



Staff Report to the Zoning Administrator

Application Number: **251423**

Applicant: Steven Graves

Agenda Date: 3/6/2026

Owner: Steven and Paddy Graves

Agenda Item #: 3

APN: 042-225-27

Time: After 9:00 a.m.

Site Address: 206 Bayview Court, Aptos CA 95003

Project Description: Proposal to demolish an existing 750 square foot single-family dwelling and construct a 2,397 square foot two-story single-family dwelling with an attached 443 square foot garage and 500 square foot ADU. Includes landscaping and decking.

Location: Property is located on the southern side of Bayview Court (206 Bayview Court), approximately 50 feet from the intersection with Aptos Beach Drive.

Permits Required: Coastal Development Permit and a Site Development Permit for the new dwelling and an overheight fence in the front yard setback

Supervisory District: 2nd District (District Supervisor: Kimberly De Serpa)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251423, based on the attached findings and conditions.

Project Description & Setting

The subject property is a 7,753-square-foot parcel located on the western side of Bayview Court in the hills above the Rio del Mar Flats. The site is developed with an existing 750-square-foot, one-story single-family dwelling. The parcel is situated on a prominent ridgetop and within a scenic area as identified in the County GIS system. Due to its ridgetop location and visibility, the site is considered a sensitive site pursuant to Santa Cruz County Code (SCCC) Section 13.11.030(I).

The proposed project includes demolition of the existing residence and construction of a new two-story single-family dwelling totaling approximately 2,397 square feet, and an attached 443-square-foot garage. The project also includes construction of an attached 500-square-foot accessory dwelling unit (ADU) located at the first floor, though on the plans it is shown as a JADU. The proposed development results in an increase in the number of bedrooms from one to three within the primary residence, with the addition of an Accessory Dwelling Unit (ADU).

Additional site improvements include perimeter fencing and walls. An existing six-foot over-height fence is located along the northern property line and is proposed to remain. Along the front property line, a stucco wall was originally proposed at four feet in height; however, the wall has been conditioned to a maximum height of three feet for the whole front wall, consistent with SCCC Sections 13.10.525 and 13.16.093, to maintain adequate vehicular sight distance and public safety.

Zoning & General Plan Consistency

The subject property is designated R-UM (Urban Residential – Medium Density) under the County General Plan, which allows single-family residences and accessory dwelling units at an urban scale. The proposed two-story single-family dwelling, attached garage, and ADU are consistent with the General Plan land use designation and do not exceed the maximum residential density or intensity permitted for the site.

The property is located within the Archeological Resources overlay and has been conditioned to report any unanticipated archaeological resources during construction. An Archeological Report was not required as part of the review due to the next-door neighbor's previous archeological report, which was reviewed by Environmental Planning staff and found no nearby deposits.

The project replaces an existing undersized residence with a code-compliant home that meets current zoning and development standards. The proposed development is compatible with surrounding residential uses in the hills above the Rio del Mar Flats and supports General Plan policies encouraging efficient use of urban residential land, provision of diverse housing types, and reinvestment in established neighborhoods.

Site Development Permit

Pursuant to SCCC 13.11, a Site Development Permit is required pursuant to SCCC 13.11 because the project involves construction of a new single-family dwelling on a sensitive site. The site is identified as a scenic area in the County GIS and is located on a prominent ridgetop overlooking the Rio del Mar Flats, meeting the definition of a sensitive site under SCCC Section 13.11.030(I).

A Site Development Permit is also required to recognize the existing six-foot over-height fence along the northern property line, extending within the required 15-foot front yard setback. The fence is constructed of materials consistent with the residential character of the area and does not result in adverse visual impacts when viewed from adjacent properties or public vantage points. Additionally, the proposed 4-foot front-yard stucco wall has been conditioned to a maximum height of three feet along the full wall length, consistent with SCCC Sections 13.10.525 and 13.16.093. This condition ensures safe vehicular sight distance and maintains public safety. As conditioned, the proposed fences minimize visual impacts, preserves scenic resources, and integrates with the established residential development pattern in the hills above the Rio del Mar Flats.

Accessory Dwelling Units

While the plans show a proposed JADU, the applicant has indicated the desire to change this to an ADU and therefore the project is being reviewed and conditioned for an ADU. Pursuant to SCCC 13.10.681, an ADU is an attached or detached residential dwelling unit which provides complete

independent living facilities for one or more people and located on a lot with a proposed or existing primary residence; equipped with independent kitchen, bath, washer hookup, and sleeping facilities. The proposed attached first story ADU will have a floor area of 500 square feet. As set out in SCCC13.10.681, there are special site and development standards that may be applied to an ADU. These include that the structure, whether attached or detached, may have reduced setbacks to a minimum of 4 feet. Attached ADUs are, however, required to meet the zone district height standard. The proposed first story ADU meets all zone district standards.

Parking

The proposed single-family dwelling has 3 bedrooms, which require 2 parking spaces on-site. One additional parking space is required for the proposed ADU. Due to the project location within the Coastal Zone the proposed ADU is ineligible for exemptions from parking requirements as outlined in SCCC 13.10.681. The total number of required parking spaces is 3, which is shown on the site plan.

Design Review

The proposed project complies with the requirements of the County Design Review Ordinance. The design incorporates architectural and site-planning features intended to reduce visual impacts associated with development on a prominent ridgetop and within a scenic area.

The building mass is articulated through variations in wall planes and roof heights, which reduces the perceived bulk of the two-story structure when viewed from surrounding properties and public vantage points. The project utilizes a restrained color palette and natural, non-reflective materials that are compatible with the surrounding hillside environment and existing residential development.

Building placement and orientation are designed to follow the natural contours of the site, minimizing unnecessary grading and preserving the overall landform. Existing vegetation is retained where feasible, and the project has been conditioned for a landscape plan prepared by a licensed landscape architect to meet SCCC 13.11 design criteria and provide screening vegetation along the back of the property to reinforce the natural landscape character. Perimeter walls and fencing are designed at a scale and height appropriate for the site and are constructed of materials that complement the primary structure.

Overall, the proposed project demonstrates substantial conformance with the Countywide Design Guidelines and the applicable provisions of SCCC Chapter 13.11. As designed and conditioned, the project will reduce visual impacts on surrounding land uses and the natural landscape while contributing to a cohesive and high-quality residential environment.

Local Coastal Program Consistency

The proposed project is subject to the County's certified Local Coastal Program (LCP). Pursuant to SCCC 13.20.061, a Coastal Development Permit is required because the project is located within the coastal zone, outside the residential exclusion area, and exceeds allowable exemptions. Additionally, the project constitutes an intensification of use due to the increase in the number of bedrooms on the site and the inclusion of an Accessory Dwelling Unit.

As proposed and conditioned, the project is consistent with applicable LCP policies related to residential development, visual resources, and protection of scenic qualities. Although the site is located on a prominent ridgetop above the Rio del Mar Flats, the project has been designed to minimize visual impacts through careful building siting, massing, and architectural articulation. Existing vegetation provides partial screening, and the project has been conditioned to include additional native planting to further screen and soften the appearance of the development and integrate it into the surrounding hillside landscape.

The project is not located between the shoreline and the first public road and is not identified as a priority acquisition or public access site in the Local Coastal Program. The nearest public beach access is approximately a third of a mile southwest of the project site. Therefore, the project will not interfere with public access to coastal resources or coastal recreational opportunities.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251423**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251423
Assessor Parcel Number: 042-225-27
Project Location: 206 Bayview Court, Aptos CA 95003

Project Description: Proposal to demolish an existing 750 square foot single-family dwelling and construct a 2,397 square foot two-story single-family dwelling with an attached 443 square foot garage and 500 square foot ADU. Includes landscaping and decking.

Person or Agency Proposing Project: Steven Graves

Contact Phone Number: 831-325-1219

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 2 – Replacement or Reconstruction (Section 15302), Class 3 - New Construction (15303)

F. Reasons why the project is exempt:

The proposed replacement single family residence and ADU are located on an existing developed lot located in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made. The subject property is zoned R-1-4 (Single-Family Residential, 4,000 square foot minimum per dwelling), which permits single-family residential development and accessory dwelling units as allowed uses. The proposed project includes demolition of an existing undersized single-family dwelling and construction of a new two-story single-family residence with an attached garage, along with an accessory dwelling unit (ADU). These residential uses are principal permitted uses within the R-1-4 zone district and are consistent with the site's R-UM (Urban Residential – Medium Density) General Plan and Local Coastal Program land use designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made. The proposed development is consistent with surrounding residential development in terms of use, scale, and architectural character. Although the site is located on a prominent ridgetop and within a scenic area, the project has been carefully designed to minimize visual impacts through articulated building massing, varied roof forms, and the use of natural, non-reflective exterior materials and colors. The site is surrounded by parcels developed at an urban residential density, and the proposed development is compatible with this established pattern. As designed and conditioned, the project conforms to applicable design criteria and development standards of the Local Coastal Program and SCCC Chapter 13.20.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made. The project site is not identified as a priority acquisition, public access, or recreational site in the County's certified Local Coastal Program. The property is located in a fully developed residential neighborhood above the Rio del Mar Flats and does not obstruct or interfere with existing public coastal access. Public beach access is available elsewhere within the Rio del Mar area, and the proposed residential development will not adversely affect visitor-serving resources or recreational opportunities.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made. The proposed development is sited and designed to be visually compatible with the surrounding neighborhood and hillside environment. Residential development is an allowed use under the applicable zoning, General Plan, and Local Coastal Program

designations. Surrounding parcels are developed with single-family residences of varying size, scale, and architectural style. The proposed design is consistent with this development pattern and incorporates site-specific measures, including building articulation, landscape screening, and conditioned wall and fence heights, to reduce visual impacts and protect scenic resources in compliance with LCP policies.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the proposed project will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single-family residence with an attached Accessory Dwelling Unit (ADU) and garage, and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-4 (Single Family Residential, 4,000 square foot minimum per dwelling) zone district as the primary use of the property will be one single family dwelling with attached ADU that meets all current site standards for the zone district. The property is located within the Archaeological Resources Overlay. A condition of approval requires that any unanticipated archaeological resources encountered during construction be reported and appropriately addressed. An Archaeological Report was not required for this application, as a prior report prepared for the adjacent property was reviewed by Environmental Planning staff and found no evidence of nearby archaeological deposits. As outlined in the Site Development Permit Findings below, the project will comply with the requirements of County Design Review ordinance as specified in SCCC 13.11.

