



Staff Report to the Zoning Administrator

Application Number: **241346**

Applicant: Dean Alexander

Agenda Date: March 20, 2026

Owner: Dean Alexander

Agenda Item #: 2

APN: 043-094-12

Time: After 9:00 a.m.

Site Address: 338 Kingsbury Drive, Aptos, CA 95003

Project Description: Proposal to demolish an existing attached 170 square-foot accessory structure and construct a 3.5-foot-tall safety railing in the area where the accessory structure is being removed. The project also includes installing 120 square feet of erosion control fabric on the coastal bluff, replacing approximately 400 square feet of decking, replacing the existing wood safety railing with a glass railing system, and replacing two exterior windows.

Location: Property is located on the southern side of Kingsbury Drive (338 Kingsbury Drive), approximately 550-feet southwest of the intersection of Cliff Drive and Kingsbury Drive in Aptos.

Permits Required: Coastal Development Permit

Supervisory District: 2nd District (District Supervisor: Kimberly De Serpa)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 241346, based on the attached findings and conditions.

Project Description & Setting

The subject property is approximately 7,500 square-feet in size and is developed with a single-family dwelling that was originally constructed in 1953. The site is also developed with approximately 900 square feet of outdoor deck area and an unpermitted 170-square-foot accessory structure attached to the single-family dwelling. The existing development is sited at the top of a coastal bluff overlooking Rio Del Mar Beach and the Pacific Ocean.

The applicant proposes to demolish the unpermitted accessory structure, replace 400 square-feet of decking in kind, and construct a 3.5-foot-tall safety railing in the area where the accessory structure is being removed. The project also includes installing 120 square-feet of erosion control fabric on the coastal bluff below the dwelling, replacing the existing wood safety railing with a glass railing system, and replacing two exterior windows.

A Coastal Development Permit is required because the project site is located within 50 feet of a

coastal blufftop edge and is in the General Plan's mapped scenic area.

Project Background

The subject property received a Notice of Violation from the County's Code Enforcement division for unpermitted construction requiring building and coastal development permits. The applicant is seeking approval of a coastal development permit prior to obtaining the required building permits to rectify the violations.

Zoning & General Plan Consistency

The subject property is a 7,500 square foot lot, located in the R-1-6 (Single-Family Residential; 6,000 square-foot minimum) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

Coastal Development Permit Compliance

The subject property is located within the mapped Coastal Zone Appeals Jurisdiction and the General Plan-designated Scenic Area. The proposed improvements are to an existing single-family dwelling located within 50 feet of a coastal bluff-top edge. Pursuant to Santa Cruz County Code 13.20.061(B), a Coastal Development Permit is required for exterior improvements to single-family dwellings within the Coastal Zone Appeals Jurisdiction and within 50 feet of a coastal bluff-top edge.

The proposed project includes removal an unpermitted accessory structure, replacement of approximately 400 square feet of decking, installation of safety railing along the deck perimeter, replacement of exterior windows and doors, and installation of erosion control fabric on the bluff.

Because the project requires a Coastal Development Permit, it must comply with the design criteria established in Santa Cruz County Code 13.20.130. This section establishes standards related to visual compatibility, site disturbance, ridgeline and blufftop development, landscaping, and the protection of scenic resources.

The proposed exterior improvements would be visually compatible with the surrounding development, as a majority of the work will not be visible by neighboring properties or public vantage points. Removal of the unpermitted accessory structure will reduce the overall amount of development on the coastal blufftop, thereby minimizing potential impacts to scenic resources. The existing deck and proposed safety railings are not visible from Kingsbury Drive and are located approximately 130 feet above the nearest public beach, Rio Del Mar Beach. Additionally, several nearby dwellings incorporate similar glass safety railings.

Geologic Hazards Ordinance Compliance

Santa Cruz County Code (SCCC) 16.10 sets forth regulations and review procedures for development and construction activities within mapped geologic hazard areas. The project site is located on a coastal bluff and within the 50-foot buffer zone; therefore, subject to the regulations in SCCC 16.10. To determine whether the project would be considered 'development' under

SCCC 16.10, the project was evaluated for 'reconstruction'. If the proposed work exceeds the allowed thresholds set forth in County Code, the structure is required to comply with the Geologic Hazards Ordinance which may require a permit amendment or project redesign.

Due to the parcel's location on and within the coastal bluff 50' buffer, a modification worksheet is required to evaluate whether 65% or more of the major structural components are proposed to be replaced. Structural modifications are evaluated based on four major structural components (roof framing, exterior wall framing, floor framing, and foundation); each component is given a weighted value that was established by a policy adopted by the County Board of Supervisors. The proposed exterior improvements would result in zero percent modification of major structural components; therefore, a modification worksheet was not required.

The proposed improvements would not constitute 'reconstruction' pursuant to County Code 16.10.040; therefore, the proposed project is not subject to additional Geologic Hazard Ordinance requirements. Additionally, the project is not proposing to add any additional square-footage, therefore, the project would not increase the number of people exposed to geologic hazards affecting the project site.

Local Coastal Program Consistency

The existing single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The parcels along Kingbury Drive are developed with single family dwellings that vary in size and architectural style. The proposed improvements will not change the exterior appearance of the dwelling and will remain visually compatible with surrounding development. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **241346**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Michael Lam
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3371
E-mail: Michael.Lam@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 241346
Assessor Parcel Number: 043-094-12
Project Location: 338 Kingsbury Drive, Aptos, CA 95003

Project Description: Proposal to demolish an existing attached 170 square-foot accessory structure and construct a 3.5-foot-tall safety railing in the area where the accessory structure is being removed. The project also includes installing 120 square feet of erosion control fabric on the coastal bluff, replacing approximately 400 square feet of decking, replacing the existing wood safety railing with a glass railing system, and replacing two exterior windows.

Person or Agency Proposing Project: Dean Alexander

Contact Phone Number: (559) 250-1280

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301)

F. Reasons why the project is exempt:

Demolition and removal of an accessory structure appurtenant to an existing single-family dwelling; replacement of existing deck and safety railing that involves no expansion of the existing use.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Michael Lam, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6 (Single-Family Residential; 6,000 square-foot minimum), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; and the colors will be natural in appearance and complementary to the site. Although the development site is on a bluff top, the accessory structure proposed for demolition will reduce any potential impacts to scenic resources by minimizing the amount of development on the coastal bluff top.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at the base of the coastal bluff at Rio Del Mar Beach.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6 (Single-Family Residential; 6,000 square-foot minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the existing design is consistent with the pattern of development within the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, improvements to the single family dwelling will not interfere with

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public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

(G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the location of the existing single family dwelling and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-6 (Single-Family Residential; 6,000 square-foot minimum) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed improvements to the existing single family dwelling will not add any residential units on the existing developed lot. The expected level of traffic

generated by the proposed project is not anticipated to increase beyond the existing 1 peak trip per day (1 peak trip per dwelling unit). The proposed improvements will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed improvements to the existing single family dwelling are consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

- (b) **Design.** The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed single family dwelling is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

Conditions of Approval

Exhibit D: Project plans, prepared by Dean Alexander, dated 02/13/2026.

- I. This permit authorizes the removal of a 170 square-foot accessory structure and construction of various improvements to the existing single family dwelling, including 120 square-feet of erosion control fabric on the coastal bluff, replacing approximately 400 square feet of decking, replacing the existing wood safety railing with a glass railing system, and replacing two exterior windows, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
 3. Grading, drainage, and erosion control plans.

4. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
 - C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to

and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

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Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

Scope of Work

Moving Interior Non-Bearing Walls, Kitchen Remodel, Install New 1/2 Bathroom (Toilet & Sink) Install & Relocate Electrical Lines, Install New HVAC System, Replacing Electric Hot Water Heater, Replace 2 Exterior Sliding Glass Doors. **The Sliding Glass Doors Replacements will have no change in Size - The Opening Dimensions of the Sliding Glass Doors Remain the Same. No change of sliding glass door sizing within exterior walls will occur for the Sliding Glass Doors Replacement.**

Demolition of out building walls and roofing. Repair 400 square feet decking with 2X6 redwood planks. Install 42" high deck railing at the location of soon to be demolish out building. The deck railing will consist of 2X4 inch wood studs with Hardie Fiber Cement Board Siding on both sides and have viewing windows. Replace 100 feet of deck railing with 42" high - 1/4" thick temper glass. Metal or wood support post will be associated with the glass railing 54" on center maximum. Replace 2 exterior windows on the primary residence. Place erosional fabric on a 20 foot wide section of the coastal bluff approximately 5 to 6 feet high. The Erosional fabric will cover approximately 120 square feet of the bluff

Note 1

Note 16

THIS PROJECT SHALL COMPLY WITH
2022 CALIFORNIA RESIDENTIAL BUILDING CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE – CHAPTER 4 MANDATORY MEASURES
SANTA CRUZ COUNTY AMENDMENTS (107.2 CBC)

Building Area to be Remodel = 400 sq.ft.

Note 2

Lot Size - 7,503 Square Feet
 Floor Area of Primary Resident is 814 Square Feet
 Floor Area of Out Building is 160 Square Feet
 Lot Coverage = 10.9% for Primary Residence
 Lot Coverage = 13% for Primary Residence and Out Building

Note 3

GENERAL NOTES

Occupancy Classification - R-3
 Building Construction Type – Type V-B
 Building – Non-Sprinklered

Note 4

The proposed building construction are compliance with Title 24 and Cheers Compliance Documents are on Sheets A9.1 & A10.1

Note 5

A minimum of 65% of the construction and demolition waste shall be recycled, reused on the project, or salvaged for later use or sale

Note 6

An operation and maintenance manual will be provided to the building owner at the completion of the project.

Note 7

All Ducts will need to be covered during construction

Note 8

All appliances will be located with respect to building construction and other equipment so as to permit access to the appliance. [NFPA 54:9.2.1] Unless otherwise specified, not less than 30 inches in depth, width, and height of working space shall be provided. (CMC 304.1)

Note 9

New appliances (installed as part of this remodel) shall be Energy Star appliances per Santa Cruz County Code 4.201.1.2.

Note 10

Smoke detectors to be located in each sleeping room and smoke and CO alarms to be located outside each sleeping area.

Note 11

New Windows and Doors installed will meet the following Code Requirements:
 a) Tested and labeled to comply with the AAMA standards per CRC, Sec 609.3
 b) Safety Glazing testing and labeling per CRC, Sections 308.1 & 308.4
 c) Energy testing and certification per CEnc, Sec 110.6

Note 12

No.	Type	Width	Height
A	Dual Pane Window	24"	36"
B	Dual Pane Window	60"	24"
C	Dual Pane Sliding Door	64"	72"
D	Dual Pane Sliding Door	64"	80"

Note: Sliding Glass Doors Replacements will have no change in Size - The Opening Dimensions Remain the Same. Windows are larger than original. Coastal Development Permit 241346 has been submitted.

Note 13

Insulation meeting the mandatory feature requirements in the California Energy Code shall be installed at ceilings, walls, floors and water pipes, when these areas are exposed during remodeling. [§12.10.250(B)2 SCCC]

Note 14

Note 17

ELECTRICAL NOTES

A minimum of two 20-amp small appliance branch circuits to be installed to serve countertop and wall receptacles in the kitchen. No built-in appliances will be placed on these circuits. Individual (dedicated) circuits will be installed for garbage disposals, microwaves, compactors, and dishwashers.

Note 18

ALL new or replaced lighting must be high efficacy.

