTRUCTION DRAWINGS TO INCLUDE A DETAILED IRRIGATION PLAN, PLANTING & IRRIGATION DETAILS, AND SPECIFICATIONS.
2. EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
3. IRRIGATION - PLANTS WILL BE DRIP IRRIGATED AND DIFFERENT HYDROZONE AREAS WILL BE ON DIFFERENT VALVES. THE CONTROLLER WILL CHANGE THE VALVE RUN TIMES BASED ON CURRENT WEATHER AND SHUT OFF IRRIGATION DURING RAIN EVENTS. ALL APPLICABLE COUNTY WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS WILL BE FOLLOWED.

REVISIONS:	BY:

OWNER:
 LUIS & HELGA LOPES
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 408-656-5871

LOPES RESIDENCE
 31 ROCKVIEW DR
 SANTA CRUZ, CA 95062
 APN 028-304-31

GORDON GAZLEY
 HOME DESIGN AND PROJECT PLANNING
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 PHONE: 831-840-2621
 EMAIL: gordon@homeprojectplanning.com

LANDSCAPE PLAN

DRAWN:	GG
SCALE:	1/8"=1'-0"
JOB NO.:	31 ROCK
DATE:	08/14/25
SHEET:	L
OF #	SHEETS

Exhibit 1J

SITE PLAN
 SCALE: 1/8"=1'-0"

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY MID COAST ENGINEERS, DATED 2-4-25 JOB NO. 2477023, NAVD 1988 DATUM 1/2 FOOT CONTOUR INTERVAL. BOUNDARY LINES COMPILED FROM RECORD INFORMATION THIS IS NOT A BOUNDARY SURVEY.



UNLESS NOTED BY THE ENGINEER, THIS PLAN IS THE PRELIMINARY PLAN. THIS PRELIMINARY PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

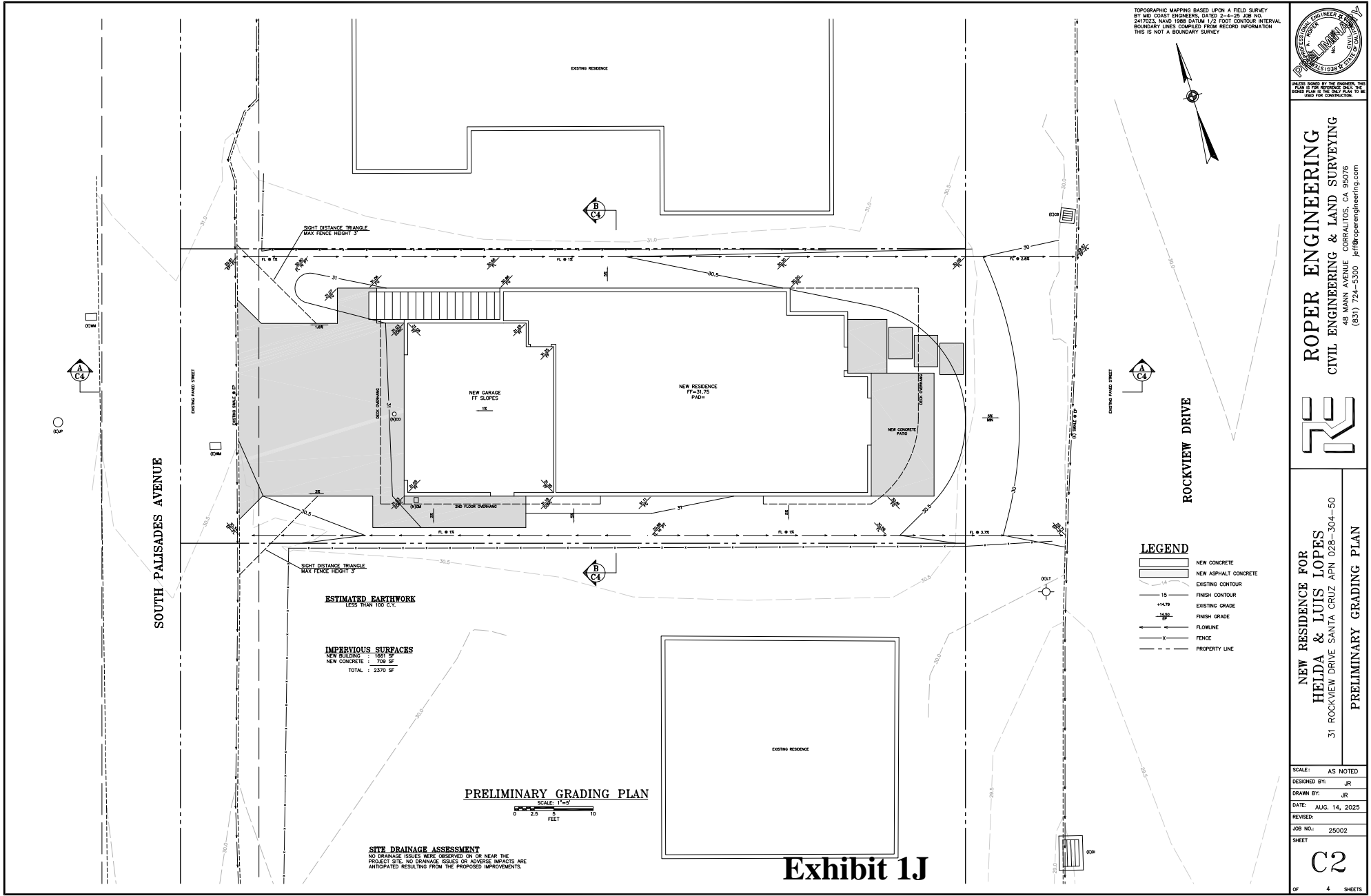
ROPER ENGINEERING
 CIVIL ENGINEERING & LAND SURVEYING
 48 MANN AVENUE CORRALITOS, CA 95076
 (831) 724-5300 je@roperengineering.com



NEW RESIDENCE FOR HELDA & LUIS LOPES
 31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50
PRELIMINARY GRADING PLAN

SCALE: AS NOTED
 DESIGNED BY: JR
 DRAWN BY: JR
 DATE: AUG. 14, 2025
 REVISED:
 JOB NO.: 25002
 SHEET

C2
 OF 4 SHEETS



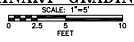
SIGHT DISTANCE TRIANGLE
 MAX FENCE HEIGHT 3'

SIGHT DISTANCE TRIANGLE
 MAX FENCE HEIGHT 3'

ESTIMATED EARTHWORK
 LESS THAN 100 C.Y.

