



# Staff Report to the Zoning Administrator

Application Number: **251308**

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**Applicant:** Matson Britton Architects  
**Owner:** Alexander & Natalie Shturm  
**APN:** 038-165-12  
**Site Address:** 719 Seacliff Drive, Aptos

**Agenda Date:** March 20, 2026  
**Agenda Item #:** 4  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to demolish an existing one-story 1,977 square foot single-family dwelling and construct a new 3,263 square foot two-story single-family dwelling with a 509 square foot attached garage, 662 square foot attached Accessory Dwelling Unit (ADU), and associated site improvements.

**Location:** Project located on the south side of Seacliff Drive approximately 315 feet west of the intersection with Cross Way in the Aptos Planning Area (719 Seacliff Drive).

**Permits Required:** Coastal Development Permit

**Supervisory District:** Second District (District Supervisor: Kim De Serpa)

## Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251308, based on the attached findings and conditions.

## Project Description & Setting

The subject property is located in a residential neighborhood developed at an urban density consisting of a combination of one and two story single family dwellings. Situated on the top of a coastal bluff, the project site is located approximately 2,600 feet north of the main entrance to Seacliff State Beach. The topography of the site and surrounding area is relatively flat with the exception of the steep downward slope of the coastal bluff located at the rear (south side) of the subject parcel.

Development on the project site consists of an existing 1,977 square foot single story single-family dwelling constructed in approximately 1950. In the early 1990s, an approximately 500 square foot garage addition was constructed on site. Other than the garage addition and some regular maintenance and repairs, very little modification has been made to the existing home since its original construction.

Notwithstanding, a notice of violation has been posted on the project site for the construction of

an over-height fence located within the front yard and within the required sight distance triangle. A sight distance triangle ensures adequate sight distance to oncoming traffic and to vehicles backing out of the property driveway, ensuring public safety.

This is a proposal to demolish the existing 1,977 square foot single family dwelling and to construct a new 3,263 square foot two story single family dwelling with 509 square foot attached garage, 662 square foot attached ADU at the first floor including associated site improvements. Total square footage of proposed structure is approximately 3,900 square feet of habitable area. The project includes removal of all unpermitted improvements including over-height fence, the subject of an active code violation, as well as unpermitted site improvements which encroach onto adjacent lands owned by California State Parks. This unpermitted work was discovered during the review of this application by the California Department of Parks and Recreation (DPR), noting that portions of the rear yard improvements were found to encroach onto adjacent land area located seaward of the subject property, owned by California State Parks. The private improvements consist of landscaping, concrete patio, seating area, and gaming area which are all proposed or conditioned to be removed. A Right of Entry (ROE) is required to be obtained from DPR prior to any removal work commencing on State lands.

The project also includes reconfiguration of the existing driveway and revisions to existing stormwater management. The project has been conditioned to ensure the proposed stormwater plan complies with DPW Stormwater Management requirements including County Design Criteria.

A Coastal Development Permit is required because the project site is located outside the Coastal Residential Exclusion Area and the proposed scope of work does not qualify for an exemption pursuant to SCCC §13.20.

### Zoning & General Plan Consistency

The subject property is an approximately 6,000 square foot lot, located in the R-1-4 (Single Family Residential (Minimum 4,000 square foot parcel)) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UM (Urban Medium Residential Density) General Plan designation. Furthermore, the project meets the development site standards including lot coverage and floor area ratio as noted in the below table.

	Front yard	Side yards	Rear yard	Lot Coverage	Floor Area Ratio	Height
R-1-4 Site Standards	Min 15 ft. to house & 18 ft. to garage	5 ft.	15 ft. or geologic setback	Max 40%	Max 60%	Max 28 ft.
Proposed	18 ft.	5 ft.	15 ft. & geologic setback	38.5%*	56.5%*	25 ft. 9 in.

\* Proposed 662 square foot ADU omitted from calculations (ADUs < 800 square feet don't count).

### Design Review

The proposed single family dwelling complies with the requirements of the County Design Review

Ordinance, in that the proposed project will incorporate site and architectural design features such as variation in wall plane and will incorporate a variety of finish colors and materials to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The proposed home will be sited in accordance with all site and development standards for the zone district to ensure availability of light air and open space for adjoining properties.

### **Geologic Hazards Ordinance Compliance**

A Geologic report dated May 14, 2025 and Geotechnical report dated May 15, 2025 were prepared by Pacific Crest Engineering and submitted to the County for review under application REV251104. In a letter dated August 8, 2025, County Staff conditionally accepted the reports. As proposed, the new dwelling would comply with the established 100-year geologic setback to ensure long-term stability of the project site. The project has been conditioned to ensure all recommendations of the project Engineer and Geologist are met. Therefore, the project would comply with the County's Geologic Hazards Ordinance.

### **Drainage**

The project has been reviewed by the Department of Public Works Stormwater Management Division. As indicated on Exhibit D, the project proposes diversion of stormwater runoff resulting in altered stormwater (drainage) patterns from the site which is not allowed. Stormwater Management staff have identified potential feasible alternatives which include but are not limited to, use of self-mitigating flatwork (such as driveway, walkways, and patios) designed so that there is no increased runoff toward Seacliff Drive.

If self-mitigating surfaces are deemed infeasible, the applicant shall submit technical documentation to that affect and design stormwater mitigations to retain runoff on the site for a 25-year storm event with supporting calculations for infiltration rate based on soil type or perform a downstream impact assessment and analyze whether the entire downstream path to a safe point of release (beach) has adequate capacity and condition to convey runoff from the entire tributary area for a 25-year storm. An assessment of the downstream path shall include a description and photographs/video to a safe point of release to ensure no adverse impacts to neighboring properties, roadways, or drainage pathways. If deficiencies and/or restrictions are found, then additional analysis and improvements may be required. Legal documentation from the downstream property owners will be required to allow diversion through their properties.

The project would be conditioned to ensure compliance with Stormwater Management requirements and the County Design Criteria (CDC), as outlined above, prior to issuance of a building permit.

### **Local Coastal Program Consistency**

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's

Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251308**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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### **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters

# CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251308  
Assessor Parcel Number: 038-165-12  
Project Location: 719 Seacliff Drive, Aptos

**Project Description: Proposal to demolish an existing 1,977 square foot one-story single-family dwelling and construct a new two-story single-family dwelling, attached ADU, and associated site improvements. Requires a Coastal Development Permit.**

**Person or Agency Proposing Project: Matson Britton Architects attn Martha Matson**

**Contact Phone Number: (831) 425-0544**

- A.  The proposed activity is not a project under CEQA Guidelines Section 15378.
- B.  The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C.  **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D.  **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E.  **Categorical Exemption**

Specify type: Class 2 – Replacement or Reconstruction (Section 15302), Class 3 - New Construction or Conversions of Small structures (Section 15303)

**F. Reasons why the project is exempt:**

Demolition of an existing single family residence and construction of a new single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Nathan MacBeth, Project Planner

Date: \_\_\_\_\_

## Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-4 (Single Family Residential (Minimum 4,000 square foot parcel)), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Residential Density) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site. The development site is on a coastal bluff top and currently developed with a home which is visible from the public beach below. The proposed home will also be visible from the beach, consistent with the surrounding pattern of urban development.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Beach Gate Way approximately 2,500 feet south of the project site as well as Seacliff State Beach approximately 3,300 feet south of the project site.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4 (Single Family Residential (Minimum 4,000 square foot parcel)) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the

public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road however the proposed single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water in that no public access exists in the immediate vicinity of the project site. The nearest public beach access is available at Beach Gate Way approximately 2,500 feet south of the project site as well as Seacliff State Beach approximately 3,300 feet south of the project site. The project site is not identified as a priority acquisition site in the County Local Coastal Program.

(G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity. Geotechnical and geologic reports were prepared and submitted to the County for review. The reports were accepted by County staff therefore concluding that the project will comply with the County's Geologic Hazards ordinance. The project has been conditioned to ensure conveyance of stormwater complies with the requirements of the Department of Public Works Stormwater Division, specifically the County Design Criteria.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-4 (Single Family Residential (Minimum 4,000 square foot parcel)) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Medium Residential Density) land use designation in the County General Plan.

The project has been designed in accordance with General Plan Policy 6.2.10 (Site development to Minimize Hazards) and GP Policy 6.2.12 (Setbacks from Coastal Bluffs). A Geologic Report prepared by Pacific Crest Engineering, Inc dated May 14, 2025 and Geotechnical Report prepared by Pacific Crest Engineering, Inc dated May 15, 2025, accepted by County staff under application REV251104 (Exhibit G) concluded that the location of the proposed home will be sited in accordance with an established 100-year geologic setback to ensure long-term stability of the proposed development.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the

California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling will not result in an increase in traffic generated by the project site. The expected level of traffic generated by the proposed project is anticipated to remain 1 peak trip per day (1 peak trip per dwelling unit). Consequently, the project is not anticipated to result in adversely impacts to existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

### **Site Development Permit Findings**

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

- (b) Design. The proposed development is in substantial conformance with applicable

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principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed single family dwelling is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

## Conditions of Approval

- Exhibit D: Project Plans 18 plan sheets;  
Architectural plans, prepared by Matson Britton Architects, dated June 5, 2025  
Civil plans, prepared by RI Engineering Inc, revised October 10, 2025  
Site Survey, prepared by Hanagan Land Surveying, dated July 22, 2025
- I. This permit authorizes the demolition of an existing single family dwelling and construction of a new two story single family dwelling and ADU as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
- A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    - 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
  - E. Meet all requirements of California Department of Parks and Recreation (DPR) with respect to Encroachments & Use of State Property:
    - 1. Removal of all unauthorized improvements to state property is required. Entrance onto state property to conduct this work is regulated by DPR. The applicant shall apply and obtain a Right of Entry (ROE) permit, at the discretion of DPR, and may be subject to additional conditions.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
- A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
  2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
  3. Grading, drainage, and erosion control plans.
  4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
  5. Details showing compliance with fire department requirements.
  6. Submit a final landscape plan prepared by a licensed Landscape Architect which includes size and species of all plants and identifies location for all site lighting and irrigation.
  7. Submit proof that a Right of Entry (ROE) Permit from California Department of Parks and Recreation (DPR) has been obtained for removal or retention of encroachments onto State property.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The application submittal shall adhere to the County Design Criteria (CDC).
  2. Flatwork (such as driveway, walkways, and patios) shall be designed as self-mitigating in accordance with Part 3, Self-Mitigating Areas Definition Section C and Figure SWM-11 in the CDC so that there is no increased runoff toward Seacliff Drive. Based upon Watershed Maps, Impervious and Pervious Areas Map (dated October 2025), and civil plans (latest revision date of 10/10/2025) by RI Engineering, the flatwork is impervious and diversion is proposed. Per Part 3 of the CDC, diversion of runoff resulting in altered stormwater (drainage) patterns from the site is not allowed without prior approval from the Director.
  3. If self-mitigating surfaces are deemed infeasible, the applicant shall submit technical documentation for infeasibility and shall address one of the

options below:

- a. Stormwater mitigations shall be designed to retain runoff on the site for a 25-year storm event with infiltration into the soil as the only mode for release. Supporting calculations for the design must be submitted. This option will require additional analysis (such as infiltration rate of the soil) from the project geotechnical engineer.
  - b. A civil engineer shall perform a downstream impact assessment and analyze whether the entire downstream path to a safe point of release (beach) has adequate capacity and condition to convey runoff from the entire tributary area for a 25-year storm. The assessment shall include a description and photographs/video of the downstream path to a safe point of release to ensure no adverse impacts to neighboring properties, roadways, or drainage pathways. If deficiencies and/or restrictions are found, then additional analysis and improvements may be required. Legal documentation from the downstream property owners will be required to allow diversion through their properties.
4. A signed, stamped letter of approval from the project geotechnical engineer reviewing and approving the final stormwater management design shall be required. The letter shall reference the latest revision date of the plans reviewed and shall correspond with the latest revision date of the plans submitted.
- C. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
  - D. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
  - E. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
  - F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
  - G. Submit copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
  - H. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per net increase in square feet.
  - I. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per net increase in square feet.