Although the plans originally identified a Junior Accessory Dwelling Unit (JADU), the applicant has requested review as an ADU. Accordingly, the project is conditioned and reviewed as an attached ADU pursuant to SCCC 13.10.681. The proposed first-story attached ADU will contain 500 square feet and provide complete independent living facilities, including a kitchen, bathroom, sleeping area, and laundry hookups. Under SCCC 13.10.681, ADUs may be permitted with reduced setbacks to a minimum of four feet; however, attached ADUs must comply with the applicable zone district height standard. The proposed ADU meets all applicable site and development standards.

The proposed single-family dwelling includes three bedrooms, requiring two on-site parking spaces. One additional parking space is required for the ADU. Because the project is located within the Coastal Zone, the ADU is not eligible for parking exemptions under SCCC 13.10.681. A total of three parking spaces are required and are provided on the site plan.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any

specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Residential - Medium Density) land use designation in the County General Plan.

This finding can be made. The project is consistent with the R-UM (Urban Residential – Medium Density) land use designation, which encourages efficient use of urban residential land, reinvestment in established neighborhoods, and the provision of a variety of housing types. The replacement of an undersized dwelling with a code-compliant residence and accessory units supports these General Plan objectives. No specific plan has been adopted for this area of the County.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed will add one residential unit with ADU or JADU on an existing developed lot. The expected level of traffic generated by the proposed project is anticipated to be only one peak trip per day (1 peak trip per dwelling unit). Such an increase will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made. The proposed residential development is consistent with the established residential character, density, and intensity of the surrounding neighborhood in the hills above the Rio del Mar Flats. The project's scale, design, and use are compatible with nearby single-family residences.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

Pursuant to SCCC 13.11, a Site Development Permit is required because the project involves construction of a new single-family dwelling on a sensitive site. The parcel is identified in the County GIS as a scenic area and is located on a prominent ridgetop overlooking the Rio del Mar Flats, meeting the definition of a sensitive site under SCCC 13.11.030(I). A Site Development Permit is also required to recognize the existing six-foot over-height fence along the northern property line, which encroaches into the required 15-foot front yard setback. The fence materials are consistent with the residential character of the area and do not result in adverse visual impacts from adjacent properties or public vantage points. In addition, the proposed four-foot front-yard stucco wall has been conditioned to a maximum height of three feet along its entire length, consistent with SCCC 13.10.525 and 13.16.093. This condition ensures adequate vehicular sight distance and protects public safety. As conditioned, the fencing minimizes visual impacts, preserves scenic resources, and remains consistent with the established residential development pattern in the hills above the Rio del Mar Flats.

This finding can be made. The proposed development is thoughtfully sited on the parcel to respond to the existing topography and the established residential development pattern in the surrounding hillside neighborhood above the Rio del Mar Flats. Building placement and orientation follow the natural contours of the site, minimizing grading and preserving the overall landform. Although the project introduces a new structure on a prominent ridgetop, its scale, setbacks, and spatial relationship to adjacent residences are consistent with surrounding urban residential development and do not disrupt the existing neighborhood character.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made. The proposed project incorporates a modern architectural design characterized by clean lines, articulated building forms, and pitched roof elements, which reflect contemporary residential design while remaining compatible with the surrounding neighborhood. The use of pitched roofs helps to break up building mass, reduce the perceived height and bulk of the two-story structure, and visually relate the development to nearby residences that also incorporate sloped roof forms.

The building mass is further refined through variations in wall planes and roof articulation, which collectively reduce visual dominance on the sensitive ridgetop site. Exterior materials and colors are natural and non-reflective, allowing the structure to blend with the surrounding hillside environment. Perimeter walls and fencing are designed at an appropriate scale and are complementary to the primary structure. As designed and conditioned, the project is of an appropriate scale and architectural character, enhances the aesthetic quality of the subject property, minimizes visual impacts on surrounding land uses and scenic resources, and demonstrates substantial conformance with the Countywide Design Guidelines and SCCC 13.11.

Conditions of Approval

Exhibit D: Project plans, prepared by Gordon Ganzeley, dated 11.26.2025.

- I. This permit authorizes the demolition of an existing 750 square foot single-family dwelling and construction of a 2,397 square foot two-story single-family dwelling with an attached 443 square foot garage and 500 square foot ADU (includes landscaping, fencing and decking), as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official, if required.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans, if required.

4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
 5. Details showing compliance with fire department requirements.
 6. Provide a landscape plan drawn up by a licensed landscape architect to show all plantings on the property and screening along the rear of the property to meet SCCC 13.11 standards.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- E. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- G. Submit an approved soils report prepared and stamped by a licensed Geotechnical Engineer. If any changes are required to the proposed design per the Accepted Soils Report, an amendment to this discretionary permit is required.
- H. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square

foot for net increase in square footage for single family dwellings.

- I. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per net increase in square foot for single family dwellings.
 - J. Pay the current fees for Roadside and Transportation improvements for a new unit is \$3,000. bedroom(s). Currently, these fees are, respectively, \$1000 and \$1000 per new bedroom.
 - K. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling between 2,001 and 2,500 square feet is \$3 per square foot.
 - L. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to

- and including permit revocation.
- B. Must maintain in perpetuity the screening landscape plantings.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Application #: 251423
APN: 042-225-27
Owner: Steven and Paddy Graves

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.



REVISIONS:	BY:
△ 11/28/25	GG

OWNER:
 STEVEN & PADDY GRAVES
 775 ESTATES DR
 APTOS, CA 95003
 831-826-1218

GRAVES RESIDENCE
 206 BAYVIEW CT
 APTOS, CA 95003
 APN 042-225-27

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 EMAIL: gordon@gazeley.com

PROPOSED
 SITE PLAN

DRAWN: GG

SCALE: 1/8" = 1'-0"

