



Staff Report to the Zoning Administrator

Application Number: **251142**

Applicant: Mattia Gola

Agenda Date: March 06, 2026

Owner: Fabio Carnevale Maffe

Agenda Item #: 2

APN: 037-072-14

Time: After 9:00 a.m.

Site Address: 3345 Crystal Heights Drive, Soquel CA 95073

Project Description: Public hearing to consider a proposal to convert an existing 468 square foot attached garage into habitable floor area, and to construct a new 274 square-foot attached garage within the front yard setback. The project also includes construction of approximately 370 square-feet of uncovered decks. Requires a Variance to reduce the required 20-foot front-yard setback to six feet.

Location: Property is located on the western side of Crystal Heights Drive (3345 Crystal Heights Drive), approximately 0.25 miles north of the intersection of Soquel Drive and Crystal Heights Drive in Soquel.

Permits Required: Variance to reduce the required 20 foot front-yard setback to 6 feet.

Supervisory District: 1st District (District Supervisor: Manu Koenig)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251142, based on the attached findings and conditions.

Project Description & Setting

The subject property is approximately 9,234 square-feet in size and developed with a single-family dwelling and an attached garage constructed in 1973. The parcel is located at the end of Crystal Heights Drive and abuts undeveloped parcels to the north and west. The applicant proposes converting the existing 468 square-foot garage into habitable space and constructing a new 274 square-foot attached garage within the required 20-foot front-yard setback as a replacement. The converted garage space will result in an additional bedroom, bathroom, and laundry room, resulting in a single-family dwelling containing four bedrooms and four bathrooms. In addition to the garage conversion and replacement, the applicant proposes constructing approximately 370 square-feet of uncovered decks.

A variance is required to reduce the front-yard setback from 20 feet to six feet to allow for construction of the replacement garage. County Code requires a minimum 20-foot setback from a

front, side or rear property line to a garage entrance. The existing garage complies with this requirement; however, the proposed replacement garage would be oriented with the entrance facing north toward the parcel's side yard setback. As proposed, the setback from the side yard to the garage entrance would be 67 feet, while the side wall of the garage would be located six feet from the front property line.

Zoning & General Plan Consistency

The subject property is a 9,234 square foot lot, located in the R-1-6 (Single-Family Residential - 6,000 square-foot minimum) zone district, a designation which allows residential uses. The existing single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL; O-U (Urban Low Density Residential; Urban Open Space) General Plan designation.

Residential Development Standards

Santa Cruz County Code 13.10.323 contains development standards for residential zone districts. The R-1-6 zone district site standards are as follows:

	Required per Zoning Code	Existing	Proposed
Front Yard Setback	20'	20'	6'
Side Yard Setback	5' & 8'	9' & 44'	No Change
Rear Yard Setback	15'	15'	No Change
Maximum Height	28'	10'	16'
Maximum Floor Area Ratio	0.50	.19	.22
Maximum Lot Coverage	40%	21.9%	26.1%
Setback to Garage Entrance	20'	20'	67'

Variance Approval

Variance approvals are discretionary authorizations of exceptions to the zoning district site and development standards for a property. The applicant requests a reduction in the front yard setback from 20 feet to six feet to allow construction of a replacement garage.

The subject parcel is constrained by steeply sloping topography that limits the location of new development. Most of the parcel's relatively flat areas (0-15% slope) are located within the front-yard setback, and the existing development on site precludes construction of a replacement garage outside of setback areas. These topographical constraints constitute a special circumstance that, if the zoning ordinance were strictly applied, would deprive the property of the ability to construct a replacement garage.

The proposed variance is consistent with the general intent and purpose of the zoning ordinance and will not be materially detrimental to public health, safety, or welfare. Single-family dwellings are a principally permitted use in the R-1-6 zone district, and garages are accessory structures

typically associated with residential use. Allowing a reduced setback to accommodate a replacement garage is consistent with residential zoning objectives. Properties located south of the subject site along Crystal Heights Drive will not be affected, as the roadway terminates at the subject parcel and does not provide through access. In addition, the undeveloped parcel to the north is approximately 10 acres in size and contains no developable land accessible from Crystal Heights Drive. Given the limited traffic and surrounding conditions, the proposed garage will not adversely affect neighboring properties or the public. Furthermore, approval of a variance would not constitute a grant of special privileges because parcels in the surrounding area contend with similar topographical constraints.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251142**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Michael Lam
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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251142

Assessor Parcel Number: 037-072-14

Project Location: 3345 Crystal Heights Drive, Soquel CA 95073

Project Description: Proposal to convert an existing 468 square foot attached garage into habitable floor area, and to construct a new 274 square-foot attached garage within the front yard setback. The project also includes construction of approximately 370 square-feet of uncovered decks. Requires a Variance to reduce the required 20-foot front-yard setback to six feet.

Person or Agency Proposing Project: Mattia Gola

Contact Phone Number: (332) 248-8134

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301)

F. Reasons why the project is exempt:

Construction of an addition to an existing single-family dwelling that does not result in an increase of more than 50 percent of the floor area of the dwelling before the addition.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Michael Lam, Project Planner

Date: _____

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the garage and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-6 (Single-Family Residential - 6,000 square-foot minimum) zone district as the primary use of the property will be one single-family dwelling and attached garage that meets all current site standards for the zone district, except the required 20-foot front-yard setback for which a variance can be supported.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL; O-U (Urban Low Density Residential; Urban Open Space) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed garage will not add any additional residential units

to the existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to increase beyond the existing 1 peak trip per day (1 peak trip per dwelling unit). The proposed garage will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed garage is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding is not required, in that the project site is not located within the coastal zone.

Site Development Permit Findings

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed garage is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

- (b) **Design.** The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed garage is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that subject parcel is constrained by steeply sloping topography, which prevents the garage from being constructed outside of the required setback areas. A majority of the parcel's flat areas (0 – 15% slope) are located within the front-yard setback, and the existing structure is sited in a manner that prevents a new garage from being constructed elsewhere on the property. The land areas to the north and west contain slopes ranging from 30% to greater than 50%, which are not considered developable. The presence of this steeply sloping topography creates a special circumstance that would otherwise deprive the property owner of the ability to construct a new garage for the existing single-family dwelling.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made, in that single-family dwellings are a principally permitted use in the R-1-6 zone district, and garages are residential accessory structures typically associated with single-family dwellings. Authorizing exceptions to the site standards to permit construction of a new garage is in consistent with the general intent and objectives of the residential zone district.

Parcels located south of the subject property along Crystal Heights Drive will not be affected by the proposed garage, as the roadway terminates at the parcel immediately north of the subject property. Additionally, the undeveloped parcel to the north is approximately 10 acres in size and does not contain developable land that could be accessed from Crystal Heights Drive. Because this section of Crystal Heights Drive does not experience through traffic, the proposed garage will not be materially detrimental to public health, safety, or welfare, nor injurious to property or improvements in the vicinity.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the approval of a variance is a discretionary process available to all residentially zoned parcels, provided the findings can be made. Many of the parcels at the end of Crystal Heights Drive share similar topographical constraints that limit future development. Granting a variance to construct a garage would not constitute a grant a special privileges, as a variance could also be supported on surrounding properties with similar site conditions.

Conditions of Approval

Exhibit D: Project plans, prepared by Mattia Gola, dated 10/28/2025.

- I. This permit authorizes the conversion of a 468 square-foot garage into habitable space and construction of a new 274 square-foot garage as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.

- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 - 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 - 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
 - C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
 - D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - E. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings.
 - F. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for single family dwellings.
 - G. Pay the current fees for Roadside and Transportation improvements for any additional bedroom(s).
 - H. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - I. Complete and record a Declaration of Restriction to construct a 274 square-foot non-habitable accessory structure (garage). **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.

- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

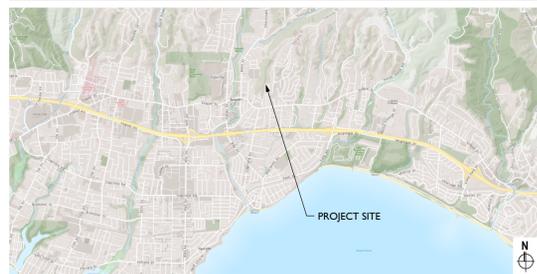
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

LOCATION MAP



VICINITY MAP



FIRE NOTES

1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND THE LOCAL FIRE DISTRICT AMENDMENTS.
2. SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - ONE ALARM IN EACH SLEEPING ROOM
 - ONE AT THE TOP OF EACH STAIRWAY OF 24" RISE OR GREATER AND IN AN ACCESSIBLE LOCATION BY LADDER
 - THERE SHALL BE ONE SMOKE ALARM ON EACH FLOOR LEVEL
 - THERE SHALL BE A MINIMUM OF ONE SMOKE ALARM IN EVERY BASEMENT AREA
3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - THERE SHALL BE AT LEAST ONE CARBON MONOXIDE ALARM ON EACH FLOOR LEVEL
4. BUILDING NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

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APPLICABLE CODES & REGULATIONS

BUILDING CODE	2022 CBC (2022 CALIFORNIA BUILDING CODE, TITLE 24, PT 2)
ELECTRICAL CODE	2022 CEC (2022 CALIFORNIA ELECTRICAL CODE, TITLE 24, PT 3)
MECHANICAL CODE	2022 CMC (2022 CALIFORNIA MECHANICAL CODE, TITLE 24, PT 4)
PLUMBING CODE	2022 CPC (2022 CALIFORNIA PLUMBING CODE, TITLE 24, PT 5)
ENERGY CODE	2022 CEC (2022 CALIFORNIA ENERGY CODE, TITLE 24, PT 6)
FIRE CODE	2022 CFC (2022 CALIFORNIA FIRE CODE, TITLE 24, PT 9, APPENDIX B & C)
GREEN BUILDING	2022 CALGREEN (2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PT 11)
RESIDENTIAL CODE	2022 CRC (2022 CALIFORNIA RESIDENTIAL CODE)
COUNTY CODE	SANTA CRUZ COUNTY CODE AMENDMENTS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.

ITEMS TO HAVE DEFERRED SUBMITTAL INCLUDE:
n/a

JOB COPIES OF THE BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS.

PROJECT DESCRIPTION

APPLICATION FOR VARIANCE TO EXTEND EXISTING GARAGE TO 6FT FROM THE STREET FRONTAGE PROPERTY LINE, ALONG WITH A NEW MEZZANINE FLOOR USED AS STORAGE TO PROVIDE ACCESS TO THE ROOF. ADDING APPROXIMATELY 274 SF.