- J. Pay the current fees for Roadside and Transportation improvements for 2 additional bedroom(s). Currently, these fees are, respectively, \$3,000 and \$3,000 per bedroom.
  - K. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 4,000 square feet is \$10 per net increase in square feet.
  - L. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a 662 square foot accessory dwelling unit is \$2 per square foot.
  - M. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
  - N. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all recommendations of the approved soils reports.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

## V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the**

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**development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

## ABBREVIATIONS

&	AND	H.B.	HOSE BIB
L. A	ANGLE	HDR.	HEADER
@	AT	HDWR.	HARDWARE
	DEGREE	HORIZ.	HORIZONTAL
A.B.	ANCHOR BOLT	HT., H.	HEIGHT
(A)	ABOVE	ID.	INSIDE DIAMETER
A.C.I.	AMERICAN CONCRETE INSTITUTE	IN.	INCH(ES)
		INSUL.	INSULATION
		INT.	INTERIOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	K.P.	KING POST
A.J.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	L.	LENGTH
		LIN.	LINEAR
		MAX.	MAXIMUM
ALT.	ALTERNATE	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	MEMB.	MEMBRANE
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	MISC.	MISCELLANEOUS
		MTL.	METAL
		MW.	MICROWAVE
(B)	BELOW	N.	NORTH
BD.	BOARD	(N)	NEW
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BLKG.	BLOCKING	O/	OVER
BM.	BEAM	O.C.	ON CENTER
B.N.	BOUNDARY NAILING	O.D.	OUTSIDE DIAMETER
B.O.	BOTTOM OF	O.H.	OPPOSITE HAND
BOT.,	BOTTOM	OV.	OVEN
BOTT.		N.I.C.	NOT IN CONTRACT
BTWN.	BETWEEN	PL.	PLATE
CAB.	CABINET	PLYWD.	PLYWOOD
C.B.	CEILING BEAM	PKG.	PARKING
C.J.	CEILING JOIST	P.S.F.	POUNDS PER SQUARE FOOT
CLG.	CEILING	P.S.I.	POUNDS PER SQUARE INCH
CLR.	CLEAR	QTY.	QUANTITY
COL.	COLUMN	RAD.	RADIUS
CONC.	CONCRETE	R.B.	ROOF BEAM
CONT.	CONTINUOUS	RCP.	REFLECTED CEILING PLAN
CTR.	CENTER	RE:	REFERENCE
CL	CENTERLINE	REF.	REFRIGERATOR
Db	BAR DIAMETER	REINF.	REINFORCED
DBL.	DOUBLE	REQ'D.	REQUIRED
DEG.	DEGREE	RM.	ROOM
DEMO.	DEMOLISH	R.O.	ROUGH OPENING
DET., DTL.	DETAIL	R.R.	ROOF RAFTER
D.W.	DISHWASHER	SCHED.	SCHEDULE
DWG.	DRAWING	SF.	SQUARE FOOT
DWN.,	DOWN	SQ. FT.	SQ. FT.
DN.		SHTG.	SHEATHING
(E)	EXISTING	SHT.	SHEET
EA.	EACH	SIM.	SIMILAR
E.N.	EDGE NAILING	SL.	SLOPED
EL.	ELEVATION	SPKL.	SPRINKLER
ELEV.	ELEVATOR	SQ.	SQUARE
ENG.	ENGINEER	STAGG.	STAGGER
EQ.	EQUAL	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
E.W.	EACH WAY	STR.	STRUCTURAL
F.B.	FLOOR BEAM	STRUCT.	STRUCT.
F.F.	FINISHED FLOOR	T&B	TOP & BOTTOM
FN.	FINISH(ED)	T&G	TONGUE & GROOVE
F.J.	FLOOR JOIST	THK.	THICK
FL.	FLOOR	T.O.	TOP OF
FLR.	FLOOR	T.P.	TOILET PAPER
F.N.	FIELD NAILING	TYP.	TYPICAL
FND.	FOUNDATION	U.B.C.	UNIFORM BUILDING CODE
F.O.	FACE OF	VERT.	VERTICAL
FP.	FIREPLACE	W.	WIDTH
F.R.	FIRE RATED	WD.	WOOD
FT.	FOOT OR FEET	WH.	WATER HEATER
FTG.	FOOTING		
FZR.	FREEZER		
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRADE BEAM		
GLB.	GLU-LAM BEAM		
GYP. BD.,	GYPSUM WALL BOARD		
G.W.B.			

# SHTURM RESIDENCE

NEW CONSTRUCTION & ADU  
719 SEACLIFF DRIVE  
APTOS, CA 95003

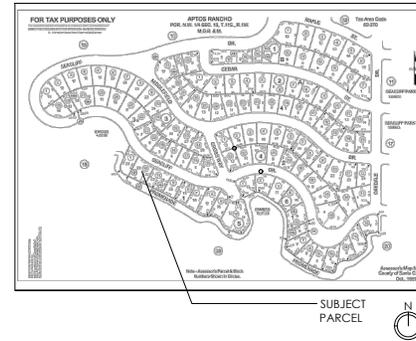
## VICINITY MAP



## CONDITIONS OF APPROVAL

ON THE BUILDING PERMIT, NOTE TO BE INCLUDED ON RELEVANT SHEETS:  
"BEFORE BEGINNING WORK IN COUNTY RIGHT OF WAY CONTACT DPW ENCROACHMENTS AT DPWENCROACHMENTS@SANTACRUZCOUNTYCA.GOV"

## PARCEL MAP



## CONSULTANTS

ARCHITECT:	MATSON BRITTON ARCHITECTS 728 N. BRANCIORTE SANTA CRUZ, CA 95062 PHONE: 831-425-0544 CONTACT: MARTHA MATSON
CIVIL ENGINEER:	R.I. ENGINEERING, INC. 303 POTRERO STREET, STE. 42-202 SANTA CRUZ, CA 95060 PHONE: 831-425-3901 CONTACT: RICHARD IRISH
SURVEYOR:	HANAGAN LAND SURVEYING 305-C SOQUEL AVE SANTA CRUZ, CA 95062 831-469-3428 CONTACT: PAUL HANAGAN
GEOLOGIST	PACIFIC CREST ENGINEERING INC. 444 AIRPORT BLVD WATSONVILLE, CA 95076 831-722-9446 CONTACT: ERIK ZINN
GEOTECHNICAL ENGINEER:	PACIFIC CREST ENGINEERING INC. 444 AIRPORT BLVD WATSONVILLE, CA 95076 831-722-9446 CONTACT: ELIZABETH MITCHELL

## PROJECT INFORMATION

OWNER:	NATALIE AND ALEXANDER SHTURM 719 SEACLIFF DRIVE
A. P. N.:	038-165-12
ZONING:	R-1-4
OCCUPANCY GROUP:	R-3 & U (PER 2022 CBC)
CONSTRUCTION TYPE:	V-B (SPRINKLERED)

PROJECT DESCRIPTION:  
NEW CONSTRUCTION OF 2 STORY, 4 BEDROOM, 3 1/2 BATHROOM RESIDENCE WITH (1) 2-CAR GARAGE, AND ATTACHED ADU.

## SHEET INDEX

### ARCHITECTURAL DRAWINGS

P1	TITLE SHEET
P1.1	EXISTING SITE PLAN
P1.2	EXISTING FLOOR PLAN
P2	SITE PLAN
P3	FIRST FLOOR PLAN
P4	SECOND FLOOR PLAN
P5	ROOF PLAN
P6	EXTERIOR ELEVATIONS
P7	EXTERIOR ELEVATIONS
P8	BUILDING CROSS SECTION

### CIVIL DRAWINGS

C-1	GRADING & DRAINAGE PLAN
C-2	DETAILS AND CROSS SECTIONS
C-3	SANTA CRUZ COUNTY STANDARD DETAILS
C-4	SOQUEL CREEK WATER DISTRICT STANDARD DETAILS
C-5	STORMWATER POLLUTION CONTROL PLAN

### SURVEY PLAN

SU-1	SURVEY
SU-1	GEOLOGICALLY FEASIBLE BUILDING ENVELOPE MAP

## PROJECT CALCULATIONS

TOTAL LOT SIZE: 6,305.9 SQ. FT.

EXISTING FLOOR AREA: 1,977 S.F.

MAX LOT COVERAGE (45% OF NET LOT SIZE): 2,837.7 S.F.

### SETBACKS

FRONT	15' / 18' @ GARAGE
SIDE	5'
REAR	15'
MAXIMUM HEIGHT	28'

### CONDITIONED AREAS (PROPOSED):

FIRST FLOOR	1,255 SF
SECOND FLOOR	2,008 SF
TOTAL PROPOSED MAIN HOUSE	3,263 SF
ADU	662 SF
GARAGE	509 SF

### PROPOSED LOT COVERAGE:

2,426/6305.9 = 38.5%

### PROPOSED F.A.R.:

1255+2008+509+(-225 CREDIT) = 56.3%

### PARKING:

2 COVERED/2 UNCOVERED



FOR THE BRANCIORTE  
TAMARA GERRY  
C U A P O  
P O BOX 20344  
SANTA CRUZ, CA 95062

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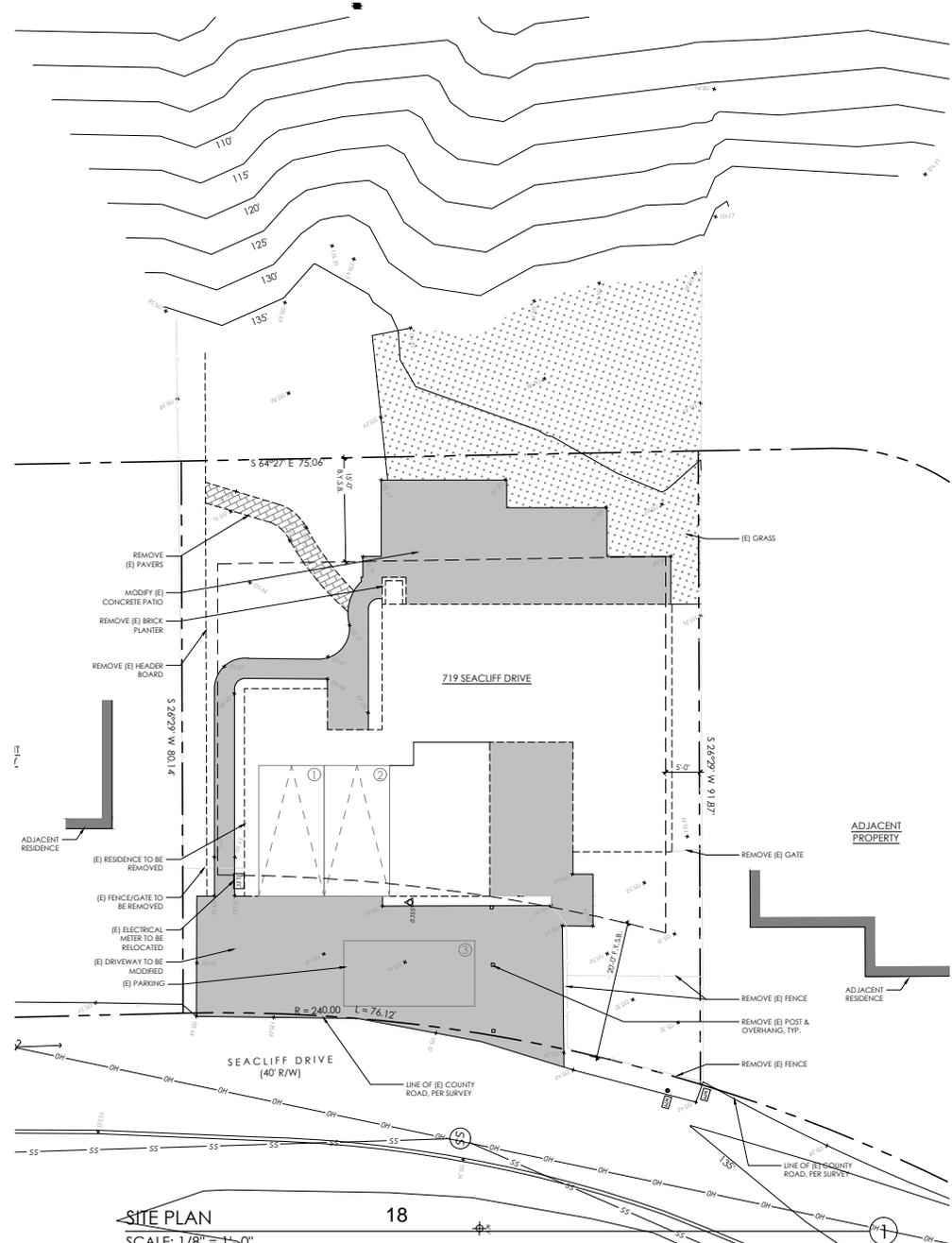
REVISIONS  
PLANNING - JUNE 05H 2025

SHTURM RESIDENCE  
719 SEACLIFF DRIVE  
APTOS, CA 95003  
APN: 038-165-12

TITLE SHEET



D	A	T	E	
10/13/2025				
D	E	A	W	N
NH				
I O R				
SHTURM				
S H E E T				



SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	LINE OF EXISTING FENCE
	DEMO LINE
	EXISTING HOUSE (TO BE REMOVED OR RELOCATED)
	GRASS AREA
	CONCRETE SURFACE

SITE PLAN NOTES	
SEE SURVEY BY HANAGAN LAND SURVEYING, INC., DATED JULY 22, 2024	



PER A. BRANCO/PROFITE  
 LANTIA CRUZ  
 C.A. 95043  
 831-425-0544

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REVISIONS

NO.	DATE	DESCRIPTION

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EXISTING SITE PLAN



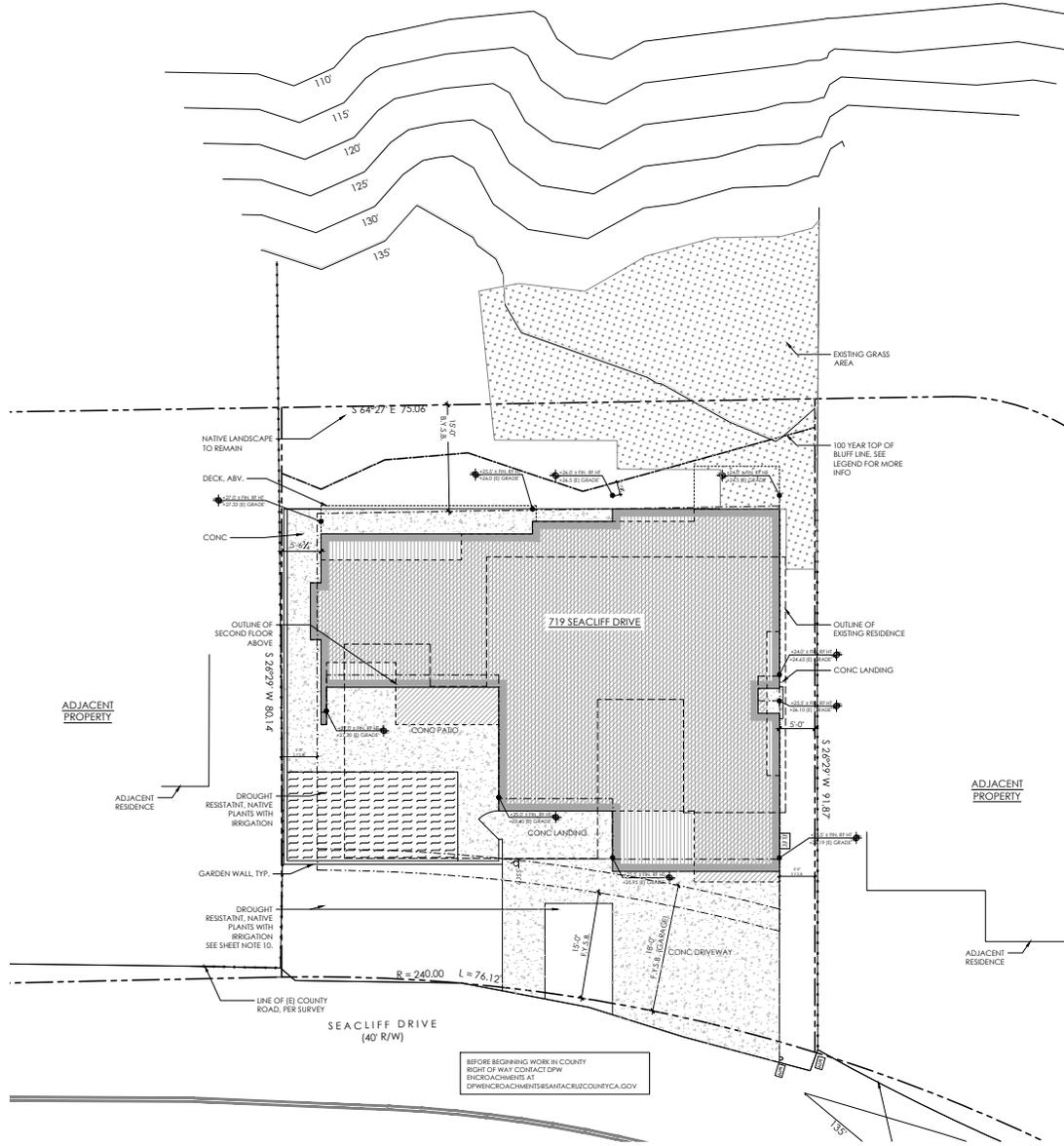
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DATE	
10/13/2025	
DRAWN BY	
NH	
CHECKED BY	
PROJECT	
SHTURM	
SHEET	
P1.1	