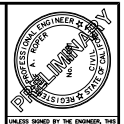
IMPERVIOUS SURFACES
 NEW BUILDING : 1650 SF
 NEW CONCRETE : 739 SF
 TOTAL : 2370 SF

PRELIMINARY GRADING PLAN



SITE DRAINAGE ASSESSMENT
 NO DRAINAGE ISSUES WERE OBSERVED ON OR NEAR THE PROJECT SITE. NO DRAINAGE ISSUES OR ADVERSE IMPACTS ARE ANTICIPATED RESULTING FROM THE PROPOSED IMPROVEMENTS.

Exhibit 1J



UNLESS SHOWN BY THE ENGINEER, THIS PLAN IS TO BE CONSIDERED ONLY AS A GUIDE. THE ONLY PLAN TO BE USED FOR CONSTRUCTION IS THE ONE SHOWN ON THIS SHEET.

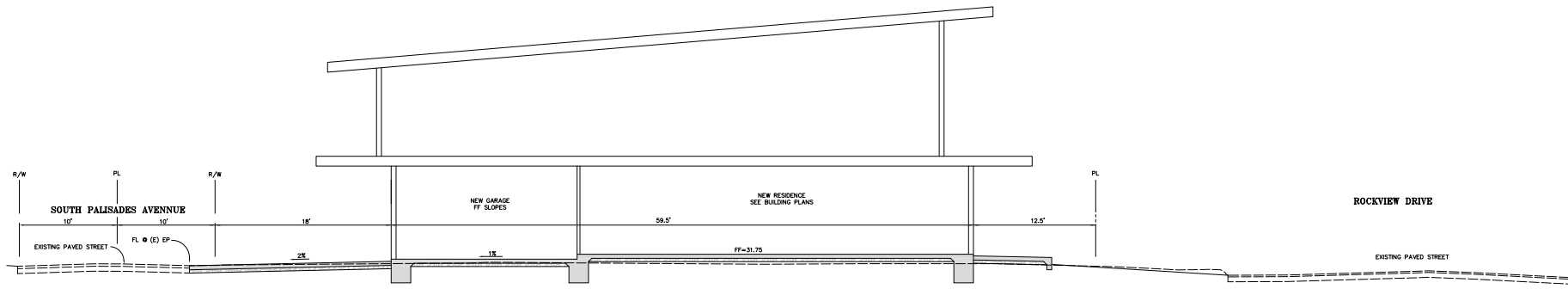
ROPER ENGINEERING
 CIVIL ENGINEERING & LAND SURVEYING
 48 MANN AVENUE CORRALITOS, CA 95076
 (831) 724-5300 jrl@roperengineering.com



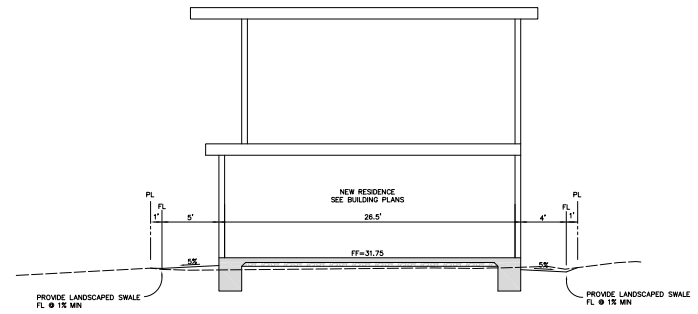
NEW RESIDENCE FOR HELDA & LUIS LOPES
 31 ROCKVIEW DRIVE SANTA CRUZ APN 028-304-50
GRADING PLAN

SCALE: AS NOTED
 DESIGNED BY: JRL
 DRAWN BY: JRL
 DATE: AUG. 14, 2025
 REVISION:
 JOB NO.: 25002
 SHEET

C4



SECTION A
 SCALE: 1"=5'
 C4



SECTION B
 SCALE: 1"=5'
 C4

GRADING NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 95% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 4" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ASSOCIATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 38-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE GEOTECHNICAL INVESTIGATION PREPARED BY DEES AND ASSOCIATES FOR LOUIS AND HELDA LOPES DATED APRIL 2025 PROJECT NO. SCF-1943 SHALL BE STRICTLY ADHERED TO DURING THE GRADING AND CONSTRUCTION OF THIS PROJECT.

Exhibit 1J

BASIS OF BEARINGS
 BASIS OF BEARINGS FOR THIS SURVEY IS NAD83 (2011) CCS ZONE 3 ESTABLISHED USING R.T.K. G.P.S. TECHNIQUES AND ACCESSED VIA THE SMARTNET NORTH AMERICA G.P.S. NETWORK.