Note 19

One luminaire in the bathrooms will be controlled by a vacancy sensor

Note 20

The only new lighting and/or controls will be installed within the new 1/2 bathroom. No new lighting will be installed within the remainder of the building

Note 21

JA8 marking is required for the following:

--All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.0(k)1.C.

--GU-24 sockets containing LED light sources. A GU24 lamp fitting is a two-pin connector for compact fluorescent lamps (CFL) or LED lamps that uses a bayonet mount-like twist-lock two-pin connector instead of an Edison screw fitting.

--Any light source not otherwise listed above and certified to the Commission as complying with Joint Appendix 8.

Note 22

PLUMBING NOTES

New plumbing fixtures will have the following flow rates. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Shower heads shall have a maximum flow rate of 1.8 gpm at 80 psi. Lavatory faucets shall have a maximum flow rate of 1.2 gpm at 60 psi, but not less than 0.8 at 20 psi. Kitchen faucets shall have a maximum flow rate of 1.8 gpm at 60 psi, but may have a temporary flow rate of 2.2 gpm at 60 psi and default to 1.8 gpm at 60 psi. (4.303)

Note 23

Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches (50 mm) in diameter. Insulation wall thickness shall be not less than 2 inches (51 mm) for a pipe of 2 inches (50 mm) or more in diameter.

Note 24

HVAC NOTES

Heating and/or air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1). The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software or methods.
- 2). Duct systems are sized according to ACCA 29-D Manual D, ASHRAE handbooks or other equivalent design software or methods.
- 3). Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods.

TABLE 4.504.1 - ADHESIVE VOC LIMIT ^{1,2}	
(Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	65
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

Note 26

Energy Compliance

Items Requiring HERS Certification

HVAC - HEAT PUMPS

Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification	
			Heating Efficiency Type	HSPF/HIS P2/COP	Cap 47	Cap 17	Cooling Efficiency Type	SEER/SEER2				EER/CEER
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF2	7.5	24000	18000	EER2SEER2	14.3	11.7	Not Zonal	Single Speed	Heat Pump System 1-hers-hpump
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17				
Heat Pump System 1-hers-hpump	Not Required	0	Not Required	Not Required	No	NO	Yes	Yes				

Local Exhaust Kitchen Fan via Range hood shall discharge to the outdoors through a duct on exterior wall with a minimum of 180 CFM and shall be Field Verified

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3}	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS ¹	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

Project Title

ALEXANDER RESIDENCE
 338 Kingsbury Drive
 Aptos, CA 95003
 APN # 043-094-12

RESIDENCE IMPROVEMENT PLAN

COVER SHEET PROJECT NOTES

Proj. No. 42-22024
 Date 01-06-25
 Drawn DLA
 Checked ct
 File No. GSA-A2-1.dwg
 Revisions

Rev. Date 01-06-25
 Rev. Date 03-07-25
 Rev. Date 02-13-26



Sheet No.

C1.1

Exhibit D

Erosional Fabric Specifications



Enkamat R45
High Performance Turf Reinforcement Mat

Technical Data

Enkamat R45 incorporates a unique manufacturing process that integrates a high tenacity polyester geogrid within thermally fused and entangled, three-dimensional nylon monofilaments to create a homogeneous, high performance turf reinforcement mat (HP-TRM). Enkamat R45 is manufactured from nylon and polyester to eliminate buoyancy factors associated with submerged conditions and does not contain any loose nettings, fibers or stitching threads that could endanger wildlife, entangle mowing equipment or contaminate the environment.

- Permanent erosion control for vegetated channels, canals, banks, shorelines and levees with expected shear stresses ≤ 20 psf.
- Permanent erosion control for moderate to steep slopes (≤ 0.25H:1V).
- Substrate for hydraulically applied Flexible Growth Medium™ (FGM) and Bonded Fiber

Mechanical Properties	Test Method	Units	Typical Roll Value	
			MARV MD	MARV CD
Ultimate Tensile Strength	ASTM D6818	kN/m (lb/ft)	45 (3000)	45 (3000)
Tensile Strength @ 2% Strain	ASTM D6818	kN/m (lb/ft)	6.5 (450)	6.5 (450)
Thickness	ASTM D6525	mm (in)	19.0 (0.75)	
Mass/Unit Area (TRM+Grid)	ASTM D6566	g/m ² (oz/yd ²)	544 (16)	
UV Stability at 2000 hours	ASTM D4355	%	80	
Resiliency	ASTM D6524	%	80	

Performance Properties	Test Method	Units	Value
Permissible Velocity			
30 minute, unvegetated	Flume test ¹	m/s (ft/s)	4.9 (16)
60 minute, vegetated	Flume test ¹	m/s (ft/s)	6.1 (30)
50 hour, vegetated	Flume test ¹	m/s (ft/s)	4.2 (14)
Permissible Shear Stress			
30 minute, unvegetated	Flume test ¹	kN/m ² (lb/ft ²)	0.28 (5.8)
60 minute, vegetated	Flume test ¹	kN/m ² (lb/ft ²)	0.96 (20.0)
50 hour, vegetated	Flume test ¹	kN/m ² (lb/ft ²)	0.48 (10.0)
Manning's n Range ²	Flume test ¹	()	0.025 — 0.045

¹ Flume test performed at independent large scale laboratory - data and details available upon request.
² Depending on vegetation type and height, use engineering field experience and maintain a range of Manning's n values during design.

Physical Properties	Units	Nominal Value
Dimensions (width x length)	m (ft)	2.44 x 27.4 (8.0 x 90)
Roll Area	m ² (yd ²)	66.9 (80.0)
Estimated Roll Diameter	m (in)	0.6 (24)
Estimated Roll Weight	kg (lb)	36 (80)
Color	Observed	Black

Project Title

ALEXANDER RESIDENCE
338 Kingsbury Drive
Aptos, CA 95003
APN # 043-094-12

**RESIDENCE
IMPROVEMENT
PLAN**

**COVER SHEET #2
ENKAMAT SPECS**

Proj. No. 42-22024

Date 01-06-25

Drawn DLA

Checked CT

File No. APTOS-C2-1.dwg

Revisions

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Rev. Date 3-7-25

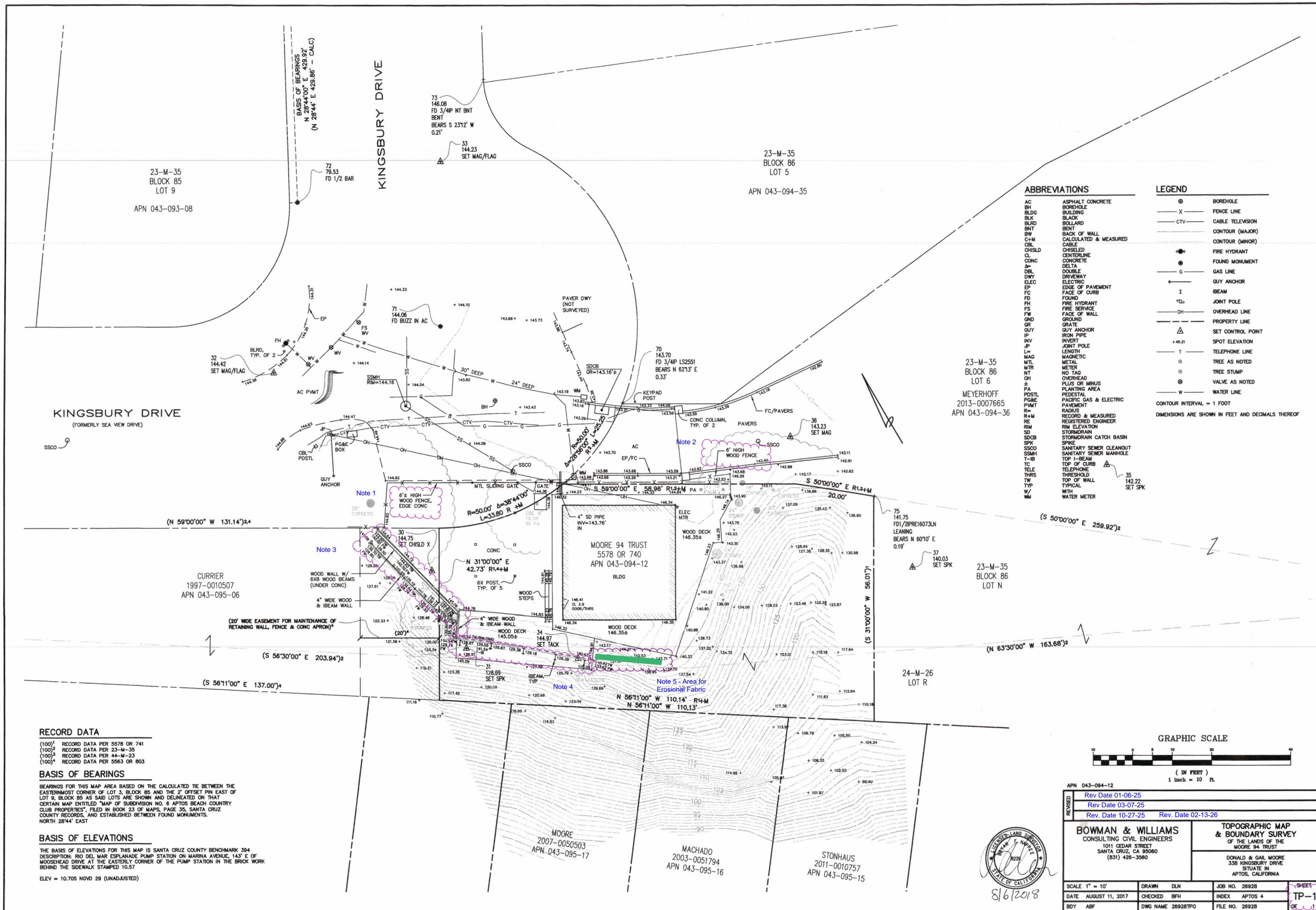
Rev. Date 10-27-25

Rev. Date 02-13-26



Sheet No.