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 18







### SITE LEGEND

	PROPERTY LINE		GRASSES
	SETBACK LINE		PLANT AREA
	BUILDING OUTLINE AT FIRST FLOOR		CONCRETE PATH
	SECOND FLOOR BUILDING OUTLINE		
	100 YEAR BLUFF TOP LINE, PER GEOLOGICALLY FEASIBLE ENVELOPE MAP (DATED 10-24-2025 BY HANAGAN LAND SURVEYORS)		
	LINE OF BALCONY ABOVE		
	LINE OF EXISTING FENCE		
	LINE OF EXISTING STRUCTURE		
	FIRST FLOOR AREA ONLY		
	AREA OF SECOND FLOOR OVERHANG		
	AREA OF SECOND FLOOR		

### SITE PLAN NOTES

- PROJECT REQUIRES MINIMAL GRADING.
- UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJACENT PROPERTIES.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- NO CHANGE TO EXISTING WATER AND SEWER SERVICE LINES.
- ALL EXISTING SITE WALLS AND GATES TO REMAIN OR BE REPLACED. NO NEW OR DEMOLITION OF LANDSCAPE AND HARDSCAPE OTHER THAN AT IMMEDIATE AREAS OF NEW CONSTRUCTION.
- NO TREES 6" AND OVER TO BE REMOVED.
- FINISH GRADE SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE FOUNDATION. AT IMPERVIOUS SURFACES, THE MINIMUM SLOPE IS 2%.
- MINIMUM 4" WASTE DRAIN TO SERVE 4 OR MORE WATER CLOSETS AND PROPOSED FUTURE UNIT LOAD (IPC TABLE 703.2)
- REMAINING ROW FROM BACK OF PAVED PARKING AREA TO PROPERTY LINE (IF ANY) IS TO BE SEEDED OR HAVE PLANTS WITH A MAXIMUM HEIGHT OF 3' PER BELOW:
  - a. SEASCALIE (PITHECOPHYLLA)
  - b. WHIPPLEA (WHIPPLEA ACOSTEA)
  - c. THIRST SEAFERN (AMARANTHUS MARITIMUS)
  - d. SEASIDE FLEABANE (ERIGERON GLAUCUS)
  - e. RUDE BUCKWHEAT (ERIGERON NIDUM)
  - f. CALIFORNIA POPPY (ERIGERONIA CALIFORNICA)
  - g. CALIFORNIA FUCHSIA (ERIGERONIA CANUM)
  - h. COAST BUCKWHEAT (ERIGERONIA LAEVEFLUM)
  - i. DUNE SAGEWORT (ARTEMISIA Pycnocephala) - SANDY SOILS ONLY
  - j. TORRETT'S MULLIGRAM (MELICA TORRETTIANA)

### DRAINAGE NOTES

FOR ALL DRAINAGE REQUIREMENTS, REFER TO CIVIL DRAWINGS BY R.J. ENGINEERING, INC.

PER A. BRANCO FOR SITE LAYOUT, GRADING, LANDSCAPE, PLANTING, CIVIL, ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL. DATE: 10-24-2025 BY HANAGAN LAND SURVEYORS.

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REVISIONS: PLANNING - JUNE 25th, 2025

SHTURM RESIDENCE  
719 SEACLYFF DRIVE  
APTOS, CA 95003  
APN: 0391-051-12

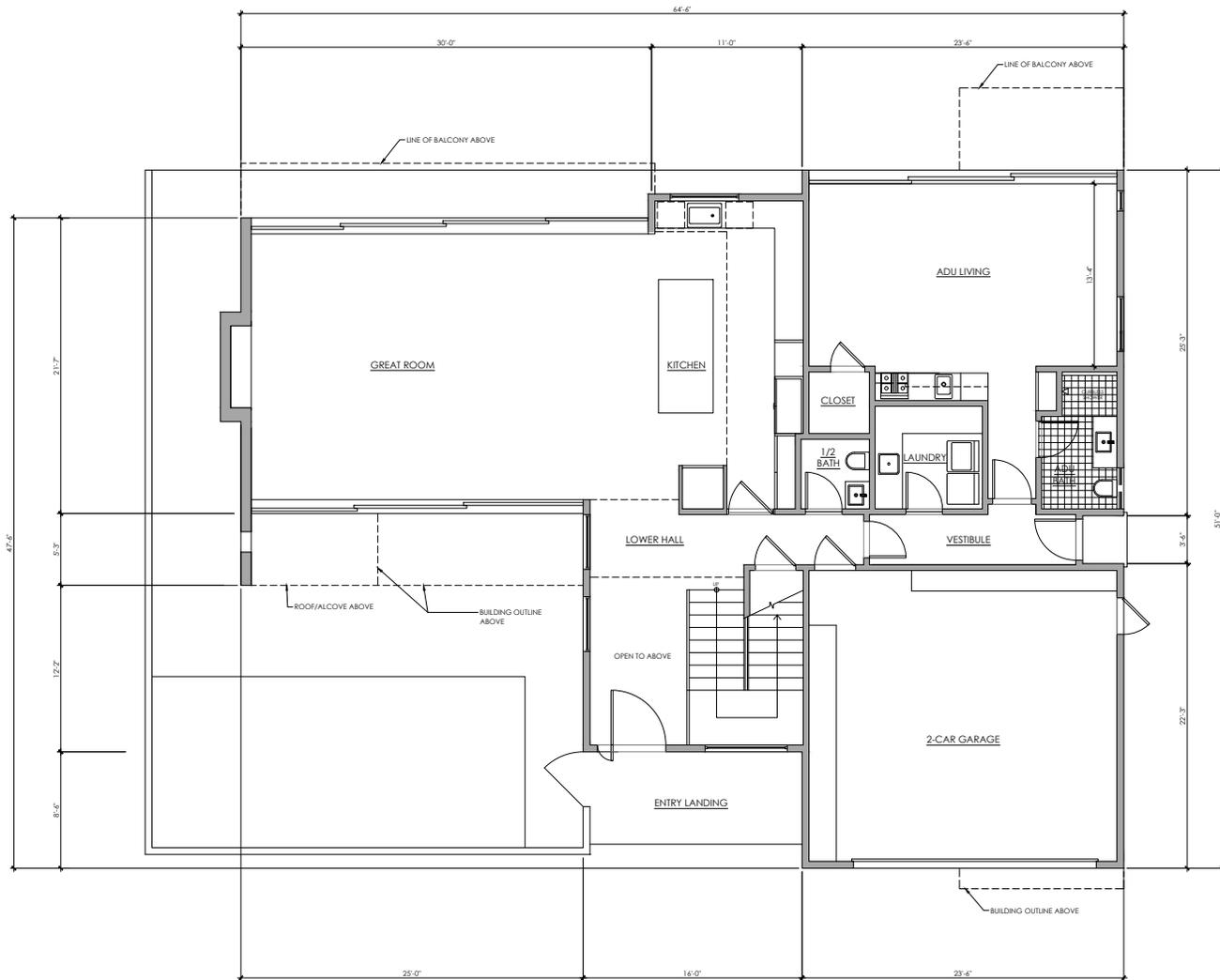
SITE PLAN

DATE	10/13/2025
DRAWN BY	NH
CHECKED BY	SHTURM
SHEET	P2

**SITE PLAN** 20  
SCALE: 1/8" = 1'-0"



Exhibit D



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PER A MANUFACTURE  
SANTA CRUZ  
C.A. 95062  
831-425-0544

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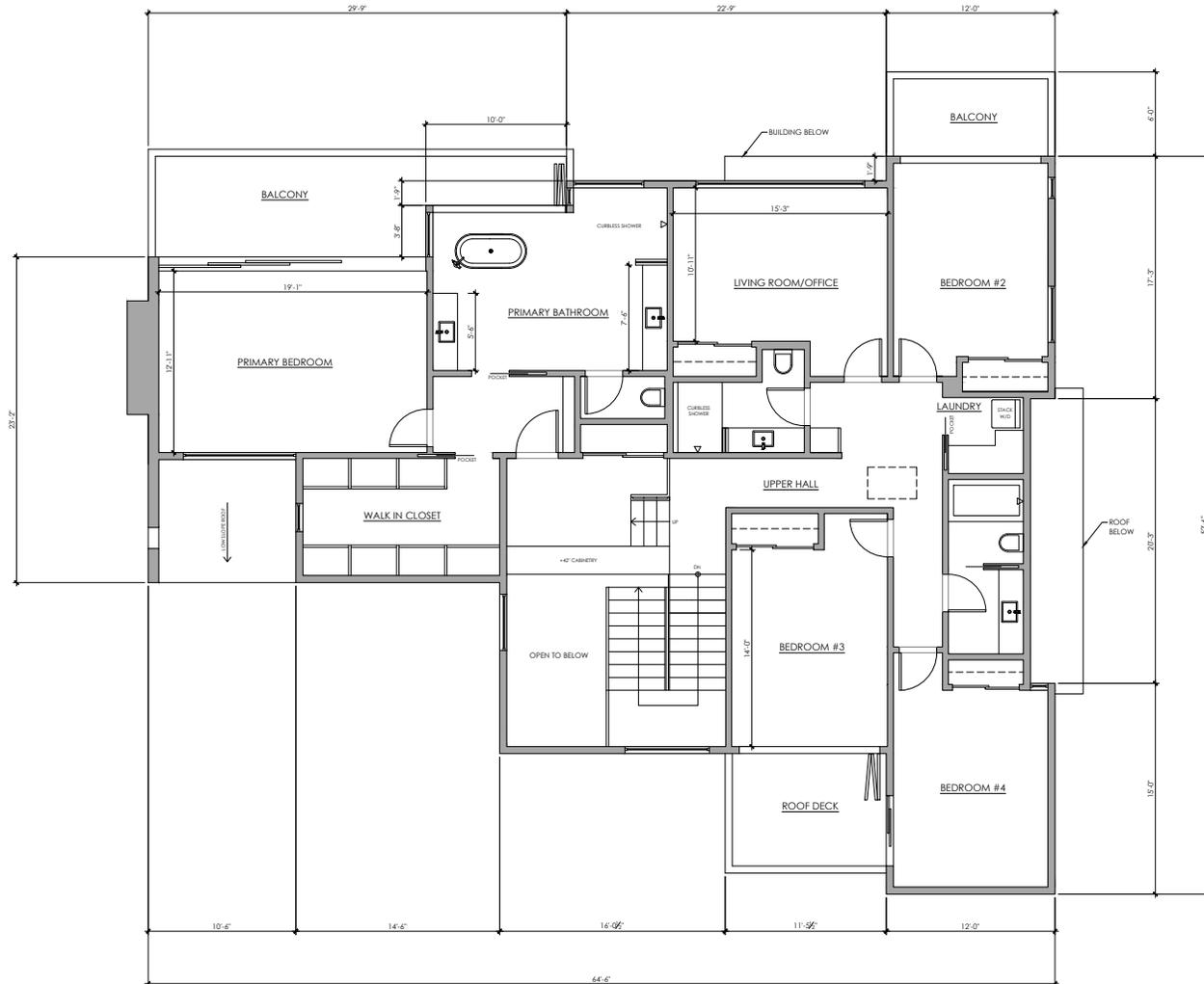
REVISIONS  
PLANNING - JUNE 01, 2025

SHTURM RESIDENCE  
719 SEACLIFF DRIVE  
APTOS, CA 95023  
APN: 038-1-05-12

FIRST FLOOR PLAN



D	A	T	E
06/05/2025			
D	R	W	N
NH			
J	O	B	
SHTURM			
S	H	E	E



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PER M. BRANCAFORTE  
LARISSA CRUJ  
C.A. 95883  
831-425-0044