LEGEND

● FOUND MONUMENT AS SHOWN

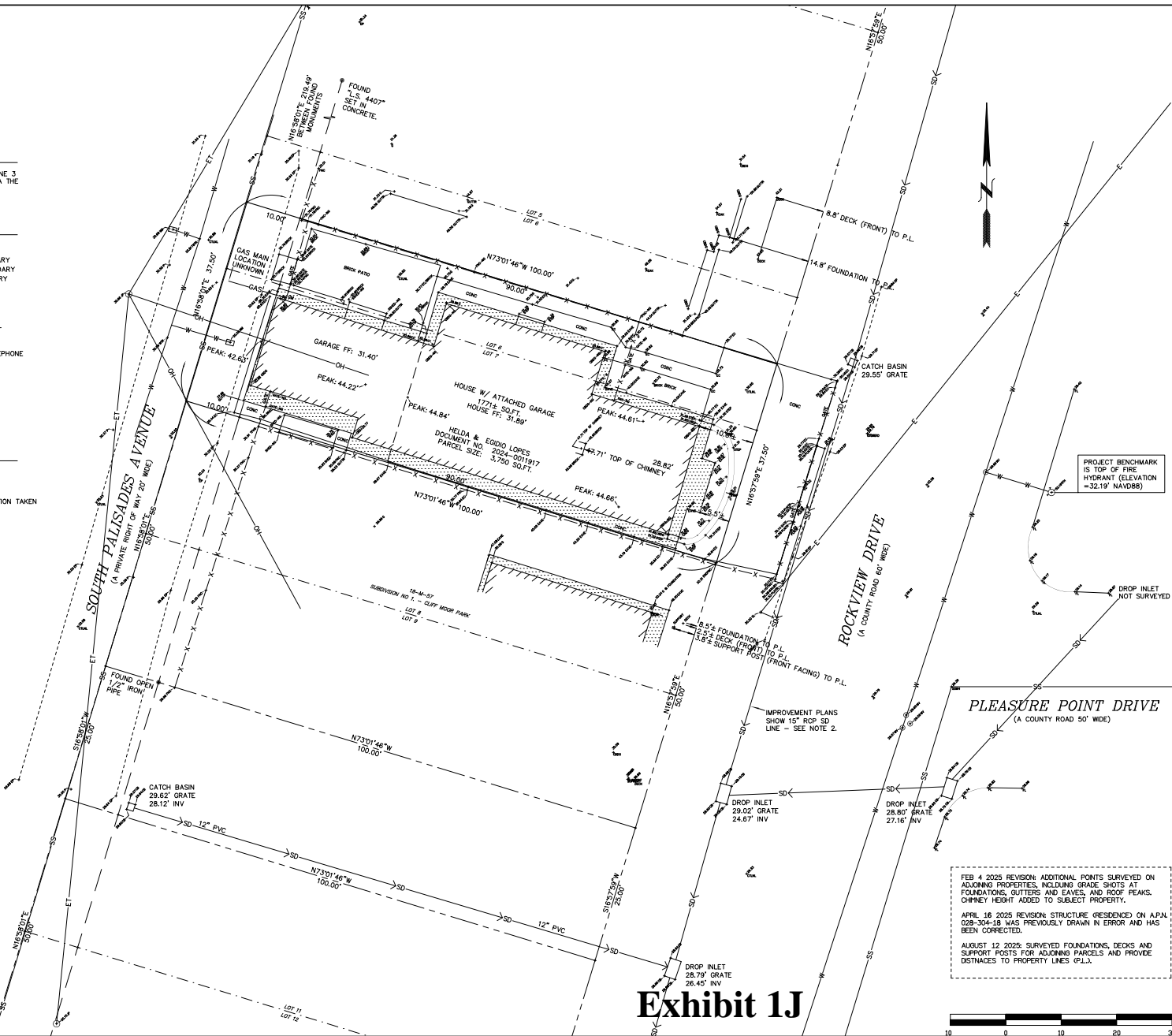
---	SUBJECT PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
- · - · -	FORMER PROPERTY BOUNDARY
- - - -	EASEMENT
- - - -	EDGE OF PAVEMENT
- X - X - X - X - X - X -	FENCE
- SS -	SANITARY SEWER MAIN
- SD -	STORM DRAIN MAIN/LATERAL
- W -	WATER MAIN/LATERAL
- OH -	OVERHEAD UTILITY SERVICE
- ET -	OVERHEAD POWER AND TELEPHONE
- E -	OVERHEAD POWER
▨	ROOF OVERHANG

DISTANCES ARE IN FEET AND DECIMALS THEREOF.

ABBREVIATIONS

BEG-FNC	BEGINNING OF FENCE
C	CONCRETE
CB	CATCH BASIN OR DROP INLET
CBDG	CORNER BUILDING FOUNDATION - NO ELEVATION TAKEN
CTNL	TEMPORARY SURVEY CONTROL
EO	EDGE OF CONCRETE
EC/BRICK	EDGE OF CONCRETE AND BRICK SURFACE
ENDFNC	END OF FENCE
EP	EDGE OF PAVEMENT
EAVE	ROOF EAVE
FL	FLOW LINE
FNC	FENCE
FNC-NG	FENCE - NO ELEVATION TAKEN
G	GRADE
GATE-NG	GATE - NO ELEVATION TAKEN
GM	GAS METER
GUTTR	ROOF GUTTER
INV	INVERT (ELEVATION)
JP	JOINT UTILITY POLE
LNDG	LANDING
MAILBX	MAILBOX
P	PAVEMENT
PLNTR	PLANTER
SHED-NG	SHED - NO ELEVATION TAKEN
SSMH	SANITARY SEWER MANHOLE
TH	TOP OF FIRE HYDRANT
TFC	TEE INTERSECTION OF FENCING
TWTR	TEE INTERSECTION WATER LINE
WM	WATER METER
WV	WATER VALVE

- NOTES
- UNDERGROUND STORM DRAIN, SEWER, AND WATER LINES ARE BASED ON ABOVE GROUND EVIDENCE AND SANTA CRUZ GIS SYSTEM DATA.
 - STORM DRAIN LINE SHOWN AS 15" RCP ON AS-BUILT PLANS ENTITLED "COUNTY OF SANTA CRUZ PUBLIC WORKS DEPARTMENT, POST PROPERTY CURB AND GUTTER GRADES - EAST CLIFF DRIVE."



FEB 4 2025 REVISION: ADDITIONAL POINTS SURVEYED ON ADJOINING PROPERTIES, INCLUDING GRADE SHOTS AT FOUNDATIONS, GUTTERS AND EAVES, AND ROOF PEAKS. CHIMNEY HEIGHT ADDED TO SUBJECT PROPERTY.

APRIL 16 2025 REVISION: STRUCTURE (RESIDENCE) ON APN 029-304-18 WAS PREVIOUSLY DRAWN IN ERROR AND HAS BEEN CORRECTED.

AUGUST 12 2025: SURVEYED FOUNDATIONS, DECKS AND SUPPORT POSTS FOR ADJOINING PARCELS AND PROVIDE DISTANCES TO PROPERTY LINES (P.L.).

Exhibit 1J



MID COAST ENGINEERS
 CIVIL ENGINEERS AND LAND SURVEYORS
 70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 - (831) 724-2590



TOPOGRAPHIC SURVEY
 LANDS CONVEYED TO HELDA LOPES AND EGDIO LOPES BY GRANT DEED RECORDED JUNE 25, 2024 IN DOCUMENT NO. 2024-0011917, OFFICIAL RECORDS OF SANTA CRUZ COUNTY.
 APN 029-304-18 - SANTA CRUZ CALIFORNIA
 31 ROCKVIEW DRIVE - SANTA CRUZ CALIFORNIA

SCALE:	1" = 10'
DRAWN:	JAN 9 2025
REVISED:	FEB 4 2025
	APR 16 2025
	AUG 13 2025
JOB NO.:	2417023
SHEET:	