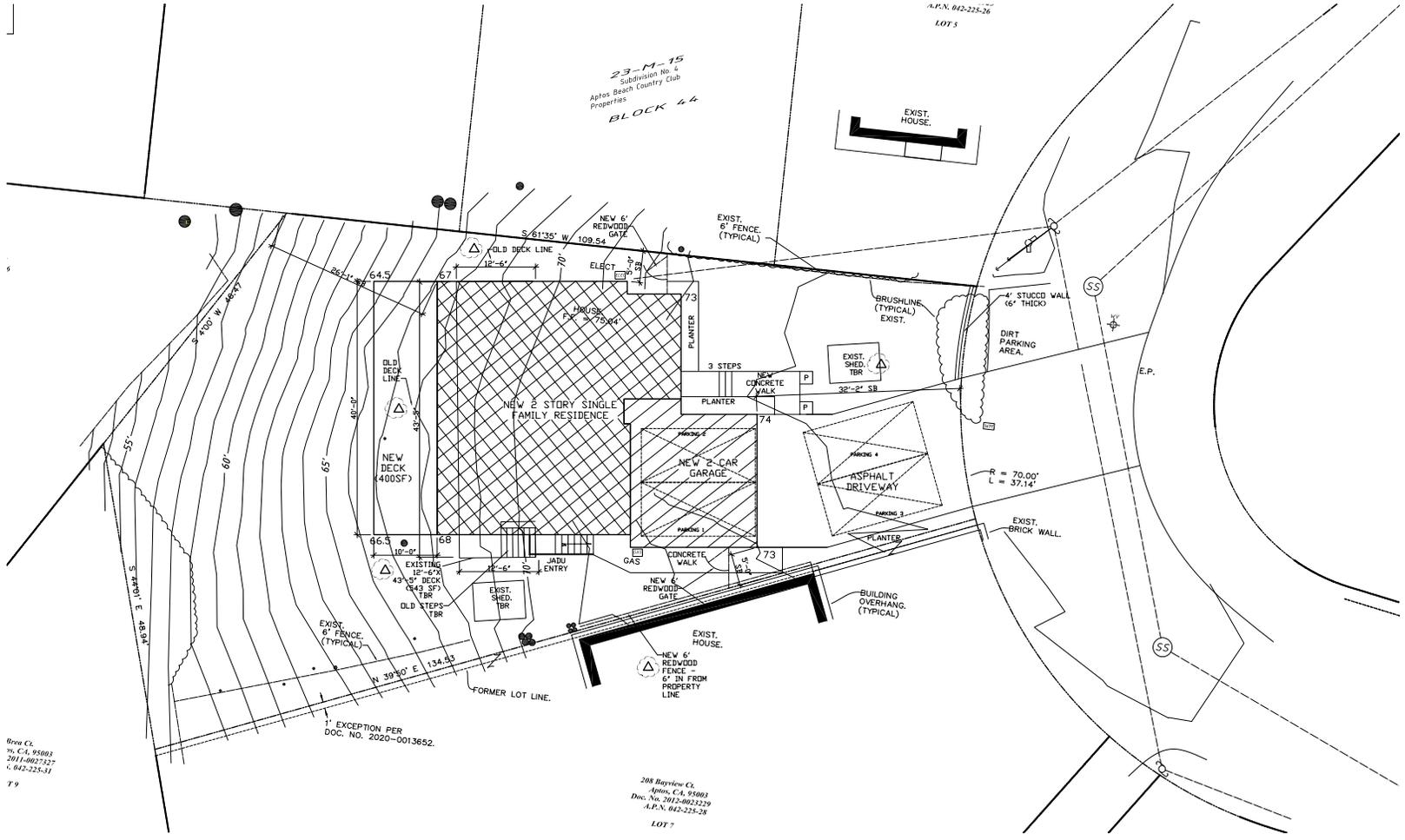
JOB NO. BAYVIEW

DATE: 10/07/25

SHEET

A1

OF # SHEETS



Blum Co.
 No. CA 95003
 2011-0027327
 1-842-225-31

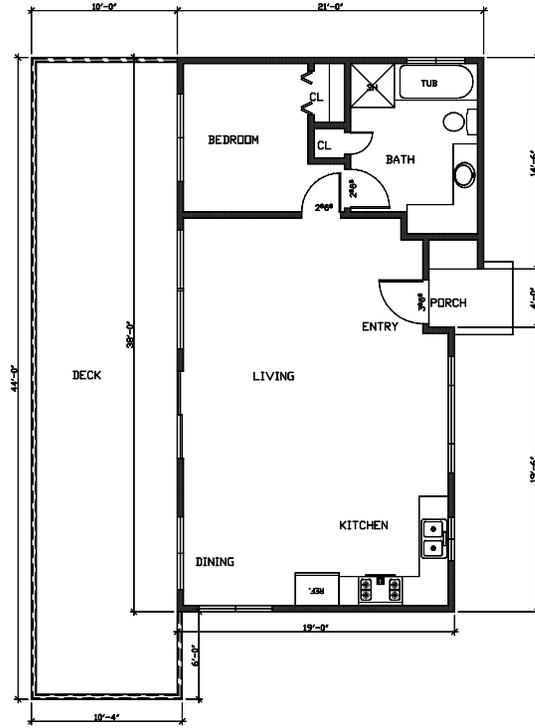
79

23-M-15
 Subdivision No. 4
 Aptos Beach Country Club
 Properties
 BLOCK 44

A.P.N. 042-225-26
 LOT 5

208 Bayview Ct.
 Aptos, CA 95003
 Doc. No. 2012-0023229
 A.P.N. 042-225-28
 LOT 7

1' EXCEPTION PER
 DOC. NO. 2020-0013652.



SEE SURVEY FOR EXISTING SITE & SETBACKS

EXISTING S.F.
HOUSE = 727 S.F.
DECK = 442 S.F.

FLOOR PLAN
SCALE: 1/4"=1'-0"

Exhibit D

REVISIONS:	BY:
▲ 12/01/25	GG

OWNER:
STEVEN & PADDY GRAVES
775 ESTATES DR
APTOS, CA 95003
831-825-1218

GRAVES RESIDENCE
206 BAYVIEW CT
APTOS, CA 95003
APN 042-225-27

GORDON GAZELEY
HOME DESIGN AND PROJECT PLANNING
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
E-MAIL: gordon@gazeley.com

EXISTING FLOORPLAN

DRAWN: GG

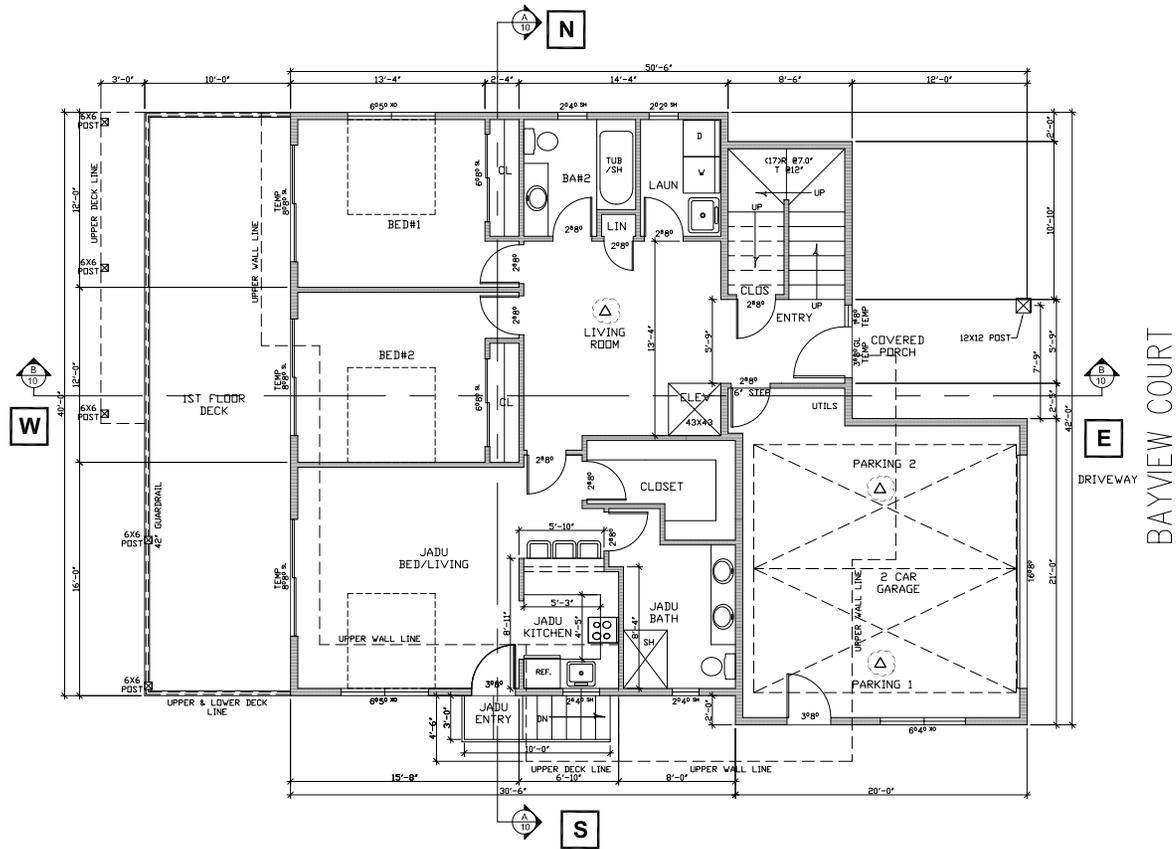
SCALE: 1/4"=1'-0"

JOB NO. BAYVIEW

DATE: 10/06/25

SHEET A2

OF # SHEETS



REVISIONS:	BY:
△ 11/28/23	GC

OWNER:
 STEVEN & PADDY GRAVES
 775 ESTATES DR
 APTOS, CA 95003
 831-525-1216

GRAVES RESIDENCE
 206 BAYVIEW CT
 APTOS, CA 95003
 APN 042-225-27

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 EMAIL: gordon@fgazepj.com

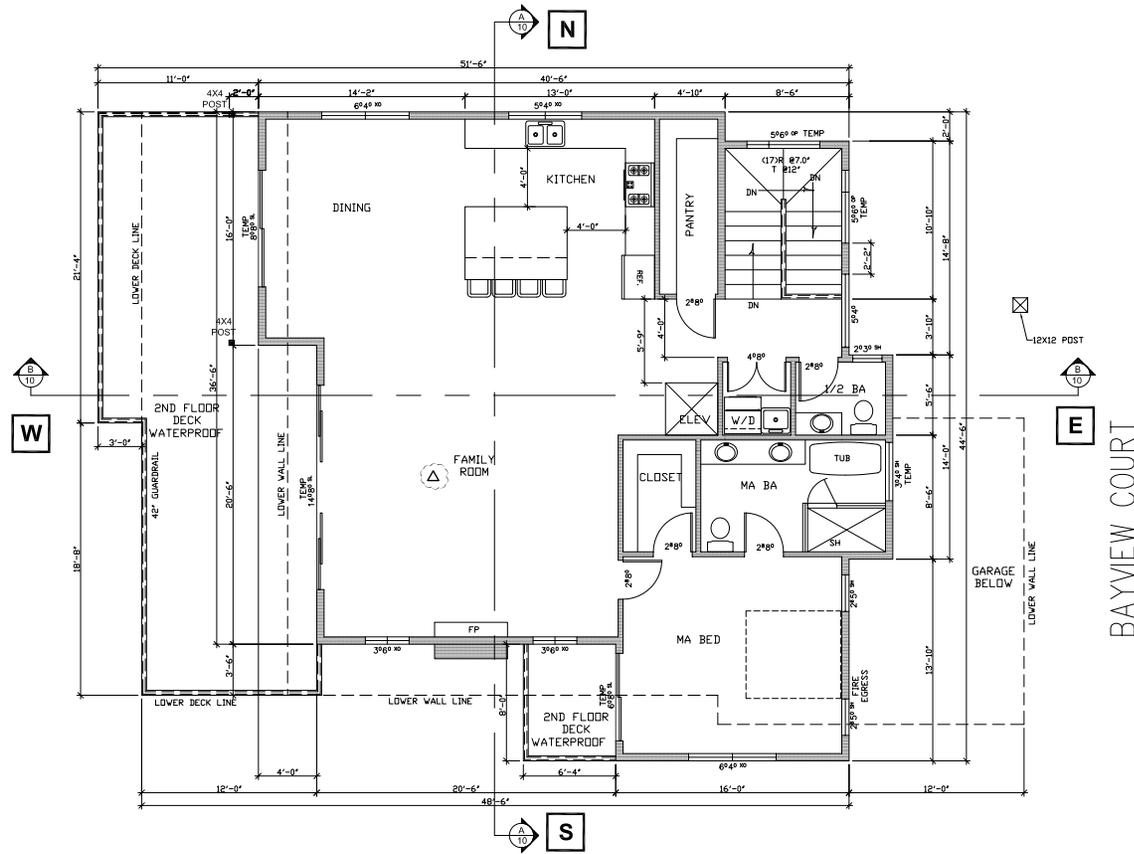
LOWER FLOOR PLAN

DRAWN: GG
 SCALE: 1/4" = 1'-0"
 JOB NO. BAYVIEW
 DATE: 10/16/25

SHEET
 A3
 OF # SHEETS

PROPOSED S.F.:

1ST FLOOR LIVING	= 848 S.F.
2ND FLOOR LIVING	= 1,689 S.F.
TOTAL	= 2,537 S.F.
1ST FLOOR ADU	= 500 S.F.
GARAGE	= 433 S.F.
2ND FLOOR DECK	= 481 S.F.
2ND FLOOR DECK	= 251 S.F.
1ST FLOOR DECK	= 400 S.F.