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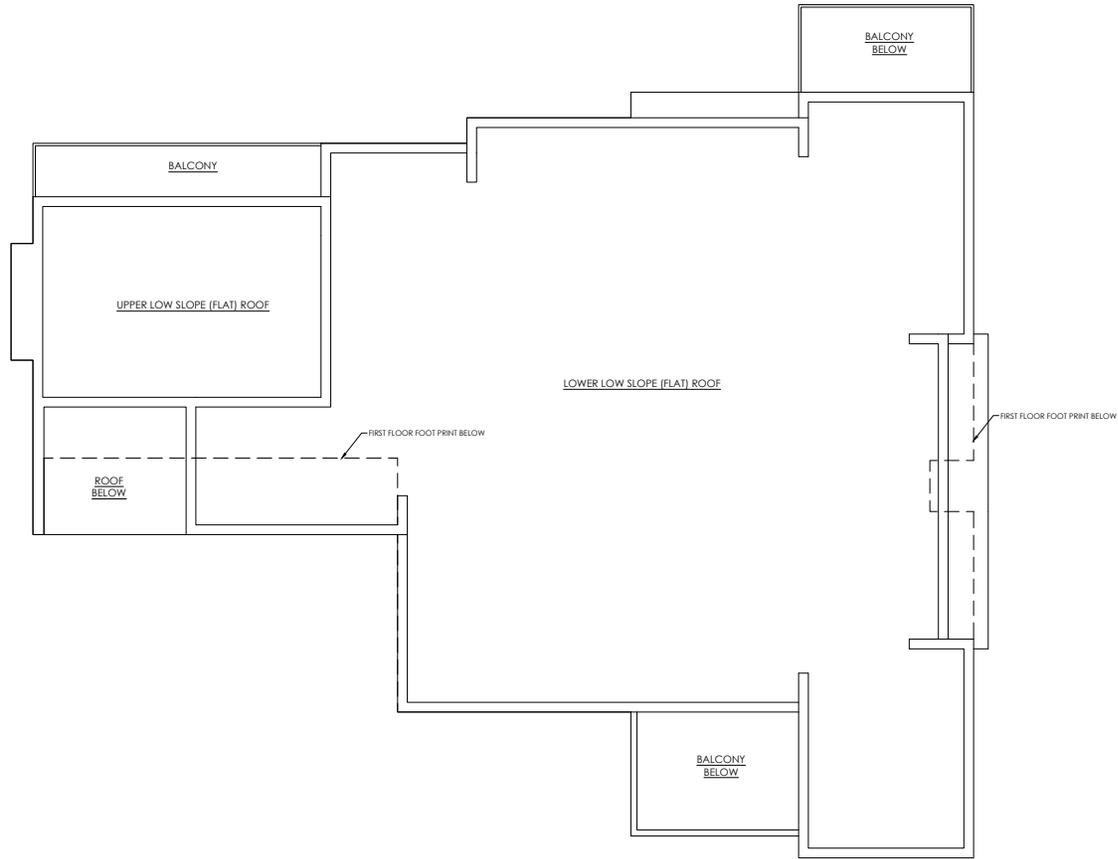
R E V I S I O N S  
PLANNING - JUNE 01M, 2025

SHTURM RESIDENCE  
719 SEACLIFF DRIVE  
APTOS, CA 95003  
APN: 0391-05-12

SECOND FLOOR PLAN



D A T E	06/05/2025
D R A W N	NH
J O B	SHTURM
S H E E T	P4



ROOF PLAN  
SCALE: 1/4" = 1'-0"



PER M. BRANCO/FRITTE  
LARIJA CRUZ  
C.A. 95583  
831-425-0544

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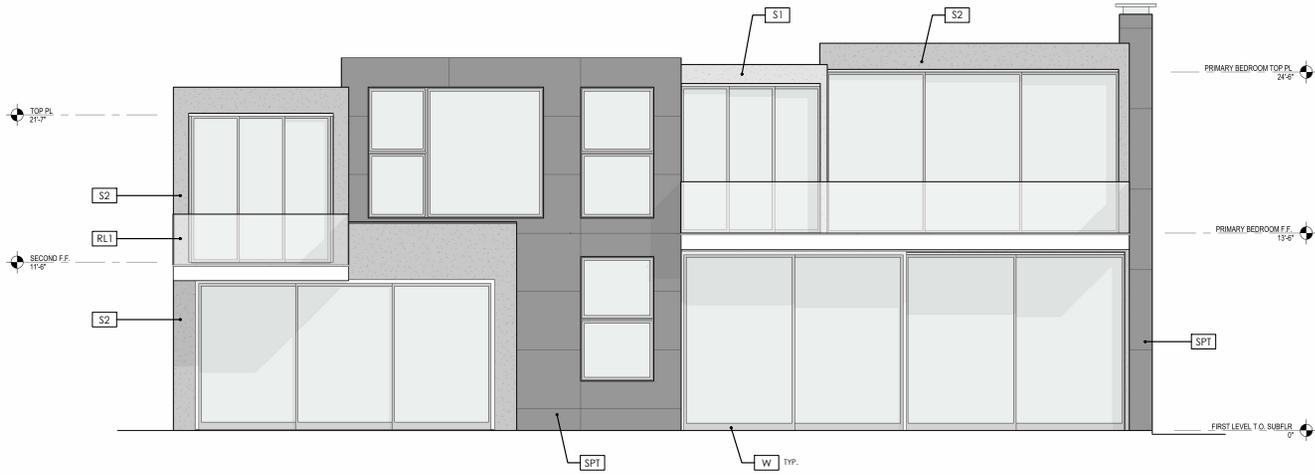
**R E V I S I O N S**  
PLANNING - JUNE 2025

**SHTURM RESIDENCE**  
719 SEA CLIFF DRIVE  
APTOS, CA 95003  
APN: 039-145-12

ROOF PLAN



D A T E	06/05/2025
D E S I G N E R	NH
J O B	SHTURM
S H E E T	P5



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

2



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

24

1

EXTERIOR FINISHES	
S1	(N) 4-TROWEL STUCCO FINISH LIGHT GREY
S2	(N) 4-TROWEL STUCCO FINISH MEDIUM GREY
W	ANODIZED ALUM./WOOD WINDOW SILVER
MTL	RHENZINK METAL WRAPPED FASCIA AT PORCH AWNING/ROOFS
SPT	SINTERCLAD PORCELAIN TILE PANELS 9" X 4" FORMAT IN DARK GREY
RL1	GLASS RAILING
RL2	PARAPET RAILING (S1 MATERIAL)
FDR	PIVOT FRONT DOOR W/ OBSCURED GLAZING, S.S. HARDWARE
REC	FRY-REGLET AT STUCCO TRANSITION
CON	CONCRETE LANDING
WD	WOOD FENCING
GD	ALUMINUM FRAMED GLASS DOOR WITH GLAZING

MATERIALS	
[Grey Swatch]	ANODIZED SILVER ALUMINUM WINDOWS
[Dark Grey Swatch]	SINTERCLAD PORCELAIN PANELS
[Blue Swatch]	RHENZINK
[Medium Grey Swatch]	MEDIUM GREY STUCCO
[Light Grey Swatch]	LIGHT GREY STUCCO



PER: M. BRANCO/PROJECT  
LARISSA CRUJEZ  
C.A. 95083  
U.S.A. 95083  
831-475-0054

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**REVISIONS**  
PLANNING - JUNE 20th, 2025

**SHTURM RESIDENCE**  
719 SEACLIFF DRIVE  
APTOS, CA 95003  
APN: 0381-065-12

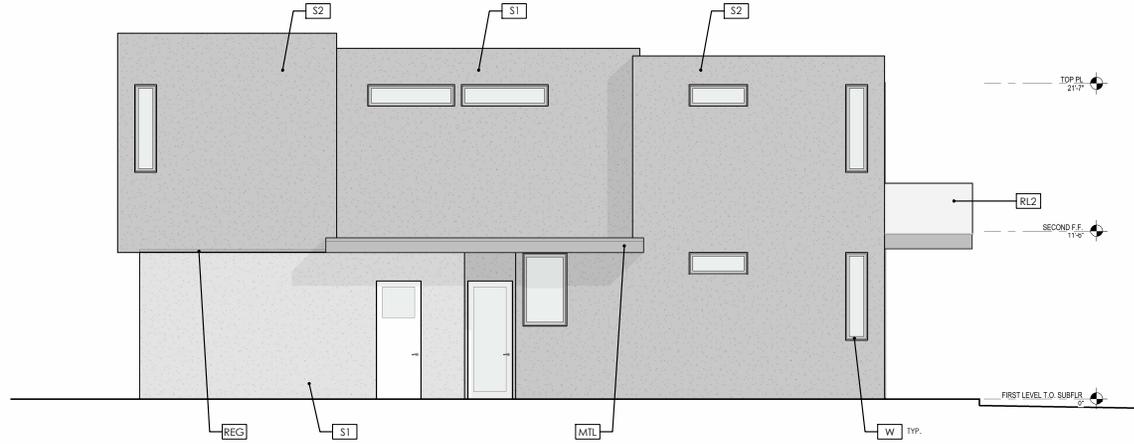
**EXTERIOR ELEVATIONS**



DATE	
06/05/2025	
DATE	W-N
NH	
J	B
SHTURM	
SHEET	

P6

Exhibit D



WEST ELEVATION  
SCALE: 1/4" = 1'-0"

2



EAST ELEVATION  
SCALE: 1/4" = 1'-0"

25

1

EXTERIOR FINISHES	
S1	(N) 4-TROWEL STUCCO FINISH LIGHT GREY
S2	(N) 4-TROWEL STUCCO FINISH MEDIUM GREY
W	ANODIZED ALUM/WOOD WINDOW SILVER
MTL	RHEINZINK METAL WRAPPED FASCIA AT PORCH AWNING/ROOFS
SPT	SINTERCLAD PORCELAIN TILE PANELS 9" X 4" FORMAT IN DARK GREY
RL1	GLASS RAILING
RL2	PARAPET RAILING (S1 MATERIAL)
PDR	PIVOT FRONT DOOR W/ OBSCURED GLAZING, S.S. HARDWARE
REG	FRY-REGLET AT STUCCO TRANSITION
CON	CONCRETE LANDING
WD	WOOD FENCING
GD	ALUMINUM FRAMED GLASS DOOR WITH GLAZING

MATERIALS	
	ANODIZED SILVER ALUMINUM WINDOWS
	SINTERCLAD PORCELAIN PANELS
	RHEINZINK
	MEDIUM GREY STUCCO
	LIGHT GREY STUCCO



PER: M. BRANCAFORTE  
LARISSA CRUIZ  
C.A. 95043  
831-455-0044

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PLANNING - JUNE 20th, 2025

SHTURM RESIDENCE  
719 SEACLIFF DRIVE  
APTOS, CA 95003  
APN: 039-1-05-12

EXTERIOR ELEVATIONS



DATE	06/05/2025
DESIGNER	NH
JOB	SHTURM
SHEET	P7



CROSS SECTION 26  
 SCALE: 1/4" = 1'-0"

①

Exhibit D



FOR AN UNRECORDED  
 PARTIAL SET  
 C.A. 95583  
 831-425-0544

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**R E V I S I O N S**  
 PLANNING - JUNE 29th, 2025

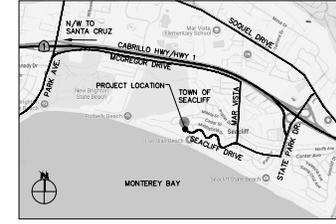
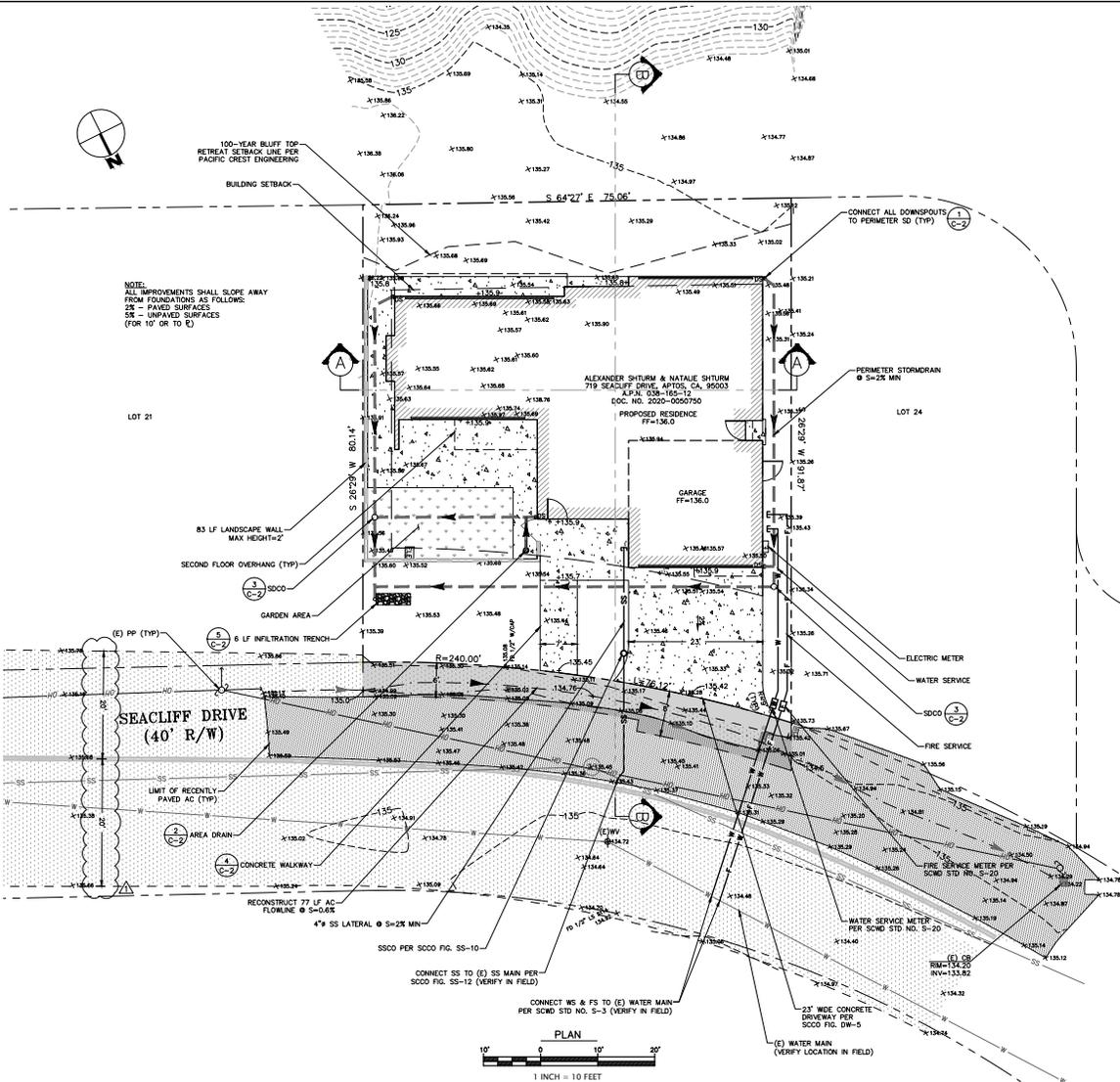
**SHTURM RESIDENCE**  
**719 SEACLIFF DRIVE**  
 APTOS, CA 95003  
 APN: 039-146-12