PROJECT INFORMATION

SITE INFO:

APN: 037-072-14
 ZONING: R-1-6
 GENERAL PLAN: O-U
 R-UH
 VB
 CONSTRUCTION TYPE: VB

SETBACK STANDARDS:

FRONT: 20'
 REAR: 15'
 SIDE: 5' & 8'

MAX HEIGHT ALLOWED: 28'
 MAX HEIGHT PROPOSED: 25'-6 3/4"

LOT COVERAGE:

LOT AREA: 9,235 SF
 ALLOWED (40%): 3,694 SF
 EXISTING: 2,031 SF (21.9%)
 PROPOSED: 2,415 SF (26.1%)
 (INCLUDES NEW GARAGE, ROOF & DECKS)

FLOOR AREA RATIO:

ALLOWED (50%): 4,617.5 SF
 EXISTING TOTAL: 1,806 SF (19.5%)
 (1ST + LOWER FLOOR + (E) GARAGE + DECK)

PROPOSED FAR: 2,108.5 SF (22.8%)
 (1ST + LOWER FLOOR + (N) GARAGE + DECK)

PARKING REQUIREMENTS:

REQUIRED: 3
 PROVIDED: 3

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DRAWING INDEX

SHEET NUMBER	SHEET NAME	VARIANCE SUBMITTAL			ADDITIONAL MATERIAL #1	ADDITIONAL MATERIAL #2
		48025	701025	1028025		
A1	PROJECT INFO	X	X	X		
A2	SURVEY	X	X	X		
A3	EXISTING SITE PLAN	X	X	X		
A4	PROPOSED SITE PLAN	X	X	X		
A5	DRIVEWAY PLAN & PROFILE		X	X		
A6	EXISTING & DEMO FIRST FLOOR PLAN	X	X	X		
A7	EXISTING & DEMO LOWER FLOOR PLAN		X	X		
A8	PROPOSED FIRST FLOOR PLAN	X	X	X		
A9	PROPOSED LOWER FLOOR PLAN		X	X		
A10	PROPOSED ROOF PLAN	X	X	X		
A11	AREA CALCS		X	X		
A12	EXISTING & PROPOSED SOUTH ELEVATIONS	X	X	X		
A13	EXISTING & PROPOSED NORTH ELEVATIONS	X	X	X		
A14	EXISTING & PROPOSED EAST ELEVATIONS	X	X	X		
A15	EXISTING & PROPOSED WEST ELEVATIONS	X	X	X		
A16	PROPOSED BUILDING SECTIONS	X	X	X		

CONTACT INFORMATION

OWNER:

FABIO CARNEVALE MAFFE'
 3345 CRYSTAL HEIGHTS
 SOQUEL, CA 95073

DESIGNER:

MATTIA GOLA
 440 LAKE AVE
 SANTA CRUZ, CA 95062
 332-248-8134



PROPOSED NEW GARAGE DESIGN

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073

Project Submittal Record

Revision	Date	Issue Description
	4/8/2025	VARIANCE SUBMITTAL
01	7/31/2025	ADDITIONAL INFORMATION #1
02	10/28/2025	ADDITIONAL INFORMATION #2

Seal/ Signature

Project Name

3345 Crystal Heights Remodel

Accessor's Parcel Number

APN #: 037-072-14

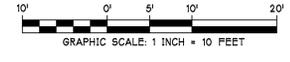
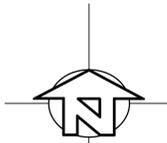
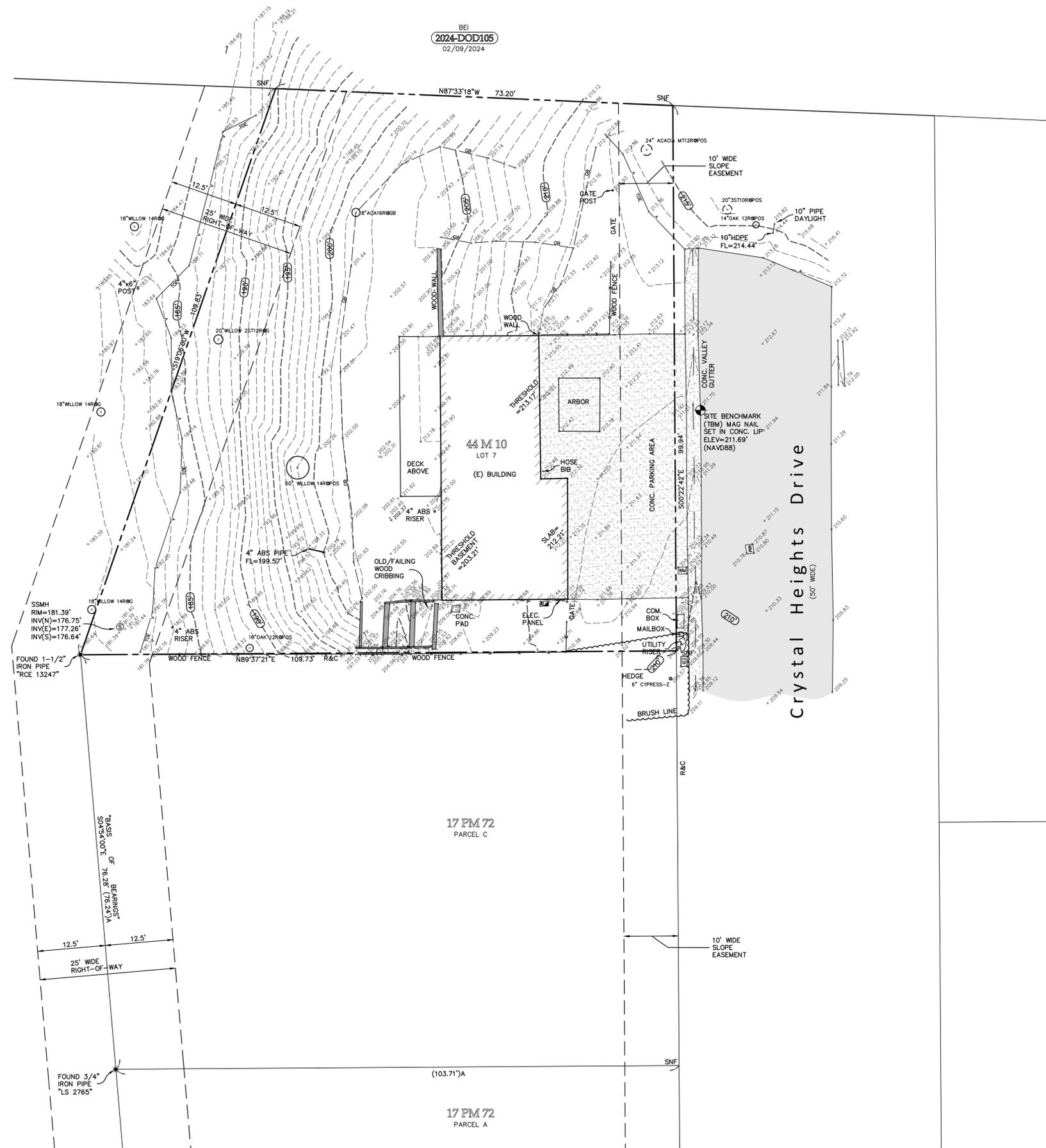
Sheet Title

PROJECT INFO

Scale

As Indicated

A1



Legend

- MONUMENT FOUND AS NOTED
 - ⊙ SAN. SEWER MANHOLE
 - ⊕ WATER METER
 - ⊙ BENCHMARK
 - () INDICATES RECORD DATA
 - (R) INDICATES RADIAL BEARING
 - R&C RECORD & CALCULATED DATA
 - INV. INVERT ELEVATION
 - SNF SEARCHED FOR CORNER NOTHING FOUND OR SET
 - ▭ BUILDING FOOTPRINT
 - ▭ ASPHALT CONCRETE, AC (SHADED)
 - ▭ CONCRETE
 - GR
 - SD
 - FENCE
 - PROPERTY BOUNDARY
 - CONTOUR LINE
 - TOE OF SLOPE
 - TOP OF SLOPE
 - BRUSH / HEDGE LINE
 - WALL
 - FLOWLINE
- ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE WESTERN BOUNDARY OF PARCEL C, AS SHOWN ON THAT MAP FILED IN VOLUME 17 OF PARCEL MAPS, AT PAGE 72, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS = N04°54'W

Benchmark

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON NAVD88 DATUM DERIVED FROM GPS OBSERVATIONS AND COMPUTED USING GEOID18.

SITE BENCHMARK:
MAG NAIL IN CONCRETE SWALE LIP IN CRYSTAL HEIGHTS DRIVE, IN FRONT OF 3345 CRYSTAL HEIGHTS DRIVE.
ELEVATION = 211.69' (NAVD88)

4838 OR 951
05/22/1991

REVISIONS

APPROVED

GV Land Surveying
4113 Scotts Valley Drive, Suite 102
Scotts Valley, CA 95066
gv.landsurveying.com

Record Boundary and Topographic Survey
3345 Crystal Heights
Soquel, CA

APN 037-072-14	DATE 11/08/24	SCALE 1"=10'	DRAWN	VCL
SHEET				
1				
OF 1 SHEETS				
JOB NO. V24104				



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



LEGENDS

- <N> FRAMED WALL; SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL; SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN; SEE WALL TYPES ON SHEET
- <E> WALL TO BE DEMOLISHED

INTERIOR

- <E> WOOD FLOOR BOARDS
- <E> TILE FLOORING - WET LOCATIONS
- <E> STONE SLAB (COUNTERTOPS)
- <E> WOOD FINISH
- <E> BUILT-IN MILLWORK

EXTERIOR

- <E> CONCRETE SIDEWALK
- <E> CONCRETE SLAB
- <E> PLANTING
- <E> LANDSCAPING
- <N> WOOD DECKING
- <N> TPO ROOFING

GENERAL

- KEYNOTE; SEE FLOOR PLAN KEYNOTES
- DOOR TAG; SEE DOOR SCHEDULE ON SHEET
- WINDOW TAG; SEE WINDOW SCHEDULE ON SHEET
- WALL TAG; SEE WALL TYPES ON SHEET
- ELEVATION MARKER
- SECTION MARKER
- PROPERTY LINE
- SETBACK LINE

KEYNOTES

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073

Project Submittal Record

Revision	Date	Issue Description
	4/8/2025	VARIANCE SUBMITTAL
01	7/31/2025	ADDITIONAL INFORMATION #1
02	10/28/2025	ADDITIONAL INFORMATION #2

Seal/ Signature

Project Name
3345 Crystal Heights Remodel

Accessor's Parcel Number
APN #: 037-072-14

Sheet Title
EXISTING SITE PLAN

Scale
As Indicated

A3

Crystal Heights REMODEL

3345 Crystal Heights,
Soquel, CA 95073

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3345 Crystal Heights Remodel

Accessor's Parcel Number

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Sheet Title

PROPOSED SITE PLAN

Scale

As Indicated

A4

LEGENDS

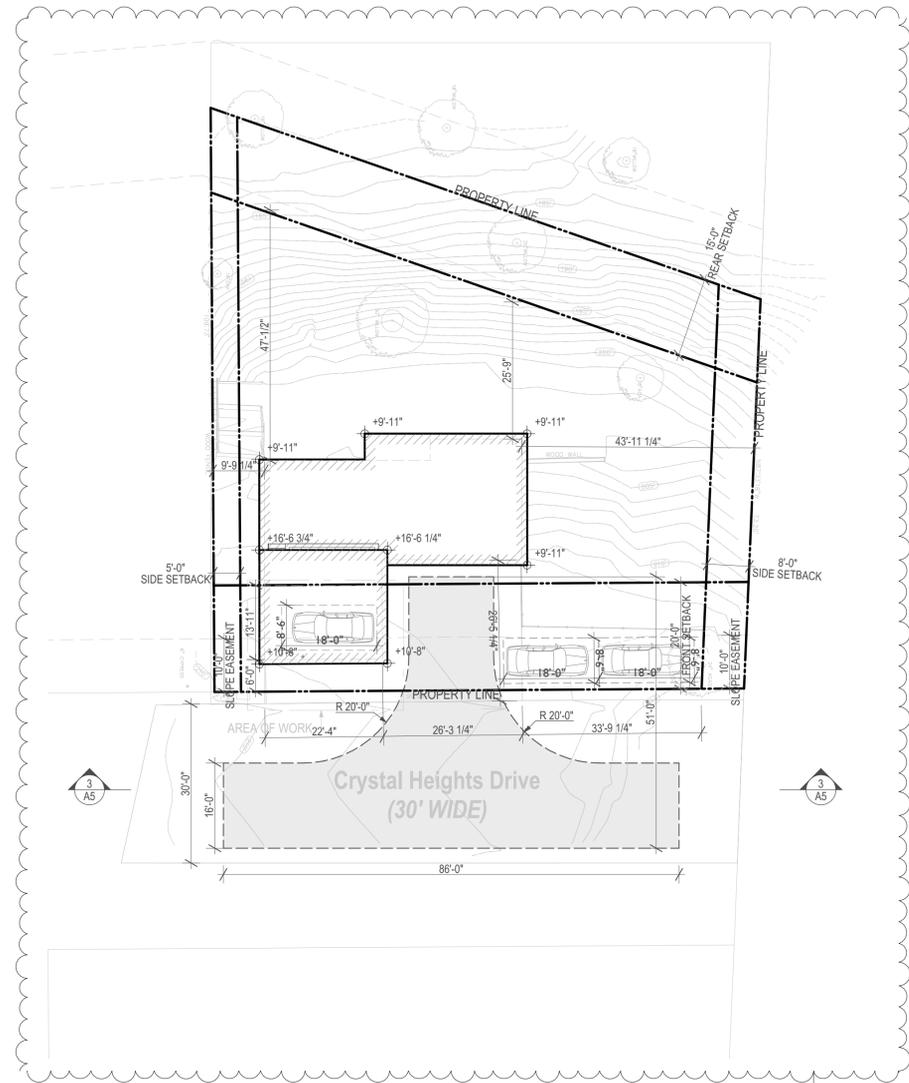
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - BUILDING SETBACK
- × × (E) FENCE
- ⊕ ELEVATION DATUM REFERENCE
- SS STORM SEWER LINE
- G GAS LINE
- WATER LINE
- ⊕ FIRE HYDRANT