6DQWD &UX] &RXQW\ 3ODQQLQJ 'HSDUWP
3DUFHO /RFDWLRQ ODS



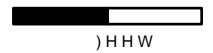
3DUFHO

6XEMHFW 3DUFHO

ODS SULQWHG 'HF

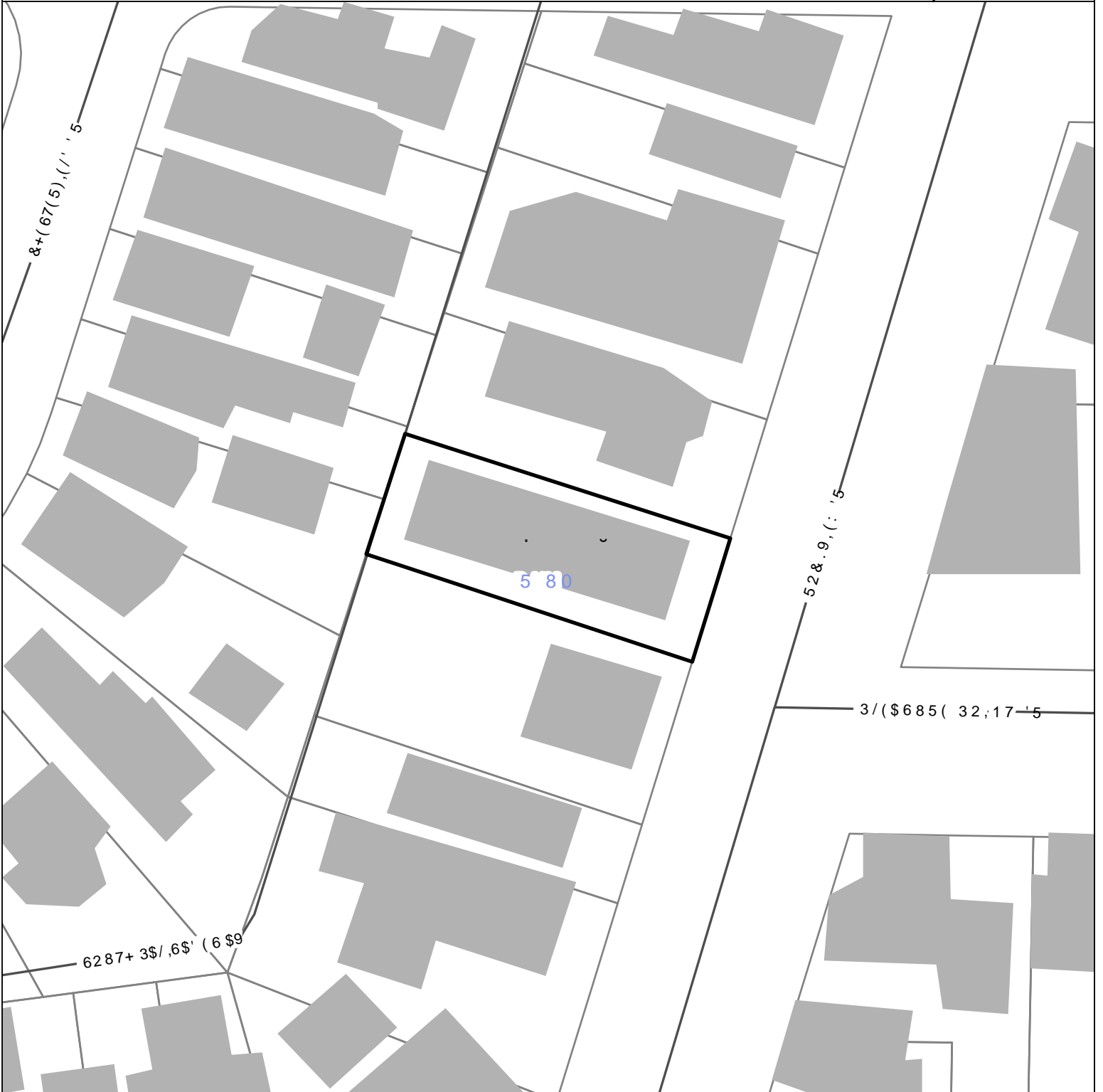
Exhibit 1J

9



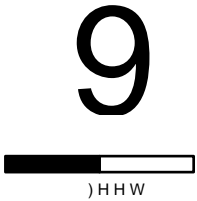


6DQWD &UX] &RXQW\ 3ODQQLQJ 'HSDUWP
3DUFHO *HQHUDO 3ODQ ODS



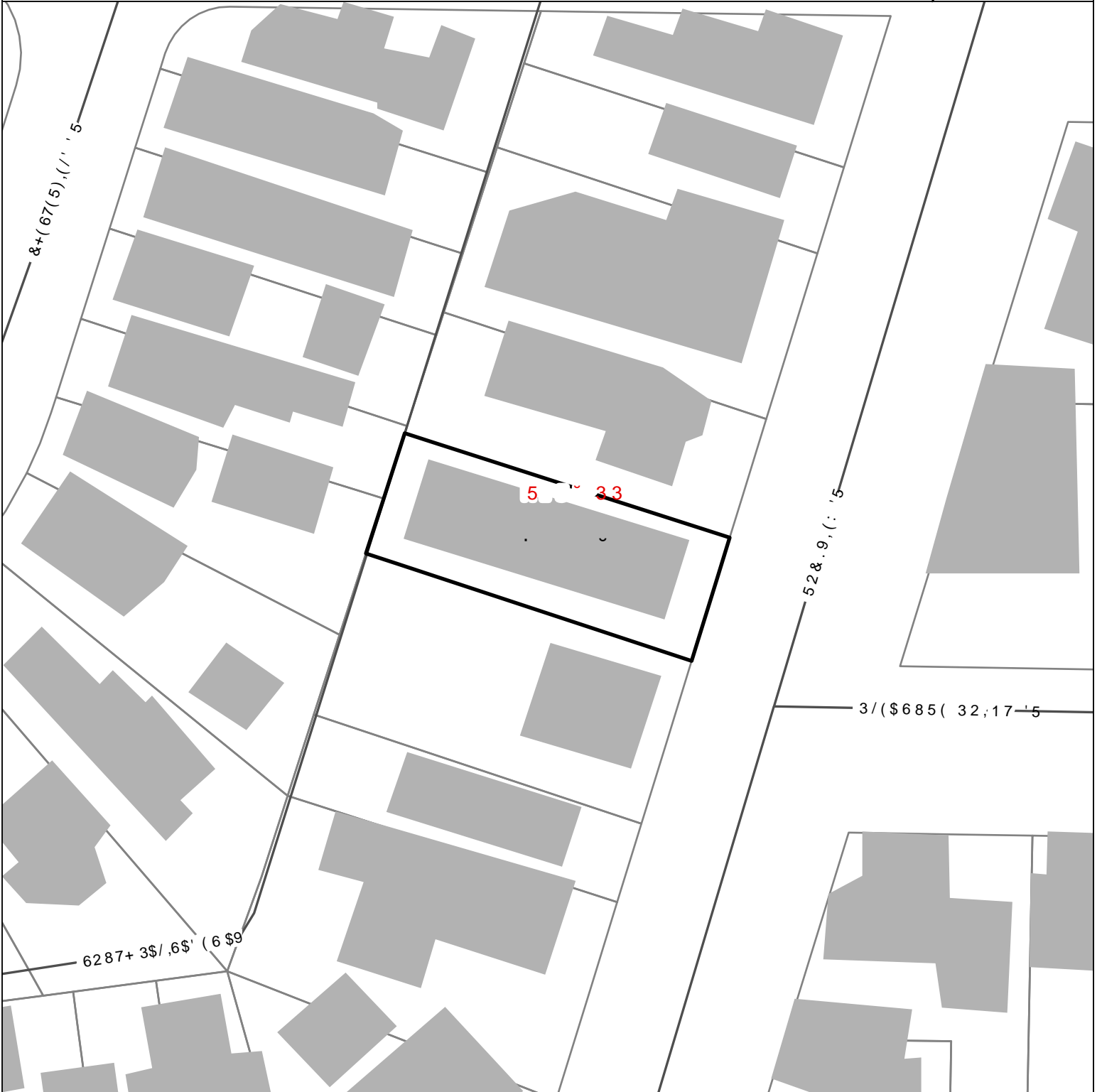
□ 6XEMHFW 3DUFHO

Exhibit 1J





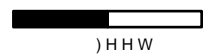
6DQWD &UX] &RXQW\ 3ODQQLQJ 'HSDUWP
3DUFHO =RQLQJ ODS



□ 6XEMHFW 3DUFHO

Exhibit 1J

9



Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Santa Cruz Water Service Area
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5

Parcel Information

Parcel Size: 3,750 square feet
Existing Land Use - Parcel: residential
Existing Land Use - Surrounding: residential
Project Access: Rockview Drive and South Palisades Avenue
Planning Area: Live Oak
Land Use Designation: R-UM (Urban Residential - Medium Density)
Zone District: R-1-5-PP (Single Family Residential, 5,000 square foot
minimum per dwelling)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal
Comm. Yes No

Technical Reviews: REV251072

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site

Shadow Study

Proposed Lopes Residence

A.P.N. 028 - 304 - 31



June Solstice



December Solstice

Alexandra Corvello

From: Alexandra Corvello
Sent: Wednesday, December 3, 2025 9:43 AM
To: Lezanne Jeffs; Riley Rhodes
Subject: 251178 Public Comment 2

Hi Everyone,

Here is the second public comment for 251178.

Best,
Alexandra

Alexandra Corvello

Development Review Planner
Community Development & Infrastructure

Phone: 831-454-3209
701 Ocean Street, Room 410

-----Original Message-----

From: D & S Besson <dsjbbesson@gmail.com>
Sent: Tuesday, December 2, 2025 7:29 PM
To: Alexandra Corvello <Alexandra.Corvello@santacruzcountyca.gov>
Subject: Opposition to Construction, 31 Rockview Dr., Santa Cruz

****CAUTION:This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

December 2, 2025

Attn: Alexandra Corvello, Project Planner, County of Santa Cruz

Subject: Item 1. 251178, 31 Rockview Drive, Santa Cruz, CA 95062, APN: 028-304-50

To Whom It May Concern:

Our family has owned property on Rockview Drive for the past 70 years. We are writing in opposition to the proposal to demolish the existing home and garage at 31 Rockview Dr. to construct a 2,961 sq.ft. two-story home with a 430 sq.ft. attached garage, and to the Exceptions and Variances requested. The proposed construction requires a Pleasure Point Exception to reduce both second story setbacks from 10' to 5', a Site Development Permit for an over height fence in the front yard, and a variance to increase the allowed encroachment by a cantilevered deck from 6' to 9'.