**CROSS SECTION**



D	A	T	E
06/05/2025			
D	R	E	W
NH			
J	O	B	
SHTURM			
S	H	E	E

P8



**LEGEND**

[Pattern]	(E) AC
[Pattern]	RECENTLY PAVED AC
[Pattern]	(E) CONCRETE
[Pattern]	PROPOSED ALL 3" TYPE # 6 AC OVER 6" CLASS 2 BASE ROCK
[Pattern]	PROPOSED CONCRETE
[Line]	PROPERTY LINE
[Line]	100-YR BLUFF/ZETBACK LINE
[Line]	PROPOSED LANDSCAPE WALL
[Line]	PROPOSED FLOWLINE
[Line]	PROPOSED SD
[Line]	PROPOSED PERIMETER SD
[Symbol]	PROPOSED SDOO
[Symbol]	PROPOSED CB
[Symbol]	PROPOSED AREA DRAIN

**ABBREVIATIONS**

BM	BOTTOM OF WALL
CB	CATCH BASIN
CONEST	CONCRETE
DIA. #	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWF	DRYWELL
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FS	FINISH FLOOR
FG	FINISH GRADE
HP	HIGH POINT
HP	HIGH POINT
LF	LINEAR FEET
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RM	RM ELEVATION
S	SLOPE
SCCO	COUNTY OF SANTA CRUZ SANITARY SEWER CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SSCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

**APPROXIMATE EARTHWORK QUANTITIES**

SITE GRADING	CUBIC YARDS		
	CUT	FILL	NET
	5	14	9

NOTES:  
 1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.  
 2. EARTHWORK VOLUMES FOR RETENDE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.  
 3. EXCESS SOIL SHALL BE Hauled OR PLACED IN A COUNTY APPROVED LOCATION.

**TOPOGRAPHIC SURVEY**  
 THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

**BASIS OF BEARINGS**  
 THE BASIS OF BEARINGS FOR THIS MAP HAS BEEN ESTABLISHED BETWEEN IRON PIPE MONUMENTS FOUND ALONG SEACLIFF DRIVE PER THAT CERTAIN SUBDIVISION MAP ENTITLED "SUBDIVISION NO. 4, SEACLIFF PARK" FILED IN VOLUME 16 OF MAPS, AT PAGE 63 OF THE SANTA CRUZ COUNTY RECORDS.

**BASIS OF ELEVATION**  
 SANTA CRUZ COUNTY BENCHMARK 474, LOCATED ON A CONCRETE PAD WITH A FIRE HYDRANT AT THE ENTRANCE GATE TO THE LAS OLAS HOA, BENCHMARK ELEVATION = 18.67 NAVD 88. THE CONTOUR INTERVAL IS 1 FOOT.

**STORM DRAIN SYSTEM MAINTENANCE**  
 THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

**STORM DRAINAGE NOTES**

- CULVERTS SHALL BE POLYVINYL CHLORIDE (PVC SDR33), HIGH DENSITY POLYETHYLENE (HDPE) OR REINFORCED CONCRETE PIPE (RCP), AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION C - STORM DRAINAGE FACILITIES OF COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
- DISCHARGE ALL DOWNSPOUTS TO PERIMETER STORMDRAINS THAT OUTLET INTO A INFILTRATION TRENCH.

**SEWER LATERAL NOTES**

- SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC SDR26) AND SHALL HAVE A SMOOTH INTERIOR.
- SEWER LATERALS SHALL BE SLOPED AT A MINIMUM 2%.
- CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF THE EXISTING LATERAL, AN EXTERIOR CLEANOUT, PER COUNTY DESIGN CRITERIA. SHALL BE INSTALLED CONSISTENT WITH PART 4 FIGURE SS-10, IF ONE DOES NOT EXIST BETWEEN THE STRUCTURE AND THE DISTRICT MAIN.
- ANY AND ALL DEFECTS DETERMINED BY THE COUNTY SHALL BE REPAIRED BY THE CONTRACTOR UNDER A SEPARATE NO-COST SANITARY SEWER PERMIT PRIOR TO ISSUING FINAL INSPECTION APPROVAL. SANITARY SEWER PERMIT SHALL BE REQUESTED FROM THE DEPARTMENT OF PUBLIC WORKS BY THE CONTRACTOR PRIOR TO ANY SEWER REPAIRS/IMPROVEMENTS. THE CONTRACTOR SHALL REFER TO PART 4, "SANITARY SEWER DESIGN" OF THE DESIGN CRITERIA FOR SPECIFICATIONS ON PIPE LAYING, PIPELINE TESTING AND ALLOWABLE DESIGN TOLERANCES.
- BACKFLOW PREVENTOR SHALL BE INSTALLED IF FINISHED FLOOR ELEVATION IS LESS THAN 12 INCHES HIGHER THAN THE DOWNSTREAM DISTRICT MAIN/PIPE PER COUNTY DESIGN CRITERIA PART 4 FIGURE SS-14.

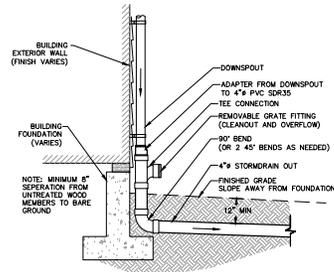
REVISIONS PER COUNTY COMMENTS, 10/10/2023



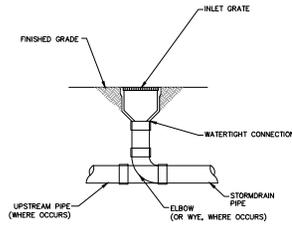
**RI Engineering, Inc.**  
 303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
 831-425-3901 www.riengineering.com

NEW RESIDENCE FOR NATALIE AND ALEXANDER SHLURMAN 719 SEACLIFF DRIVE SANTA CRUZ COUNTY APR 1038-16-012  
**GRADING & DRAINAGE PLAN**

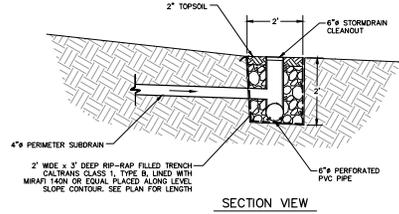
project no. 25-015-1  
 date MAY 2025  
 scale AS SHOWN  
 dwg name CIVIL2.DWG



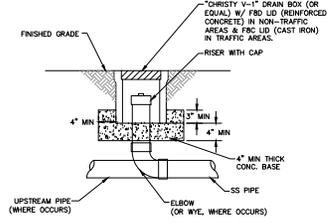
1  
DOWNSPOUT CONNECTION DETAIL  
NTS



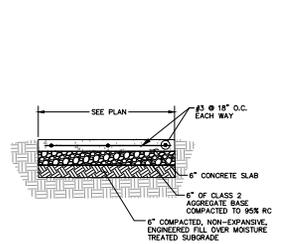
2  
AREA DRAIN DETAIL  
NTS



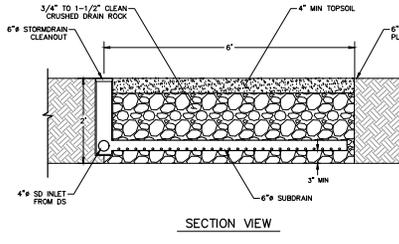
SECTION VIEW



3  
STANDARD CLEANOUT DETAIL  
NTS

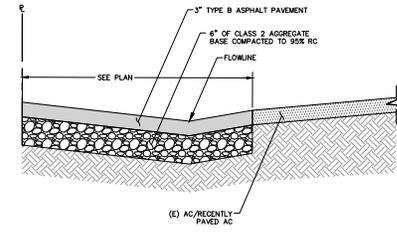


4  
CONCRETE WALKWAY DETAIL  
NTS



SECTION VIEW

5  
INFILTRATION TRENCH  
NTS



6  
AC FLOWLINE DETAIL  
NTS

**Project Information & Threshold Determination - Appendix A**

Completion of this form is required for all projects. It is to be used to determine if a project requires a permit. Applicants are encouraged to contact the Department Manager at (951) 942-1100 with any questions. Definitions, standard details and further guidance is provided within Part 2 of the Building Code. Review on the Public Works website at <http://www.ci.palmdale.ca.us> for more information.

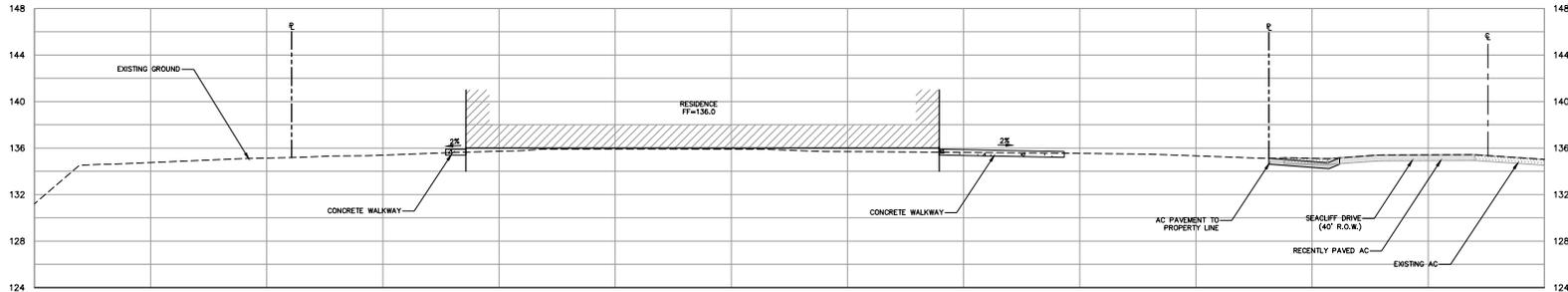
**PROJECT & CONTACT INFORMATION**

Project Site Address: 719 Seaciff Drive, Aptos, CA 95003  
 Property Owner, Applicant, or Representative Name: Natalie and Alexander Shturum  
 Contact Phone Number: (408) 599-2230  
 Address to Issue Number (APN): 058-185-12  
 Flood Control District (check/leave blank for not coverage may be removed when no longer in use):  
 Publishing Authority: (check/leave blank for not coverage may be removed when no longer in use):  
 Select Form Dropdown of Write-In:

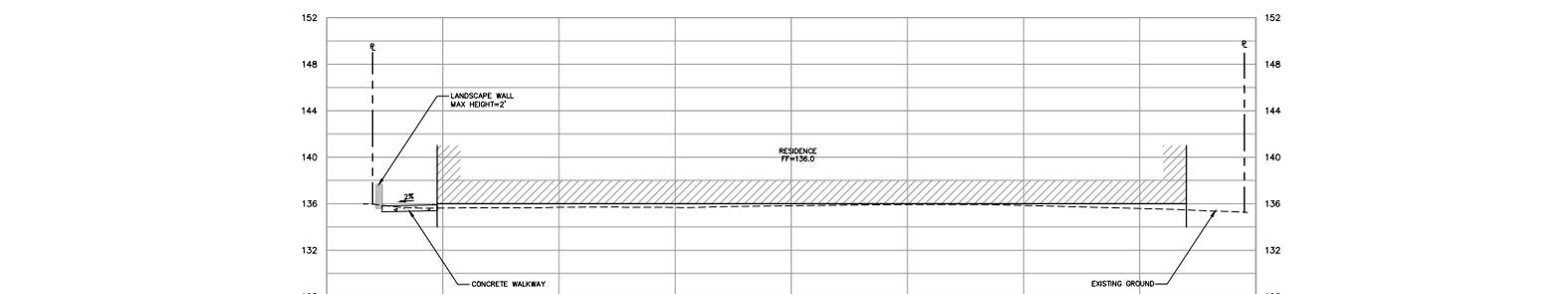
**PROJECT DESCRIPTION**

USE CATEGORY	Actual	Adjusted	Notes on these tables are automatically calculated, user data will need to verify information and if filled out electronically
A. Total Impervious Area	6,306 sq ft	6,306 sq ft	
B. Existing Permitted Impervious Area	4,182 sq ft	4,182 sq ft	
C. Additional Permitted Impervious Area	2,867 sq ft	2,867 sq ft	Total PERMITTED Impervious Area
D. Additional Permitted Impervious Area	0 sq ft	0 sq ft	Total IMPROVED Impervious Area
E. Total Permitted Impervious Area	0 sq ft	0 sq ft	Total IMPROVED Impervious Area
F. Proposed Impervious Area	1,046 sq ft	1,046 sq ft	Total NEW Impervious Area
G. Proposed Semi-Permeable Area	0 sq ft	0 sq ft	Total IMPROVED Impervious Area
<b>Project Threshold Classification</b>			<b>3,913</b> sq ft

Project Threshold Classification: (check/leave blank for not coverage may be removed when no longer in use)  Small Project (less than 500 sq ft, created and/or replaced) - Use Appendix B Small Project Submitter Requirements for permit application guidance.  
 Medium Project (more than 500 sq ft, but less than 1,000 sq ft, created and/or replaced) - Use Appendix C Medium Project Submitter Requirements for permit application guidance.  
 Large Project (more than 1,000 sq ft, created and/or replaced) - Use Appendix D Large Project Submitter Requirements for permit application guidance.