KEYNOTES

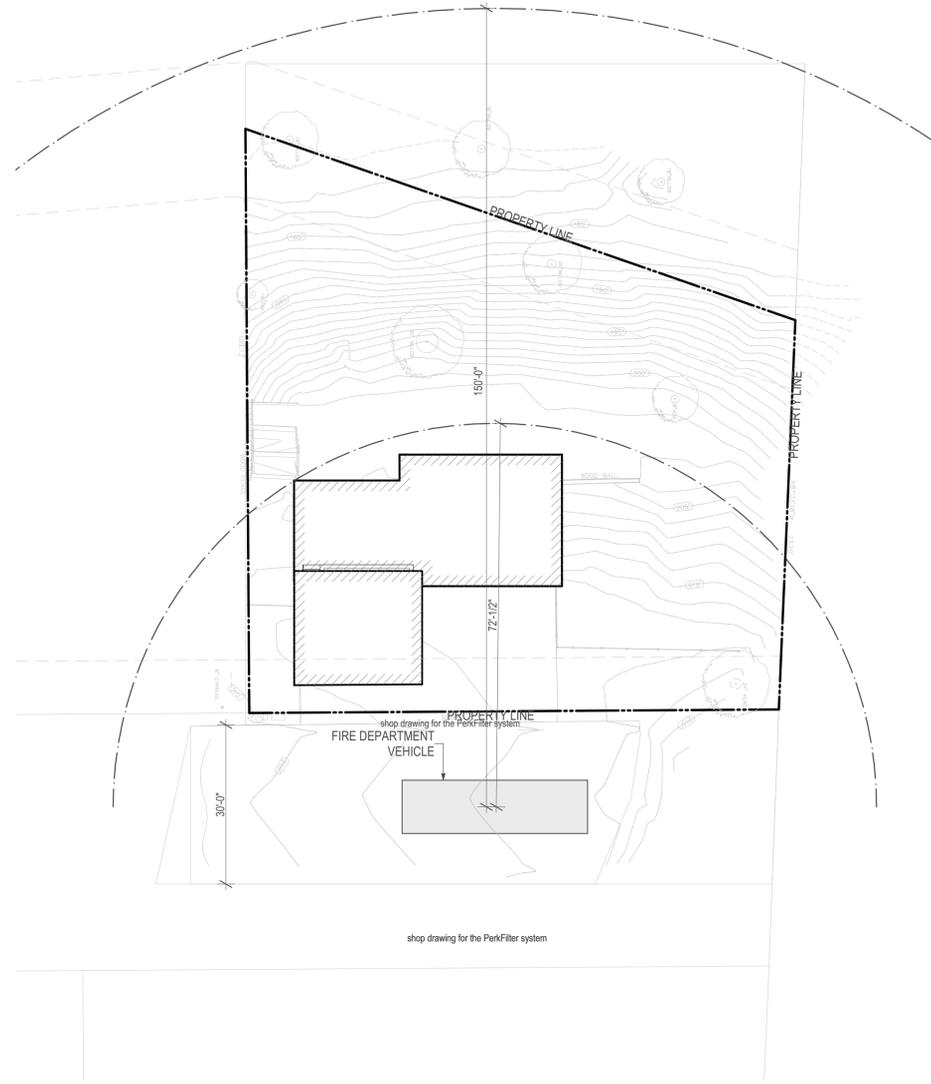


PROPOSED SITE PLAN

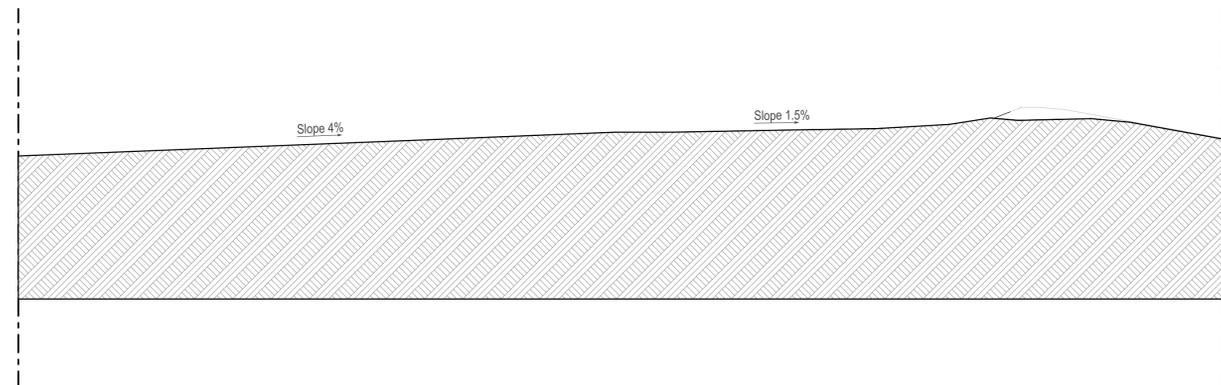
SCALE: 1/8" = 1'-0"



1 | DRIVEWAY PLAN & FIRE TURNAROUND DIAGRAM
SCALE: 1/16" = 1'-0"



2 | DRIVEWAY HOSE REACH DIAGRAM
SCALE: 1/16" = 1'-0"



3 | DRIVEWAY GRADE SECTION
SCALE: 1/8" = 1'-0"

LEGENDS

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - BUILDING SETBACK
- × × (E) FENCE
- ⊕ ELEVATION DATUM REFERENCE
- SS STORM SEWER LINE
- G GAS LINE
- W WATER LINE
- ⊕ FIRE HYDRANT

Crystal Heights
REMODEL

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Soquel, CA 95073

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SHEET NOTES

- PARCEL UNDER THE JURISDICTION OF THE STATE RESPONSABILITY AREA (SRA)
- FIRE SPRINKLERS: NOT REQUIRED (TOT. ADDITION <10%)
- FIRE FLOW 1,500 GALLONS PER MINUTE FOR 120 MINUTES. AVAILABLE FIRE FLOW IS 678 GPM PER SOQUEL CREEK WATER DISTRICT REPORT
- PUBLIC FIRE HYDRANT TYPE Greenburg model, 6 inch lateral, 4 1/2 inch by 2 1/2 inch LOCATED 590 FT SOUTH FROM THE PROPERTY LINE
- THE ACCESS ROAD SURFACE IS ASPHALT (ALL-WEATHER SURFACE) WITH A GRADE < 16% AS REQUIRED IN (SRA)

Project Name

3345 Crystal Heights Remodel

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Sheet Title

DRIVEWAY PLAN & PROFILE

Scale

As Indicated

A5



EXISTING & DEMO FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

10/28/2025 11:55 AM



LEGENDS

- <N> FRAMED WALL; SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL; SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN; SEE WALL TYPES ON SHEET
- <E> WALL TO BE DEMOLISHED
- <E> WOOD FLOOR BOARDS
- <E> TILE FLOORING - WET LOCATIONS
- <E> STONE SLAB (COUNTERTOPS)
- <E> WOOD FINISH
- <E> BUILT-IN MILLWORK
- <E> CONCRETE SIDEWALK
- <E> CONCRETE SLAB
- <E> PLANTING
- <E> LANDSCAPING
- <N> WOOD DECKING
- <N> TPO ROOFING
- KEYNOTE; SEE FLOOR PLAN KEYNOTES
- DOOR TAG; SEE DOOR SCHEDULE ON SHEET
- WINDOW TAG; SEE WINDOW SCHEDULE ON SHEET
- WALL TAG; SEE WALL TYPES ON SHEET
- ELEVATION MARKER
- SECTION MARKER
- PROPERTY LINE
- SETBACK LINE

INTERIOR

EXTERIOR

GENERAL

KEYNOTES

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REMODEL

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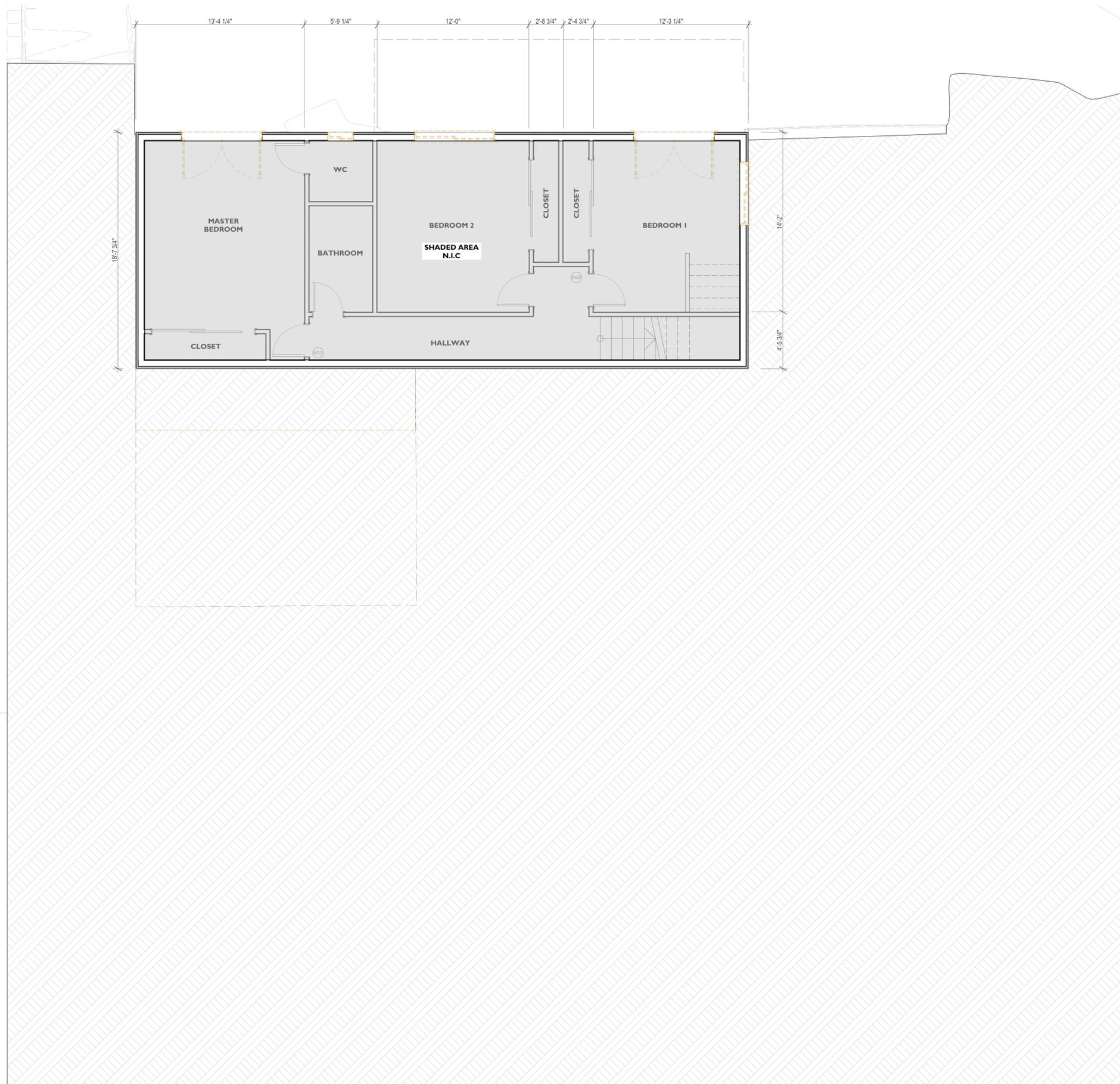
Sheet Title