The existing ordinances and regulations in the Rockview Drive area are in place to enhance the quality of life and create an aesthetic for its residents and the surrounding coastal environment. They exist to benefit the neighborhood as a whole- as a community, and not to be eliminated for the sole benefit of a single property owner. Doing so would disrupt and destroy the quality of life and existing neighborhood character for its residents.

We strongly urge that the requested variances and exceptions to the new construction proposed at 31 Rockview Drive are not approved.

Sincerely yours,

Denis J. & Sherrie A. Besson

Alexandra Corvello

From: Alexandra Corvello
Sent: Wednesday, December 3, 2025 9:38 AM
To: Lezanne Jeffs; Riley Rhodes
Subject: FW: 31 Rockview Hearing December 5
Attachments: OceanView.1.jpg; OceanView.2.jpg; StreetView.1.jpg; StreetView.2.jpg

Hi Everyone,

Here is the first public comment for 251178.

Best,
Alexandra



Alexandra Corvello

Development Review Planner
Community Development &
Infrastructure

Phone: 831-454-3209
701 Ocean Street, Room 410



From: Philip Taylor <phil898@gmail.com>
Sent: Tuesday, December 2, 2025 12:23 PM
To: Alexandra Corvello <Alexandra.Corvello@santacruzcountyca.gov>
Subject: 31 Rockview Hearing December 5

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Good morning Alexandra,

My name is Philip Taylor and I'm a resident at 37 Rockview for the past 23 years. I received notice of a hearing this Friday related to new construction at 31 Rockview Drive (item 1.251178). Multiple variances and building code exemptions are requested to allow for:

- a higher front yard fence than permitted by existing code/zoning;

- a larger cantilevered deck than permitted by existing code/zoning; and
- modified second-story side setbacks not permitted by existing code/zoning.

For decades, Rockview residents have thoughtfully cooperated to ensure we all enjoy unobstructed views of the ocean. My immediate neighbor, for example, keeps their hedge at or below the maximum height for a front fence, as attached photos (ocean view photos) show. Neighbors have also occasionally removed trees and large shrubs that began to impede views. Any front yard fence height that is above what is currently permitted will negatively impact our views.

Regarding the request for a front balcony that protrudes 9' and is in violation of existing code, it would also impact our views, and would be the largest balcony in the neighborhood.