SECTION B-B  
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION A-A  
SCALE: 1"=10' HORIZONTAL, VERTICAL

REVISIONS PER COUNTY COMMENTS, 10/10/2023



10/10/2023

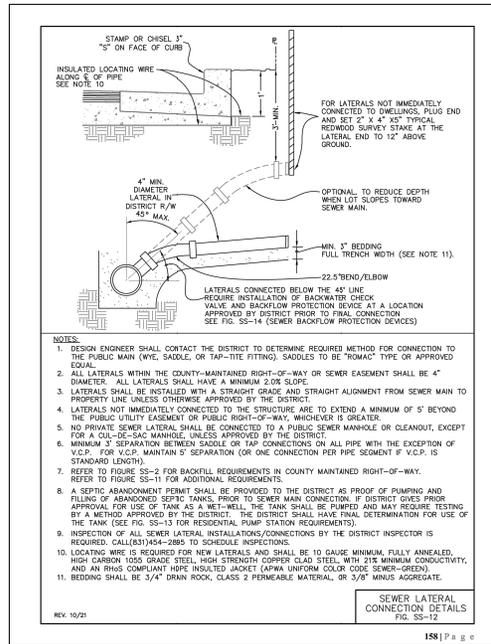
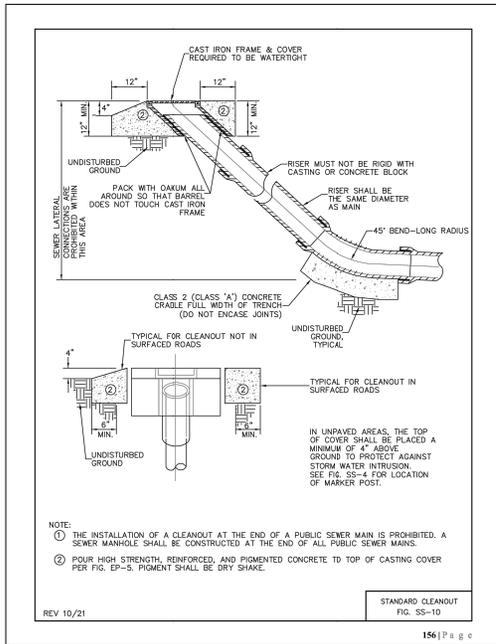
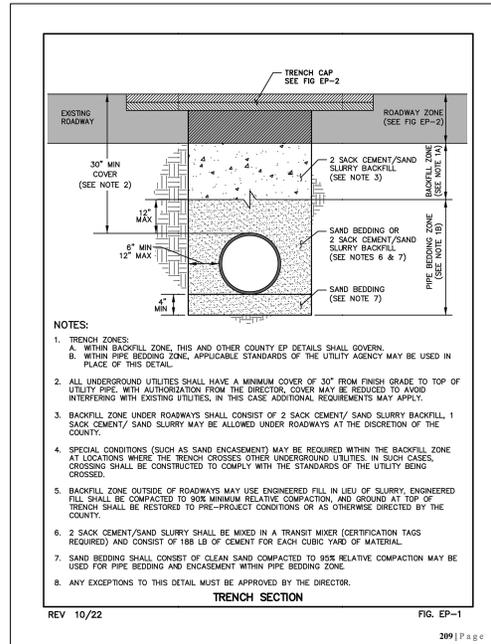
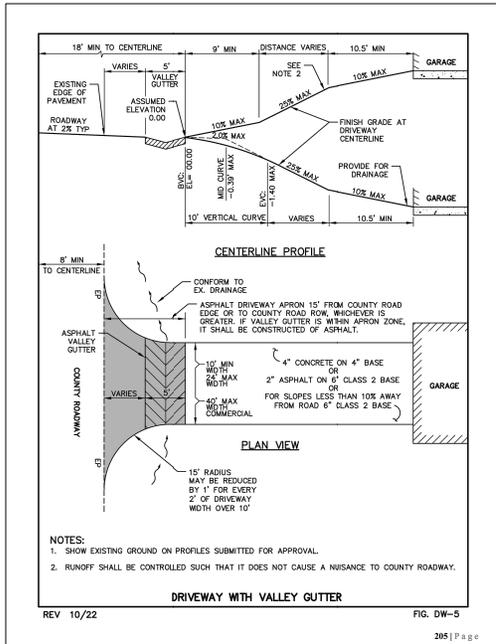


**R.I. Engineering, Inc.**  
 303 Palomero St., Suite 42-202, Santa Cruz, CA 95060  
 831-425-3901 www.riengineering.com

NEW RESIDENCE FOR NATALIE AND ALEXANDER SHTURUM 719 SEACIFF DRIVE, APTOS, CA 95003  
 DETAILS & CROSS-SECTIONS

project no. 25-015-1  
 date MAY 2025  
 scale AS SHOWN  
 dwg name CIVIL2.DWG

C-2



REVISIONS PER COUNTY COMMENTS, 10/10/2025

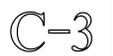


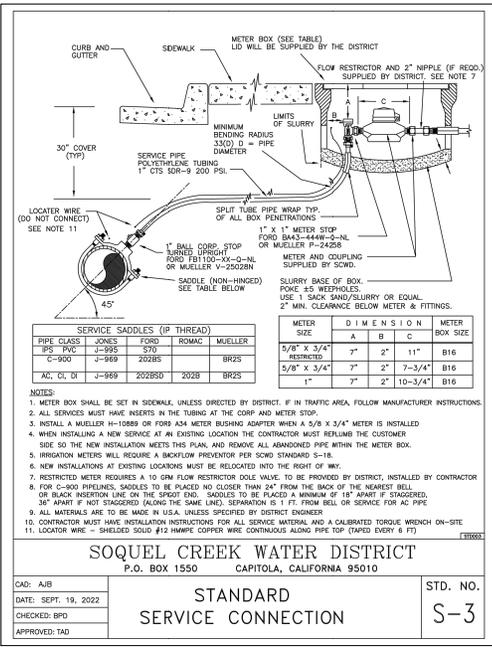
10/10/2025

**R.J. Engineering, Inc.**  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rjengineering.com

NEW REVISIONS FOR NATALIE AND ALEXANDER SHILUM 719 SEAGLIFF DRIVE, COUNTY APN 038-16-012  
**SANTA CRUZ COUNTY STANDARD DETAILS**

project no. 25-015-1  
date MAY 2025  
scale AS SHOWN  
dwg name CIVIL2.DWG



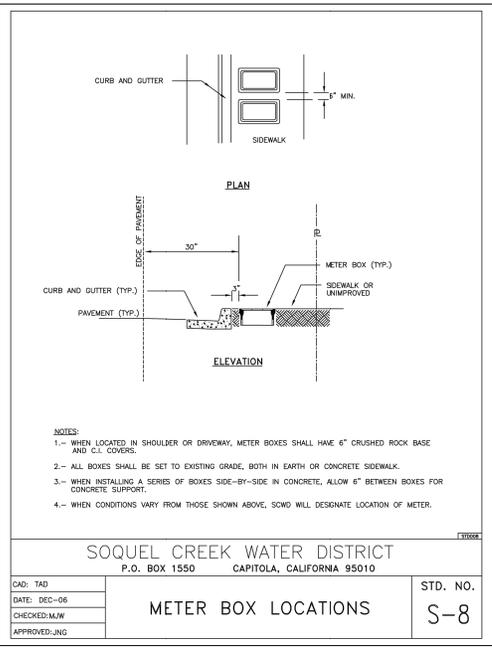


**SOQUEL CREEK WATER DISTRICT**  
P.O. BOX 1550 CAPITOLA, CALIFORNIA 95010

CAD: AJB  
DATE: SEPT. 19, 2022  
CHECKED: BPD  
APPROVED: TAD

**STANDARD SERVICE CONNECTION**

STD. NO. **S-3**

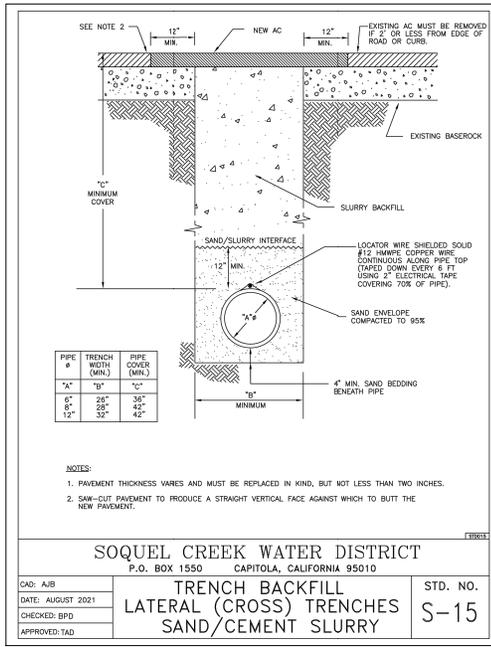


**SOQUEL CREEK WATER DISTRICT**  
P.O. BOX 1550 CAPITOLA, CALIFORNIA 95010

CAD: TAD  
DATE: DEC-08  
CHECKED: M-W  
APPROVED: J-NG

**METER BOX LOCATIONS**

STD. NO. **S-8**

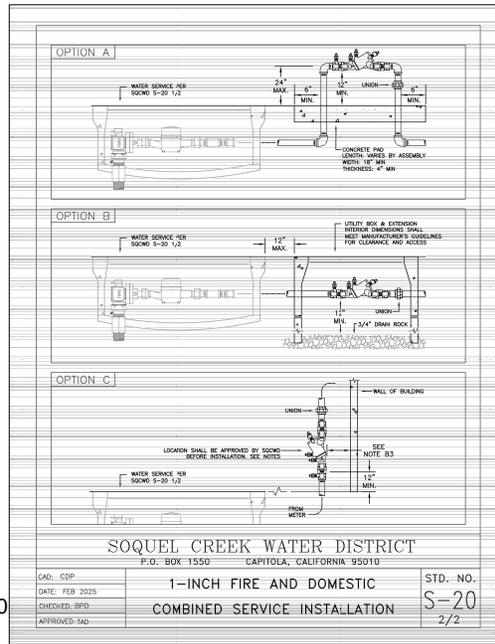
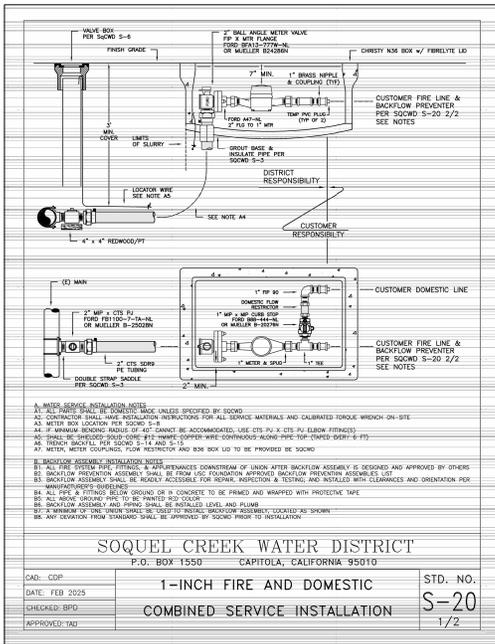


**SOQUEL CREEK WATER DISTRICT**  
P.O. BOX 1550 CAPITOLA, CALIFORNIA 95010

CAD: AJB  
DATE: AUGUST 2021  
CHECKED: BPD  
APPROVED: TAD

**TRENCH BACKFILL LATERAL (CROSS) TRENCHES SAND/CEMENT SLURRY**

STD. NO. **S-15**



REVISIONS PER COUNTY COMMENTS, 10/10/2023



10/10/2023

**R.I. Engineering, Inc.**  
303 Potrero St., Suite 42-202, Santa Cruz, CA. 95060  
831-425-3901 www.reengineering.com

NEW RESIDENCE FOR NATALIE AND ALEXANDER SHILNUM 719 SEAGLIFF DRIVE, SAN JOSE COUNTY, APN 038-16-012

project no. 25-015-1  
date: MAY 2025  
scale: AS SHOWN  
dwg name: CIVIL2.DWG

**C-4**

TOTAL AREA OF DISTURBANCE = 0.116 ACRES  
= 5,070 SF

**SITE HOUSEKEEPING REQUIREMENTS**

**CONSTRUCTION MATERIALS**

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BRUMED.
2. ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLS OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**LANDSCAPE MATERIALS**

1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL, WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

**VEHICLE STORAGE AND MAINTENANCE**

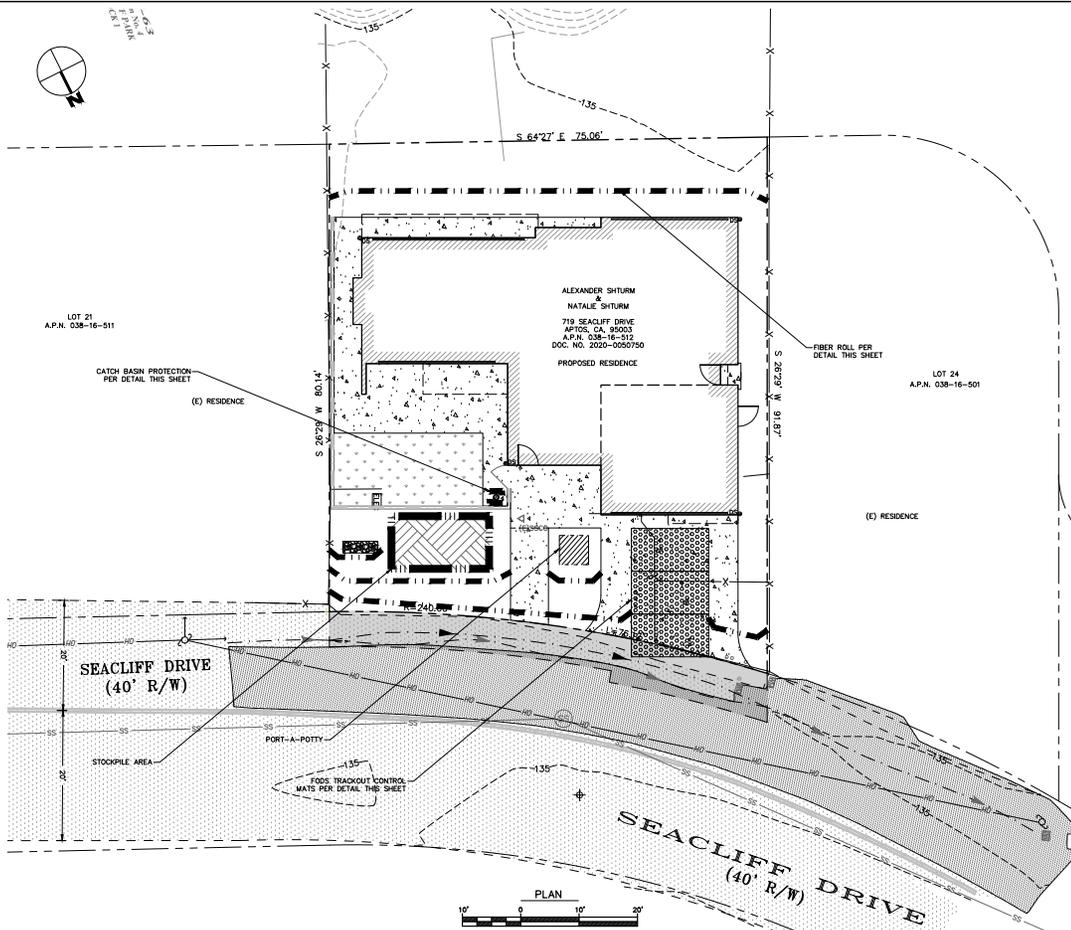
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
2. ALL EQUIPMENT OR VEHICLES WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BUMPS.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

**WASTE MANAGEMENT**

1. DISPOSAL OF ANY WASH OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY.
9. CONCRETE WASHOUT AREAS AND OTHER CLEANING AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

**CONSTRUCTION ENTRANCE DETAIL W/ FODS TRACKOUT CONTROL MATS (OR APPROVED EQUAL)**

1. COVER ALL EXPOSED SLOPES.
2. TRUCK 2 TONS/ACRE ON SLOPES  $\leq 20\%$  WITH SOIL BINDER.
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES  $>20\%$ .



**EROSION CONTROL MEASURES**

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN UNID CONDITIONS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:  
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 0-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE ON SLOPES GREATER THAN 20%. EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

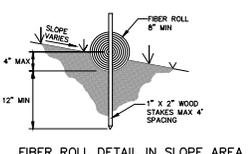
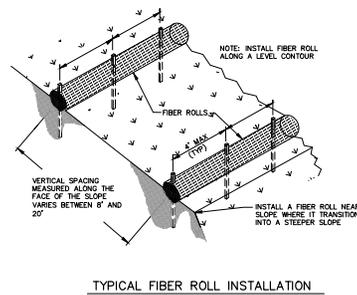
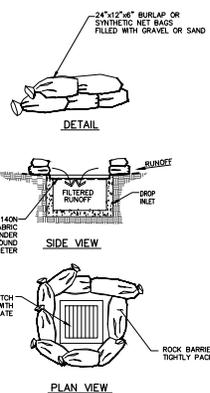
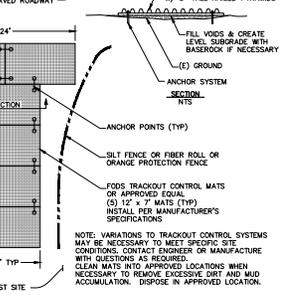
**EROSION CONTROL LEGEND**

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- INSTALL FODS TRACKOUT CONTROL MATS PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA

**EROSION CONTROL MEASURES**

1. COVER ALL EXPOSED SLOPES.
2. TRUCK 2 TONS/ACRE ON SLOPES  $\leq 20\%$  WITH SOIL BINDER.
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES  $>20\%$ .

**CONSTRUCTION ENTRANCE DETAIL W/ FODS TRACKOUT CONTROL MATS (OR APPROVED EQUAL)**



REVISIONS PER COUNTY COMMENTS, 10/10/2023



10/10/2023

**R.I. Engineering, Inc.**  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.rienengineering.com

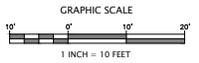
NEW RESIDENCE FOR NATALIE AND ALEXANDER SHTURM  
719 SEACLIFF DRIVE  
APTOS, CA 95003  
APL038-16-512  
STORMWATER POLLUTION CONTROL PLAN

project no. 25-015-1  
date MAY 2025  
scale AS SHOWN  
dwg name CIVIL2.DWG



Reference: Santa Cruz County A.P.M. 038-55-12, located on a concrete pad with a fire hydrant at the entrance gate to the Las Olas HOA. Benchmark Elevation = 18.66' NAVD 88.

15 PROJECT: 2024/03/06, 719 Seaciff Drive, Aptos, CA. Prepared By: JKH, Plot Date: Aug 15, 2024. = 11:36am



**Basis of Elevation**

Santa Cruz County Benchmark 474, located on a concrete pad with a fire hydrant at the entrance gate to the Las Olas HOA. Benchmark Elevation = 18.66' NAVD 88.

The contour interval is 1 foot.

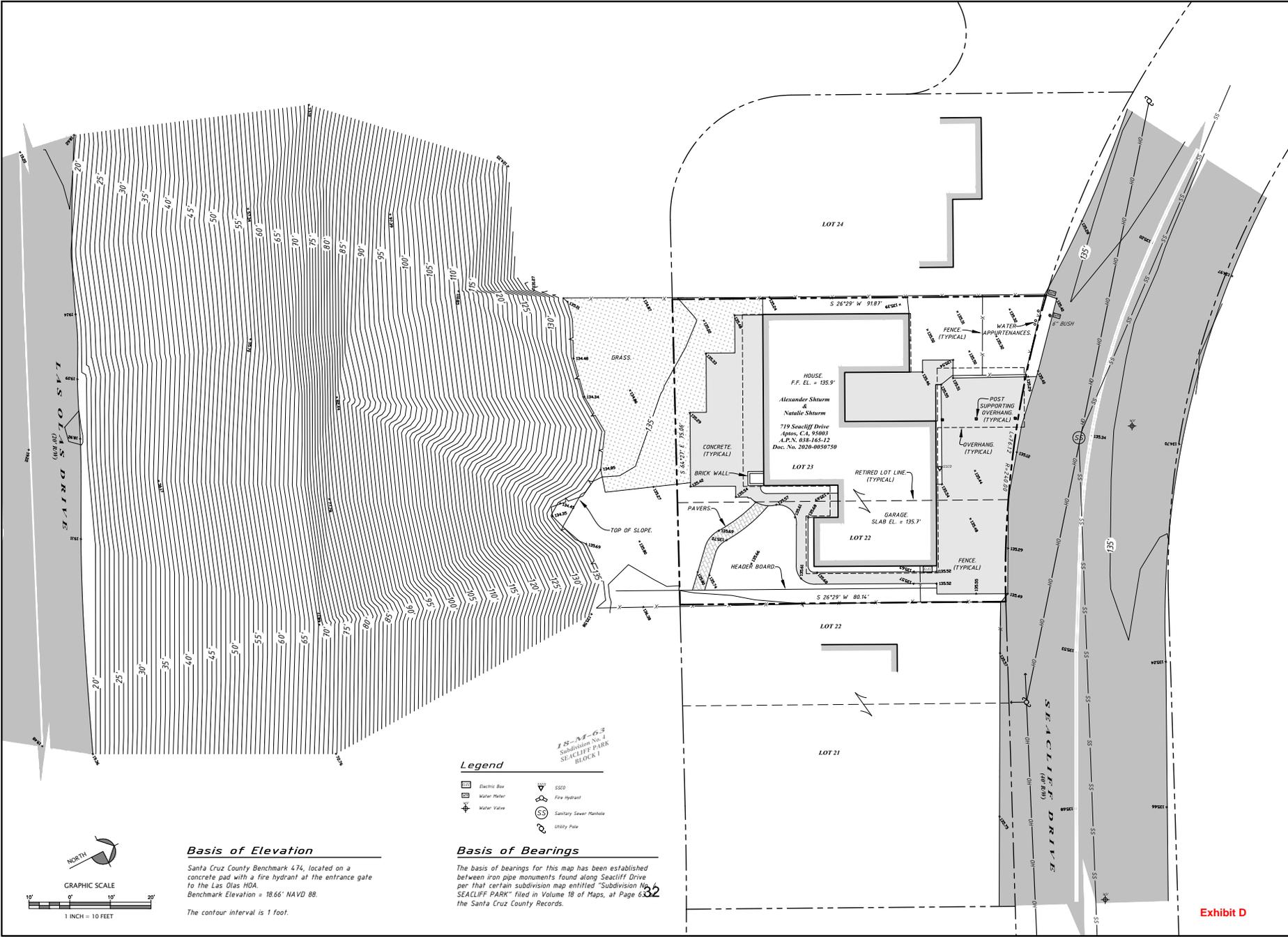
**Legend**

- Electric Box
- Water Meter
- Water Valve
- SSO
- Fire Hydrant
- Sanitary Sewer Manhole
- Utility Pole

**Basis of Bearings**

The basis of bearings for this map has been established between iron pipe monuments found along Seaciff Drive per that certain subdivision map entitled "Subdivision No. SEACIFF PARK" filed in Volume 18 of Maps, at Page 632 the Santa Cruz County Records.

15-17-03  
Subdivision No. 1  
SEACIFF PARK  
BLOCK 1



	<b>HANAGAN LAND SURVEYING</b> 	REVISION APPROVED <i>Paul Hanagan</i> Paul Hanagan LS 7797	<b>Alexander &amp; Natalie Shurm</b> Topographic Map, The Lands Of: 719 Seaciff Drive, Aptos, CA, 95003 PHONE (831) 489-3429
Santa Cruz County A.P.M. 038-55-12	DATE 7-22-2024 SCALE 1" = 10'	DESIGN DRAWN J. KANEY	SHEET <b>SU-1</b> OF 7 SHEETS 24064 JOB NO.

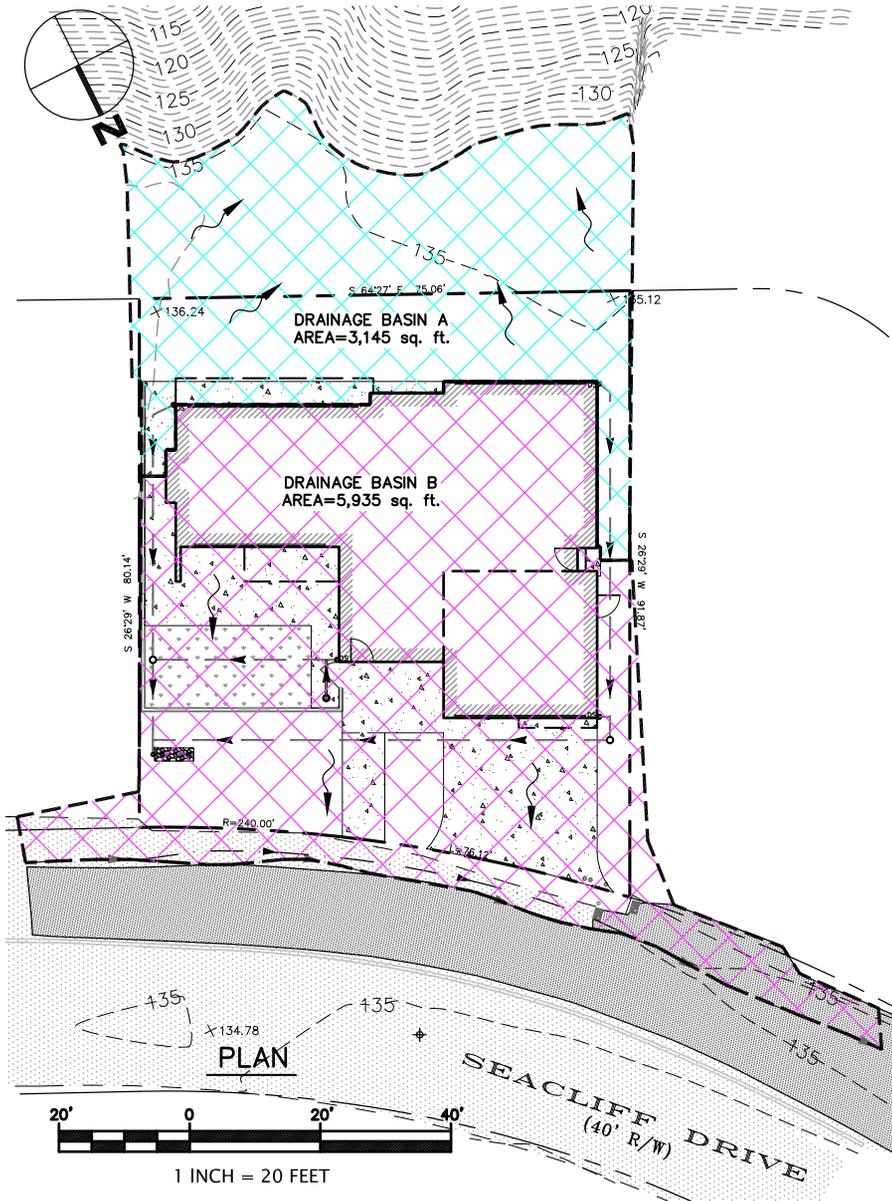
Exhibit D







PRE-DEVELOPMENT WATERSHED MAP



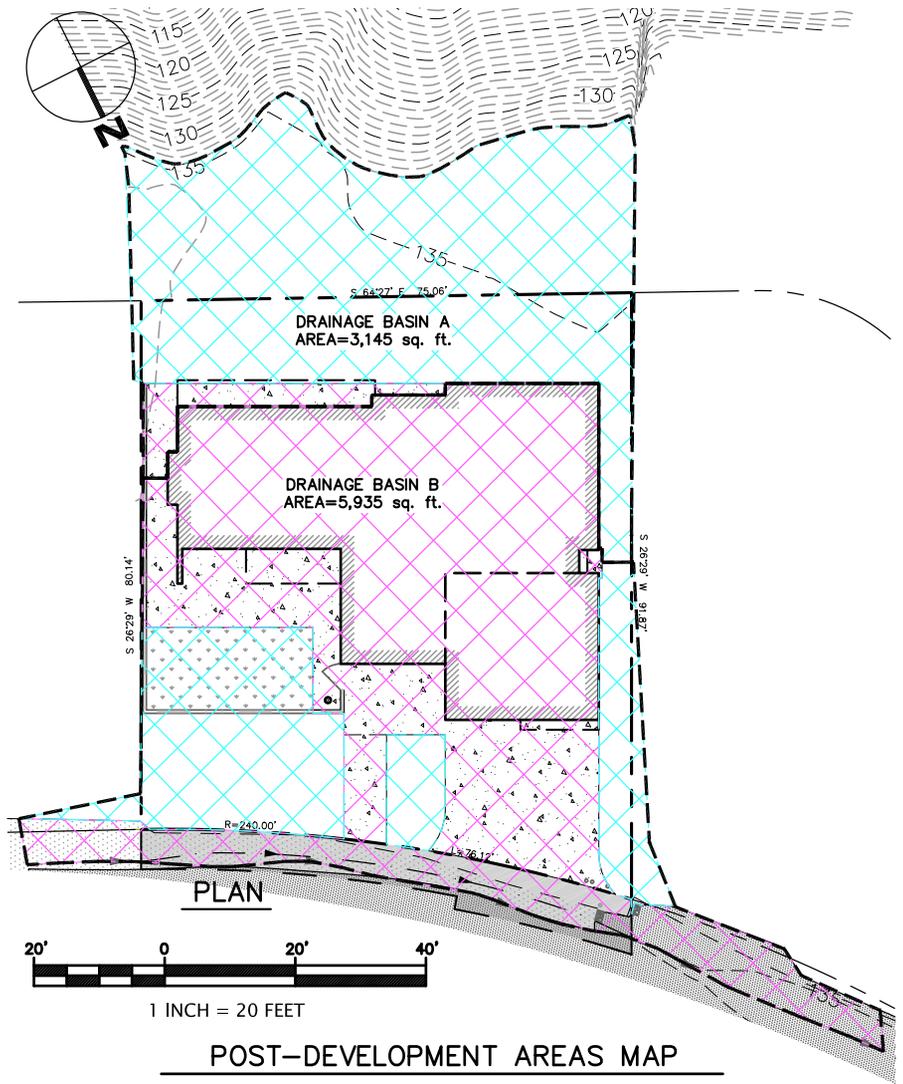
POST-DEVELOPMENT WATERSHED MAP

 <b>RI Engineering, Inc.</b>	303 Potrero St., Suite 42-202, Santa Cruz, CA 95060 831-425-3901 www.rengineering.com	
	<b>WATERSHED MAP</b>	
NEW RESIDENCE FOR NATALIE AND ALEXANDER SHTURM 719 SEACLIFF DRIVE APTOS, CALIFORNIA APN 038-16-512	project no. 25-015-1	date OCTOBER 2025
	scale AS SHOWN	dwg name CIVIL2.dwg
	Exhibit D	



**PRE-DEVELOPMENT KEY**

BASIN A:		IMPERVIOUS AREA= 3,165 sq. ft.
		PERVIOUS AREA= 1,825 sq. ft.
BASIN B:		IMPERVIOUS AREA= 3,075 sq. ft.
		PERVIOUS AREA= 1,050 sq. ft.



**POST-DEVELOPMENT KEY**

BASIN A:		IMPERVIOUS AREA= 190 sq. ft.
		PERVIOUS AREA= 2,955 sq. ft.
BASIN B:		IMPERVIOUS AREA= 4,490 sq. ft.
		PERVIOUS AREA= 1,445 sq. ft.



**RI Engineering, Inc.**

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.riengineering.com

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NEW RESIDENCE  
FOR  
NATALIE AND ALEXANDER SHTURM  
719 SEACLIFF DRIVE  
APTOS, CALIFORNIA  
APN 038-16-512

**IMPERVIOUS AND PERVIOUS  
AREAS MAP**

---

project no. 25-015-1
date OCTOBER 2025
scale AS SHOWN
dwg name CIVIL2.dwg

Exhibit D

# FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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APTOS RANCHO  
POR. N.W. 1/4 SEC. 13, T.11S., R.1W.  
M.D.B. & M.

Tax Area Code  
69-270

38-16



11  
SEACLIFF PARK SUB # 4  
18MB70 1/7/26

17  
SEACLIFF PARK SUB # 4  
18MB63 6/18/25

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Assessor's Map No. 38-16  
County of Santa Cruz, Calif.  
Oct., 1997

Electronically Produced 10/30/97 wrfp  
Rev. 5/4/98 KSA (CA)  
Rev. 5/12/99 CB (Tax Consolidation)  
Rev. 4/27/01 mmr (changed page refs.)  
Rev. 5/16/05 CB (0-0116593 & 94, Sp 1-17 & 18)



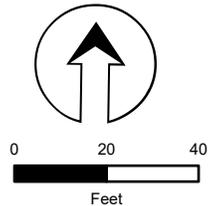
# Parcel Location Map



**Parcel: 03816512**

 Subject Parcel

Map printed: 2 Dec. 2025

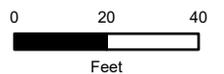
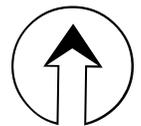




# Parcel General Plan Map

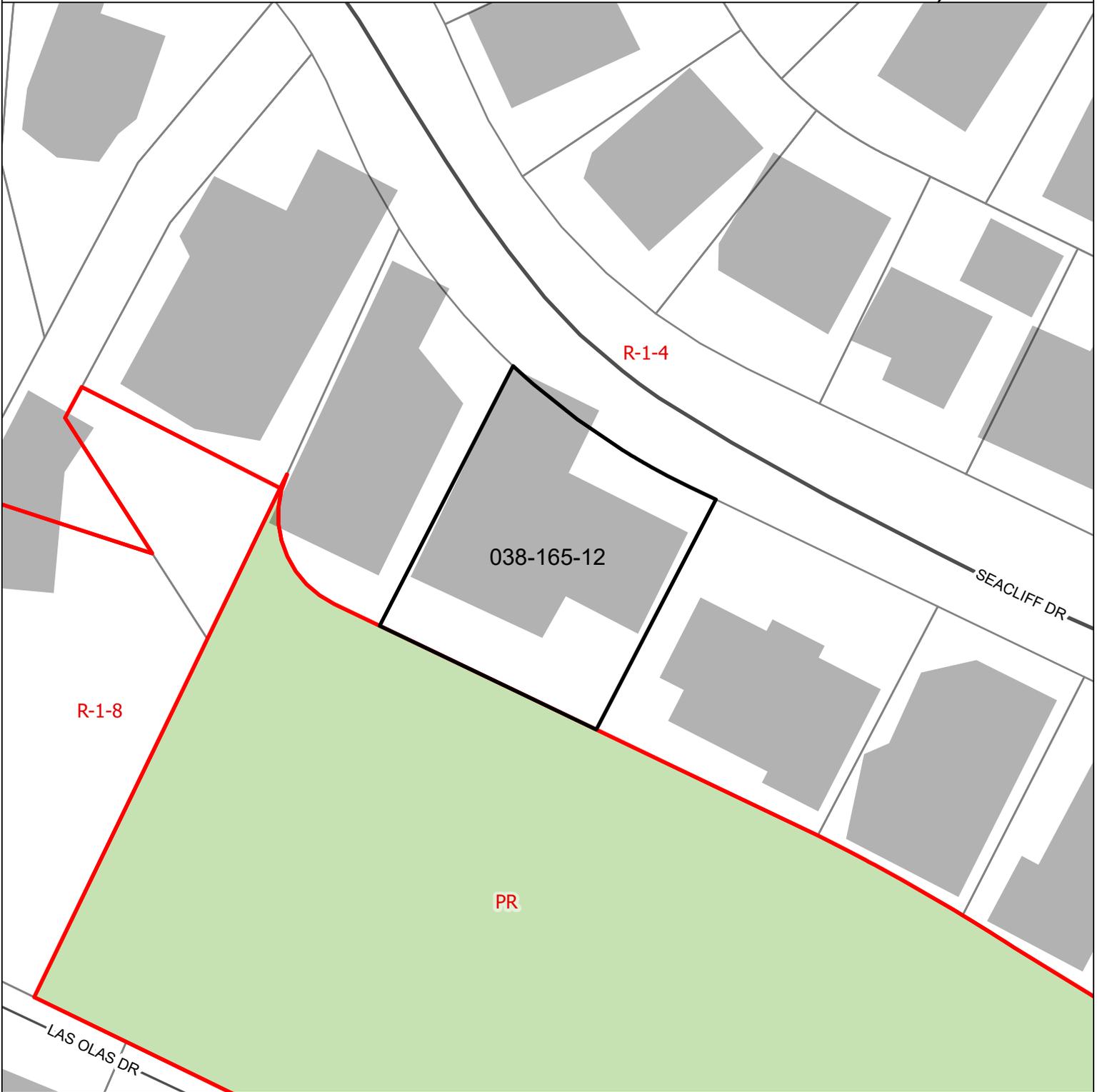


 Subject Parcel

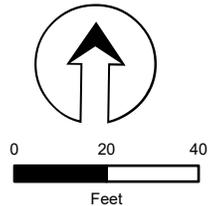




# Parcel Zoning Map



 Subject Parcel



## Parcel Information

### Services Information

Urban/Rural Services Line:  Inside  Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: County Sanitation District  
Fire District: Central Fire Protection District  
Drainage District: Flood Control District 6

### Parcel Information

Parcel Size: Approximately 6,000 square feet  
Existing Land Use - Parcel: Residential  
Existing Land Use - Surrounding: Residential  
Project Access: Seacliff Drive  
Planning Area: Aptos  
Land Use Designation: R-UM (Urban Medium Residential Density)  
Zone District: R-1-4 (Single Family Residential (Minimum 4,000 square foot parcel))  
Coastal Zone:  Inside  Outside  
Appealable to Calif. Coastal Comm.:  Yes  No

**Technical Reviews:** Combined Geology and Soils Report Review (REV251104)

### Environmental Information

Geologic Hazards: Coastal Bluff  
Fire Hazard: Not a mapped constraint  
Slopes: Coastal Bluff  
Env. Sen. Habitat: Mapped biotic - no physical evidence on site  
Grading: Foundation only  
Tree Removal: No trees proposed to be removed  
Scenic: Mapped resource  
Archeology: Not mapped



# County of Santa Cruz

## Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580 Public Works (831) 454-2160  
[cdi.santacruzcountyca.gov](http://cdi.santacruzcountyca.gov)

8 August 2025

Matson Britton Architects  
Attn: Cove Britton  
728 N. Branciforte Ave  
Santa Cruz CA 95062

Subject: Review of the Geological Investigation dated 14 May 2025 by Pacific Crest Engineering, Inc., Project No. 24037-SZ69-B45; and

Review of the Geotechnical Investigation dated 15 May 2025 by Pacific Crest Engineering, Inc., Project No. 24063-SZ69-H210

Project Site: 719 Seacliff Drive  
APN: 038-165-12  
Application No. REV251104 (related to 251308)

Dear Applicant(s):

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports, and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports. [SCCC 16.10.070]
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. [SCCC 16.10.070]
3. After plans are prepared that are acceptable to all reviewing agencies, please request both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG-300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by the last revision date. [SCCC 16.10.070]
4. A Declaration of Geologic Hazards shall be recorded prior to issuance of building permit(s) for the proposed project. The declaration form and instructions for recording will be provided upon submission of the building permit package. [SCCC 16.10.070]

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports.

Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website:  
<https://cdi.santacruzcountyca.gov/UPC/EnvironmentalPermitsTechnicalReviews/GeologyandSoils/AssistanceandForms.aspx>

After building permit issuance the engineering geologist and geotechnical engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.

Please contact Rick Parks at (831) 454-3168/email: [Rick.Parks@santacruzcountyca.gov](mailto:Rick.Parks@santacruzcountyca.gov) or Craig Stewart at (831) 454-3175/email: [Craig.Stewart@santacruzcountyca.gov](mailto:Craig.Stewart@santacruzcountyca.gov) if we can be of any further assistance.

Sincerely,



Rick Parks GE 2603  
Civil Engineer  
County of Santa Cruz

A handwritten signature in black ink, appearing to read "Craig Stewart".

Craig Stewart CEG 2779  
County Geologist  
County of Santa Cruz



Cc: Environmental Planning, Attn: Jessica deGrassi  
Pacific Crest Engineering, Inc., Attn: Erik Zinn PG, CEG  
Pacific Crest Engineering, Inc., Attn: Elizabeth Mitchell, GE  
Alexander and Natalie Shturm

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,  
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and/or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.