EXISTING & DEMO FIRST FLOOR PLAN

Scale

As Indicated

A6



EXISTING & DEMO LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGENDS

- <N> FRAMED WALL; SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL; SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN; SEE WALL TYPES ON SHEET
- <E> WALL TO BE DEMOLISHED
- <E> WOOD FLOOR BOARDS
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- <E> STONE SLAB (COUNTERTOPS)
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- <N> WOOD DECKING
- <N> TPO ROOFING
- KEYNOTE; SEE FLOOR PLAN KEYNOTES
- DOOR TAG; SEE DOOR SCHEDULE ON SHEET
- WINDOW TAG; SEE WINDOW SCHEDULE ON SHEET
- WALL TAG; SEE WALL TYPES ON SHEET
- ELEVATION MARKER
- SECTION MARKER
- PROPERTY LINE
- SETBACK LINE

INTERIOR

EXTERIOR

GENERAL

KEYNOTES

Crystal Heights
REMODEL

3345 Crystal Heights,
Soquel, CA 95073

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APN #: 037-072-14

Sheet Title

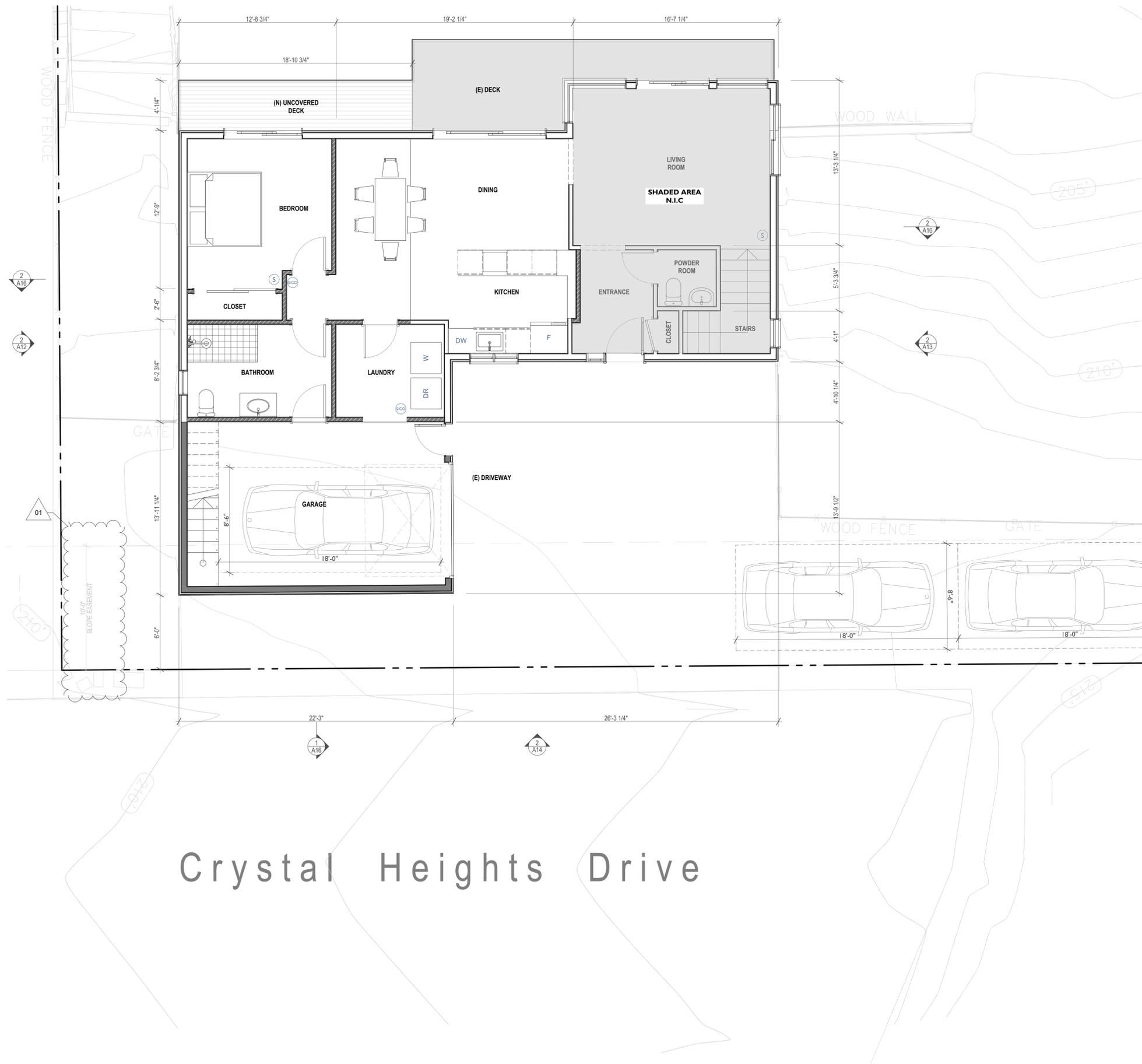
EXISTING & DEMO LOWER FLOOR PLAN

Scale

As Indicated

A7

01



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

10/28/2025 11:55 AM

LEGENDS

- <N> FRAMED WALL: SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL: SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN: SEE WALL TYPES ON SHEET
- <E> WALL TO BE DEMOLISHED
- <E> WOOD FLOOR BOARDS
- <E> TILE FLOORING - WET LOCATIONS
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- WINDOW TAG: SEE WINDOW SCHEDULE ON SHEET
- WALL TAG: SEE WALL TYPES ON SHEET
- ELEVATION MARKER
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- PROPERTY LINE
- SETBACK LINE

INTERIOR

EXTERIOR

GENERAL

KEYNOTES

- 01 S SMOKE DETECTOR HARDWIRED W/ BATTERY BACK UP
- 02 S SMOKE / CARBON MONOXIDE DETECTOR HARDWIRED W/ BATTERY BACK UP

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073

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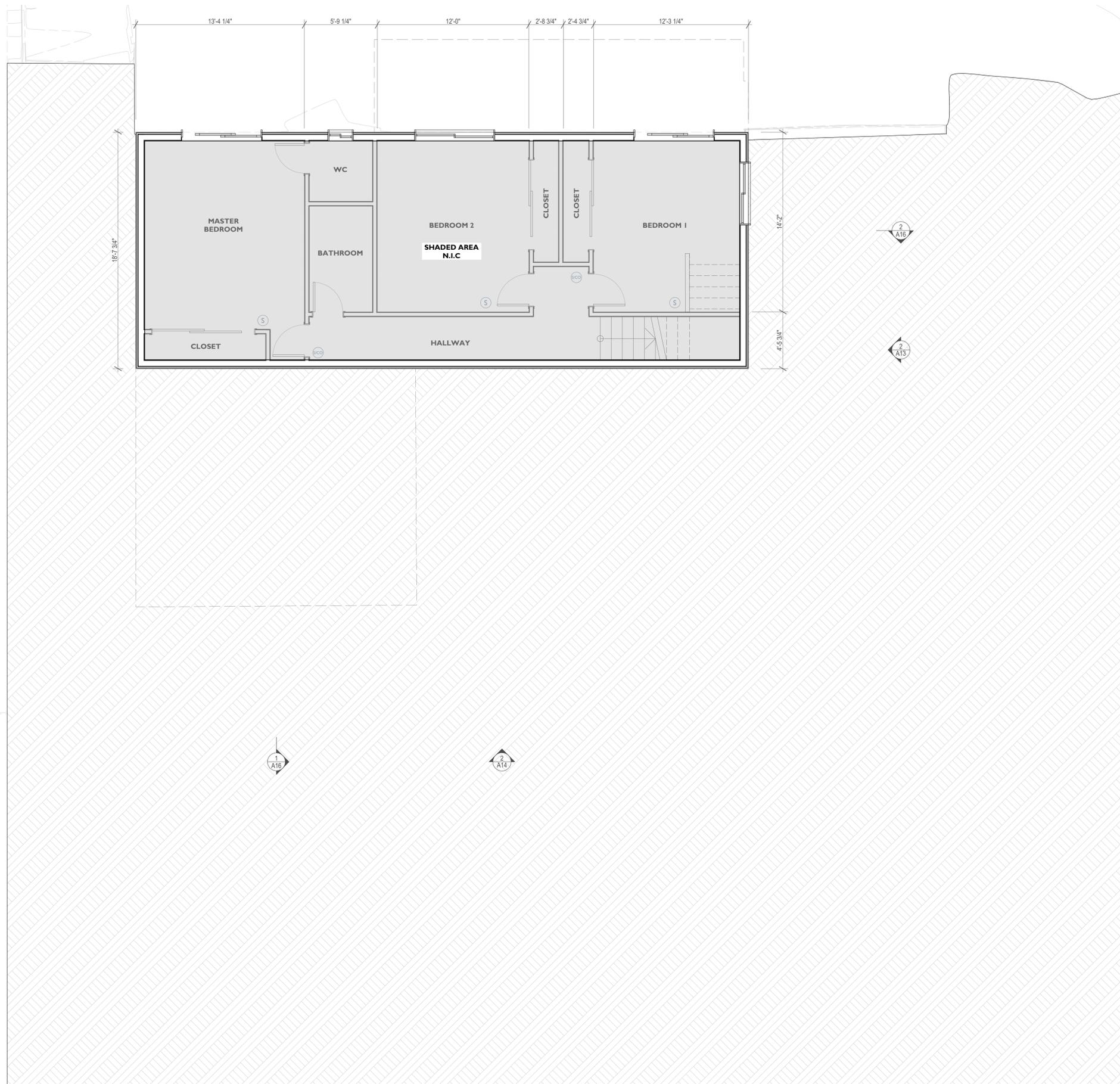
Project Name
3345 Crystal Heights Remodel

Accessor's Parcel Number
APN #: 037-072-14

Sheet Title
PROPOSED FIRST FLOOR PLAN

Scale
As Indicated

A8



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGENDS

- <N> FRAMED WALL; SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL; SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN; SEE WALL TYPES ON SHEET

- <E> WALL TO BE DEMOLISHED

INTERIOR

- <E> WOOD FLOOR BOARDS
- <E> TILE FLOORING - WET LOCATIONS
- <E> STONE SLAB (COUNTERTOPS)
- <E> WOOD FINISH
- <E> BUILT-IN MILLWORK

EXTERIOR

- <E> CONCRETE SIDEWALK
- <E> CONCRETE SLAB
- <E> PLANTING
- <E> LANDSCAPING
- <N> WOOD DECKING
- <N> TPO ROOFING

GENERAL

- KEYNOTE; SEE FLOOR PLAN KEYNOTES
- DOOR TAG; SEE DOOR SCHEDULE ON SHEET
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- SECTION MARKER
- PROPERTY LINE
- SETBACK LINE

01

SMOKE DETECTOR HARDWIRED W/ BATTERY BACK UP

SMOKE / CARBON MONOXIDE DETECTOR HARDWIRED W/ BATTERY BACK UP

KEYNOTES

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073

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3345 Crystal Heights Remodel