With regard to the side setbacks, that would seem to have the least direct impact on views and neighborhood continuity since surrounding side setbacks seem to be closer to 5', so that request seems reasonable.

But I am absolutely opposed to the County granting variances that will result in reduced ocean views by a higher front fence or larger front balcony. Which prompts my main question:

If a new property owner wants to construct a larger-than-permitted structure by side-stepping current zoning and code restrictions, while also negatively affecting neighboring properties, why would the County of Santa Cruz consider?

The buyer of 31 Rockview wants to construct the largest house it can, in violation of multiple existing zoning and code restrictions and with no regard to how it affects its neighbors. On what possible grounds is this even being considered? Please read this email into the record at your meeting this Friday; if I am in town I will personally attend as well.

If you could please respond to this email so I know it was received.

Thank you,
Philip Taylor
37 Rockview Drive
408 398 5555



Exhibit LJ



Exhibit 1J

Alexandra Corvello

From: Alexandra Corvello
Sent: Thursday, December 4, 2025 10:09 PM
To: Lezanne Jeffs; Riley Rhodes
Subject: 251178 Public Comment: Fw: 31 Rockview Dr Hearing on December 5, 2025

Here is another one.

Get [Outlook for Android](#)

From: brian nunes <brian_nunes@hotmail.com>
Sent: Thursday, December 4, 2025 7:59:56 PM
To: Alexandra Corvello <Alexandra.Corvello@santacruzcountyca.gov>
Subject: 31 Rockview Dr Hearing on December 5, 2025

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Dear Planning Commission,

I am writing to express my opposition to granting any exceptions for the property at 31 Rockview Dr (Item 1.251178) regarding oversized decks, second-story additions, or high fences. It is important that our local government consistently enforces the established zoning regulations. All residents should be held to the same standards outlined in the *Pleasure Point Plan*, which has guided past permits and helped maintain the character and integrity of our neighborhood.

The property at 31 Rockview Dr is already extremely limited in space, positioned directly on the alley, pressed tightly against adjacent homes, and located on a portion of Rockview Dr with no sidewalks on the odd-numbered side of the street. Despite these constraints, the proposed expansion would more than double the size of the home from 1,436 sq ft to 2,961 sq ft. This plan also involves demolishing a cherished and historically significant Pleasure Point home, which many consider an important part of the neighborhood's charm.

I would also like to bring attention to the cumulative impacts of ongoing construction in our area. Our once quiet neighborhood has experienced significant noise disturbances, such as early-morning jackhammering this past summer near the cliffs by the Pump House, well before 7:00 AM. Additionally, multiple construction projects have caused noticeable deterioration of Rockview Dr and Pleasure Point Dr, which are now marked by numerous potholes.

Compounding these concerns, many of the newly remodeled homes are subsequently flipped to absentee owners or used as short-term rentals through Airbnb or VRBO. This trend further disrupts the community and diminishes the sense of stability and neighborly connection that define Pleasure Point.

I respectfully urge the Commission to deny this request or require the property owner to fully comply with existing zoning regulations without exceptions. Protecting the integrity of the Pleasure Point Plan and the quality of life for current residents should remain a top priority.

Thank you for your consideration.

Sincerely,

Brian Nunes

Resident of Rockview Dr for the past 30+ years

Karen Tucker
867-4065

865 Dogwood Loop, Lincoln, CA 95648

Tel: (408)

December 4, 2025

Dear Zoning Administrator and planner Alexandra Carvello:

I am the owner of 33 Rockview Drive, the property adjacent to and north of the applicant's property, 31 Rockview Drive. I object to the application and ask the zoning administrator to deny it for the following reasons:

The applicant proposes to double the size of the current single story, approximately 1450 square foot house, to over 2900 square feet on two stories. In order to accommodate this size home, the applicant has asked for exceptions or variances to the side yard setback requirements and to the required 6-foot depth of the proposed second story balcony (the applicant has proposed nine feet).

The most impactful proposal to my home would be the project's proposed encroachment of five feet into the ten-foot side yard setback requirement on the north side of the applicant's property. The encroachment would significantly eliminate any light and air between the two houses. These impacts would negatively affect the value, use and enjoyment of my property.

The staff report notes that the proposed JADU has the right to a four foot setback, and is only taking five, then allows the five-foot set back for the rest of the house, which is, of course, substantially larger than the JADU. Is there a reason that the remainder of the house should automatically be granted such a generous exception? This puts the applicant's extended second story practically on top of our patio. It is also concerning to me that the plans allow a broader second story while maintaining a smaller footprint on the first floor. This seems to acknowledge that the house's second story would be objectionably large if applicants had to live with setbacks on the ground level. It is my understanding that the Coastal Commission has been in favor of granting second stories in order to increase square footage for houses in this area, but that these second stories are typically narrower than the first stories to allow for air and light. What is happening here is just the opposite. I am asking that the main home be required to conform with required setbacks.

Moreover, the proposed encroachment is not supported by the findings required to grant the exception because there is nothing unique about the applicant's property that makes the imposition of the usual requirements unfair or unreasonable. Here the need for an exception can be eliminated simply by proposing a smaller house (one that reduces the width of the second story).

Exhibit 1J

Similarly, the applicant proposed a nine foot deep second story balcony at the front of the house, where six feet is the required maximum. Like the second story proposal, the applicant's desire for more living space or a better view does not meet the required findings for a variance. A six foot balcony already threatens to take away our privacy when spending time in our front yard, and that impact would be exacerbated by allowing a larger balcony.

Please forward this letter to the appropriate decision-makers on this application, and I further request that this letter be included in the official record of the relevant proceedings. Thank you in advance for your time and consideration of my objections to the 31 Rockview Drive application.

Thank you.

Karen Tucker

Alexandra Corvello

From: Alexandra Corvello
Sent: Thursday, December 4, 2025 10:08 PM
To: Lezanne Jeffs; Riley Rhodes
Subject: 251178 Public Comment: Fw: Supplemental comments on ZA Item 1, Dec 5 2025

Additional comment.

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From: Michael Guth <mguth@guthpatents.com>
Sent: Thursday, December 4, 2025 5:53:18 PM
To: Donovan Arteaga <Donovan.Arteaga@santacruzcountyca.gov>; Alexandra Corvello <Alexandra.Corvello@santacruzcountyca.gov>
Subject: Supplemental comments on ZA Item 1, Dec 5 2025

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

These comments are in addition to my letter previously submitted with regard to

251178 31 Rockview Drive, Santa Cruz CA 95062 APN: 028-304-50**

In addition to my discussion about the side yard offsets, I also object to the extension of the front yard deck beyond that allowed by code, and the raising of the front yard fence from 3 to 4 feet.