C2.1



ABBREVIATIONS

AC	ASPHALT CONCRETE
BH	BOREHOLE
BLDG	BUILDING
BLK	BLACK
BLRD	BOLLARD
BNT	BENT
BW	BACK OF WALL
C+M	CALCULATED & MEASURED
CBL	CABLE
CHISLD	CHISELED
CL	CENTERLINE
CONC	CONCRETE
Δ	DELTA
DBL DWY	DOUBLE DRIVEWAY
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
FC	FACE OF CURB
FD	FOUND
FH	FIRE HYDRANT
FS	FIRE SERVICE
FW	FACE OF WALL
GND	GROUND
GR	GRATE
GUY ANCHOR	GUY ANCHOR
IP	IRON PIPE
INV	INVERT
JP	JOINT POLE
L	LENGTH
MAG	MAGNETIC
MTR	METER
NT	NO TAG
OH	OVERHEAD
±	PLUS OR MINUS
PA	PLANTING AREA
PG&E	PACIFIC GAS & ELECTRIC
PMT	PAVEMENT
R+M	RECORDED & MEASURED REGISTERED ENGINEER
RE	REGISTERED ENGINEER
RM	RM ELEVATION
SD	STORMDRAIN
SDCB	STORMDRAIN CATCH BASIN
SPK	SPK
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
T-IB	TOP I-BEAM
TC	TOP OF CURB
TELE	TELEPHONE
THRS	THRESHOLD
TW	TYPICAL
W	WITH
WM	WATER METER

LEGEND

⊕	BOREHOLE
— X —	FENCE LINE
— CTV —	CABLE TELEVISION
---	CONTOUR (MAJOR)
---	CONTOUR (MINOR)
⊕	FIRE HYDRANT
⊙	FOUND MONUMENT
— G —	GAS LINE
— I —	GUY ANCHOR
— J —	JOINT POLE
— OH —	OVERHEAD LINE
---	PROPERTY LINE
Δ	SET CONTROL POINT
+48.21	SPOT ELEVATION
— T —	TELEPHONE LINE
⊙	TREE AS NOTED
⊙	TREE STUMP
⊕	VALVE AS NOTED
— W —	WATER LINE

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

23-M-35
BLOCK 86
LOT 6
MEYERHOFF
2013-0007665
APN 043-094-36

23-M-35
BLOCK 86
LOT N

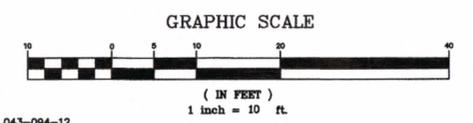
24-M-26
LOT R

MOORE 94 TRUST
5578 OR 740
APN 043-094-12
BLDG

RECORD DATA
(100)¹ RECORD DATA PER 5578 OR 741
(100)² RECORD DATA PER 23-M-35
(100)³ RECORD DATA PER 44-M-23
(100)⁴ RECORD DATA PER 5563 OR 803

BASIS OF BEARINGS
BEARINGS FOR THIS MAP AREA BASED ON THE CALCULATED TIE BETWEEN THE EASTERNMOST CORNER OF LOT 3, BLOCK 85 AND THE 2' OFFSET PIN EAST OF LOT 9, BLOCK 85 AS SAID LOTS ARE SHOWN AND DELINEATED ON THAT CERTAIN MAP ENTITLED "MAP OF SUBDIVISION NO. 6 APTOS BEACH COUNTRY CLUB PROPERTIES", FILED IN BOOK 23 OF MAPS, PAGE 35, SANTA CRUZ COUNTY RECORDS, AND ESTABLISHED BETWEEN FOUND MONUMENTS. NORTH 28°44' EAST

BASIS OF ELEVATIONS
THE BASIS OF ELEVATIONS FOR THIS MAP IS SANTA CRUZ COUNTY BENCHMARK 394 DESCRIPTION: RIO DEL MAR ESPLANADE PUMP STATION ON MARINA AVENUE, 143' E OF MOOSEHEAD DRIVE AT THE EASTERLY CORNER OF THE PUMP STATION IN THE BRICK WORK BEHIND THE SIDEWALK STAMPED 10.57
ELEV = 10.705 NGVD 29 (UNADJUSTED)



APN 043-094-12				
Rev Date 01-06-25				
Rev Date 03-07-25				
Rev Date 10-27-25				
Rev Date 02-13-26				
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3580	TOPOGRAPHIC MAP & BOUNDARY SURVEY OF THE LANDS OF THE MOORE 94 TRUST DONALD & GAIL MOORE 338 KINGSBURY DRIVE SITUATE IN APTOS, CALIFORNIA			
		SCALE 1" = 10'		
DATE AUGUST 11, 2017	CHECKED BFW	JOB NO. 26928	INDEX APTOS 4	SHEET TP-1 OF 1
BDY ABF	DWG NAME 26928TPO	FILE NO. 26928	OF 1	

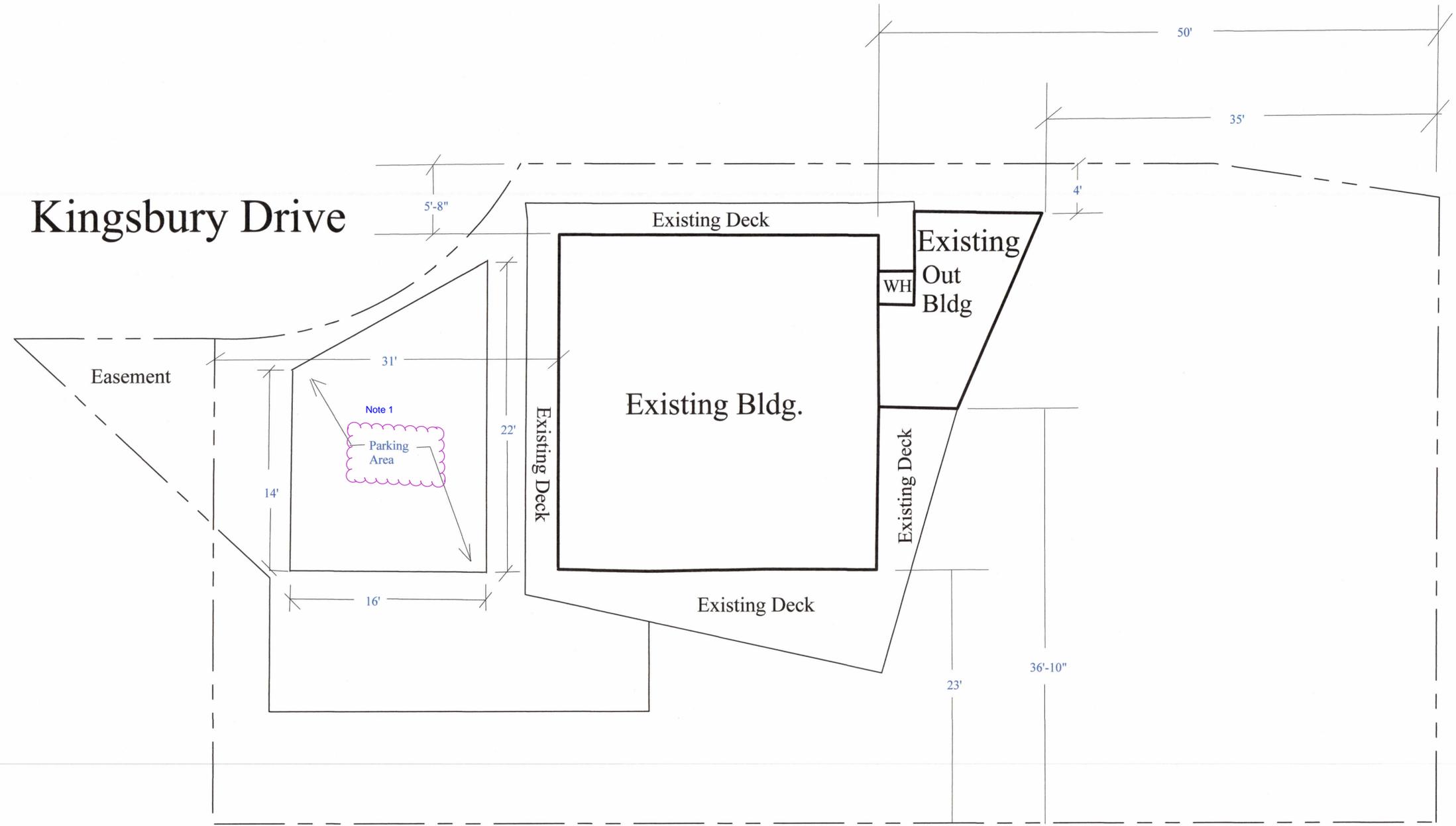


MOORE
2007-0050503
APN 043-095-17

MACHADO
2003-0051794
APN 043-095-16

STONHAUS
2011-0010757
APN 043-095-15

8/6/2018



SITE PLAN - 338 KINGSBURY DRIVE

APN # 043-094-12



SITE PLAN
1" = 5'

Project Title

ALEXANDER RESIDENCE
338 Kingsbury Drive
Aptos, CA 95003
APN # 043-094-12

RESIDENCE
IMPROVEMENT
PLAN

SITE PLAN

Proj. No.	42-22024
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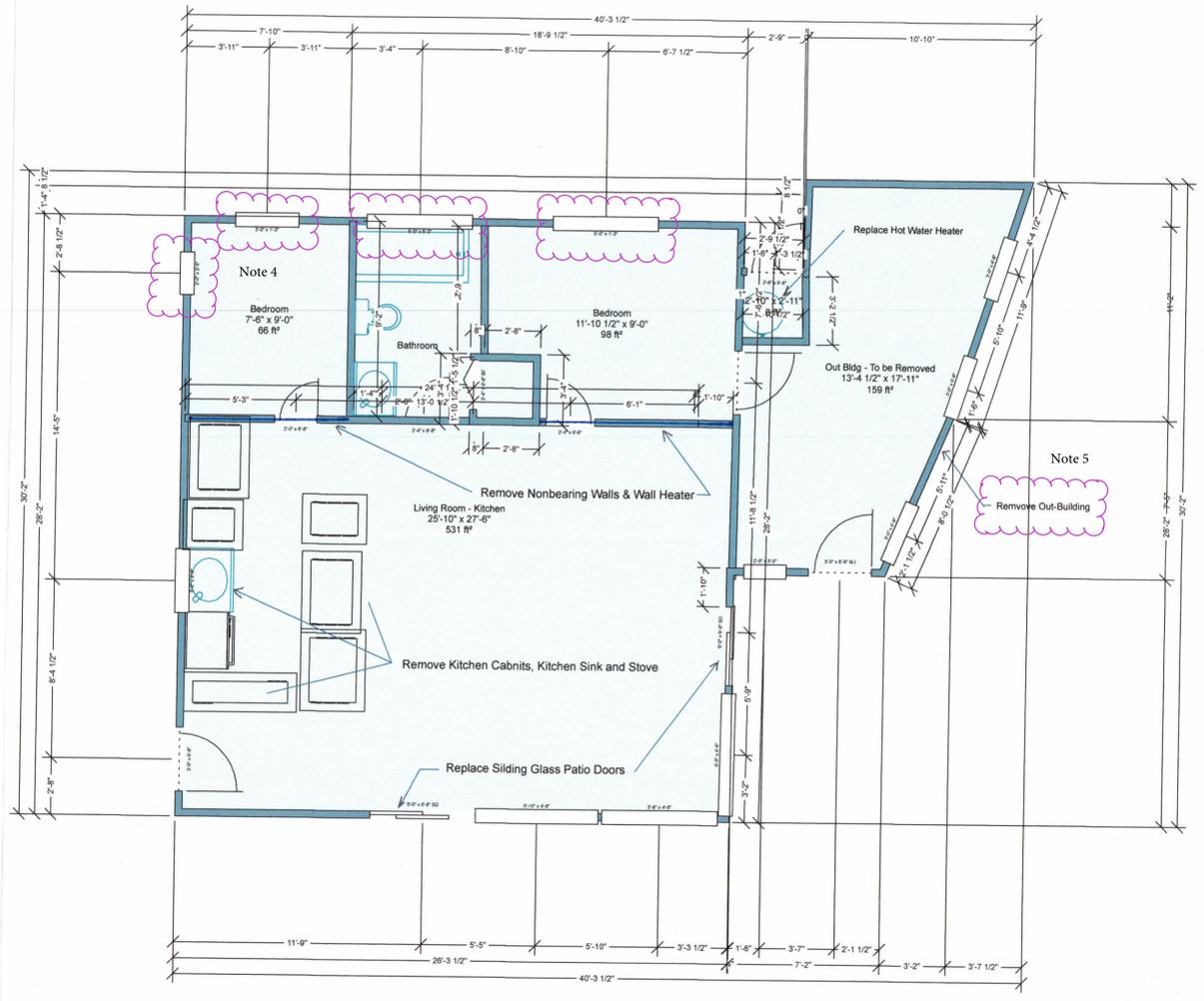
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Rev. Date 10-27-25
Rev. Date 02-13-26