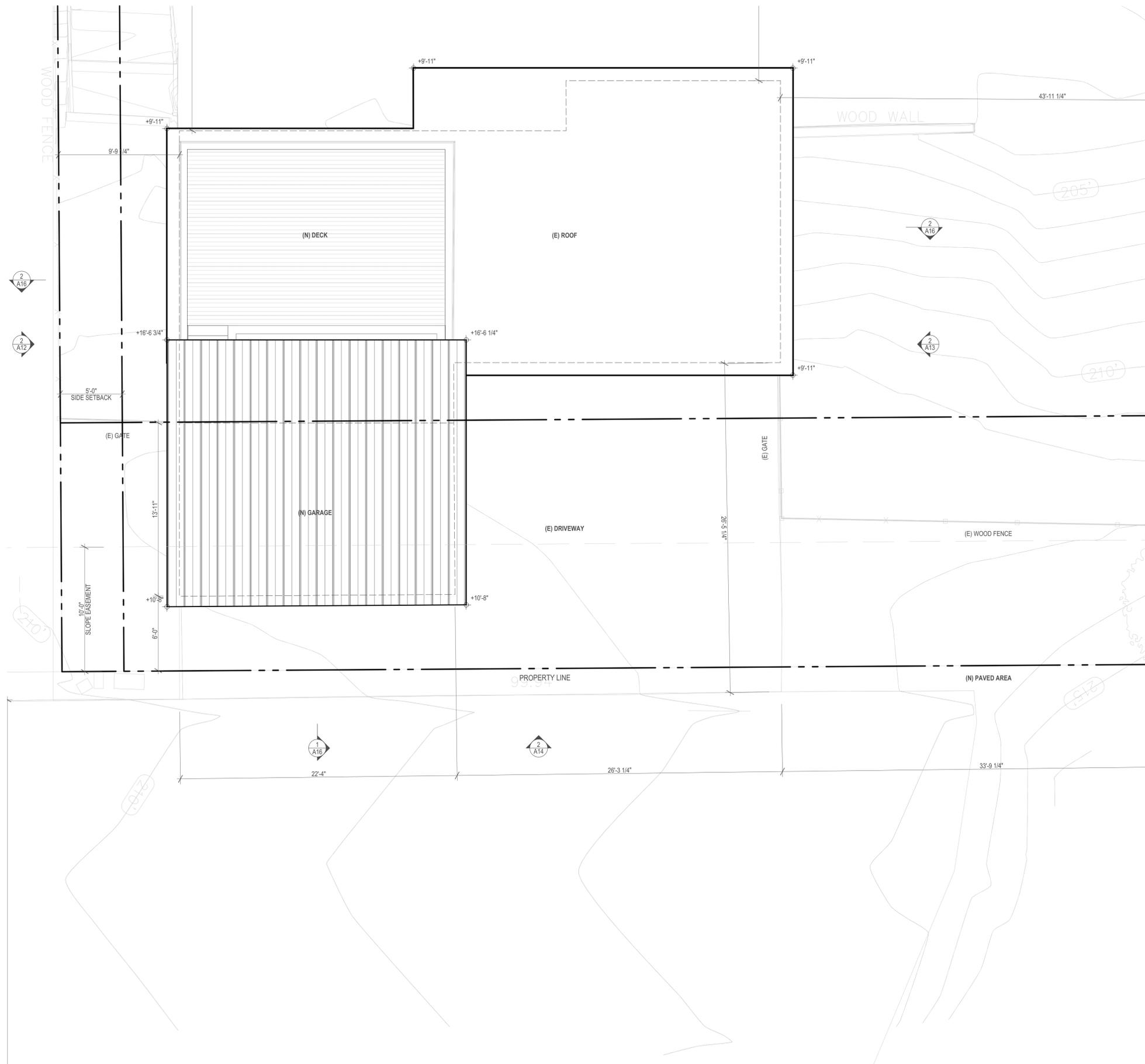
Accessor's Parcel Number
APN #: 037-072-14

Sheet Title
PROPOSED LOWER FLOOR PLAN

Scale
As Indicated

01

A9



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

LEGENDS

- <N> FRAMED WALL: SEE WALL TYPES ON SHEET
- <N> CONCRETE WALL: SEE WALL TYPES ON SHEET
- <E> WALL TO REMAIN: SEE WALL TYPES ON SHEET
- <E> WALL TO BE DEMOLISHED
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- SETBACK LINE

INTERIOR

EXTERIOR

GENERAL

KEYNOTES

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3345 Crystal Heights,
Soquel, CA 95073

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3345 Crystal Heights Remodel

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Sheet Title

PROPOSED ROOF PLAN

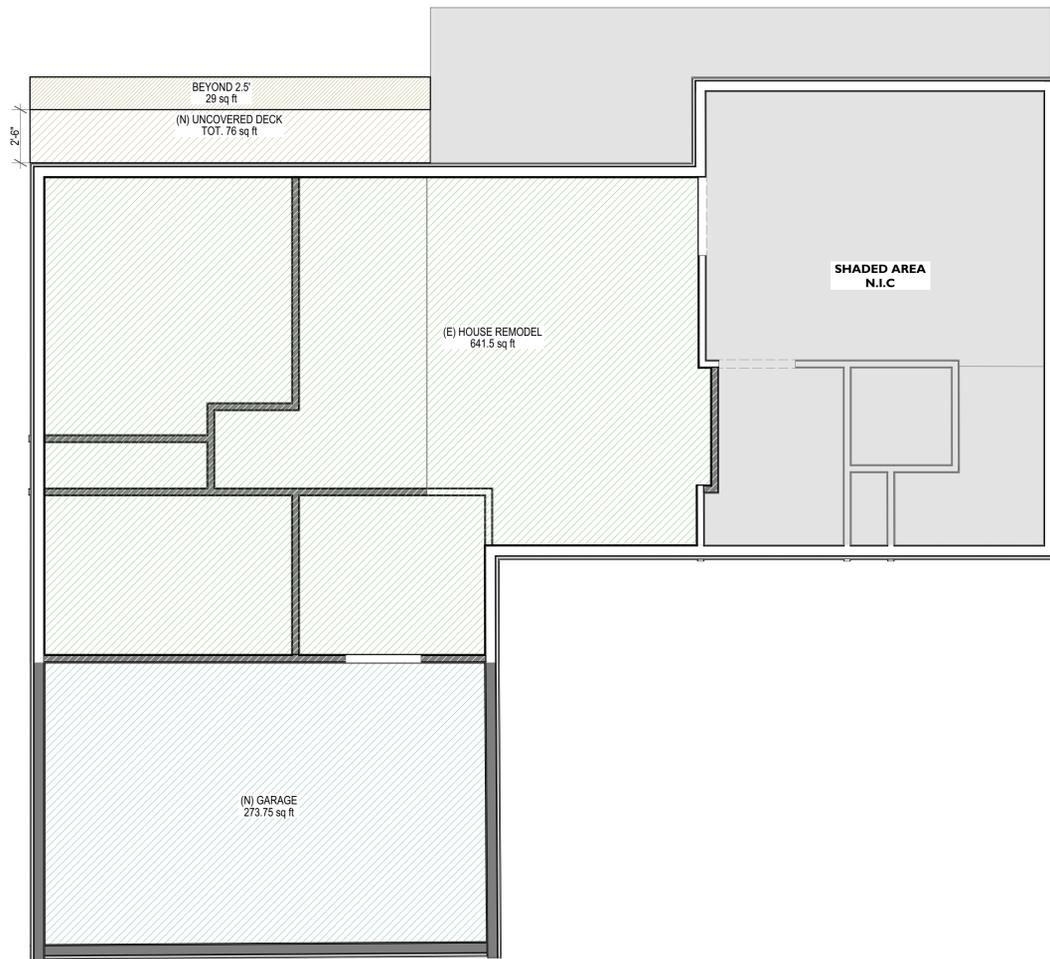
Scale

As Indicated

A10

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073



AREA CALCS FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



AREA CALCS ROOF PLAN

SCALE: 1/4" = 1'-0"

LEGENDS

PROPOSED UNCOVERED DECK (NO FAR)

EXISTING FLOOR AREA

PROPOSED FLOOR AREA

SITE INFO:

APN: 037-072-14
ZONING: R-1-6
GENERAL PLAN: O-U
CONSTRUCTION TYPE: R-UH
VB

SETBACK STANDARDS:

FRONT: 20'
REAR: 15'
SIDE: 5' & 8'

MAX HEIGHT ALLOWED: 28'
MAX HEIGHT PROPOSED: 25'-6 3/4"

LOT COVERAGE:

LOT AREA: 9,235 SF
ALLOWED (40%): 3,694 SF
EXISTING: 2,031 SF (21.9%)
PROPOSED: 2,415 SF (26.1%)
(INCLUDES NEW GARAGE, ROOF & DECKS)

FLOOR AREA RATIO:

ALLOWED (50%): 4,617.5 SF
EXISTING TOTAL: 1,806 SF (19.5%)
(1ST + LOWER FLOOR + (E) GARAGE + DECK)

PROPOSED FAR: 2,108.5 SF (22.8%)
(1ST + LOWER FLOOR + (N) GARAGE + DECK)

PARKING REQUIREMENTS:

REQUIRED: 3
PROVIDED: 3

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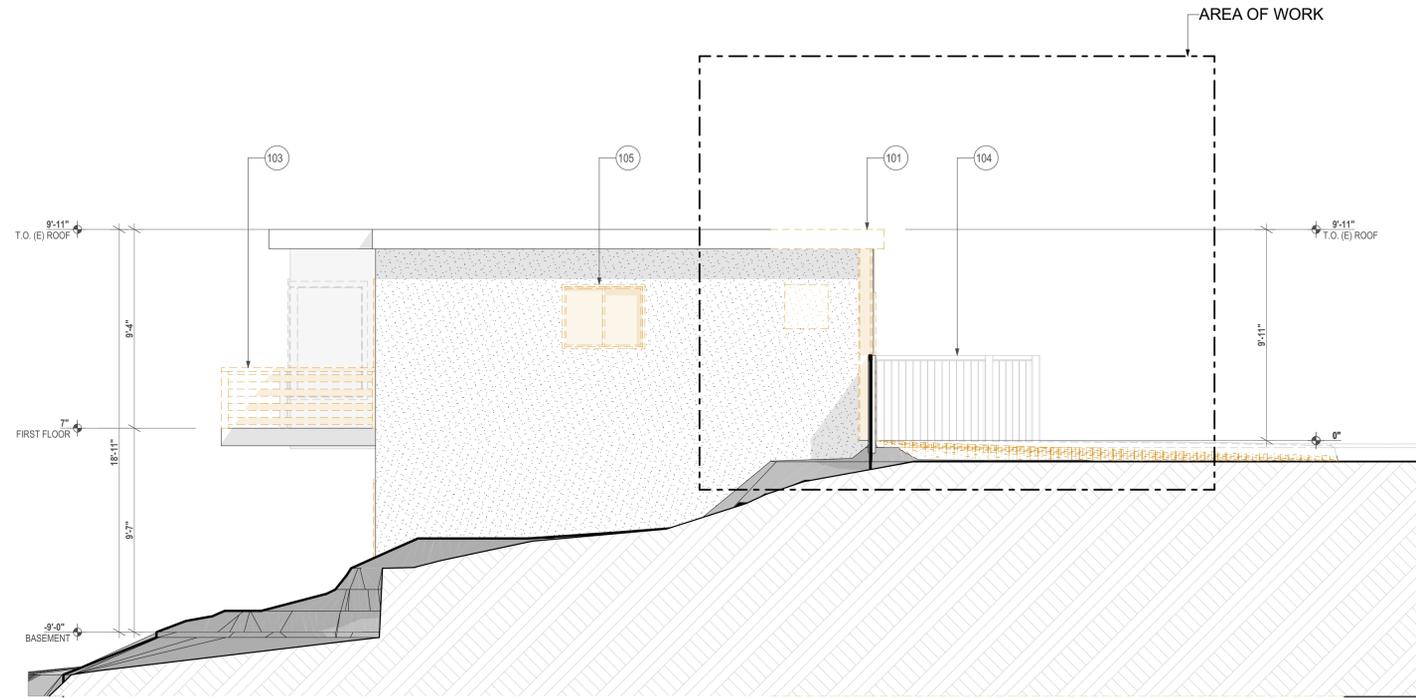
AREA CALCS