There are at least five elements that impact the public perception of the bulk and massing of the project, and the impacts upon the public. These are the left side second story offset, the right side second story offset, the height, the distance from the street, and the front fence. This Applicant seeks to exceed the limits on four of the five elements. Four of the Five! This is no case of seeking some minor relief on one aspect of the proposed development. It is totally out of bounds.

That the staff report could have proposed a finding that this project in line with the purposes of the Pleasure Point Combining District may be the greatest error I have seen in quite some time.

With regard to the extended deck, about which I did not previously comment: Decks are allowed out six feet. My deck goes out six feet, as does my next door neighbor's, and the opposite neighbor two door's over. If someone wants a longer deck, then they may bring back their front wall of their second story - thus creating a larger area - just as the property directly across the street from this parcel has done. Although there may not be specifically a private right to view through allowable building envelopes, there is a view through the stay out areas: front yard offsets, side yard offsets, and other such areas. Allowing building into offsets not only impacts the public through massing and bulk effects, it also interferes with the viewlines granted through the stay out areas.

With regard to the fence height, about which I did not previously comment: My front fence is three feet. Across the street my neighbor's front fence is three feet, and across the corner/street from him the front fence is less than three feet. The new fence two door's over from me is three feet. There is no reason to grant a fence height exception to a home along a street like Rockview. The staff report's mention of other higher fences in the area fails to mention that some fence line exceptions were because the front fence was over 10 feet from the front property line, as is the case with one house on Pleasure Point Drive. For others, rather than use the higher fences as a basis for comparison, instead the staff planner should be referring these to code compliance.

This project is starting from scratch, a complete rebuild. There is no need for any exceptions or variances when starting with a blank canvas.

--

Yours Sincerely,
Michael A. Guth
Attorney at Law
(831) 462-8270

Santa Cruz County Community Development & Infrastructure
Zoning Administrator
701 Ocean Street
Santa Cruz, CA 95060

December 3, 2025

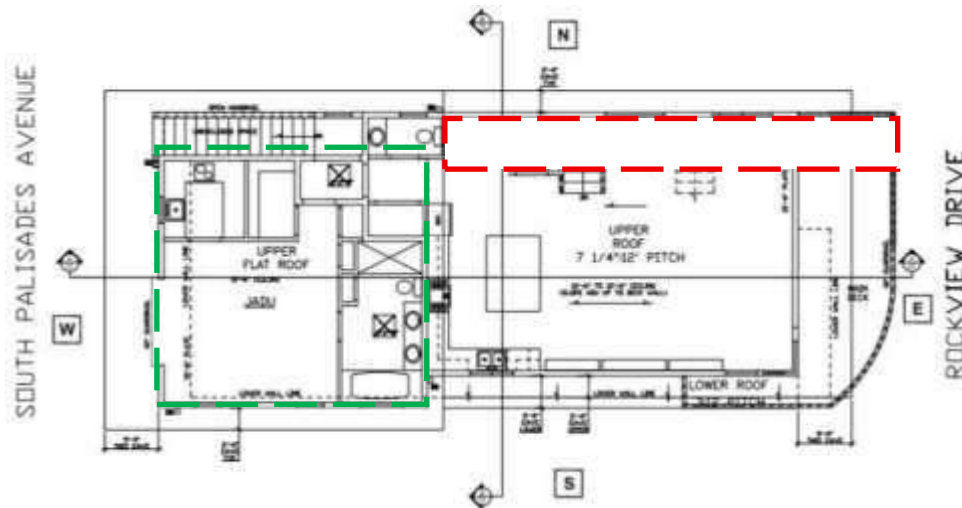
Re: Application No. 251178; 31 Rockview Drive
Agenda Date: December 5, 2025; Agenda Item 1

Position: DENY (in the alternative, approve with further conditions as described herein)

I am writing to express my opposition to the staff recommendation that the Zoning Administrator approve Application Number 251178. The project as submitted and reviewed is significantly non-compliant to the requirements of the Pleasure Point Community Design Combining District, and the proposed exceptions cannot be justified as consistent with the Combining District purposes. In fact, they are antithetical to the purposes of the Pleasure Point Community Design Combining District. This is just the type of development that the Pleasure Point rules were intended to prevent.

I take specific exception to (at least) Coastal Development Permit Finding (C) and to Pleasure Point Exception Finding (1).

The proposed development seeks to have its entire north-side yard offset at 5 feet, including both the first and the second story. The requirement under 13.10.446(A)(1)(a) is that the second story is offset 10 feet. This code section applies as the lot is over 35 feet wide. The staff report purports to justify this exception because of the JADU that is present at the rear of the building and is allowed to have a reduced offset. The staff report glosses over this topic simply by referring to the JADU portion of the rear of the building. There is absolutely no basis for extending the 5 foot offset exception to any area of the building other than that where the JADU resides. In fact, articulation of the side wall of the building is what is called for, is required, and is consistent with the purposes of the Pleasure Point Community Design Combining District purposes.

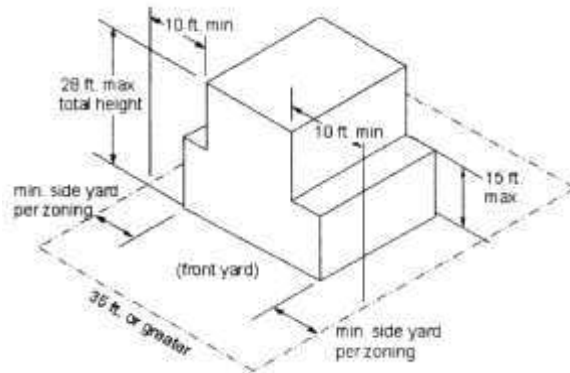


As seen above, the JADU (green box) is at the rear. There is no justification for extending the reduced offset further forward than that area. The area forward needs to be removed from the second story (red box).