PROPOSED S.F.
1ST FLOOR LIVING = 840 S.F.
2ND FLOOR LIVING = 1,543 S.F.
TOTAL = 2,383 S.F.
1ST FLOOR ADU = 500 S.F.
GARAGE = 443 S.F.
2ND FLOOR DECK 1 = 438 S.F.
2ND FLOOR DECK 2 = 51 S.F.
1ST FLOOR DECK = 440 S.F.

FLOOR PLAN
SCALE: 1/4"=1'-0"

Exhibit D

REVISIONS:	BY:
△ 11/28/23	GC

OWNER:
STEVEN & PATTY GRAVES
775 ESTATES DR
APTOS, CA 95003
831-826-1218

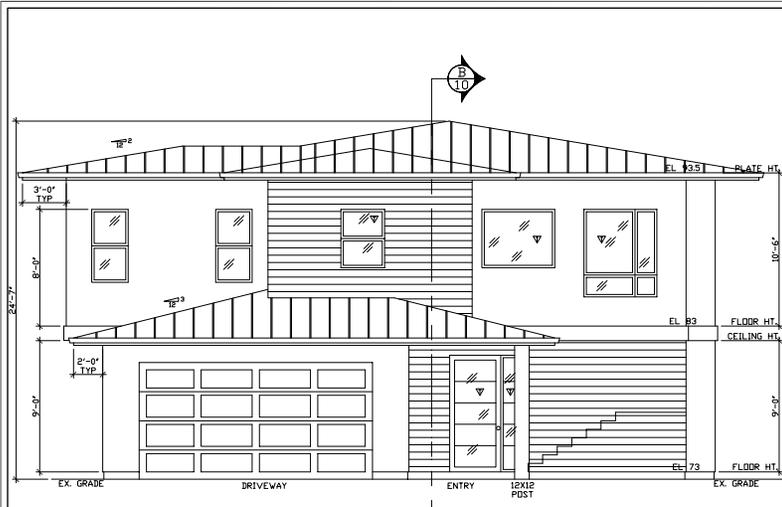
GRAVES RESIDENCE
206 BAYVIEW CT
APTOS, CA 95003
APN 042-225-27

GORDON GAZELEY
HOME DESIGN AND PROJECT PLANNING
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
EMAIL: gordon@fgdp.com

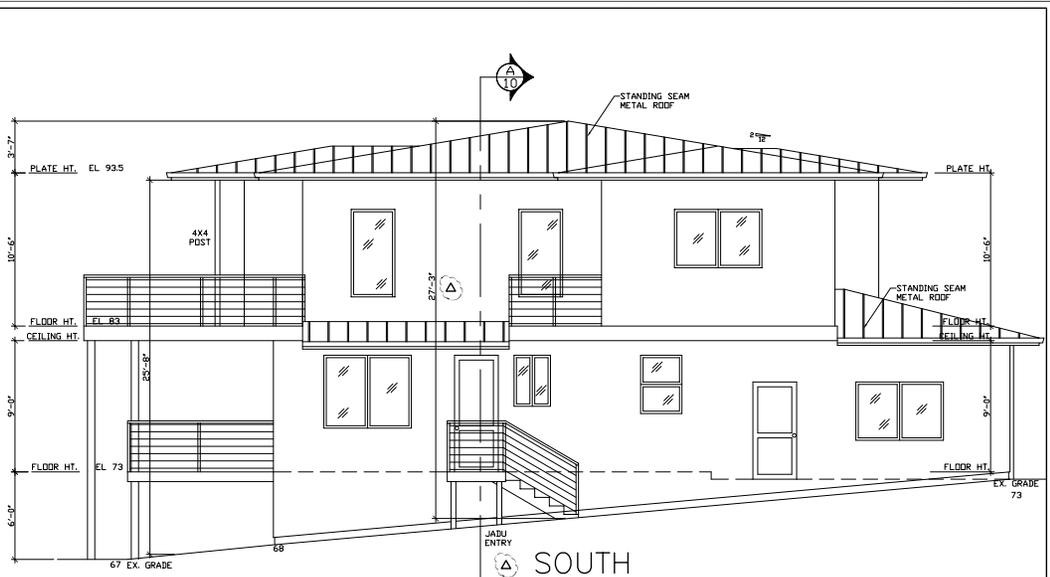
UPPER
FLOOR PLAN

DRAWN: GG
SCALE: 1/4"=1'-0"
JOB NO: BAYVIEW
DATE: 09/30/25

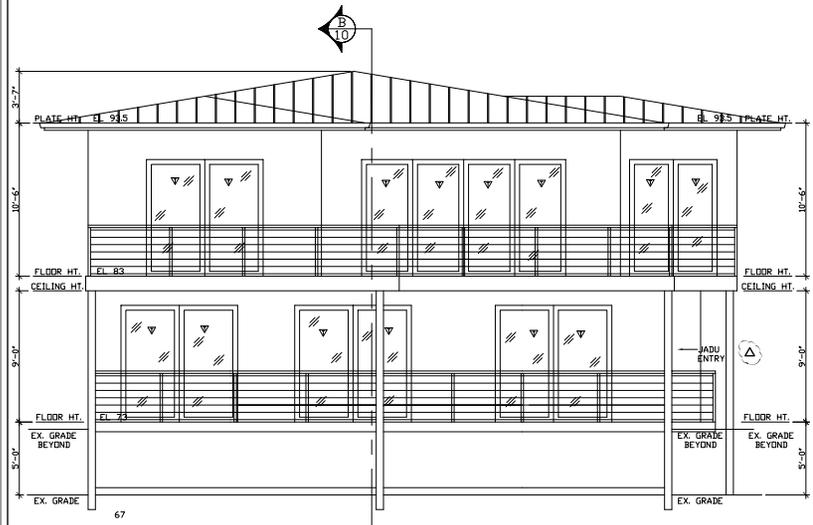
SHEET
A4
OF # SHEETS



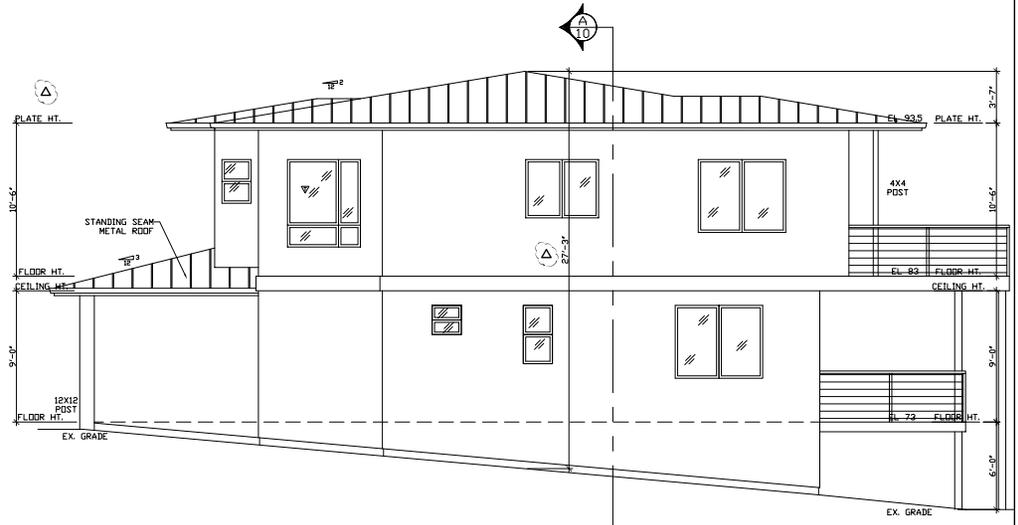
EAST
SCALE: 1/4"=1'-0"



SOUTH
SCALE: 1/4"=1'-0"



WEST
SCALE: 1/4"=1'-0"



NORTH
SCALE: 1/4"=1'-0"