Scale

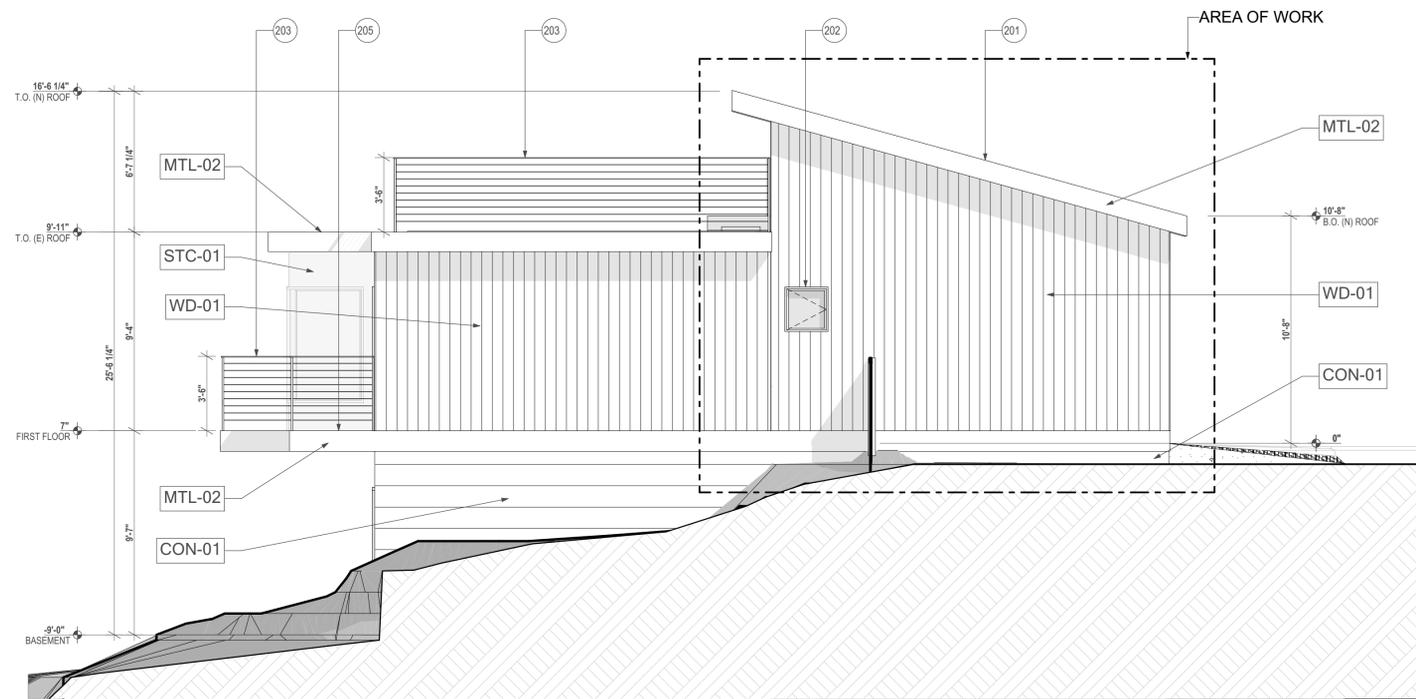
As Indicated

01

A11



1 | EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL PALETTE

MTL-01 STANDING SEAM METAL ROOFING; FINISH TBD	WD-01 WOOD SIDING FINISH TBD
CON-01 BOARD FORM CONCRETE	MTL-01 PAINTED BLACK METAL FASCIA
STC-01 STUCCO FINISH TBD	

KEYNOTES

- 100 | EXISTING/ DEMOLISH ELEVATIONS**
- 101 EXISTING ROOF FASCIA TO BE DEMOLISHED
 - 102 EXISTING WINDOW TO BE REPLECED
 - 103 EXISTING RAILING TO BE REPLACED
 - 104 EXISTING FENCE
 - 105 EXISTING WINDOW TO BE REMOVED
 - 106 EXISTING GARAGE DOOR TO BE REMOVED

- 200 | PROPOSED ELEVATIONS**
- 201 NEW ROOF
 - 202 NEW WINDOW
 - 203 NEW RAILING
 - 204 NEW GARAGE DOOR
 - 205 NEW DECK EXPANSION
 - 206 NEW DOOR

**Crystal Heights
REMODEL**

3345 Crystal Heights,
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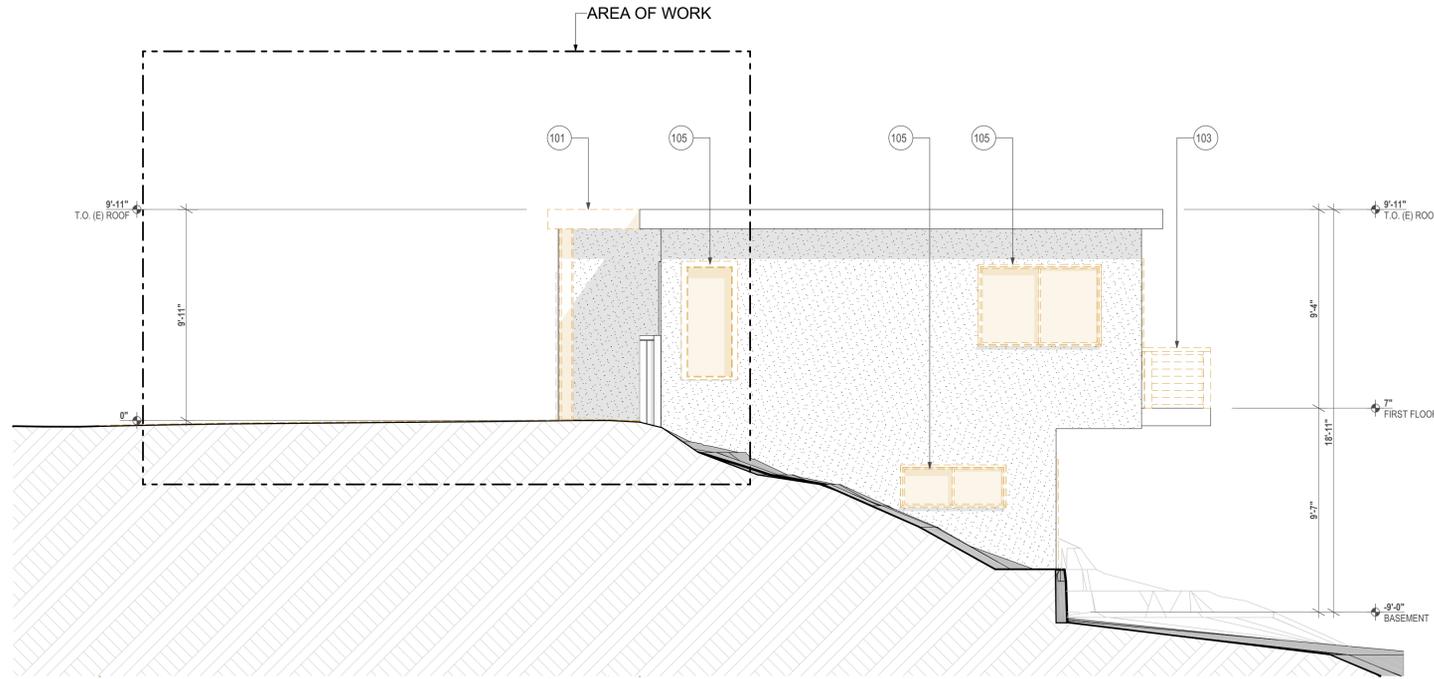
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EXISTING & PROPOSED SOUTH ELEVATIONS

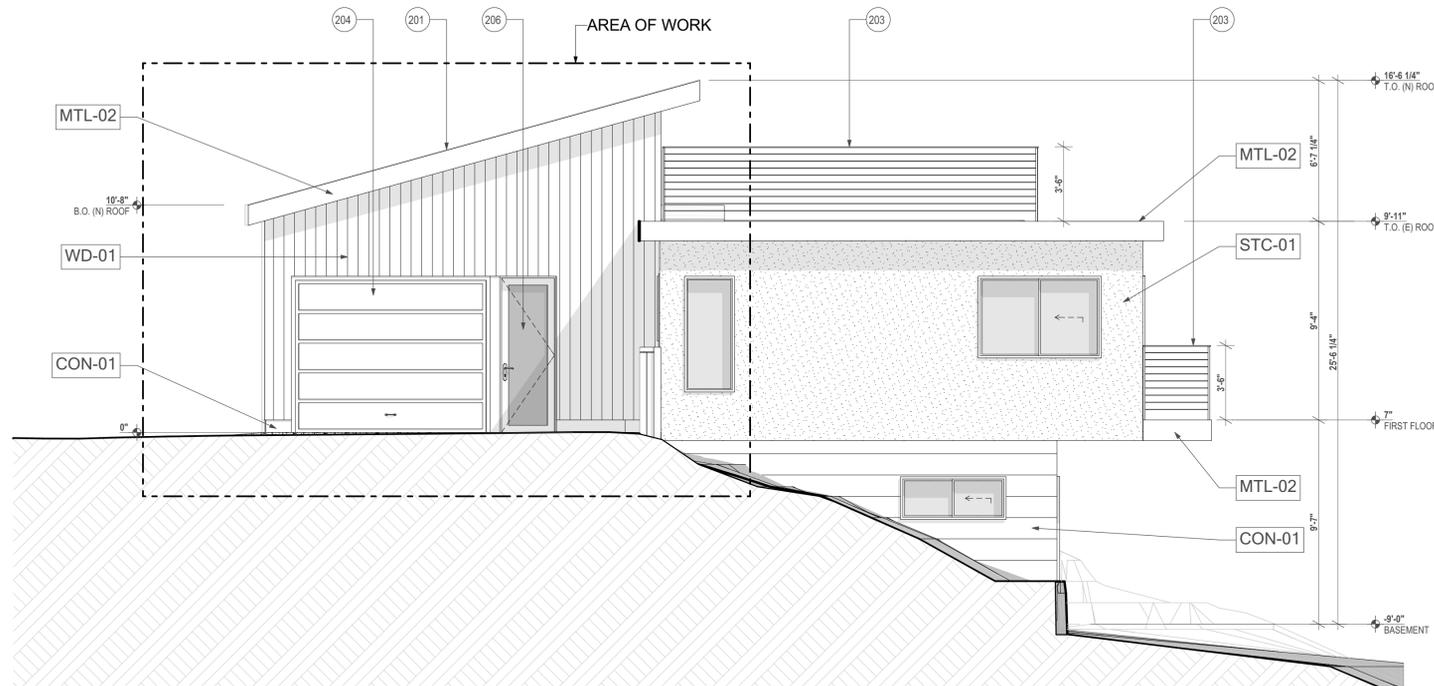
Scale

As Indicated

A12



1 | EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL PALETTE

 MTL-01 STANDING SEAM METAL ROOFING; FINISH TBD	 WD-01 WOOD SIDING FINISH TBD
 CON-01 BOARD FORM CONCRETE	 MTL-01 PAINTED BLACK METAL FASCIA
 STC-01 STUCCO FINISH TBD	