The Pleasure Point Community Design Combining District codes were geared to address the concerns of the community. There are things one can do in this District that one cannot do outside of the District, such as uncovered porches in the front yard offsets, counting of triple stack parking, and others. In addition, there were customized restrictions placed on the building envelopes. These were broken down to lots narrower than 30 feet, 30-35 feet, and over 35 feet wide. One of the primary purposes of the Pleasure Point Community Design Combining District was to require that new development on the wider of the lot categories offset their second stories further than the minimum required for the first story. This could be done by offsetting the second story, or by moving both the first and second story inward. The purpose of this approach was dual: to reduce the visual impact of massing by removing the second stories from minimum offset, and to reduce adjacent shading, especially on lots running east-west along their northern edge.

The pertinent part of the Pleasure Point Community Design Combining District code is seen here:

**Figure 13.10.446-1
Building Envelope Limits for Lots 35 Feet or Greater in Width**



The code relating to exceptions is seen here, from **13.10.447 Exceptions (A)**, in pertinent part:

Exceptions to the Pleasure Point residential development standards may be granted if the project is found to be consistent with the Pleasure Point Community Design “PP” Combining District purposes

Not only does the proposed development not meet the requirements for lots over 35 feet wide, it does not meet the requirements for lots 30-35 feet wide, nor the requirements for lots under 30 feet wide. With regard to massing and side yard offset, this proposal is completely outside the rules regarding side yard offsets, with no demonstration of compromise of any type. With regard to shading, the non-compliant offset runs the entire east-west length of the northern boundary of the lot, which is exactly the worst case scenario discussed when shading was considered during code formation. The proposed side yard exception is completely at odds with the intent and purposes of the Design District.

Exceptions to the second story side yard offset have been granted, and I myself have come in to speak in favor of some of them – in limited circumstances. For example, exceptions for a deck railing that extends up into the offset area are sometimes given, with the condition that the railing be open so as not to appear as a wall. Other exceptions have been given for a foot here or there along a portion of a side wall. In this case, however, there is just a complete waiver of a requirement along the entire side of a building. **There is no basis for this design other than**

Michael A. Guth

that the Applicant simply wants a larger house. That does not come close to being a legitimate basis for providing an exception.

It is important to note that these codes were meant to capture new development as the housing stock is rebuilt or remodeled over time. References to earlier built homes as support for exceptions on this parcel are not appropriate. The codes were changed to capture new development, which this project certainly is.

It is the intent of the Pleasure Point Community Design Combining District to prevent this type of project – that of minimum offset of second stories on larger lots. Lots less large have a smaller offset, but then also have a height restriction at the minimum offset that this proposed development does not meet. For the very narrowest lots, without a required second story offset, they also have a height restriction at the minimum offset that this proposed development does not meet. The intent of these codes can be deduced from the project documents at the time of the code’s creation and adoption. Using the Pleasure Point Community Planning Process Community Workshop #2 Summary, from June 7, 2007, as an illustrative reference, it can be seen (at page 6) that second-story setbacks was the most strongly supported strategy regarding building mass and height to keep “new development in scale with surrounding land, nature, and people.” With regard to sun and light access, side building setbacks were also the most strongly supported strategy. These community preferences were then shaped into code requirements and presented to the Planning Commission on December 9, 2009. The key item chosen by the Planning Commission of the options presented regarding Proposed Standards To Reduce Building Mass & Bulk was option A1. Second Story Setbacks Required. The Staff Report identified this strategy to “reduce the perceived mass and bulk and reduce shadowing of neighboring parcels by setting back second stories at least 10-feet from the sideyard property line.” Based on the above, it is clear that the proposed exception along the northern boundary (other than along the JADU) is in complete conflict with the purposes of the Pleasure Point Community Design Combining District. For at least this reason Coastal Development Permit Finding (C) and Pleasure Point Exception Finding (1) cannot be made in a manner supportive of the proposed development.

It is also important to note just how many new developments are successfully complying with these requirements. For example, the closest new development, just nearing completion, is six lots up on Palisade. That home has the required, proper, full second story setbacks, as seen here:



South side of home with full second story offset

Exhibit 1J

Michael A. Guth



North side of same home with full second story offset

The home across from the present proposed development, four lots down on Pleasure Point Drive, has its second story offset, as seen here:



Second story offset reduces mass/bulk visual impact

As an example of a request for exception that comes back into the realm of reasonable discussion, please see this Notice Of Proposed Development on the property two lots over from the present parcel:

Exhibit 1J



Notice now seen on Pleasure Point Drive

As seen in the photo above, an exception is sought to reduce the required second story setback from 10 feet to 7 feet 9 inches, and this is for a 322 square foot second story addition, where concerns relating to the existing structure come into play. In contrast, the current application is for a completely new house, where no such concerns are present. And the current application is seeking not merely some relief, as seen in the Notice above, but complete waiver of an important rule that was put in specifically to prevent this kind of development.

As some may recall, it was a development proposal on Pleasure Point Drive that was the straw that broke the camel's back regarding side yard setbacks. Although the Pleasure Point Community Design Combining District code did not exist at that time, the proposal was appealed up to the Board of Supervisors where it was conditioned to have a second story offset. That home is seen here:



The second story setback is just above the rain gutter

Michael A. Guth

Further, the directly adjacent inland house has significant articulation on both sides. The side next the current application is seen here:



Directly adjacent home on north side is highly articulated

The other side of the adjacent also has significant articulation, as seen here:



The other side of the directly adjacent home is articulated

The articulation of homes, whether with differential second story side yard offset, or complete differential offset, as seen above, greatly reduces the visual mass and bulk impacts of the development. This was a key goal of the Pleasure Point Community Design Combining District code.

In summary, not only is there no basis for the proposed exception as it conflicts with the purposes of the Pleasure Point Community Design Combining District, new development has repeatedly successfully incorporated the side yard setback requirements into their designs, and the

Michael A. Guth

directly adjacent home is significantly articulated. The imposing mass of the design as proposed impinges upon the public's right, under code, to not be imposed upon in this fashion.

For at least the foregoing reasons, the proposed exception on the north side of the property cannot be granted. The north side of the proposed development is the most egregiously noncompliant, however the south side is similarly noncompliant.

At a minimum, the north side of the home should have its second story setback in the area other than the JADU comply with the code requirement. This area was highlighted in red on the first page, above. The Zoning Administrator should either deny this project application, or, in the alternative, approve the project application conditioned to remove north side impingement into the side yard setback. The south side is also noncompliant, but there has been further offset (although limited to 3 feet) for the second story in the area other than the JDU.

This application presented a development that is not in compliance with County Code or the Pleasure Point Community Design Combining District. I strongly urge you to deny this application or approve with the conditions noted above.

Thank you for your consideration of these comments.



Michael A. Guth