REVISIONS:	BY:
Δ 11/26/25	GG

OWNER:
STEVEN & PADDY GRAVES
775 ESTATES DR
APTOS, CA 95003
831-826-1218

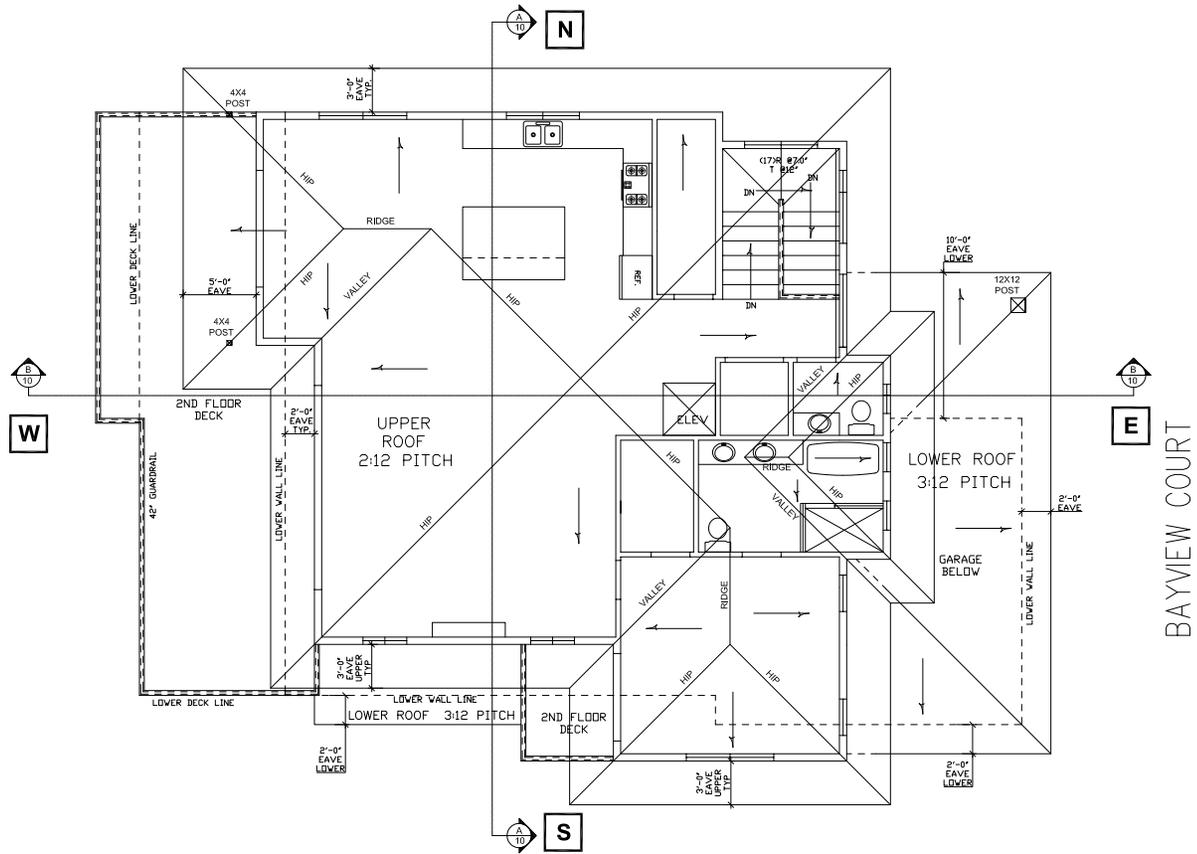
GRAVES RESIDENCE
206 BAYVIEW CT
APTOS, CA 95003
APN 042-225-27

GORDON GAZELEY
HOME DESIGN AND PROJECT PLANNING
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
EMAIL: gordon@fgazley.com

ELEVATIONS

DRAWN: GG
SCALE: 1/4"=1'-0"
JOB: BAYVIEW
DATE: 09/30/25

SHEET
A5
OF # SHEETS



NOTE:
 ALL ROOF DRAINAGE
 DOWNSPOUTS TO SPASHBLOCKS
 TO VEGETATED AREAS
 SEE CIVIL ENGINEERING PLANS

REVISIONS:	BY:

OWNER:
 STEVEN & PADDY GRAYES
 775 ESTATES DR
 APTOS, CA 95003
 831-225-1211

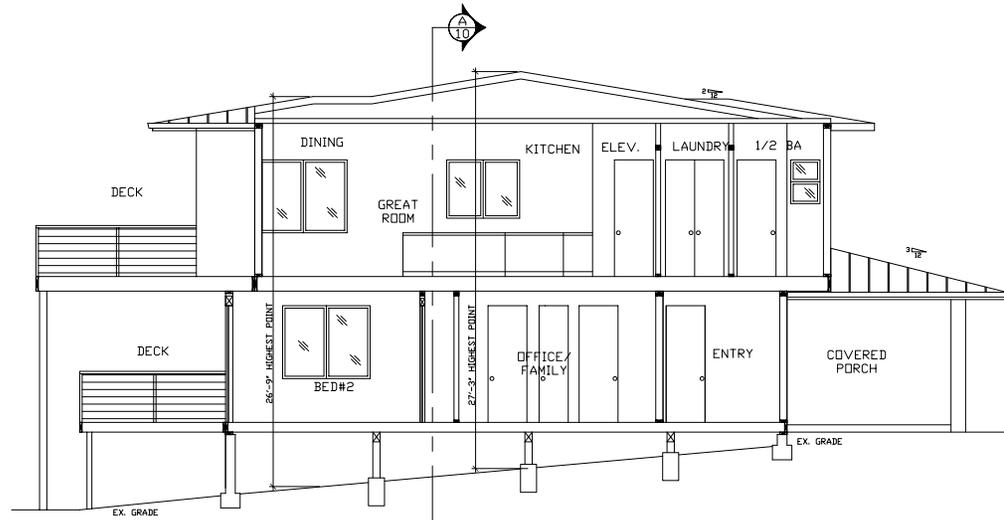
GRAVES RESIDENCE
 206 BAYVIEW CT
 APTOS, CA 95003
 APN 042-225-27

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 712 CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 EMAIL: gordon@ggpdesign.com

ROOF PLAN

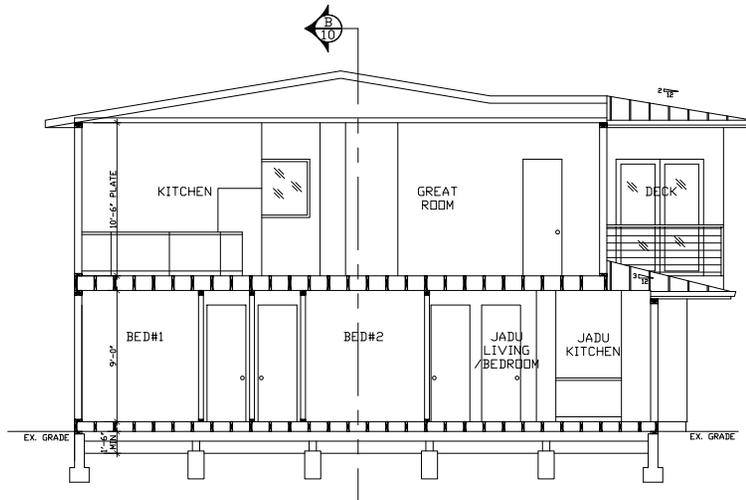
DRAWN: GG
 SCALE: 1/4" = 1'-0"
 JOB NO: BAYVIEW
 DATE: 09/30/25

SHEET
 A6
 OF # SHEETS



SECTION B

SCALE: 1/4"=1'-0"



SECTION A

SCALE: 1/4"=1'-0"

REVISIONS:	BY:

OWNER:
 STEVEN & PADDY GRAVES
 775 ESTATES DRIVE
 APTOS, CA 95003
 831-226-1210

GRAVES RESIDENCE
 206 BAYVIEW CT
 APTOS, CA 95003
 APN 042-225-27

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
 TEL: 831-226-1210
 EMAIL: gordon@ggpdp.com

SECTIONS

DRAWN: GG

SCALE: 1/4"=1'-0"

SCALE: BAYVIEW

DATE: 10/06/25

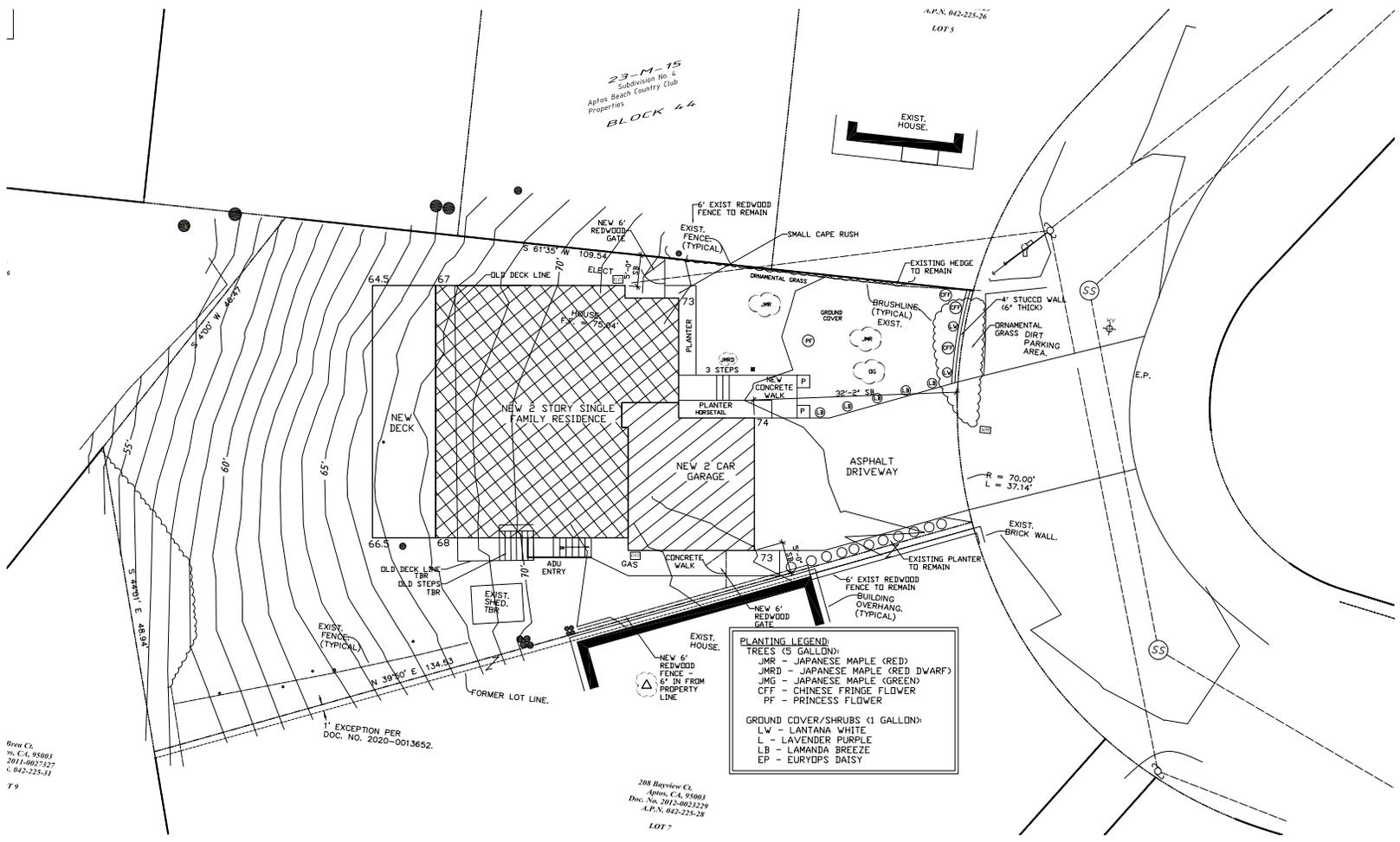
SHEET

A7

OF # SHEETS

NOTE:
 THE CAL GREEN MANDATORY REQUIREMENTS
 ARE LOCATED ON SHEET GB.1

Exhibit D



PLANTING LEGEND:

TREES (5 GALLON):
 JMR - JAPANESE MAPLE (RED)
 JMRD - JAPANESE MAPLE (RED DWARF)
 JMG - JAPANESE MAPLE (GREEN)
 CFF - CHINESE FRINGE FLOWER
 PF - PRINCESS FLOWER

GROUND COVER/SHRUBS (1 GALLON):
 LW - LANTANA WHITE
 L - LAVENDER PURPLE
 LB - LAMANDA BREEZE
 EP - EURYDPS DAISY

1. FINAL LANDSCAPE CONSTRUCTION DRAWINGS TO INCLUDE A DETAILED IRRIGATION PLAN, PLANTING & IRRIGATION DETAILS, AND SPECIFICATIONS.
2. EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
3. IRRIGATION - PLANTS WILL BE DRIP IRRIGATED AND DIFFERENT HYDROZONE AREAS WILL BE ON DIFFERENT VALVES. THE CONTROLLER WILL CHANGE THE VALVE RUN TIMES BASED ON CURRENT WEATHER AND SHUT OFF IRRIGATION DURING RAIN EVENTS. ALL APPLICABLE COUNTY WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS WILL BE FOLLOWED.

Drawn By:
 W. C. 95003
 2011-0027327
 1. 042-225-31
 79

REVISIONS:	BY:
△ 11/28/25	GG

OWNER:
 STEVEN & PADDY GRAVES
 775 ESTATES DR
 APTOS, CA 95003
 831-525-1218

GRAVES RESIDENCE
 206 BAYVIEW CT
 APTOS, CA 95003
 APN 042-225-27

GORDON GAZELEY
 HOME DESIGN AND PROJECT PLANNING
 112 C CURTOLA AVENUE, CARTEOLA, CALIFORNIA 95010
 EMAIL: gordon@gazeley.com



LANDSCAPE
 PLAN

DRAWN:	GG
SCALE:	1/8" = 1'-0"
JOB NO.:	BAYVIEW
DATE:	09/23/25
SHEET:	L1
OF # SHEETS:	26

SITE PLAN
 SCALE: 1/8"=1'-0" **Exhibit D**



ALL RIGHTS RESERVED BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA FOR CONSTRUCTION.

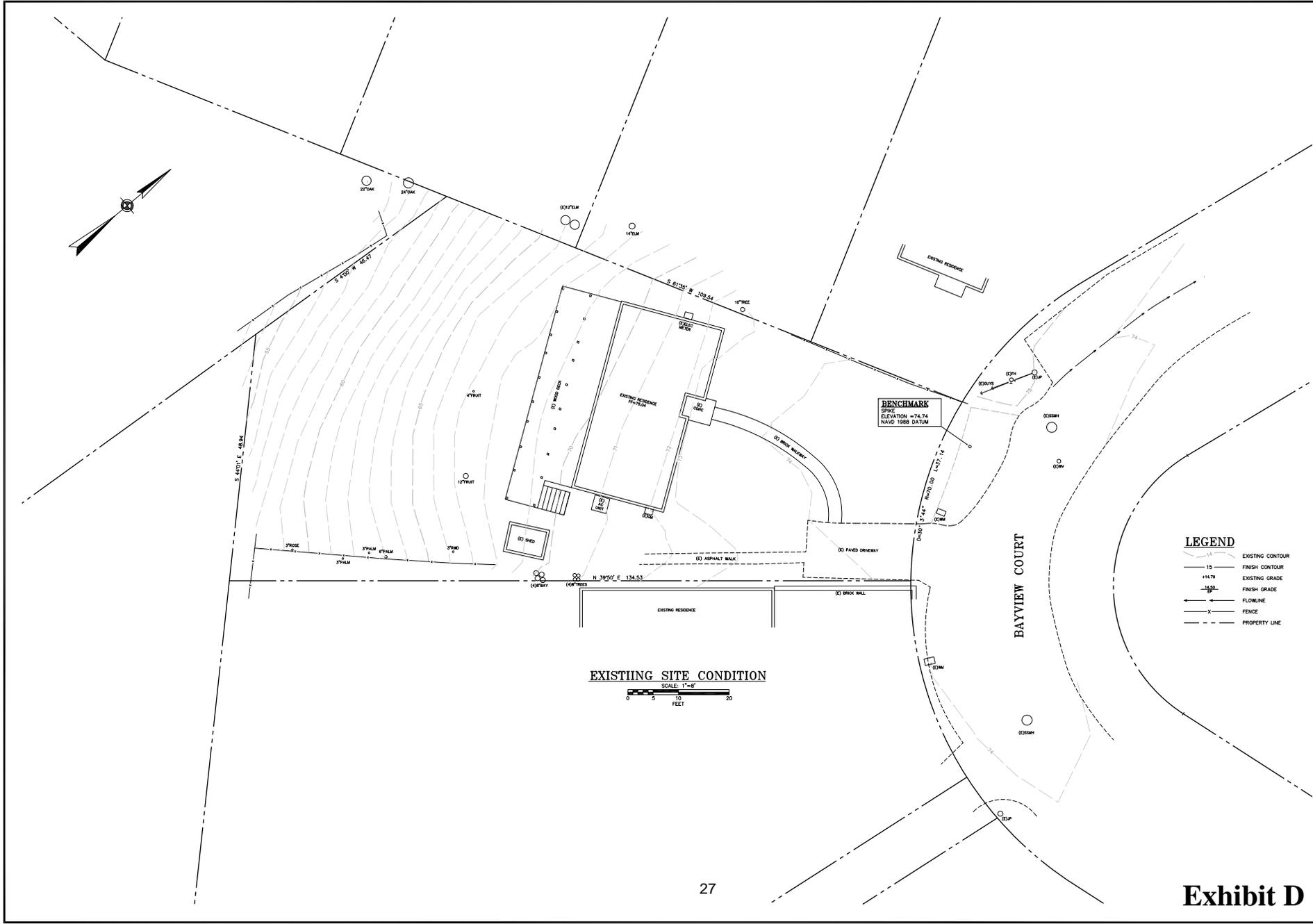
ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 WANN AVENUE CORRALITOS, CA 95076
(631) 724-5300 #rfe@roperengineering.com



NEW RESIDENCE FOR STEVEN GRADES
206 BAYVIEW COURT APTOS APRN 042-225-27
EXISTING SITE CONDITION

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: SEPT. 16, 2025
REVISED:
JOB NO.: 25049
SHEET

C1
OF 3 SHEETS



EXISTING SITE CONDITION
SCALE: 1"=8'
0 5 10 20 FEET

- LEGEND**
- 1- EXISTING CONTOUR
 - 15- FINISH CONTOUR
 - +14.78- EXISTING GRADE
 - 18.0- FINISH GRADE
 - FLOWLINE
 - X - FENCE
 - - - - PROPERTY LINE



INLET SIGNED BY THE ENGINEER. THIS PLAN IS FOR REFERENCE ONLY. THE OWNER SHALL BE RESPONSIBLE FOR THE USE OF THIS PLAN FOR CONSTRUCTION.

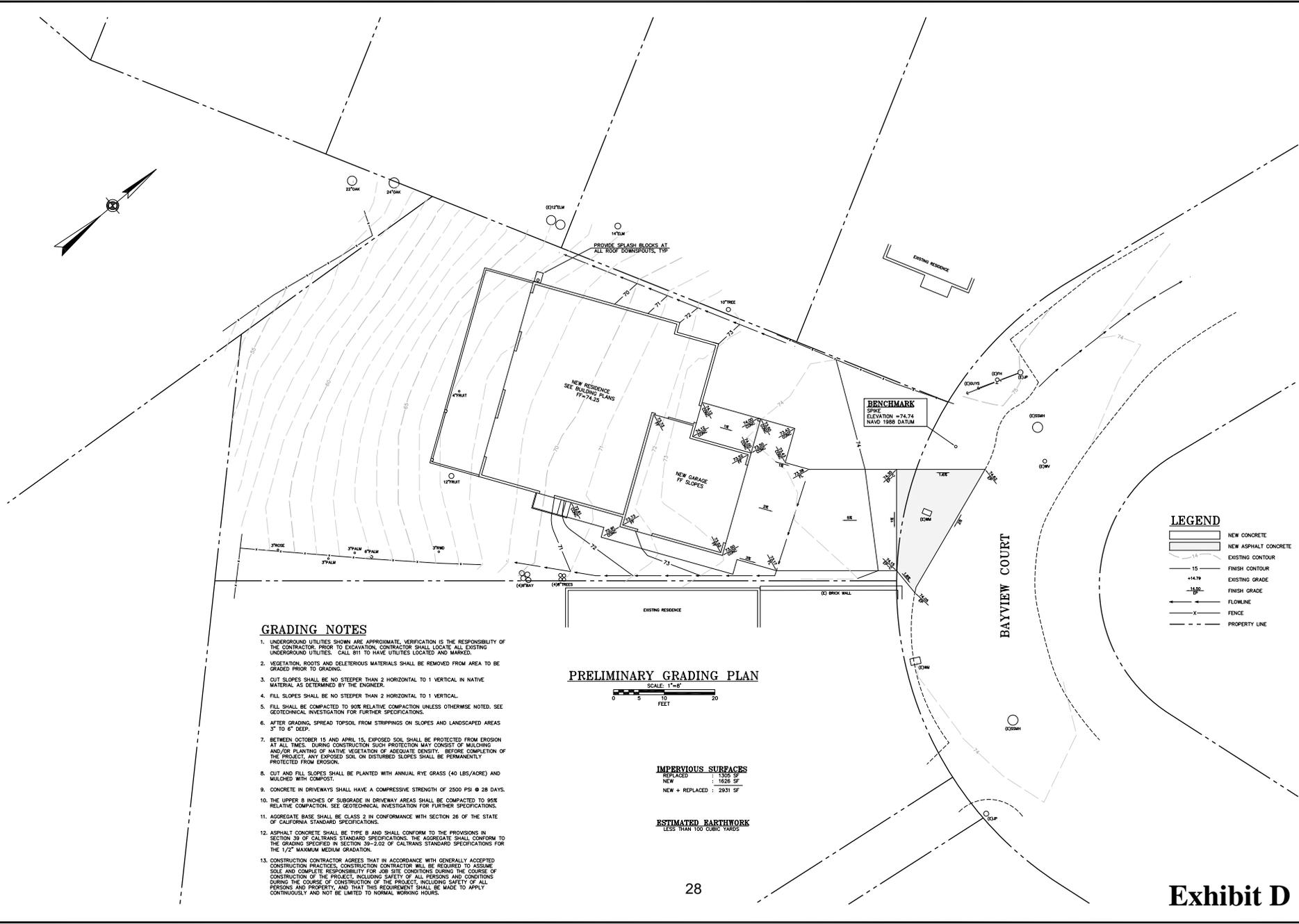
ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 MANN AVENUE CORRALITOS, CA 95076
(631) 724-5300 #rif@roperengineering.com



NEW RESIDENCE FOR STEVEN GRADES
206 BAYVIEW COURT APTOS APRN 042-225-27
PRELIMINARY GRADING PLAN

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: SEPT. 16, 2025
REVISED:
JOB NO.: 25049
SHEET

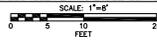
C2
OF 3 SHEETS



GRADING NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 6" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 39-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

PRELIMINARY GRADING PLAN



IMPERVIOUS SURFACES
REPLACED : 1355 SF
NEW : 1626 SF
NEW + REPLACED : 2981 SF

ESTIMATED EARTHWORK
LESS THAN 100 CUBIC YARDS

Electronically Redrawn 1/27/99 rw
 Rev. 5/17/01 mvm (changed page refs.)
 Rev. 4/29/02 mvm (st. name)
 Rev. 6/24/02 mvm (st. name)
 Rev. 10/17/03 mvm (cor. to st. name)
 Rev. 10/16/07 td (112RS4)
 Rev. 11/20/25 cjc (2024-0011461 3-22)

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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POR, APTOS RANCHO
 S. 1/2 SEC. 18, T.11S., R.1E., M.D.B. & M.

112M04
 8/17/2007

DR

Tax Area Code
 69-273

42-22

APTOS BEACH COUNTRY CLUB
 SUB. NO. 4 23M15 10/5/25
 SUB. NO. 6 23M35 9/20/26
 SUB. NO. 6 AMENDED 24M25 8/24/28
 SUB. NO. 7 24M24 8/24/28

Note - Assessor's Parcel & Block
 Numbers Shown in Circles

79M07
 9/9/1988

78M24
 3/22/1988

28PM33
 5/13/1985

Assessor's Map No. 42-22
 County of Santa Cruz, Calif.
 January, 1999

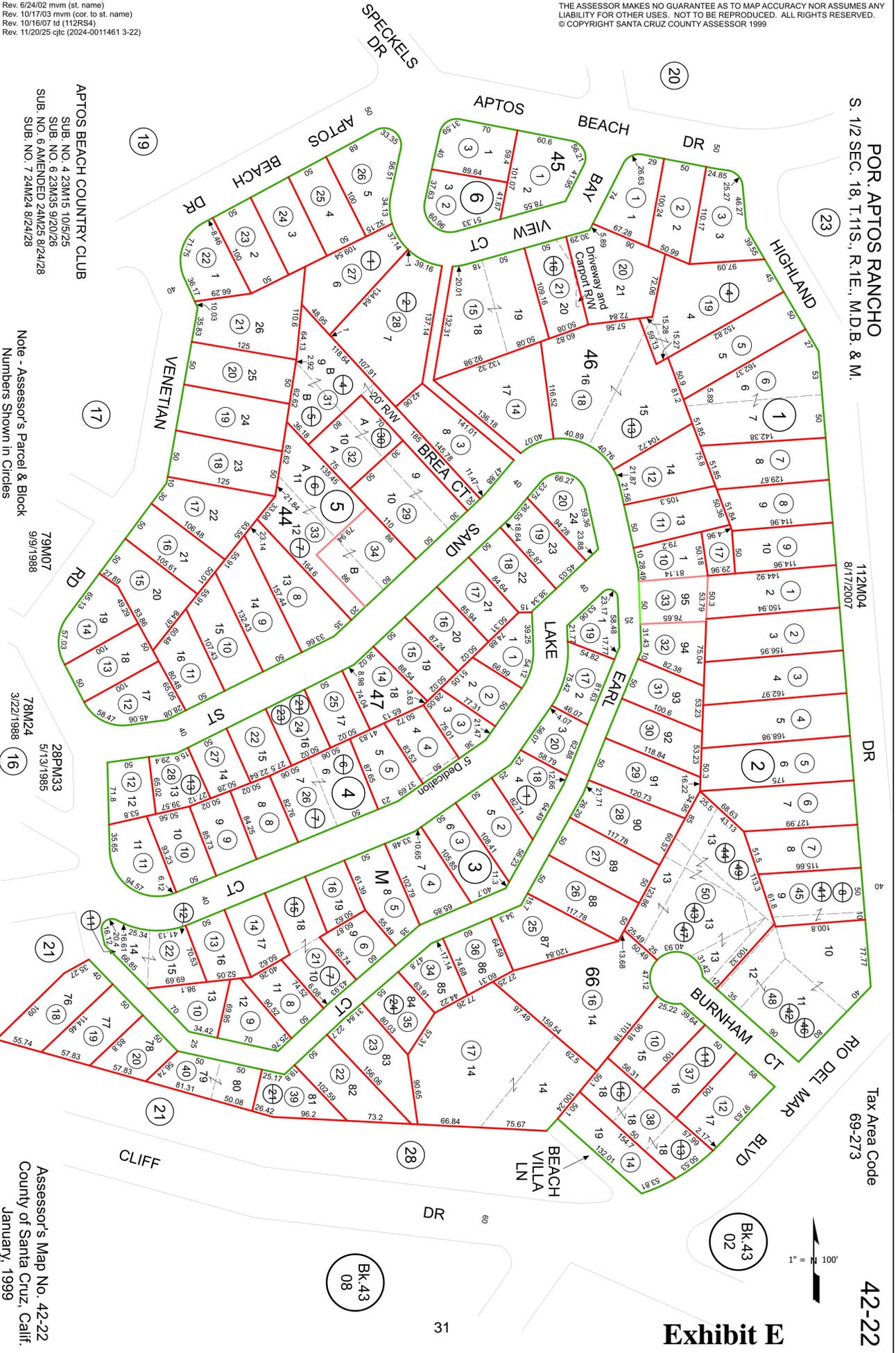
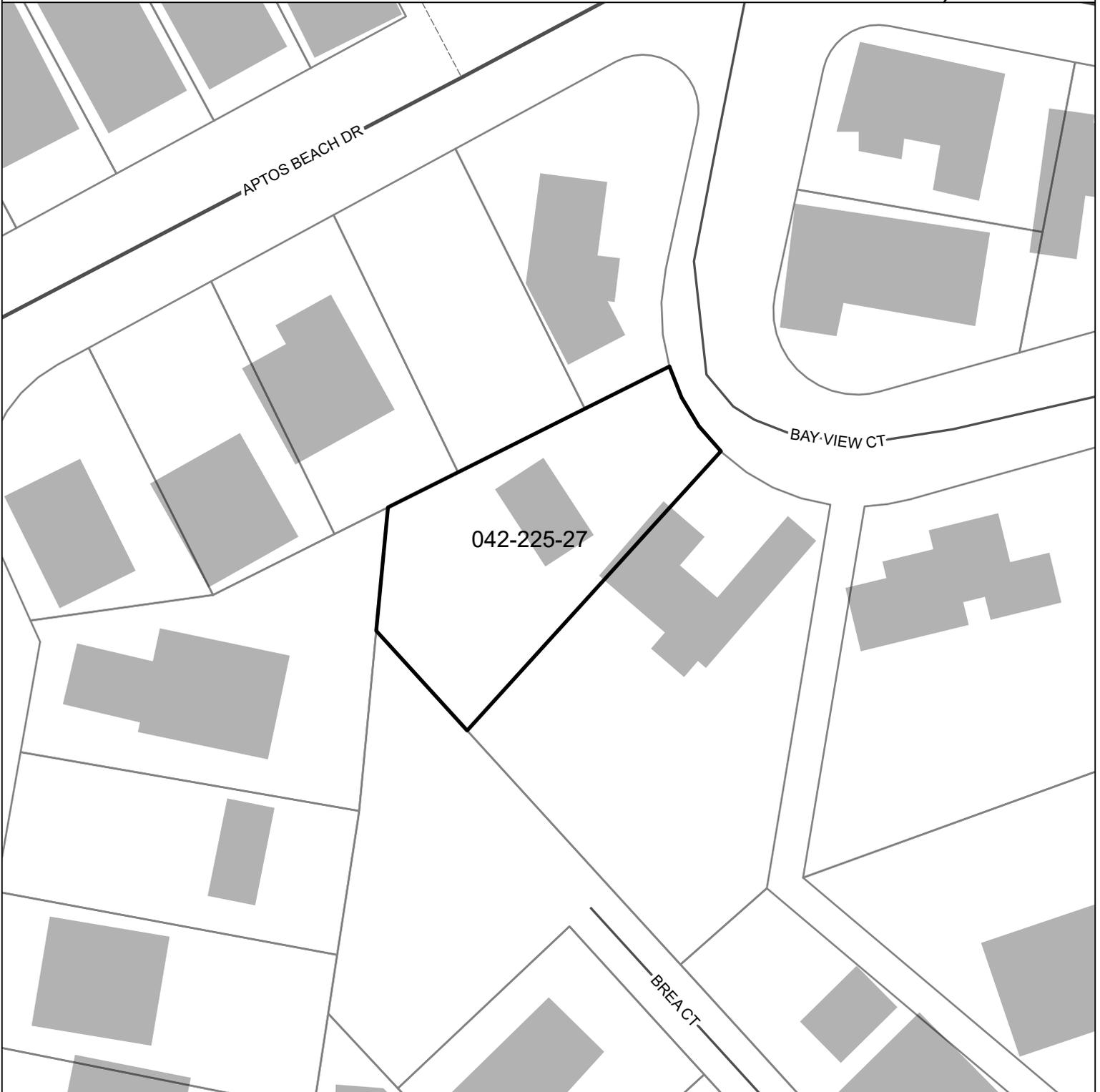
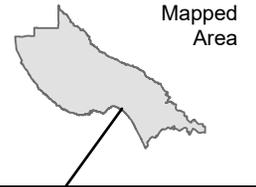


Exhibit E



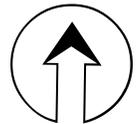
Parcel Location Map



Parcel: 04222527

Subject Parcel

Map printed: 26 Feb. 2026

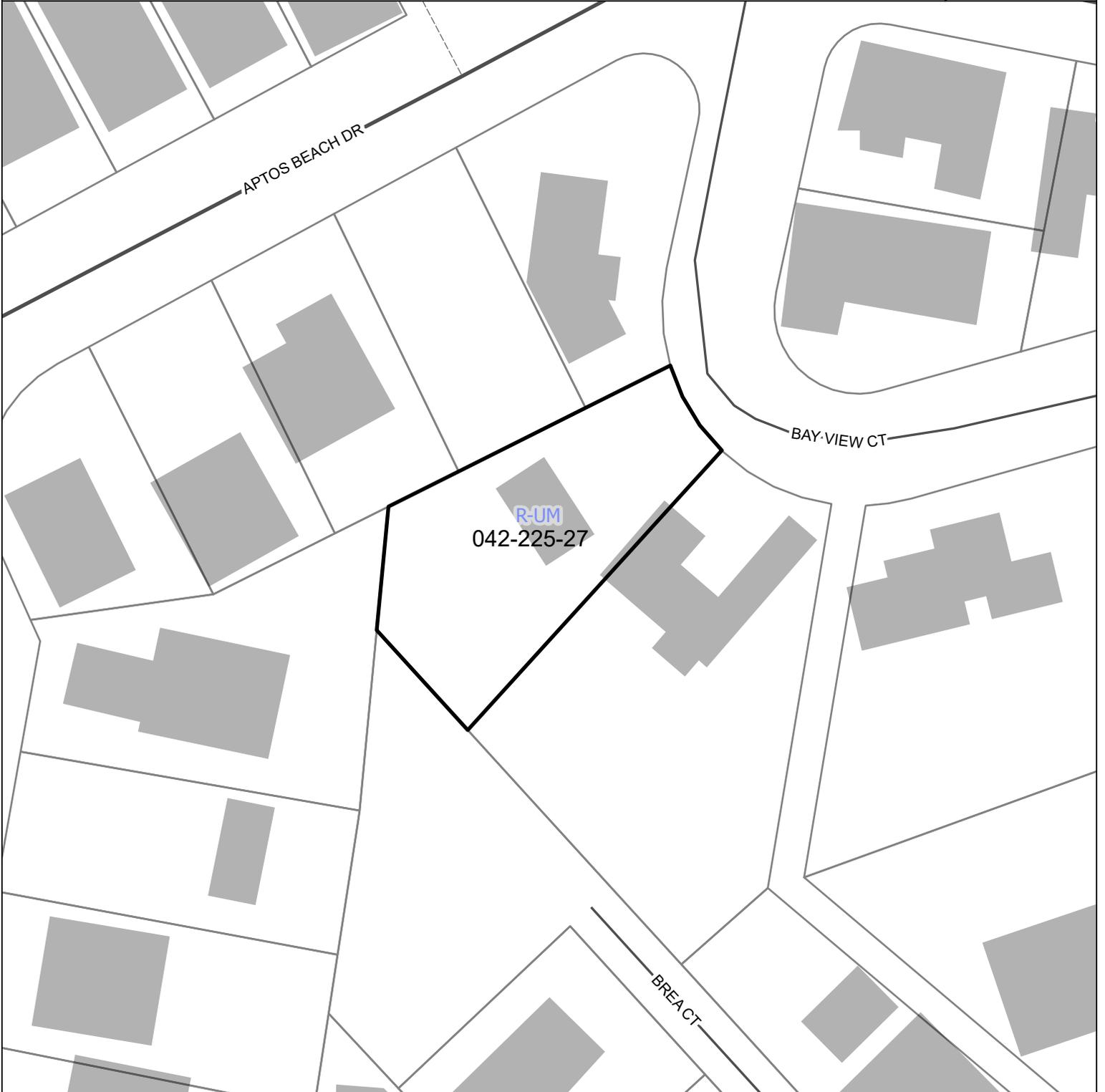
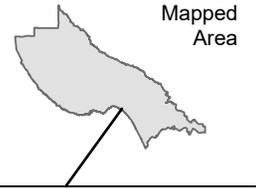


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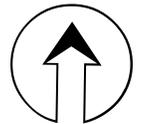
Exhibit E
Feet



Parcel General Plan Map



 Subject Parcel

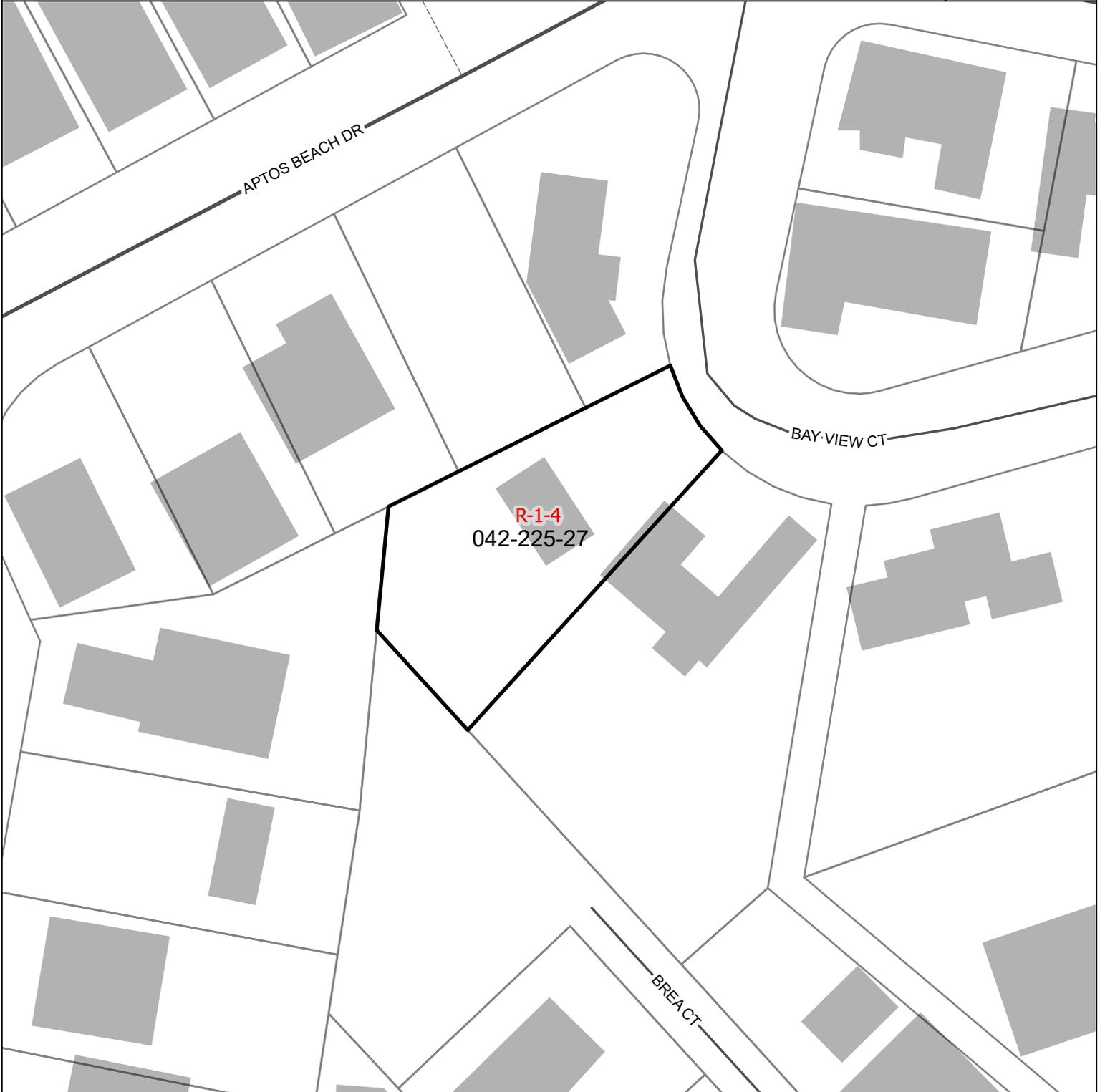
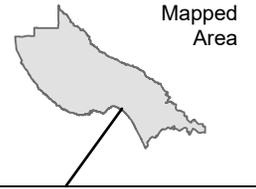


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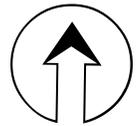
Exhibit E
Foot



Parcel Zoning Map



 Subject Parcel



0 25 50

Exhibit E
Feet

Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz Sanitation
Fire District: Central Fire Protection District
Drainage District: Flood Control District 6

Parcel Information

Parcel Size: 7,753 square feet
Existing Land Use - Parcel: residential
Existing Land Use - Surrounding: residential
Project Access: Bayview Court
Planning Area: Aptos
Land Use Designation: R-UM (Urban Residential - Medium Density)
Zone District: R-1-4 (Single Family Residential, 4,000 square foot minimum per dwelling)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm. Yes No

Technical Reviews: REV261001 – Soils Report Review (Not Accepted Yet)

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: Mapped constraint
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: A mapped resource
Archeology: Mapped/no resources anticipated