KEYNOTES

- 100 | EXISTING/ DEMOLISH ELEVATIONS**
- 101 EXISTING ROOF FASCIA TO BE DEMOLISHED
 - 102 EXISTING WINDOW TO BE REPLECED
 - 103 EXISTING RAILING TO BE REPLACED
 - 104 EXISTING FENCE
 - 105 EXISTING WINDOW TO BE REMOVED
 - 106 EXISTING GARAGE DOOR TO BE REMOVED

- 200 | PROPOSED ELEVATIONS**
- 201 NEW ROOF
 - 202 NEW WINDOW
 - 203 NEW RAILING
 - 204 NEW GARAGE DOOR
 - 205 NEW DECK EXPANSION
 - 206 NEW DOOR

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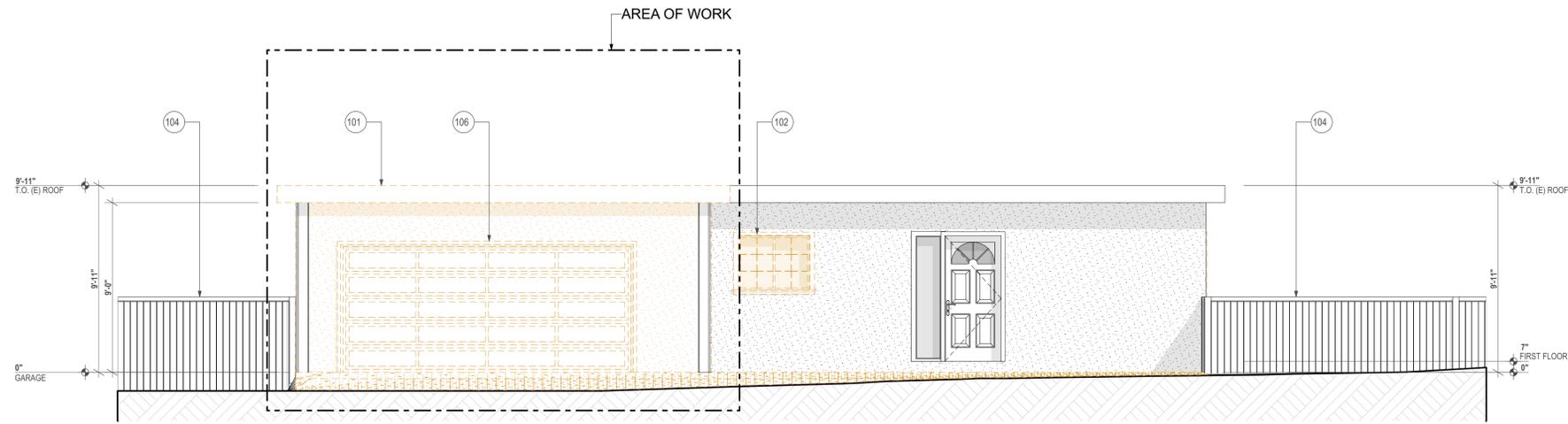
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EXISTING & PROPOSED NORTH ELEVATIONS

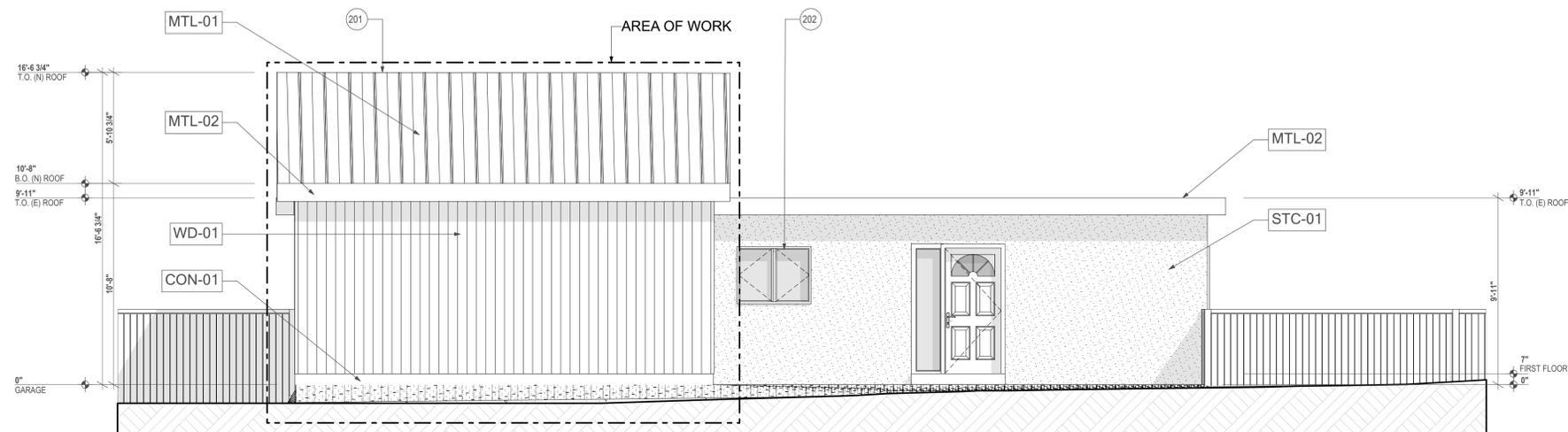
Scale

As Indicated

A13



1 | EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL PALETTE

 MTL-01 STANDING SEAM METAL ROOFING; FINISH TBD	 WD-01 WOOD SIDING FINISH TBD
 CON-01 BOARD FORM CONCRETE	 MTL-01 PAINTED BLACK METAL FASCIA
 STC-01 STUCCO FINISH TBD	

KEYNOTES

- 100 | EXISTING/ DEMOLISH ELEVATIONS**
- 101 EXISTING ROOF FASCIA TO BE DEMOLISHED
 - 102 EXISTING WINDOW TO BE REPLECED
 - 103 EXISTING RAILING TO BE REPLACED
 - 104 EXISTING FENCE
 - 105 EXISTING WINDOW TO BE REMOVED
 - 106 EXISTING GARAGE DOOR TO BE REMOVED

200 | PROPOSED ELEVATIONS

- 201 NEW ROOF
- 202 NEW WINDOW
- 203 NEW RAILING
- 204 NEW GARAGE DOOR
- 205 NEW DECK EXPANSION
- 206 NEW DOOR

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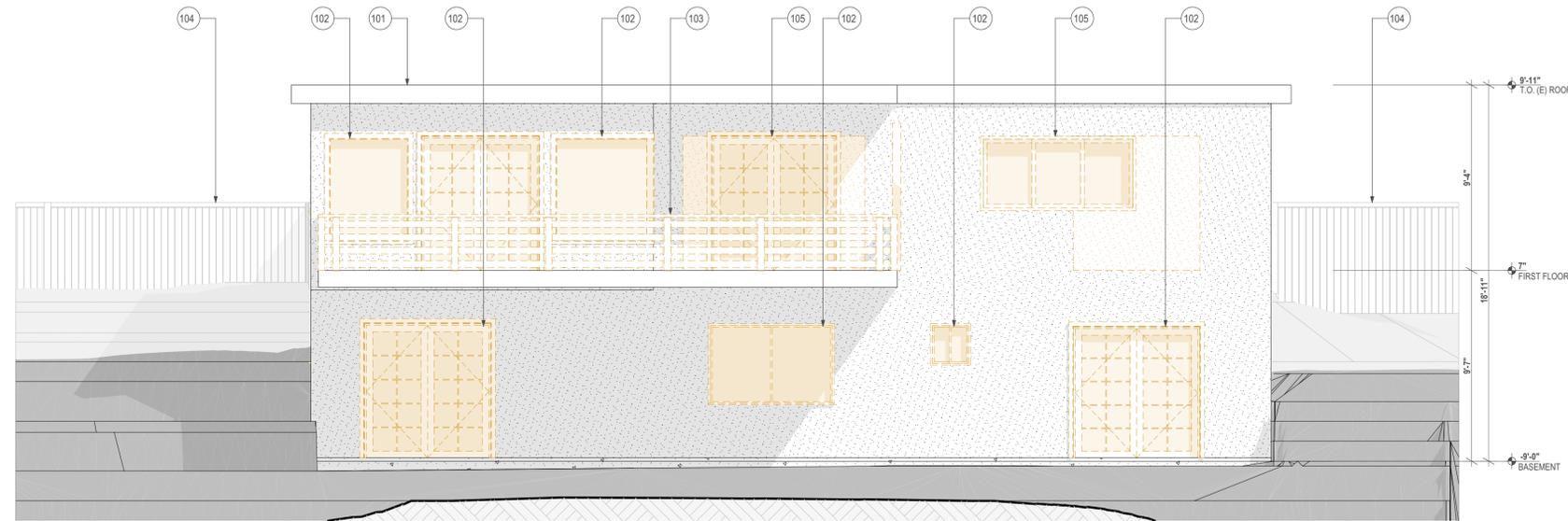
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EXISTING & PROPOSED EAST ELEVATIONS

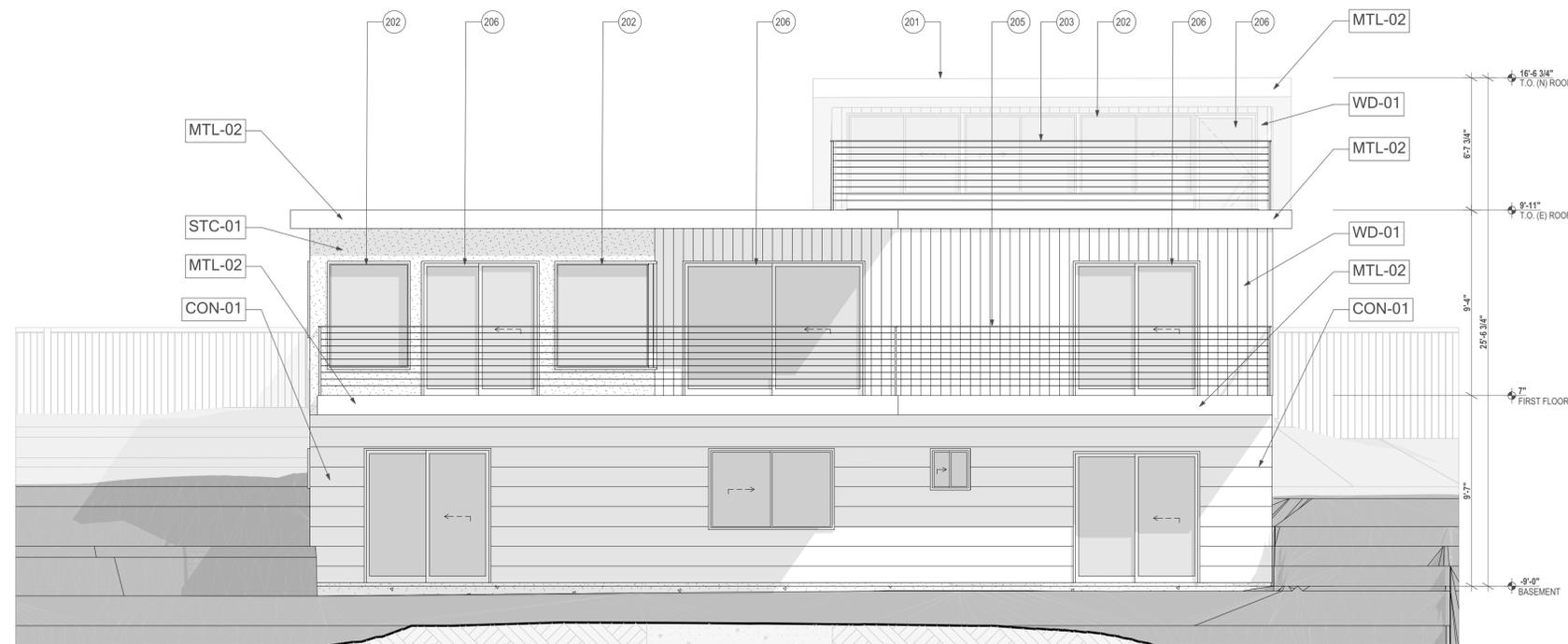
Scale

As Indicated

A14



1 | EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL PALETTE



KEYNOTES

- 100 | EXISTING/ DEMOLISH ELEVATIONS**
- 101 EXISTING ROOF FASCIA TO BE DEMOLISHED
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 - 203 NEW RAILING
 - 204 NEW GARAGE DOOR
 - 205 NEW DECK EXPANSION
 - 206 NEW DOOR