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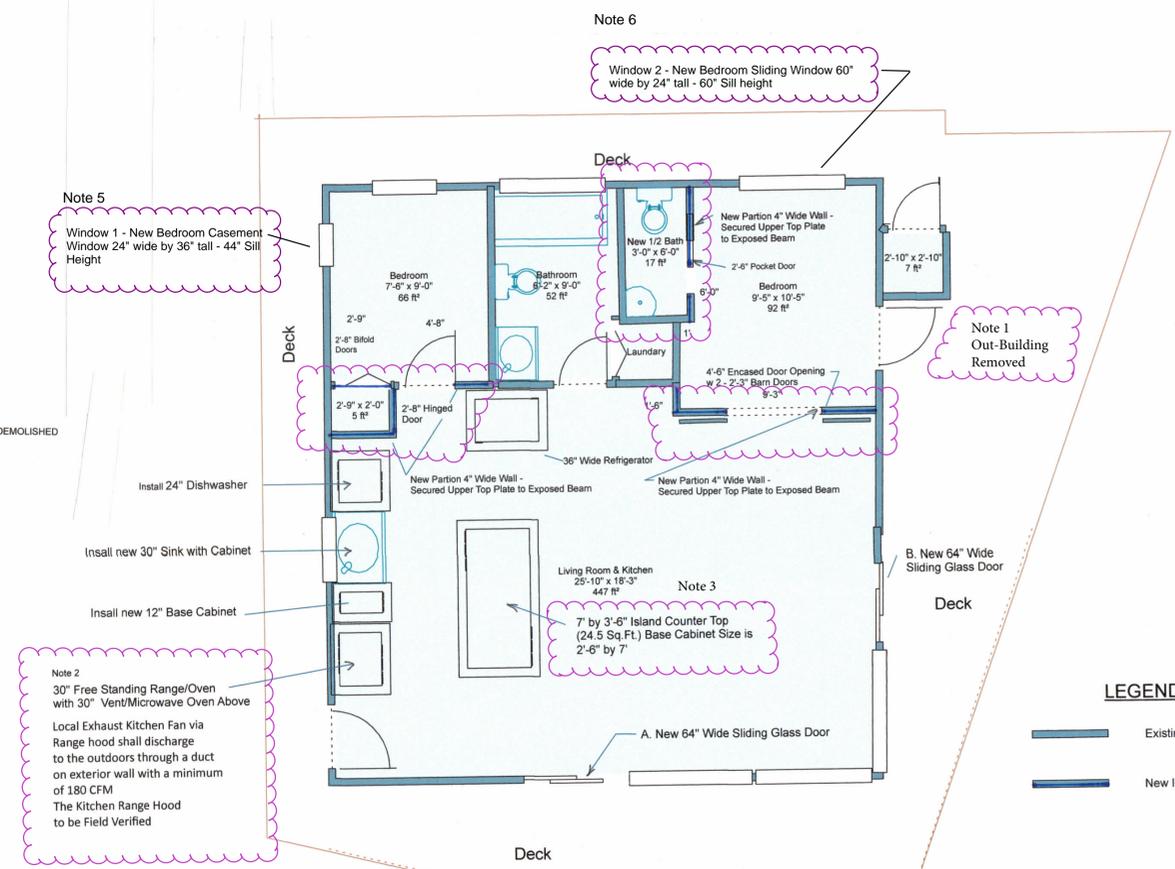
Exhibit D



Note: The Structure has Exposed Ceiling with Support Roof Beams. Ceiling and Roof Beams are not Supported by Interior Walls. Interior Walls to be removed are Non Bearing



Primary Residence Demolition Plan



Note 5
Window 1 - New Bedroom Casement Window 24" wide by 36" tall - 44" Sill Height

Note 6
Window 2 - New Bedroom Sliding Window 60" wide by 24" tall - 60" Sill Height

Note 1
Out-Building Removed

Note 2
30" Free Standing Range/Oven with 30" Vent/Microwave Oven Above
Local Exhaust Kitchen Fan via Range hood shall discharge to the outdoors through a duct on exterior wall with a minimum of 180 CFM
The Kitchen Range Hood to be Field Verified

Note 3
7' by 3'-6" Island Counter Top (24.5 Sq.Ft.) Base Cabinet Size is 2'-6" by 7'



Primary Residence New Floor Plan

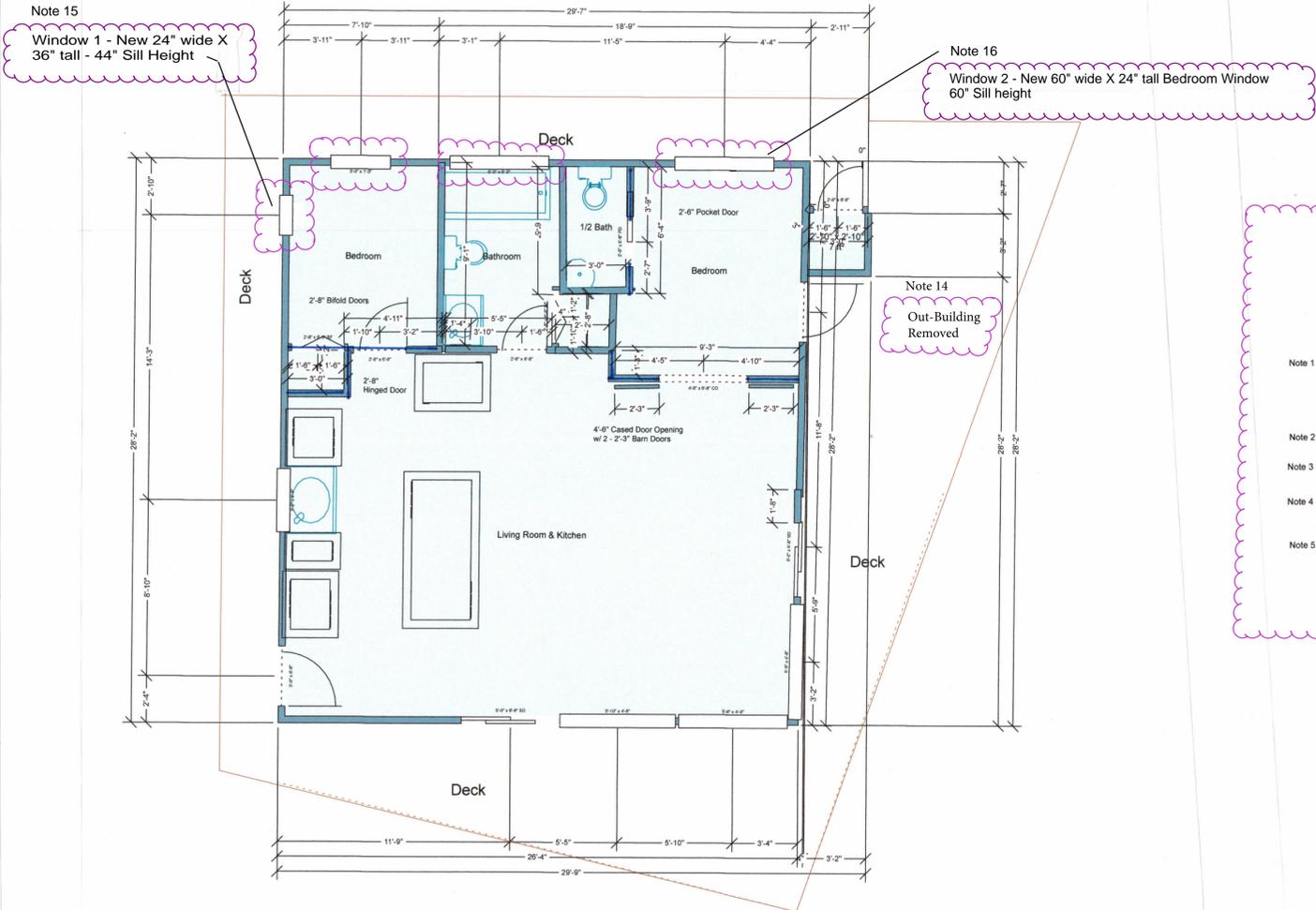


RESIDENCE
 IMPROVEMENT
 PLAN

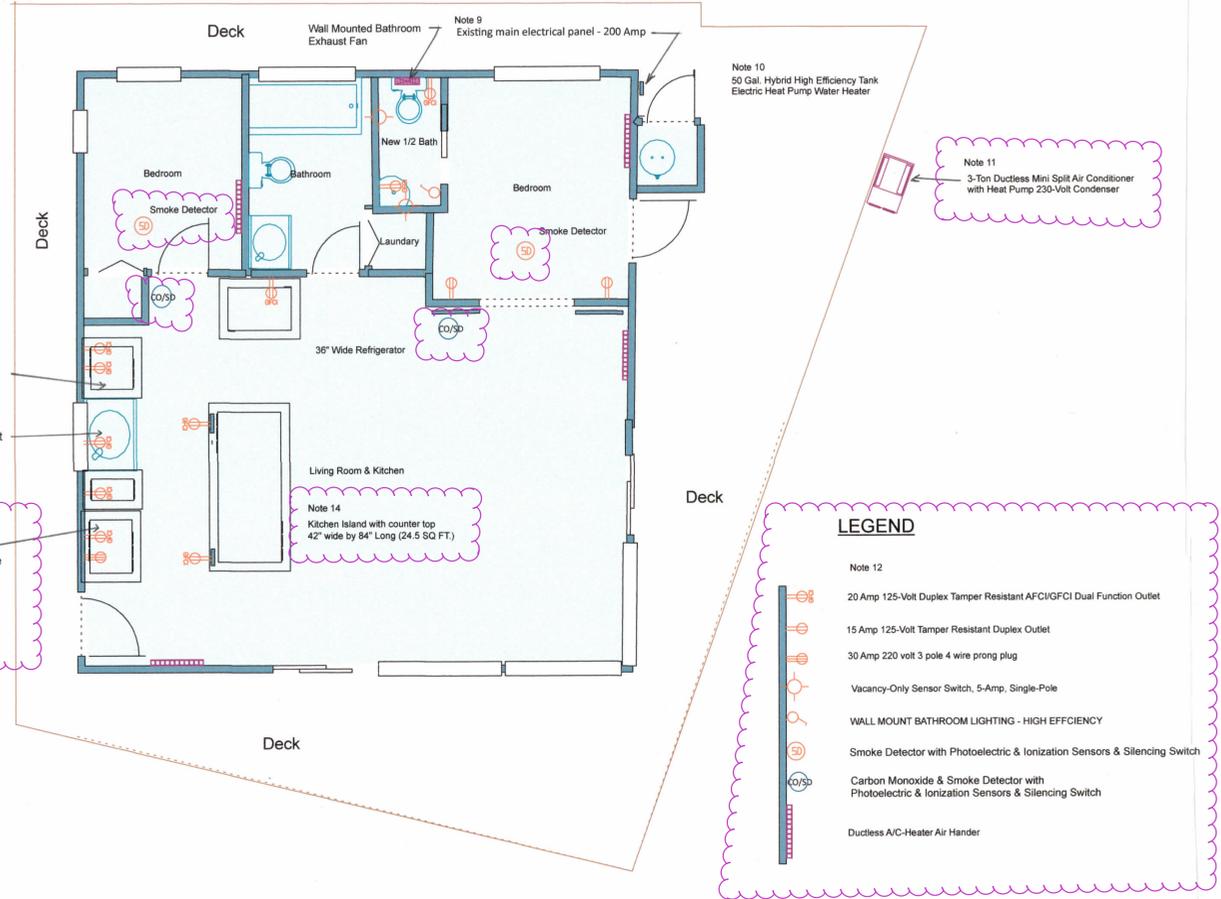
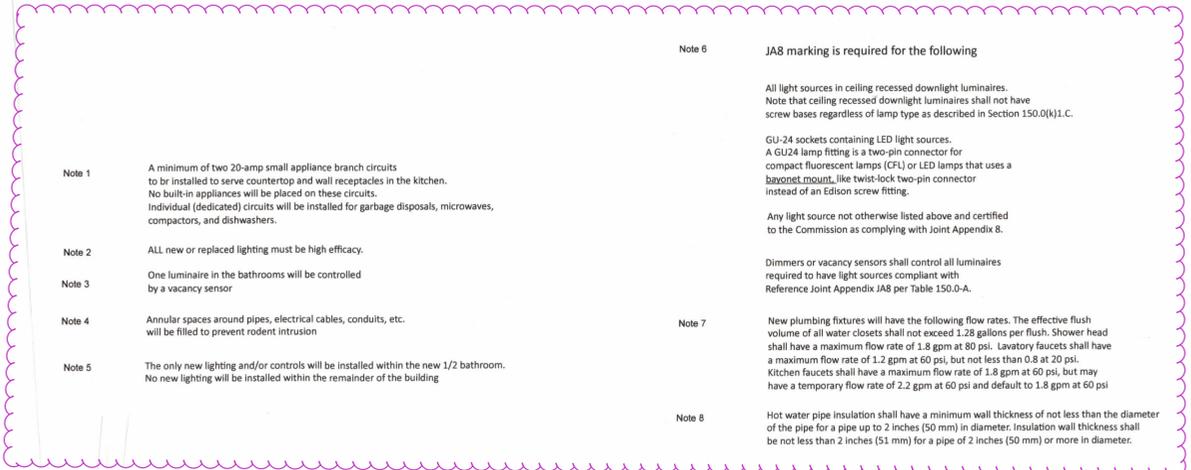
FLOOR PLAN
 ELECTRICAL
 PLUMBING &
 HVAC

Proj. No. 42-22024
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 Drawn DLA
 Checked CT
 File No. APTOS-A2-1.dwg
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 Rev. Date 02-13-26



Primary Residence New Floor Plan w/ Dimensions



Primary Residence - Electrical, Plumbing & HVAC Plan



Project Title

ALEXANDER RESIDENCE
338 Kingsbury Drive
Aptos, CA 95003
APN # 043-094-12

RESIDENCE
IMPROVEMENT
PLAN

ROOF FRAMING
PLAN

Proj. No. 42-22024
Date 01-06-25
Drawn DIA
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File No. APTOS-A2-1.dwg

Revisions

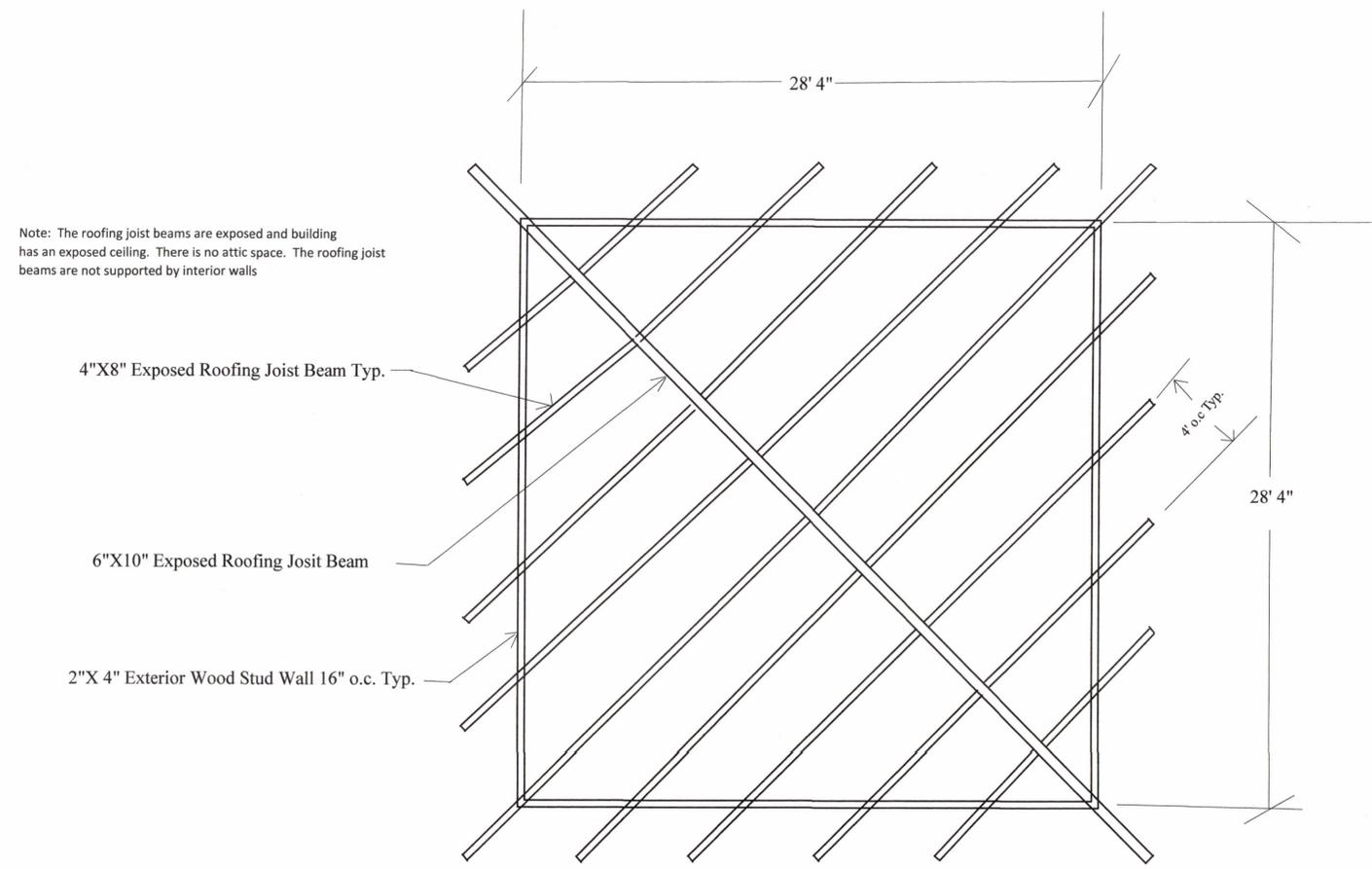
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- Rev. Date 10-27-25
- Rev. Date 02-1-26



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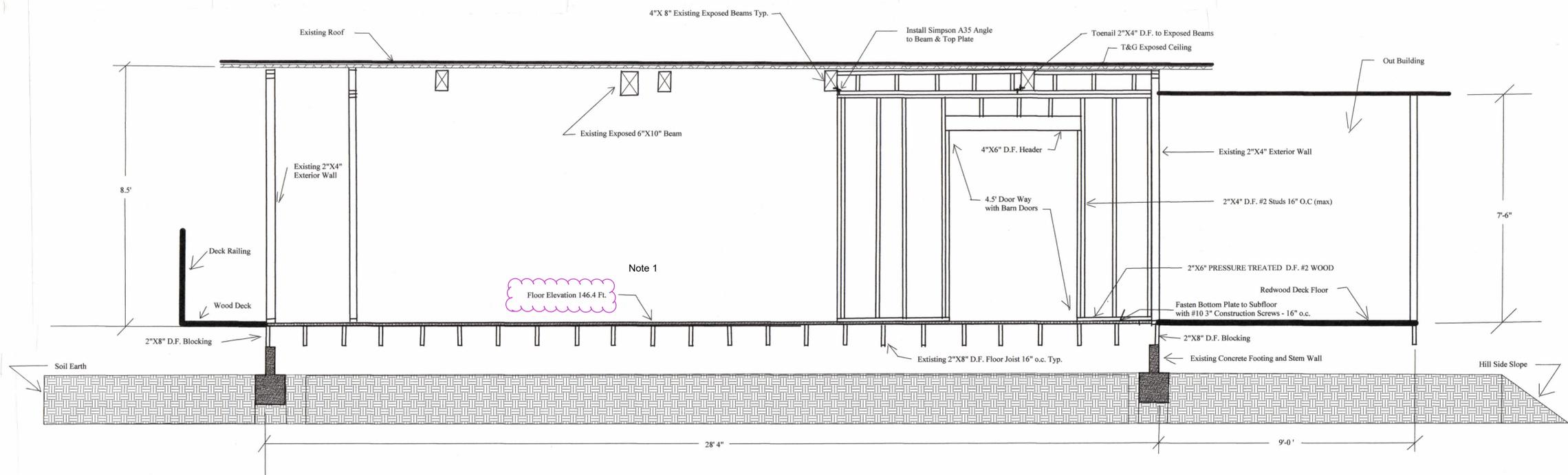
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Exhibit D

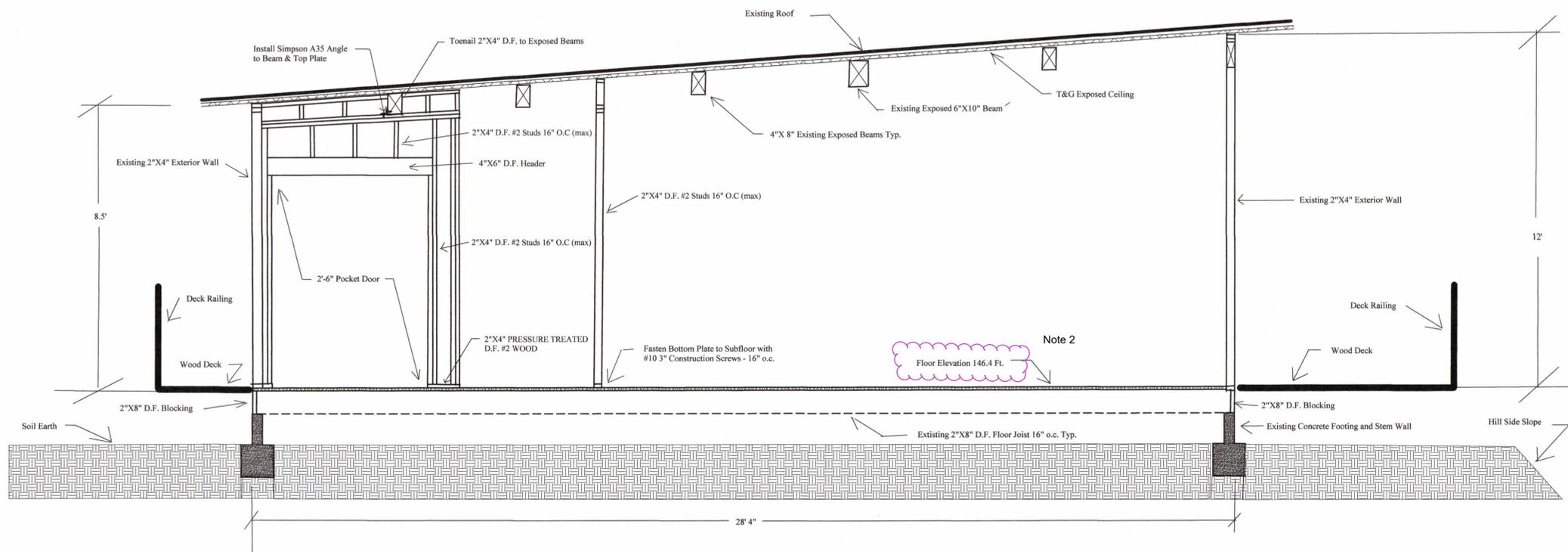


ROOF FRAMING PLAN





A - A' East - West Cross Section Through New East Bedroom Interior South Wall



B - B' North - South Cross Section Through New East Bedroom / 1/2 Bathroom Interior Wall

RESIDENCE
IMPROVEMENT
PLAN

INTERIOR
PARTITION WALL
DETAILS

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Checked	CT
File No.	APTOS-A6-1.dwg
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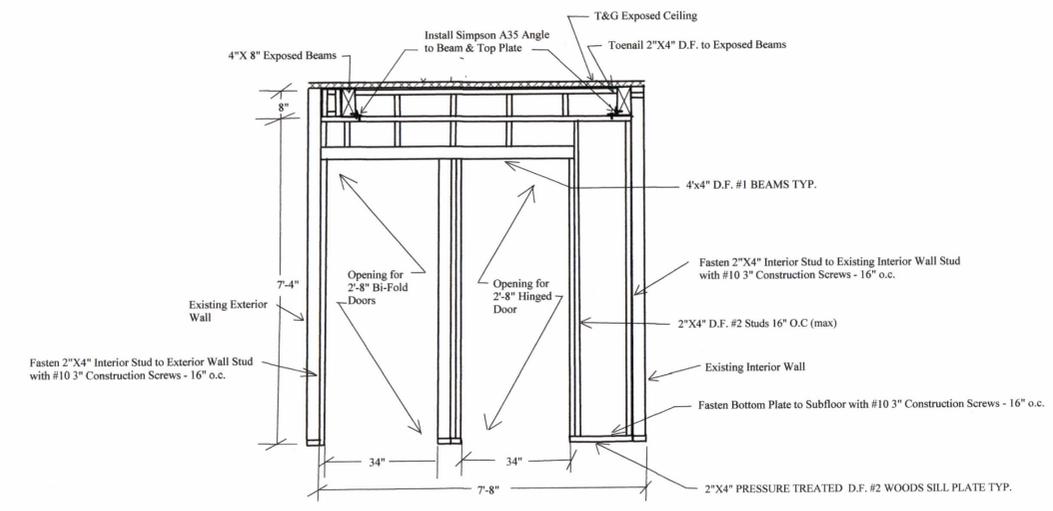
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Rev. Date	03-07-25
Rev. Date	10-27-25
Rev. Date	02-13-26



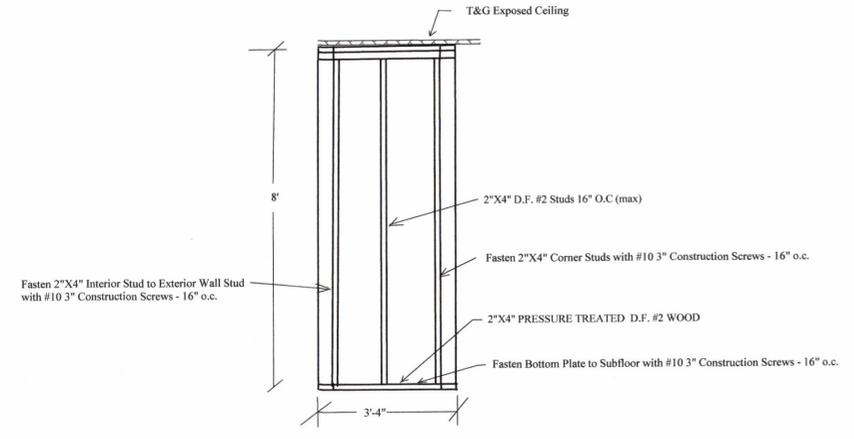
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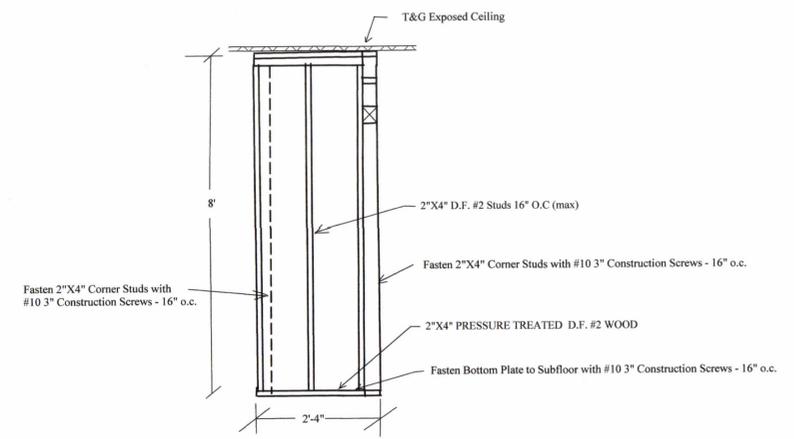
Exhibit D



New - West Bedroom South Interior Wall



New - Kitchen / Bedroom Closet Interior Partition Wall



New - West Bedroom Closet Interior Partition Wall

Project Title

ALEXANDER RESIDENCE
338 Kingsbury Drive
Aptos, CA 95003
APN # 043-094-12

RESIDENCE
IMPROVEMENT
PLAN

EXTERIOR
WALL
ELEVATIONS

Proj. No.	42-22024
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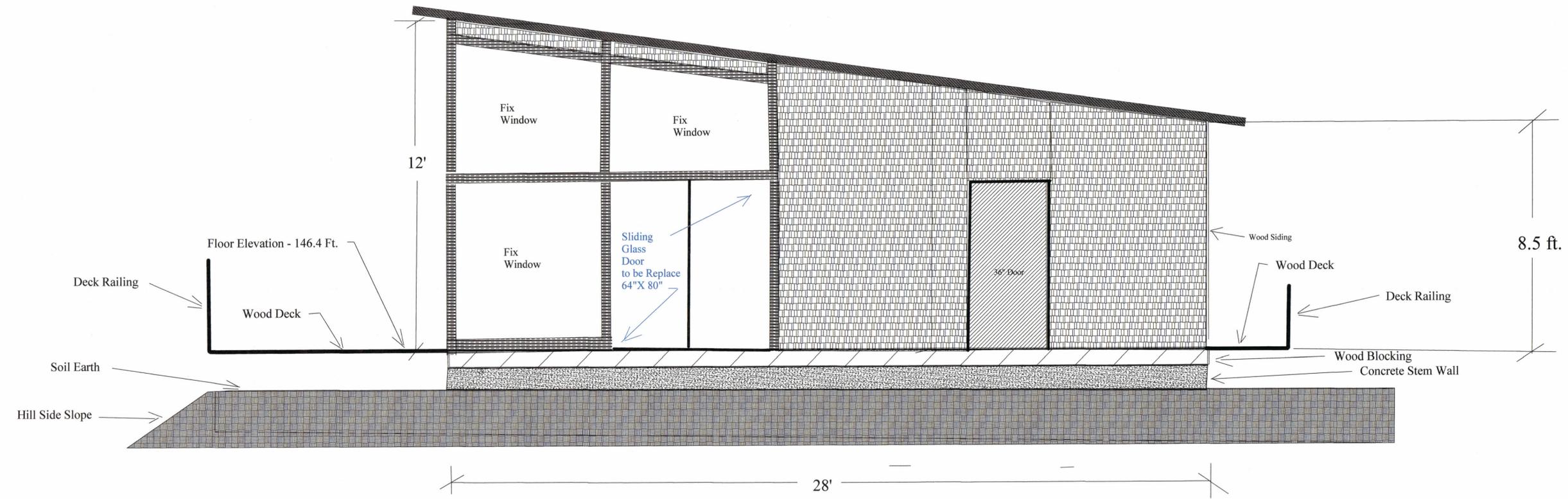
Revisions
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Rev. Date 3-7-25
Rev. Date 10-27-25
Rev. Date 02-13-26



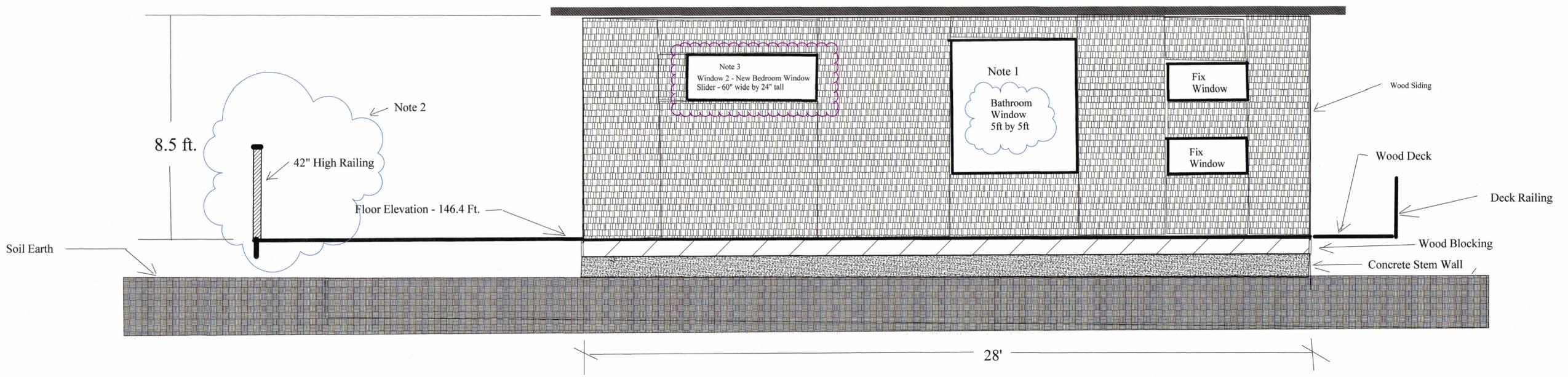
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Exhibit D



East Exterior Wall

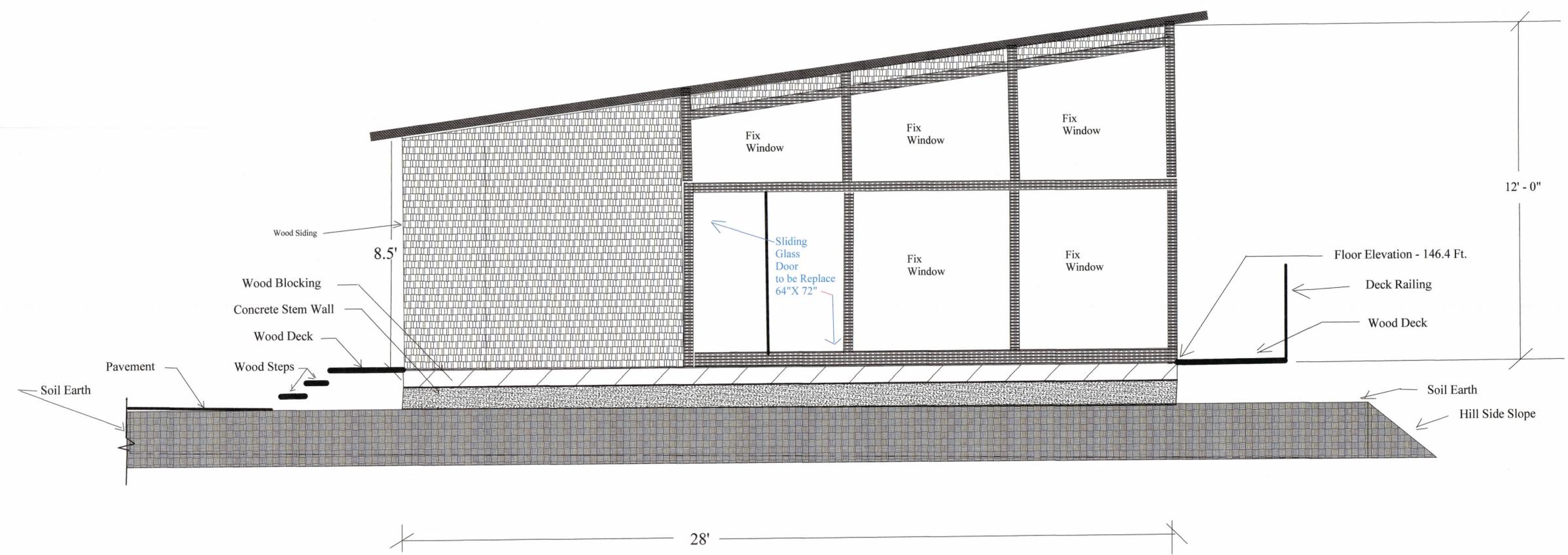


North Exterior Wall

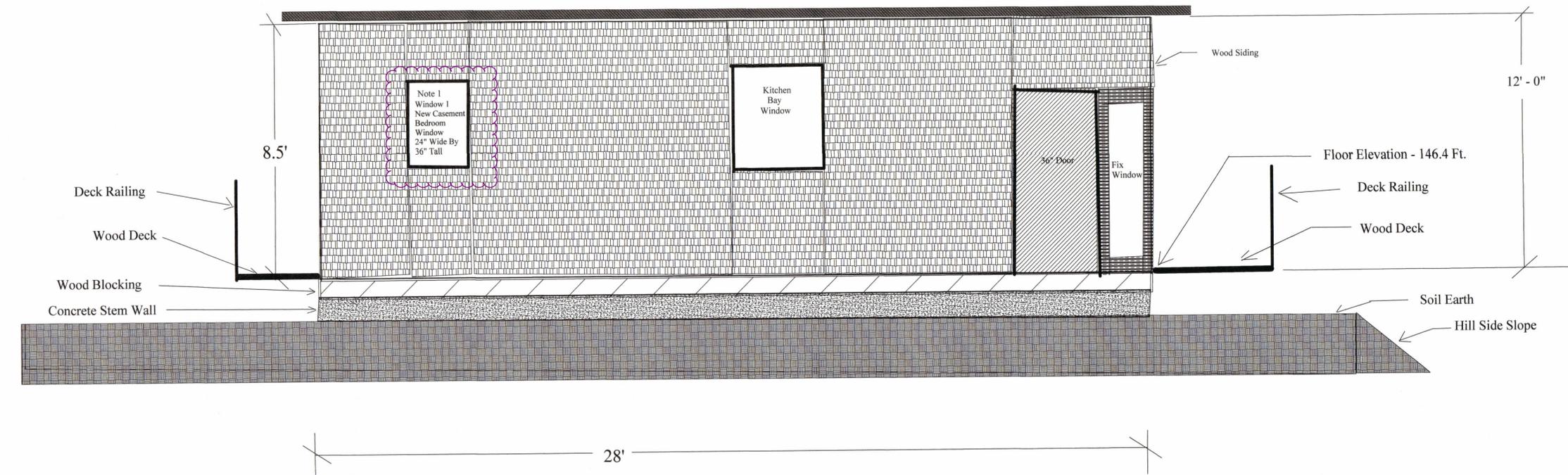
**RESIDENCE
 IMPROVEMENT
 PLAN**

**EXTERIOR
 WALL
 ELEVATIONS**

Proj. No.	42-22024
Date	01-06-25
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Checked	CT
File No.	APTOS A8-1.dwg
Revisions	
Rev. Date	1-6-25
Rev. Date	3-7-25
Rev. Date	10-27-25
Rev. Date	02-13-26



South Exterior Wall



West Exterior Wall



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 22 columns: GENERAL INFORMATION. Includes Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Fuel Type.

Table with 3 columns: COMPLIANCE RESULTS. Includes Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS Rater, This building incorporates one or more Special Features shown below.

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 5 columns: ENERGY USE INTENSITY. Includes Gross EUI, Net EUI, Standard Design, Proposed Design, Compliance Margin, Margin Percentage.

Notes:
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Table with 7 columns: BUILDING - FEATURES INFORMATION. Includes Project Name, Conditioned Floor Area, Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

Table with 7 columns: ZONE INFORMATION. Includes Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System 1, Status.

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 16 columns: FENESTRATION / GLAZING. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition.

Table with 6 columns: OPAQUE DOORS. Includes Name, Side of Building, Area, U-factor, Status, Verified Existing Condition.

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 7 columns: ENERGY USE SUMMARY. Includes Energy Use, Standard Design Source Energy, Standard Design TDV Energy, Proposed Design Source Energy, Proposed Design TDV Energy, Compliance Margin, Compliance Margin (EOR2).

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 11 columns: OPAQUE SURFACES. Includes Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, TIR, Wall Exceptions, Status, Verified Existing Condition.

Table with 14 columns: OPAQUE SURFACES - CATHEDRAL CEILINGS. Includes Name, Zone, Construction, Azimuth, Orientation, Area, Skylight Area, Roof Rise, Roof Reflectance, Roof Emittance, Cool Roof, Status, Verified Existing Condition, Existing Construction.

Table with 16 columns: FENESTRATION / GLAZING. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition.

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Alexander RE
Calculation Date/Time: 2024-10-09T13:52:25-07:00
Input File Name: 2408-22-1276-R1 Alexander RE.rbd22x

Table with 8 columns: OPAQUE SURFACE CONSTRUCTIONS. Includes Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

Table with 5 columns: BUILDING ENVELOPE - HERS VERIFICATION. Includes Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50.

Registration Number: 424-P010242697A-000-000-0000000-0000
Registration Date/Time: 10/22/2024 12:59
HERS Provider: CHEERS
Report Version: 2022.0.000
Schema Version: rev 20220901

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (P)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Altered	No	

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	50	Rheem	XE50TDH45UD (50 gal, IAE3)	Outside	Existing 1st Floor	Existing 1st Floor

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1-1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
Altered HVAC1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback	Altered	No	

Registration Number: 424-P010242697A-000-000-0000000-0000
 Registration Date/Time: 10/22/2024 12:59
 HERS Provider: CHEERS
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 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Report Generated: 2024-10-09 13:52:45

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Kenneth Ponce	Documentation Author Signature: <i>Kenneth Ponce</i>
Company: So Cal Title 24	Signature Date: 10/09/2024
Address: 8659 Red Oak Street, Suite 1	City/State/Zip: Rancho Cucamonga, CA 91730
City/State/Zip: Rancho Cucamonga, CA 91730	Phone: 909-257-7547

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 9 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Dean ALEXANDER	Responsible Designer Signature: <i>Dean ALEXANDER</i>
Company: Homeowner - Dean ALEXANDER	Date Signed: 10/23/2024
Address: 215 W. Dakota Avenue	License: 5593482200
City/State/Zip: CLOVIS, CA 93612	Phone: 5593482200

Digitally signed by California Home Energy Efficiency Rating Services (CHEERS). This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.
 Registration Number: 424-P010242697A-000-000-0000000-0000
 Registration Date/Time: 10/22/2024 12:59
 HERS Provider: CHEERS
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 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Report Generated: 2024-10-09 13:52:45

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification	
			Heating Efficiency Type	HSPF/HSP2/COP	Cap 47	Cap 17	Cooling Efficiency Type	SEER/SEER2				EER/CEER
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF2	7.5	24000	18000	EER2SEER2	14.3	11.7	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	No	No	Yes	Yes

HERS WATER VERIFICATION OF EXISTING CONDITIONS	

Registration Number: 424-P010242697A-000-000-0000000-0000
 Registration Date/Time: 10/22/2024 12:59
 HERS Provider: CHEERS
 NOTE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information submitted by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document.
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 Report Generated: 2024-10-09 13:52:45



Project Title
ALEXANDER RESIDENCE
 338 Kingsbury Drive
 Aptos, CA 95003
 APN # 043-094-12

RESIDENCE IMPROVEMENT PLAN

TITLE 24 DETAILS

- Proj. No. 42-22024
- Date 01-06-25
- Drawn DLA
- Checked ct
- File No. APTOS-A10-1.dwg
- Revisions
 - Rev Date 01-06-25
 - Rev Date 03-07-25
 - Rev Date 10-27-25
 - Rev. Date 02-13-26



Sheet No.
A10.1

Exhibit D

RESIDENTIAL BUILDING RECORD

ADDRESS 338 Kingsbury Dr PARCEL 043-094-12 SHEET 1 OF 1 SHEETS

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR	FINISH
<input checked="" type="checkbox"/>	Single	Light	<input checked="" type="checkbox"/> Frame	Stucco on	Flat Asphalt	Wiring	Forced	Living	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Sub-Standard	Standard	<input checked="" type="checkbox"/> Reinforced	Siding	Gable	K.T.	Gravity	Bed	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Architecture	Above Standard	Concrete Block	Shingle	Hip	B.X.	Gravity	Bath	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Special	Special	Brick	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Use Design	Foundation	Brick	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Single	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Double	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Duplex	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Apartment	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Flat-Court	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint
<input checked="" type="checkbox"/>	Metre	Concrete	Reinforced	Shingle	Shed	Fluor	Gravity	Dining	2	Concrete	Wood	Walls	Paint

CONSTRUCTION RECORD	EFFEC. YEAR	APPR. YEAR	NORMAL	% GOOD	RATING (E, G, A, F, P)	BATH DETAIL
1961	1961	1961	100	99	20700	
1972	1972	1972	100	99	20700	
1978	1978	1978	100	99	20700	

1958 INDEX	1958 INDEX	1961 INDEX	COMPUTATIONS	1969 INDEX
Unit	Area	Unit	Unit	Unit
21.50	1870	21.50	1870	21.50
2.50	1280	2.50	1280	2.50
750		750		750
400		400		400
TOTAL	9300	9425	9802	20700
NORMAL % GOOD	100	99	99	92 FMV
R.C.L.N.D	9300	9331	9704	10840 * 19044 30000 55000 59000

RESIDENCE IMPROVEMENT PLAN
ASSESSOR'S OFFICE BUILDING RECORD

Proj. No. 42-22024
Date 01-06-25
Drawn DLA
Checked CT
File No. APT05-A11-1.dwg
Revisions
Rev. Date 01-06-25
Rev. Date 03-07-25
Rev. Date 10-27-25
Rev. Date 02-13-26

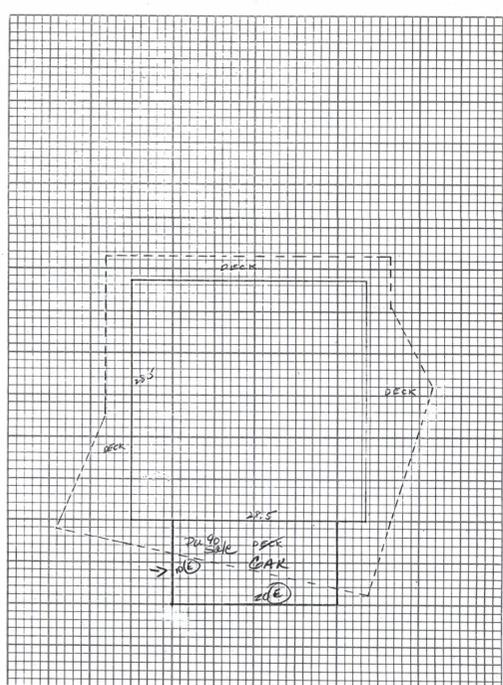
MISCELLANEOUS STRUCTURES

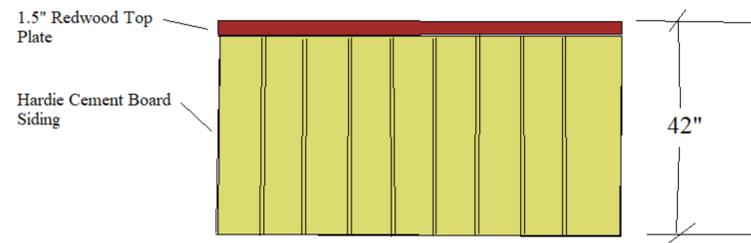
Structure	Found	Cons.	Ext.	Roof	Floor	Int.	Size, etc.

COMPUTATIONS

ALUMINUM	812	
DECK		10 X 20 = 200
3/4 x 12	26	
2 x 4 Jo	180	
3 x 9	276	
BUILT INS		
DRIVE CURB	225	
DRIVE W	200	

Remarks:
* RAISED CLASS TO SPECIAL TO REFLECT ACTUAL MKT VALUE
1990S - RES SOLD WITH SAME OWNER AS ADJACENT - SIZE OF 5140 SQ
3/51/00 CC PL OWNER OF ADJACENT PARCEL SET WALL (BP 122864) IS FOR SLIDE PREVENTION - NATV.

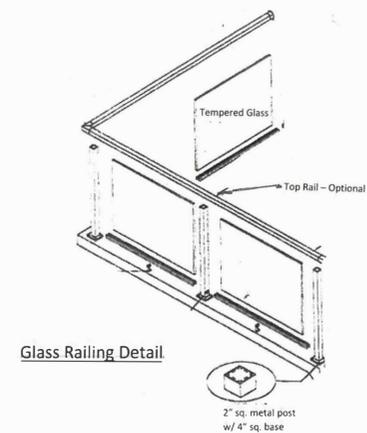




Railing Detail



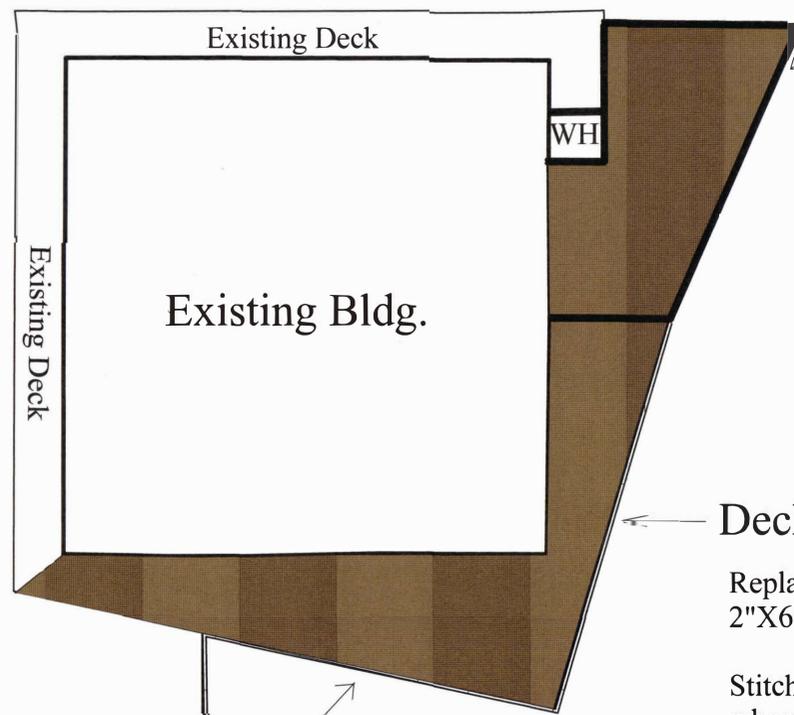
Hardie Cement Panel Sample



Glass Railing Detail

Kingsbury Drive

Easement



Deck Area to be Repaired

Replace Redwood Decking with
2 inch X 6 inch Redwood Select Board

Stitch 2 inch X 8 inch Redwood Joist to Existing Joist
when Warranted

Deck Railing to be Repaired

Remove and Replace Railing with 1/2 inch Tempered Glass and Stainless Steel Post
Optional Top Wood Rail - Rail Height is a Min. 42 inch

Deck Repair Area & Rail Replacement



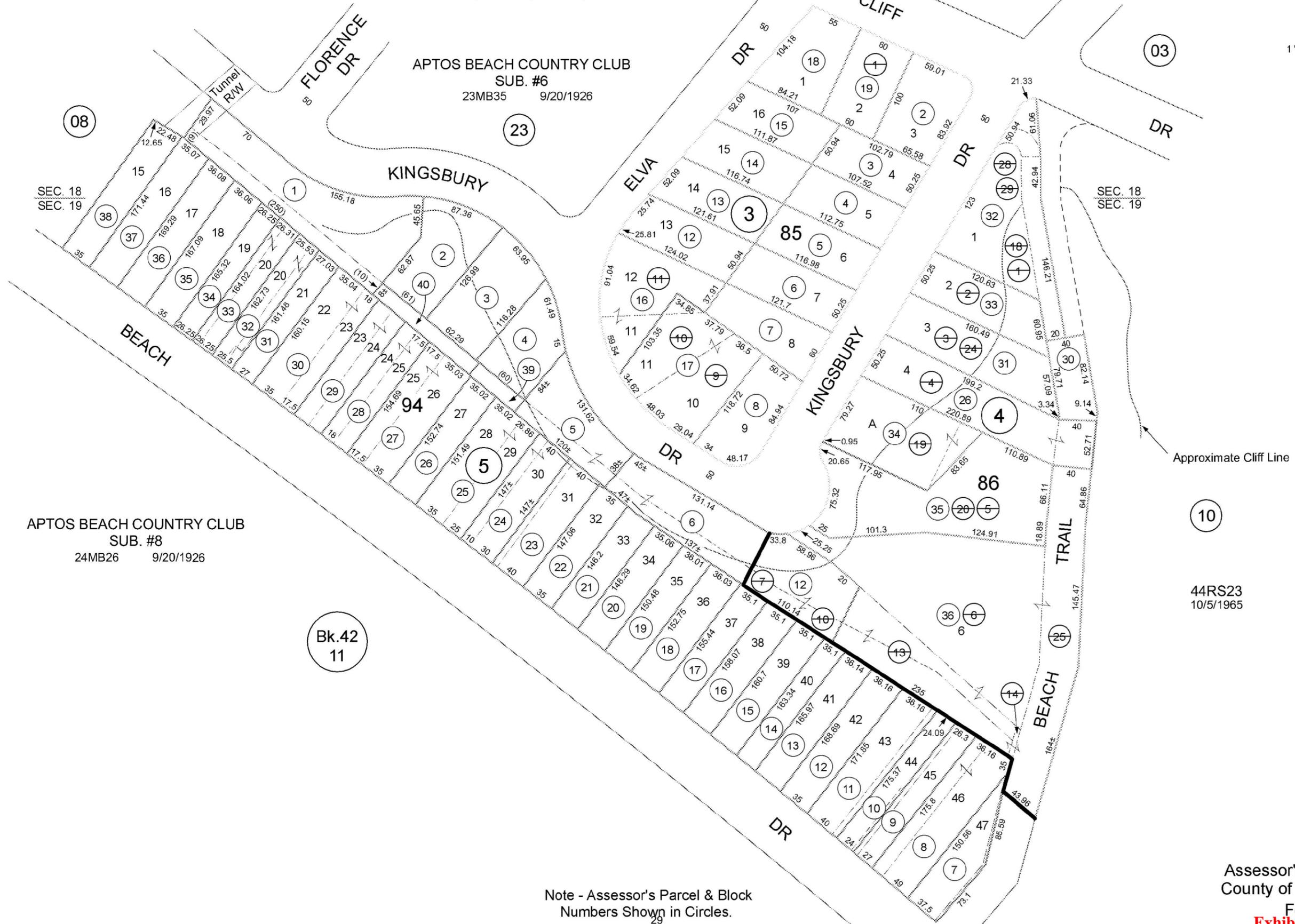
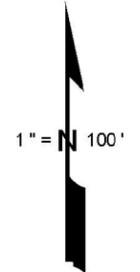
FOR TAX PURPOSES ONLY

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POR. APTOS RANCHO
S.E. 1/4 SEC. 18 &
SEC. 19, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-273

43-09



APTOS BEACH COUNTRY CLUB
SUB. #8
24MB26 9/20/1926

APTOS BEACH COUNTRY CLUB
SUB. #6
23MB35 9/20/1926

Bk.42
11

44RS23
10/5/1965

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

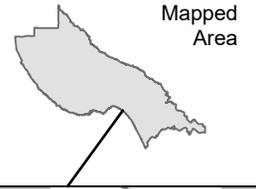
Assessor's Map No. 43-09
County of Santa Cruz, Calif.

Feb. 1999
Exhibit E

Electronically Redrawn 2/10/99 nr
Rev 2/10/99 (Por. to pg. 23) nr
Rev 5/4/99 CB (Added MB refs)
Rev 5/9/00 CB (Added Blk line)
Rev 5/25/01 mvm (changed page refs.)
Rev 12/10/02 CB (2-0066226, Sp 4-32 & 33)
Rev 3/6/05 DD (4-0086640, lba 4-34 & 35)
Rev 6/3/15 AR (14-0019936, comb. 4-36)



Parcel Location Map



Parcel: 04309412

 Subject Parcel

Map printed: 13 Mar. 2026

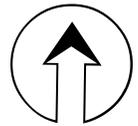
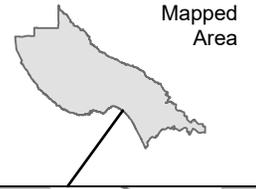


Exhibit E



Parcel General Plan Map



 Subject Parcel

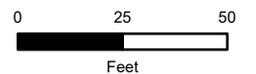
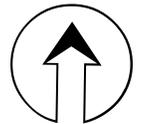
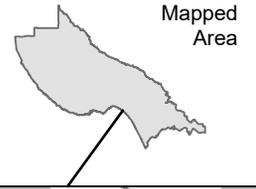


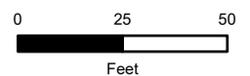
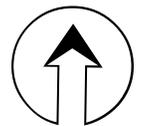
Exhibit E



Parcel Zoning Map



 Subject Parcel



Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Flood Control Zone 6

Parcel Information

Parcel Size: 7,503 square-feet
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Kingsbury Drive
Planning Area: Aptos
Land Use Designation: R-UL (Urban Low Density Residential)
Zone District: R-1-6 (Single-Family Residential; 6,000 square-foot minimum)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm.: Yes No

Technical Reviews: None

Environmental Information

Geologic Hazards: Yes
Fire Hazard: Not a mapped constraint
Slopes: 0 – 50+%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Yes
Archeology: Not mapped/no physical evidence on site