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3345 Crystal Heights Remodel

Accessor's Parcel Number

APN #: 037-072-14

Sheet Title

EXISTING & PROPOSED WEST ELEVATIONS

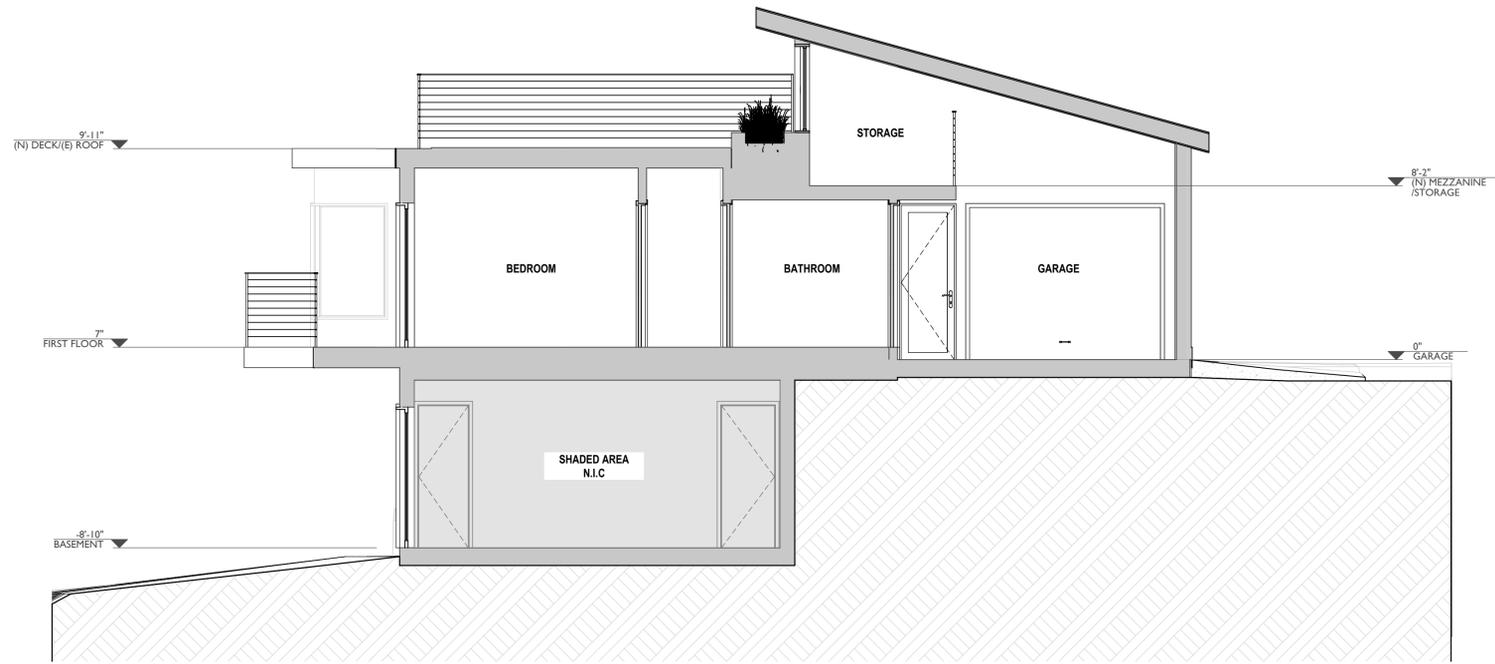
Scale

As Indicated

A15

**Crystal Heights
REMODEL**

3345 Crystal Heights,
Soquel, CA 95073



1 S1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



2 S2 BUILDING SECTION

SCALE: 1/4" = 1'-0"

Project Submittal Record

Revision	Date	Issue Description
	4/8/2025	VARIANCE SUBMITTAL
01	7/31/2025	ADDITIONAL INFORMATION #1
02	10/28/2025	ADDITIONAL INFORMATION #2

Seal/ Signature

Project Name

3345 Crystal Heights Remodel

Accessor's Parcel Number

APN #: 037-072-14

Sheet Title

PROPOSED BUILDING SECTIONS

Scale

As Indicated

A16

FOR TAX PURPOSES ONLY

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Electronically drawn 4/2/98 wr/p
Rev. 9/9/98 CB (8-0044830 & 31, LBA 1-50)
Rev. 9/9/98 CB (Por to pg 37-08)
Rev. 12/8/99 CB (9-0063399, LBA 1-51)
Rev. 12/8/99 CB (Por to pg 37-08)
Rev. 4/25/01 mvm (changed page refs.)
Rev. 1/27/03 mvm (st. name)
Rev. 6/12/03 CB (Cor. RTW as per 42MB21)
Rev. 6/16/10 CB (112RS17)
Rev. 5/2/11 mc (Comb. form, 1-63)

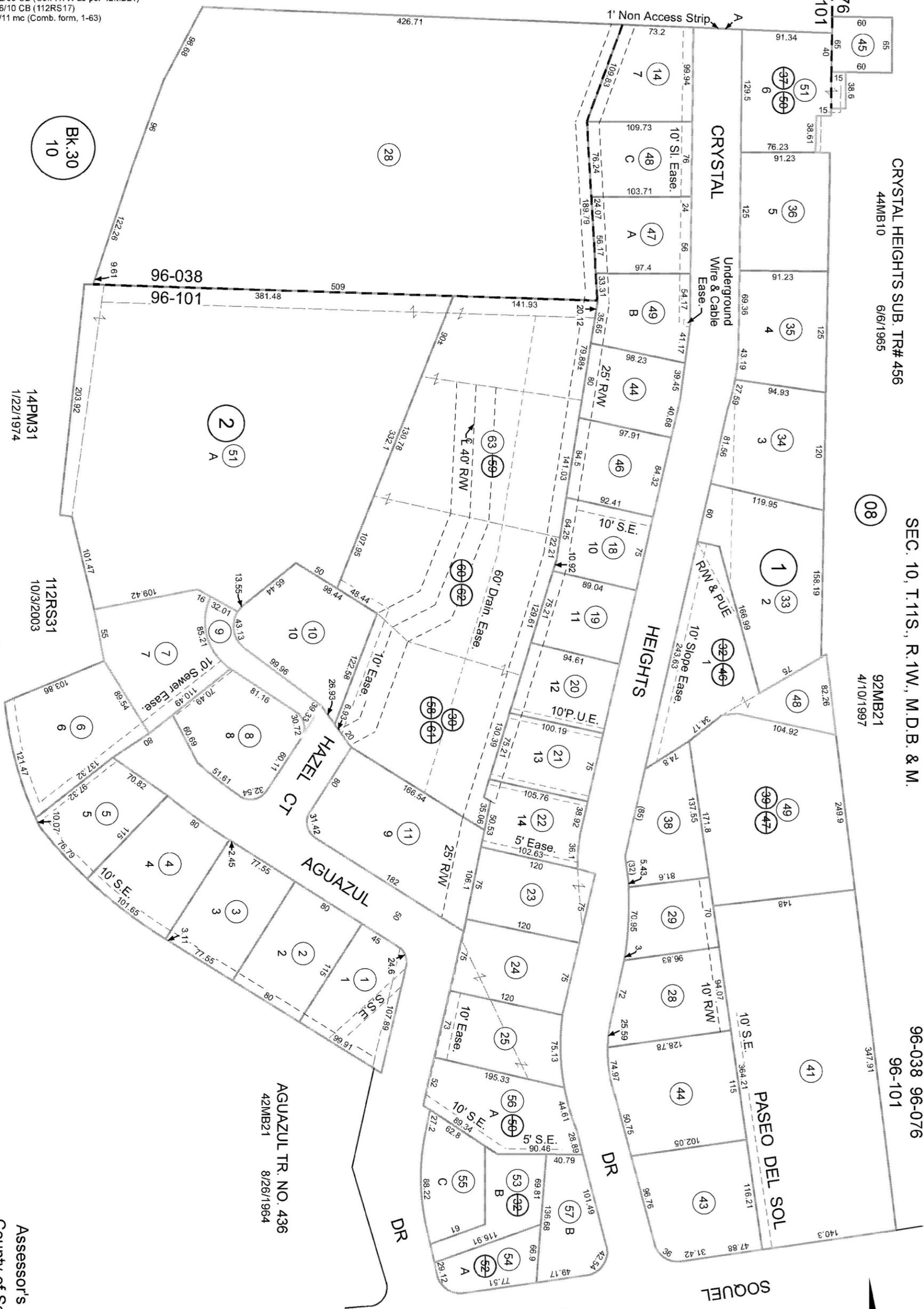
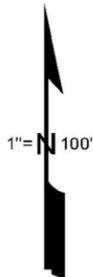
CRYSTAL HEIGHTS SUB. TR# 456
44MB10 6/6/1965

POR. SOQUEL RANCHO
SEC. 10, T.11S., R.1W., M.D.B. & M.

92MB21
4/10/1997

Tax Area Code
96-038 96-076
96-101

37-07



Bk.30
04

02

17PM72
2/24/1972

2PM30
1/7/1971

Bk.30
10

2
51
A

08

14PM31
1/22/1974

112RS31
10/3/2003

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

AGUAZUL TR. NO. 436
42MB21 8/26/1964

47MB48
7/8/1974

26PM61
8/31/1977

Bk.30
24

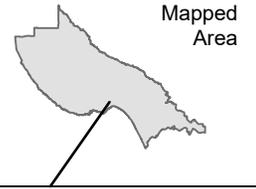
27PM36
10/25/1977

Bk.30
25

Assessor's Map No. 37-07
County of Santa Cruz, Calif.
Apr., 1998



Parcel Location Map



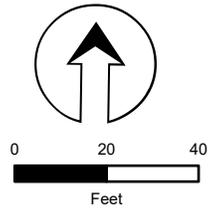
037-072-14

CRYSTAL-HEIGHTS DR

Parcel: 03707214

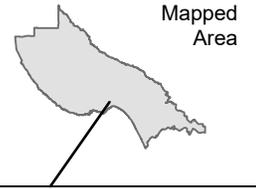
Subject Parcel

Map printed: 25 Feb. 2026





Parcel General Plan Map



R-R

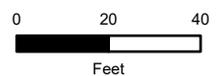
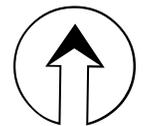
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O-U

R-UL

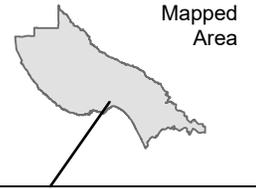
CRYSTAL-HEIGHTS DR

 Subject Parcel





Parcel Zoning Map



RA

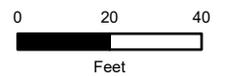
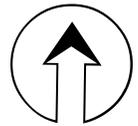
037-072-14

R-1-6

R-1-10

CRYSTAL-HEIGHTS DR

 Subject Parcel



Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Flood Control Zone 5

Parcel Information

Parcel Size: 9,234 square-feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Crystal Heights Drive
Planning Area: Soquel
Land Use Designation: R-UL; O-U (Urban Low Density Residential; Urban Open Space)
Zone District: R-1-6 (Single-Family Residential - 6,000 square-foot minimum)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm.: Yes No

Technical Reviews: none

Environmental Information

Geologic Hazards: Not a mapped constraint
Fire Hazard: Not a mapped constraint
Slopes: 0% - 50+
Env. Sen. Habitat: Not mapped
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped