



Staff Report to the Zoning Administrator

Application Number: **251270**

Applicant: Dale Morrow

Agenda Date: 4/17/2026

Owner: 2950 East Cliff Drive Santa Cruz LLC

Agenda Item #: 4

APN: 028-132-17

Time: After 9:00 a.m.

Site Address: 2950 East Cliff Drive, Santa Cruz, CA 95062

Project Description: Proposal to replace in-kind, an existing nonconforming staircase and retaining wall that are located within the public right-of-way of East Cliff Drive.

Location: Property is located to the southeast of East Cliff Drive (2950 East Cliff Drive), across from the lagoon and approximately 980 feet from the intersection with 7th Avenue.

Permits Required: A Coastal Development Permit and a Site Development Permit to reconstruct a nonconforming structure and for an overhead railing in the right-of-way

Supervisory District: First District (District Supervisor: Manu Koenig)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251270, based on the attached findings and conditions.

Project Description & Setting

The subject property is located on the southeastern side of East Cliff Drive across from the Twin Lakes lagoon and approximately 980 feet from its intersection with 7th Avenue. The parcel is situated between East Cliff Drive and a 15-foot-wide alley, which serves as the primary vehicular access point for properties in the area. The project site is mostly located within the right-of-way for East Cliff Drive, adjacent to the western property boundary of APN 028-132-17. Due to the steep slope descending from the residential structures towards East Cliff Drive, many properties along this stretch include stairways within the public right-of-way to provide pedestrian access between the homes and the street. As such, many homes along this stretch of East Cliff Drive include similar staircases and walls within the right-of-way.

The property is developed with an approximately 1,850-square-foot, two-story single-family residence and a 252-square-foot garage. According to Assessor records, the residence was constructed in 1965 and finalized in 1966 under previously granted variances (Permit 633-V), which allowed increased lot coverage of 41% and a reduced rear yard setback of 12 feet. The parcel frontage is along East Cliff Drive with the rear of the property located along the alleyway with

vehicular access to the parcel, which is not considered a street with frontage.

The existing stairway was originally constructed pursuant to Building Permit A-5267 in 1965 and provides direct pedestrian access from East Cliff Drive to the residence. The retaining wall does not appear in County permitting records in that it was likely constructed prior to the adoption of the Coastal Act, and no building permit would have been required. The stairway and a section of the wall were recently damaged when a vehicle collided with the structures, an occurrence noted as relatively common along this curved segment of roadway. During the beginning of reconstruction/repair efforts, the property owner was informed that both a Coastal Development Permit and encroachment permits were required, prompting the current application.

The proposed project includes replacement-in-kind of the existing nonconforming wooden stairway, as well as repairs to the associated brick retaining wall, both of which are located almost entirely within the right-of-way. The wall was also damaged by the vehicle collision, and approximately five feet of the total 24-foot-long wall is also being recognized by this permit. Both the staircase and wall are considered to be nonconforming structures in that they are located within the right-of-way, out of compliance with County zoning standards.

The project site is located within the Coastal Zone and the appeals jurisdiction of the Coastal Commission. Because the proposed improvements are visible from Twin Lakes Beach, the project is not exempt from Coastal Development Permit requirements. A Site Development Permit is required for construction of the nonconforming staircase located in the right-of-way, and for the associated safety railing, which exceeds the maximum three-foot height limit for fences within a front yard setback. In addition, the project also requires issuance of a Coastal Encroachment Permit from the County Parks Department, a Roadway Encroachment Permit from the Santa Cruz County Public Works due to its location within the public right-of-way, as well as a Building Permit. These requirements have therefore been included as conditions of approval.

Zoning & General Plan Consistency

The subject property is a 2,640-square-foot lot, located in the R-1-3.5 (Single Family Residential, 3,500 square foot minimum per dwelling) zone district, a designation which allows residential uses. The proposed replacement-in-kind of the stairway and recognition the replacement of an existing, previously unpermitted retaining wall, is considered an accessory residential improvement and is therefore a principal permitted use within the zone district. The zoning designation is consistent with the site's R-UH (Urban Residential - High Density) General Plan designation.

While the parcel contains less than the required 3,500 square feet outlined by the zone district standards, the proposed project does not intensify or expand the degree of nonconformity.

Nonconforming Structures

Pursuant to SCCC 13.10.262(4), reconstruction of a nonconforming structure within five feet of a vehicular right-of-way that alters more than 50% of the major structural components within any consecutive five-year period requires a Site Development Permit. This allows an opportunity to address potential impacts to the environment or public health, safety, or welfare. The proposed project involves reconstruction of the nonconforming stairway, which constitutes a 100-percent

modification of the existing structure. Therefore, the project exceeds the threshold for minor repair and is subject to Site Development Permit review. Repairs to the associated retaining wall included reconstruction in-kind of around five feet of the existing 24-foot-long wall, which constitutes less than 50-percent modification. Therefore, no additional approval is required for this work.

Notwithstanding the extent of reconstruction, the proposed development maintains the existing stairway's footprint, configuration, and functional characteristics. As such, the reconstruction does not increase the scale, intensity, or impacts of the previously approved development. Therefore, the required findings for reconstruction of a nonconforming structure can be made.

Site Development Permit

The proposed project requires a Site Development Permit for replacement of a nonconforming stairway structure to ensure that the reconstruction remains consistent with previously approved development, does not result in increased impacts to surrounding properties or the public right-of-way, does not intensify the degree of nonconformity, and adequately protects public health, safety, and welfare.

As proposed, the project satisfies these criteria. The reconstruction will not alter the existing stairway alignment, footprint, or materials in a manner that would increase visual or physical impacts. Instead, the project represents a replacement-in-kind approach that maintains the established character and function of the improvements.

A Site Development Permit is also required for the proposed stairway railings pursuant to SCCC 13.10.525. Within the required front yard setback, or within the public right-of-way and within three feet of the traveled way or shoulder, fencing and railings are limited to a maximum height of three feet, as measured from the lower of existing or proposed grade. The proposed stairway railings are approximately four feet eight inches in height, exceeding the allowable three-foot height limit. The railings are required for safety and have been designed with open slats, preserving visibility and ensuring that sight distance triangles are not adversely impacted. Therefore, the findings for approval of an over-height fence/railing can be made. All other project components, including the approximately one-foot-eight-inch-tall retaining wall, remain below three feet in height.

Public Right-of-Way

The proposed development is located almost entirely within the East Cliff Drive public right-of-way, which falls within the Coastal Encroachment area. The Coastal Encroachment Program is intended to protect public access and recreational opportunities within the Coastal Zone.

Because the project involves existing and proposed encroachments, a Coastal Encroachment Permit is required. This permit will include ongoing conditions, including annual fees, to ensure continued compliance and oversight of the encroachment.

Additionally, the County Public Works Department has reviewed the proposal, which is allowed due to it being a replacement-in-kind and requires issuance of a Roadway Encroachment Permit prior to commencement of construction activities within the public right-of-way.

Local Coastal Program Consistency

The proposed project is in conformance with the County's certified Local Coastal Program, in that the structures will be replaced-in-kind structures and are therefore sited and designed to be visually compatible, in scale with, and integrated with the existing character of the neighborhood. Developed parcels in the area contain single family dwellings, including properties located adjacent to this portion of East Cliff Drive that also have stairway access to the public street and adjacent beach. Size and styles of stairways and retaining walls vary in the area, and the design submitted is consistent with the existing range of styles and essentially replicates the design of the originally permitted stairway constructed in 1965. The project site is on the inland side of the road and is not identified as a priority acquisition site in the County's Local Coastal Program. Public beach access is located approximately 380 feet west from the subject property. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Public Outreach/Public Comment

Prior to the publication of this staff report, two written public comments were received regarding the proposed project. Both commenters expressed opposition and requested denial of the project. The primary concerns relate to the location of the existing stairway and retaining wall within the public right-of-way along East Cliff Drive. Commenters characterized this corridor as heavily traveled and potentially hazardous for multimodal users, including pedestrians and cyclists. Additionally, concerns were expressed that allowing the encroachments to remain could constrain or conflict with the implementation of future multimodal improvements along East Cliff Drive.

Staff have carefully reviewed these concerns. The proposed project does not involve an expansion or intensification of the existing encroachments. Rather, it consists of the replacement of a previously permitted stairway and the formal recognition of an existing retaining wall that has been in place. The project will not increase the degree of encroachment into the public right-of-way beyond what has already been permitted or established.

Furthermore, approval of the project would bring the encroachments into full administrative compliance, including the application of the appropriate annual encroachment fees to the property owner. This ensures that the continued use of the public right-of-way is properly regulated and accounted for. Staff also note that the project, as proposed, does not preclude the planning or construction of future multimodal improvements; any such future projects would be evaluated independently and may require modification or removal of existing encroachments as necessary. Based on the above, staff find that the concerns raised, while noted, are addressed by the scope and nature of the proposed project and do not warrant denial.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251270**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: Alexandra Corvello
Santa Cruz County Planning
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3209
E-mail: alexandra.corvello@santacruzcountyca.gov

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters (REV251085)
- H. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251270

Assessor Parcel Number: 028-132-17

Project Location: 2950 East Cliff Drive, Santa Cruz, CA 95062

Project Description: Replacement in-kind of an existing nonconforming staircase and retaining wall that are located within the public right-of-way.

Person or Agency Proposing Project: Dale Morrow

Contact Phone Number: 831-818-3076

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 2 (15302) - Replacement or Reconstruction, Class 3 (15303) – New Construction or Conversion of Small Structures

F. Reasons why the project is exempt:

Proposed replacement of existing structures, including the recognition of a previously unpermitted retaining wall, within the public right-of-way but out of the travelled roadway, in an area that will not create a traffic hazard. There is no sensitive habitat in this direct area.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Alexandra Corvello, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-3.5 (Single Family Residential, 3,500 square foot minimum per dwelling), a designation which allows residential uses. The proposed replacement-in-kind of the existing stairway and recognized retaining wall will be used in association with an existing residential structure that is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UH (Urban Residential - High Density) General Plan designation. The project maintains the existing residential use and does not alter density, intensity, or land use patterns.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made. There is no evidence in County records of any public access easements, utility easements, or open space restrictions that would be adversely affected by the proposed development. While the project is located within the public right-of-way, the encroachments are longstanding and typical of development along East Cliff Drive, where steep topography necessitates such improvements for access to the adjacent properties.

The proposed project does not involve an expansion or intensification of the existing encroachments. Rather, it consists of the replacement of a previously permitted stairway and the formal recognition of an existing retaining wall that has been in place. The project will not increase the degree of encroachment into the public right-of-way beyond what has already been permitted or established.

Furthermore, approval of the project would bring the encroachments into full administrative compliance, including the application of the appropriate annual encroachment fees to the property owner. This ensures that the continued use of the public right-of-way is properly regulated and accounted for. As conditioned, the project will remain compliant with all applicable requirements governing encroachments and has been conditioned to not impede any future right-of-way expansions. Therefore, no conflicts with known easements or restrictions are anticipated.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made. The proposed project adheres to the applicable design criteria and development standards set forth in SCCC 13.20.130 and 13.20.140 et seq. The replacement-in-kind approach ensures that the scale, form, and materials of the stairway and retaining wall remain consistent with the existing development pattern.

The surrounding neighborhood is characterized by single-family residences situated on constrained coastal lots, many of which incorporate stairways within the right-of-way due to steep slopes. The proposed design for the stairway and retaining wall is visually compatible with this established context and does not introduce elements that would be out of scale or character.

Additionally, the improvements will utilize in-kind materials and colors that are natural in

appearance and complementary to the coastal setting. The project site is not located on a prominent ridge, bluff top, and the development will not result in significant visual impacts when viewed from public vantage points, including nearby coastal areas, because the surrounding area has similar types of development and encroachments within East Cliff Drive.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made. The project has been evaluated for consistency with the public access and recreation policies of the Local Coastal Program, including Chapter 2, Section 2.5, and Chapter 7. The subject property is not identified as a priority acquisition site for public access or recreation.

The proposed development will not obstruct, reduce, or otherwise interfere with public access to the shoreline, Twin Lakes Beach, or adjacent coastal resources. Existing public access opportunities remain unchanged, and the project does not privatize or restrict use of any public coastal areas. The required Coastal Encroachment Permit from the County Parks Department and Roadway Encroachment Permit from Santa Cruz County Public Works further ensure that the encroachments are managed in a manner that protects public use of the right-of-way.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the stairway and retaining wall are sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed in the R-1-3.5 (Single Family Residential, 3,500 square foot minimum per dwelling) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings with encroachments into the public right-of-way. Size and architectural styles of such encroachments vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood and the current encroachments on the subject property.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

The project site is located on the inland side of the first public road; therefore, this finding can be made because it will not increase encroachment and interfere with public access to the beach, ocean, or any nearby body of water. The public beach access is located approximately 380 feet west from the subject property. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made. The proposed project is in substantial conformance with the intent and requirements of all applicable County ordinances and the purpose of the R-1-3.5 (Single-Family Residential, 3,500 square foot minimum per dwelling unit) zone district, which is intended to provide for single-family residential development at an appropriate scale and density.

The subject parcel is legally nonconforming with respect to minimum lot size, as it contains less than the required 3,500 square feet. Additionally, the existing stairway constitutes a nonconforming structure due to its location within five feet of a public right-of-way. Pursuant to applicable provisions of the County Code regulating nonconforming structures, reconstruction of such improvements is permissible with approval of a Site Development Permit, provided that the project does not intensify or expand the degree of nonconformity.

The proposed project involves reconstruction of the existing stairway and partial reconstruction of the associated retaining wall. Although the work exceeds 50 percent of the structural components of the staircase, thereby triggering Site Development Permit requirements, the project maintains the existing footprint, alignment, and functional use of the structure. The reconstruction does not increase the encroachment into the right-of-way setback, nor does it expand the size, height, or intensity of the nonconforming condition. As such, the project is consistent with regulations governing nonconforming structures.

In addition, the project includes stairway railings that exceed the maximum allowable height of three feet within the front yard setback and near the public right-of-way, as specified in SCCC 13.10.525. The proposed railings, at approximately four feet eight inches in height, are considered over-height. However, the railings are designed with open slats that maintain visibility and do not impede sight distance for vehicular or pedestrian traffic. The increased height is necessary to meet current safety standards for stairway design and does not create adverse visual or functional impacts.

All other project elements, including the retaining wall, comply with applicable height limitations, with the retaining wall measuring approximately one foot eight inches in height. The project has been designed to meet development standards to the extent feasible given site constraints,

including limited parcel size, topography, and the location of existing improvements.

Overall, the project does not intensify the existing nonconforming conditions and is consistent with the intent of the zoning regulations to ensure safe, functional, and compatible residential development.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UH (Urban Residential - High Density) land use designation in the County General Plan. The proposed project supports residential development in urban coastal areas and allows for necessary infrastructure improvements to support such uses.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed replacement-in-kind of the existing stairway and recognized retaining wall in the right-of-way will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made. The proposed development is compatible with the existing and planned land uses in the surrounding neighborhood. The area is characterized by single-family residences, many of which incorporate similar encroachments due to challenging topography.

The replacement-in-kind design of the stairway and retaining wall ensures that the project remains consistent with the scale, character, and visual qualities of the neighborhood. No new visual or functional impacts are introduced.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made. The proposed development is designed and located on the site in a manner that complements and harmonizes with the physical design characteristics of existing and surrounding development in the neighborhood. The project is confined to the footprint of the improved area and maintains the established relationship between the residence and East Cliff Drive.

The stairway and retaining wall reconstruction/repairs respond appropriately to the site's physical constraints, including steep topography, limited lot area, and proximity to the public right-of-way. The design reflects the existing development pattern along East Cliff Drive, where similar access improvements are common due to grade differences between residential structures and the roadway.

The project does not introduce new visual elements or alter the established neighborhood character. Instead, it maintains the scale, form, and function of the existing improvements, thereby ensuring compatibility with surrounding residential uses. As such, the development is consistent with the applicable policies of the General Plan and Local Coastal Program related to neighborhood compatibility and context-sensitive design..

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made. The proposed development demonstrates substantial conformance with the Countywide Design Guidelines and the requirements of SCCC Chapters 13.11 (Site Development and Design Review) and 13.20 (Coastal Regulations), where applicable.

The project employs a replacement-in-kind design approach, ensuring that the visual appearance of the stairway and retaining wall remains consistent with the existing character of the site and surrounding area. Materials, scale, and structural form are compatible with adjacent residential development and do not introduce visually intrusive elements.

The open-slat design of the proposed stairway railings reduces visual mass and preserves transparency, thereby minimizing potential impacts to scenic views and public visibility along the roadway. Additionally, the design prioritizes safety and is a replacement-in-kind of an existing structure.

Site Development Permit Findings for Nonconforming Structures

- (1) Any additional parking requirements created by the project can be met in accordance with SCCC § 13.10.551;

This finding can be made because the project does not increase the number of dwelling units or bedrooms. The existing parking configuration continues to meet the requirements of SCCC 13.16.050. No additional parking demand is created by the reconstruction of the stairway.

- (2) The proposed project will not significantly impair economic development goals or key land use goals of the General Plan;

This finding can be made. The proposed project is consistent with the goals, policies, and implementation measures of the General Plan. The reconstruction of existing improvements supports continued residential use of the property without introducing new or intensified development.

The project does not adversely affect economic development goals or land use objectives, as it neither displaces existing uses nor limits future opportunities for residential development consistent with the General Plan. Additionally, the project supports policies related to maintaining safe and functional access to residential properties, particularly in areas with challenging topographic conditions. By improving the structural integrity and safety of the existing stairway, the project contributes to the overall habitability and long-term viability of the property while remaining consistent with broader land use planning objectives.

- (3) For nonconforming commercial, industrial, or residential structures adjacent to residential property, the nonconforming structure does not unreasonably infringe on adequate light, air, solar access, privacy, or the quiet enjoyment of adjacent residences;

This finding can be made. The proposed reconstruction of the nonconforming structure will not unreasonably infringe upon the use and enjoyment of adjacent residential properties. Specifically, the project will not adversely affect light, air, solar access, privacy, or noise levels.

The project maintains the existing footprint, height, and general configuration of the stairway and retaining wall, thereby avoiding new or expanded impacts. The over-height railings, while exceeding the standard height limit, are designed with open slats that preserve visibility and prevent the creation of a solid visual barrier.

Given that the project does not intensify the use of the property or alter its spatial relationship with neighboring parcels, it will not result in any measurable degradation of adjacent residential conditions. Therefore, the project is compatible with surrounding residential uses.

- (4) For nonconforming structures over a property line, within a riparian corridor, or within five feet of an existing or planned right-of-way, the proposed project has been conditioned to require greater conformance to current site development standards, or has been required to eliminate the nonconformity where feasible, considering economic factors and site conditions including size, shape, topography, existing development or improvements, and environmental constraints;

This finding can be made. The subject stairway is a nonconforming structure located within the public right-of-way. The proposed project has been designed and conditioned to achieve greater consistency with current development standards to the extent feasible by requiring a replacement-in-kind of the existing materials and requiring a Coastal Encroachment Permit and Standard Roadway Encroachment Permit for the proposed work. These two additional types of permits will result in the proposed reconstruction to be in administrative alignment with County standards and pay fees towards the continued improvements of public access to coastal resources on an annual basis. Due to the parcel's limited size, irregular configuration, steep topography, and the established location of existing improvements, relocation or full elimination of the nonconforming condition is not feasible. However, the project improves the condition by enhancing safety and incorporating compliant design features where possible.

The proposed over-height railings, although exceeding standard height limits, are necessary for safety and are designed to avoid impacts to sight distance and public visibility. The retaining wall remains below the height threshold that would trigger additional concerns.

- (5) For projects within a riparian corridor, a condition of approval of the site development permit has been imposed to require riparian protection, preservation, and/or enhancement on the site, as reasonably related to the project and in accordance with General Plan/Local Coastal Program Policy ARC-3.3.2.

This finding is not required because the project site is not located within a riparian corridor.

Conditions of Approval

Exhibit D: Project plans, prepared by Visual Concepts, dated 12/12/2025.

- I. This permit authorizes the replacement-in-kind of the existing stairway and recognized retaining wall located mostly within the public right-of-way as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County Road right-of-way.
 1. All work shall comply with any conditions of approval of the required Encroachment Permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. The proposed materials shall be replacement-in-kind only, especially within the public right-of-way.
 3. All pages that reference the originally proposed concrete stairway must be removed and show all pages for the replacement-in-kind of the existing wooden stairway and brick retaining wall.

4. Grading, drainage, and erosion control plans, if required.
 5. Details showing compliance with fire department requirements.
 6. Include on Building Permit a boxed note near work within the right-of-way stating: "PROJECT HAS A HOLD FOR INSPECTION BY DPW. Before beginning work in County Right of Way contact DPW Encroachments at dpwencroachments@santacruzcountyca.gov." Include note on all relevant sheets.
 7. Provide individual modification worksheets for the stairway and retaining wall.
 8. Provide a copy of the Encroachment Permit from Santa Cruz County Public Works in the supplemental document.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.
 2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
 1. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
 4. The applicant shall provide a signed and stamped copy of the accepted soils report and update(s). The geotechnical report must be updated to show the replacement-in-kind project and not the originally proposed concrete stairway, etc.
 5. Building permit application plans shall reference the soils report and update(s), include contact information for the geotechnical engineer, and include a statement that the project shall conform to the recommendations of the geotechnical engineer.
 6. The applicant shall submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual, available here: <http://www.sccoplanning.com/Portals/2/County/Planning/env/ConstructionStormwaterBMPManual-Oct%20312011version.pdf>.

7. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The plan review form shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the soils report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report. The author of the report shall sign and stamp the completed form. An electronic copy of this form may be found on our website: www.sccoplanning.com, under “Environmental”, “Geology & Soils”, “Assistance & Forms”, “Soils Engineer Plan Review Form”.
- C. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - D. Submit the plan review letter prepared and stamped by the project Geotechnical Engineer.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. Prior to commencing construction, provide a copy of the final Coastal Encroachment Permit from Santa Cruz County Parks. To submit a complete Coastal Encroachment Permit application to the County Parks Department, provide at a minimum a final approved site plan showing the private/public property boundaries, a description and the square footage of the encroachment (including landscaping), and a check made payable to the County of Santa Cruz for \$1,169.02. Please note the annual permit fee will be calculated based on a per square footage amount. Please contact robert.tidmore@santacruzcountyca.gov or visit Coastal Encroachment website at scparcs.com to get the application materials and learn more about the process.
 - B. All site improvements shown on the final approved Building Permit plans shall be installed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - D. The project must comply with all recommendations of the approved soils reports.
 - E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. This Discretionary Permit will authorize approval for all future replacement-in-kind projects for the stairway and retaining wall. If any other improvements or changes are proposed, then a new Coastal Development Permit with any additional required discretionary permits are required at that time. Please note that a new Building Permit, new Encroachment Permit, and active Coastal Encroachment Permit are required before work can be done for each new replacement-in-kind project for the stairway and retaining wall. All future work must meet all standards of the code at the time of application.
- C. All encroachments within the public right-of-way are subject to removal for any potential future improvement projects within the public right-of-way and this approval does not provide protection against future removal required.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

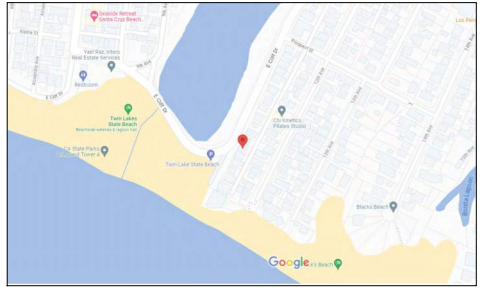
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

SUBJECT PROPERTY



TAX ASSESSOR'S MAP



VICINITY MAP



WEST ELEVATION - JULY 2023



WEST ELEVATION - JULY 2023

REPAIRS "IN-KIND" APPLICATION FOR:

CRISTINA RESIDENCE
2950 EAST CLIFF DR, SANTA CRUZ, CA. 95062
APN: 028-132-17

PROJECT DESCRIPTION :

PROPOSED PROJECT INCLUDE THE REPAIR/REBUILDING OF EXISTING STAIRS AND BRICK LANDSCAPE WALL "IN-KIND" LOCATED WITHIN ROW THAT WERE DESTROYED BY A RECRESS DRIVER ALONG EAST CLIFF DRIVE NEAR THE PUBLIC PARKING AREA AT TWIN LAKES BEACH. THE STAIRS HAVE SERVED THE SINGLE FAMILY RESIDENCE SINCE ORIGINAL CONSTRUCTION IN PLACE. FOR NOTIFICATION DATED 12-9-28 PART 2 SECTION N OF THE COUNTY DESIGN CRITERIA THE EXISTING BRICK LANDSCAPE WALL IS PERMITTED TO BE REPAIRED/REBUILT "IN-KIND" AS WELL. STAIRS SHALL BE CODE COMPLIANT, CONSTRUCTED OF PT WOOD / REDWOOD AND END 6 FEET FROM THE EDGE OF PAVEMENT WITH A FLAT LANDING 3 FEET FROM THE EDGE OF PAVEMENT. TOTAL PROJECT COVERAGE AREA OF ENROACHMENT IS 72.54 SF. NEIGHBORHOOD NOTIFICATION SIGNAGE SHALL BE INSTALLED AS REQUIRED. BUILDING PERMIT INCLUDING REQUIRED BOOKED NOTE NEAR WORK WITHIN THE ROW STATING "PROJECT HAS A HOLD FOR INSPECTION BY DPW. BEFORE BEGINNING WORK IN COUNTY RIGHT OF WAY CONTACT DPW ENROACHMENTS AT dpw.enroachment@sanctacruzcounty.ca.gov."

PROJECT LOCATION & ZONING :

SITE ADDRESS: 2950 EAST CLIFF DR
SANTA CRUZ, CA. 95062
COUNTY: SANTA CRUZ
APN: 028-132-17
APPROX LOT SIZE: 2,370 SF / 0.0590 ACRE
OCCUPANCY GROUP TYPE: V-B NON-SPRINKLERED FAMILY R-3
ZONING: R-3-1.5
FIRE: LRA Low
BUILDING TYPE: Single Family Residence
BUILDING MAIN LIVING AREA: 1,850 SF
YEAR BUILT: 1964

PROJECT TEAM :

OWNER: JEFF CRISTINA
2950 EAST CLIFF DR
SANTA CRUZ, CA 95062
ASBUILT DRAFTING: JEFFERY CRISTINA@gmail.com
PHONE: 408.889.3045
EMAIL: jefferycristina@gmail.com
PHONE: 831.841.3076
EMAIL: y.c.in.c09@gmail.com
ENGINEERING: SILICON VALLEY CIVIL & STRUCTURAL ENGINEERS, INC.
CONTACT: MIKE KOONTZ, P.E.
PHONE: 408.583.0323 ext.2
EMAIL: mhk001@svce.com
GEOTECHNICAL ENGINEER: CMAG ENGINEERING, INC.
GEOTECHNICAL INVESTIGATION
CONTACT: ADRIAN GARNER, P.E., G.E.
PHONE: 831.475.1411
EMAIL: adrian@cmagengineering.com

DRAWING INDEX

SHEET	SECTION	DATE (REV)
A-1	TITLE COVER SHEET - LOCATION & PICTURES	N/A
A-2	TOPOGRAPHIC SURVEY MAP	7-13-23
A-3	EXISTING SITE PLAN UNIMPROVED OVERLAY	12-14-17
A-4	EXISTING SURVEY / SITE PLAN OVERLAY	12-14-17
A-5	PROPOSED REPAIRS IN-LAND PLAN	12-14-17
A-6	PROPOSED WEST ELEVATION	12-14-17
A-7	EXISTING SECTION STAIR DETAILS	AS NOTED
E-1	EXISTING SHINGLES & ROOFING	12-14-17
S-1	STRUCTURAL PLAN - RETAINING WALLS & STAIRS	12-14-17
S-2	STRUCTURAL DETAILS	N/A
REVISIONS SUMMARY: THIS PROJECT IS UNDER CONSTRUCTION		

CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 5537

THIS SET OF DRAWING SHEETS WERE PREPARED BY ME OR THE FIRM INDICATED ON THESE PLANS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE, BUILDING CODE MECHANICAL CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL AND ENERGY STANDARDS, CAL GREEN AND SCAC TITLE 19, ALL AS ADOPTED AMENDMENTS BY THE COUNTY OF SANTA CRUZ.

NAME: DALE MORROW
TITLE: OWNER - VISUAL CONCEPTS
SIGNATURE: [Signature] DATE: 12/12/23

GENERAL NOTES :

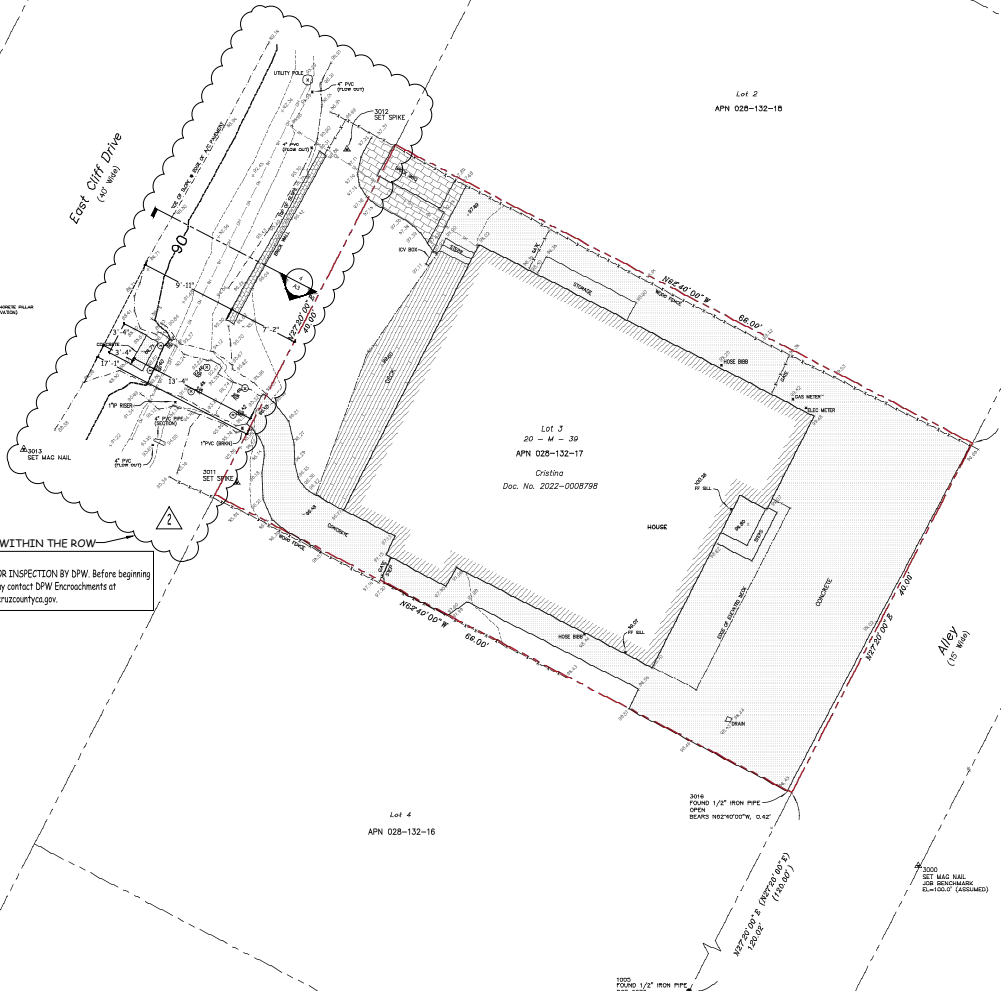
1. CODE REFERENCE: THE WORK INDICATED ON THESE PLANS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE, BUILDING CODE MECHANICAL CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL AND ENERGY STANDARDS, CAL GREEN AND SCAC TITLE 19, ALL AS ADOPTED AMENDMENTS BY THE COUNTY OF SANTA CRUZ.
2. VISUAL CONCEPTS ASSUME AND ACCEPT RESPONSIBILITY FOR THE QUALITY OF WORK AND MATERIALS ARCHITECTURAL AND STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHODS OF CONSTRUCTION OR TIMELINE IN PERFORMANCE OF WORK AT THE JOB SITE.
3. THE CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS, BECOME FAMILIAR WITH THESE DRAWINGS, FEATURES AND CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.
4. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NOT SPECIFIED IN THESE SECTIONS OR NOTES ARE SHOWN, AND NOTES AND SIMILAR WORK AND SITUATIONS ON THE PROJECT UNLESS NOTICED OTHERWISE, MODIFY TYPICAL DETAILS AS DIRECTED BY THE ARCHITECT AND/OR ENGINEER TO MEET SPECIAL CONDITIONS.
5. THE DRAWINGS AND WRITTEN SPECIFICATIONS FOR MATERIALS AND SERVICES SHALL BE LOCATED ORIGIN AS BEING COMPLEMENTARY. ITEMS CALLED FOR IN THE OTHER UNLESS NOTED AND/OR SPECIFIED OTHERWISE, WHEREAS IS FOUND TO BE IN CONFLICT WITH THE DRAWINGS, INCLUDING BUT NOT LIMITED TO DETAILS AND NOTES, SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
6. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO PROVIDING ADEQUATE SHORING AND TEMPORARY LATERAL BRACING AS REQUIRED FOR ALL STRUCTURAL MEMBERS DURING ALL PHASES OF CONSTRUCTION UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF ALL EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF ALL EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF ALL EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF ALL EXISTING STRUCTURE.
7. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT ON FRAMED FLOORS AND ROOFS SO AS NOT TO EXCEED THE DESIGN LOAD.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, ENGINEER, AND/OR OWNER AT THE TIME THEY ARE NOTED AND BEFORE PROCEEDING WITH ANY WORK PROCEEDS.
9. DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHEN SCALED DRAWINGS SHOWN, ALL DIMENSIONS ON DRAWINGS WITH THE ARCHITECT AND/OR THE ENGINEER AND/OR THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
10. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER, OWNER AND/OR OWNER'S REPRESENTATIVE SHOULD BE SCHEDULED AS AN INSPECTION FOR APPROVAL OF CONSTRUCTION.
11. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY CONDITIONS THAT MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE VISIBLE DISTRESS IN THE STRUCTURE.
12. ALL WORK SHALL CONFORM TO THE BEST PRACTICES PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM COORDINATION WITH STATE AND LOCAL AUTHORITIES AND UTILITY COMPANIES.
14. THE CONTRACTOR SHALL COORDINATE BETWEEN SUBCONTRACTORS, SUPPLIERS, ETC. REVIEW AND APPROVE ALL SHOP DRAWINGS AS NECESSARY. VERIFY SUFFICIENT DIMENSIONS AND BRUSH IN REQUIREMENTS, EQUIPMENT AND FEATURE LIST, AND SPECIFICATIONS TO INSURE COMPLEATIBILITY AND COMPLIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.
15. THE CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY TOILET FACILITIES THROUGHOUT ANY NEW CONSTRUCTION. CHEMICAL TOILETS SHALL BE OF AN APPROVED TYPE AND SHALL BE SERVED REGULARLY TO PREVENT CONTAMINATION OF THE AREA.
16. THE FOLLOWING ENGINEERING AND DESIGN SERVICES ARE NOT AS PART OF THESE DRAWINGS AND SHALL BE BY OTHERS: SOILS ENGINEERING, TOPOGRAPHY STUDY AND MAPS, SEPTIC SYSTEM DESIGN AND ENGINEERING, SOIL-FAST SYSTEM DESIGN AND ENGINEERING, GRADING AND DRAINAGE DESIGN AND ENGINEERING, SOUNDING AND VIDEO SYSTEM DESIGN, HOME AUTOMATION DESIGN AND ENGINEERING, SECURITY AND FIRE DESIGN, FLOOD DAMAGE PREVENTION DESIGN, LANDSCAPE AND LANDSCAPE AND WATER FEATURE DESIGN AND ENGINEERING SERVICES.

VISUAL CONCEPTS
Technical Drafting
951.881.9276
951.881.9276

2950 EAST CLIFF DR.
Santa Cruz, CA. 95062
APN: 028-132-17

10/10
11/10
12/10
13/10
14/10
15/10
16/10
17/10
18/10
19/10
20/10
21/10
22/10
23/10
24/10
25/10
26/10
27/10
28/10
29/10
30/10
31/10
32/10
33/10
34/10
35/10
36/10
37/10
38/10
39/10
40/10
41/10
42/10
43/10
44/10
45/10
46/10
47/10
48/10
49/10
50/10
51/10
52/10
53/10
54/10
55/10
56/10
57/10
58/10
59/10
60/10
61/10
62/10
63/10
64/10
65/10
66/10
67/10
68/10
69/10
70/10
71/10
72/10
73/10
74/10
75/10
76/10
77/10
78/10
79/10
80/10
81/10
82/10
83/10
84/10
85/10
86/10
87/10
88/10
89/10
90/10
91/10
92/10
93/10
94/10
95/10
96/10
97/10
98/10
99/10
100/10

Exhibit D



NOTE:
PROJECT HAS A HOLD FOR INSPECTION BY DPW. Before beginning work in County Right of Way contact DPW Encroachments at dpenencroachments@santacruzcounty.ca.gov.

WORK WITHIN THE ROW

Lot 3
APN 028-132-16

Lot 3
20 - M - 39
APN 028-132-17
Cristina
Doc. No. 2022-0008798

Lot 4
APN 028-132-16

3016
FOUND 1/2" IRON PIPE
OPEN
BEARS N82°40'00"W, 0.42'

3000
SET MAC NAIL
PLS. 200-0044000
ELEV. 100.00' (ASSUMED)

3000
FOUND 1/2" IRON PIPE
LS 2876

(N62°40'00"W) (14.00')
N62°40'00" (14.00')
TO L&L ONLY

3016
FOUND 3/8" IRON PIPE
OPEN

N62°40'00" (14.00')
N62°40'00" (14.00')

Scale 1" = 10'
Contour Interval = 2'



Basis of Bearings
3014-3013 124°58'02"E, 364.15'
(N24°58'02"E, 364.14')

- LEGEND**
- Survey control point found as noted
 - Survey control point set as noted
 - Property line, lands of Cristina
 - Other property line
 - Structure line
 - Fence
 - Tie line
 - Edge of pavement
 - Record data per 20-M-39

Elevations are based on assumed datum.
Benchmark = 2N83000 (Set iron nail)
Elevation 100.00 Feet (Assumed.)

NOTE: This is not a boundary survey. Property lines are shown for orientation only and are based on recorded data. They may be discovered to be different, subject to the results of a complete boundary survey.

TOPOGRAPHIC SURVEY MAP			
OF ASSOCIATE'S MAP NO. 028-132-17			
Scale 1" = 5.0'	Santa Cruz County California		File 240230.DWG FB 207/70
Jan. 15, 2025	Prepared for Jeffrey Cristina		Job #24023

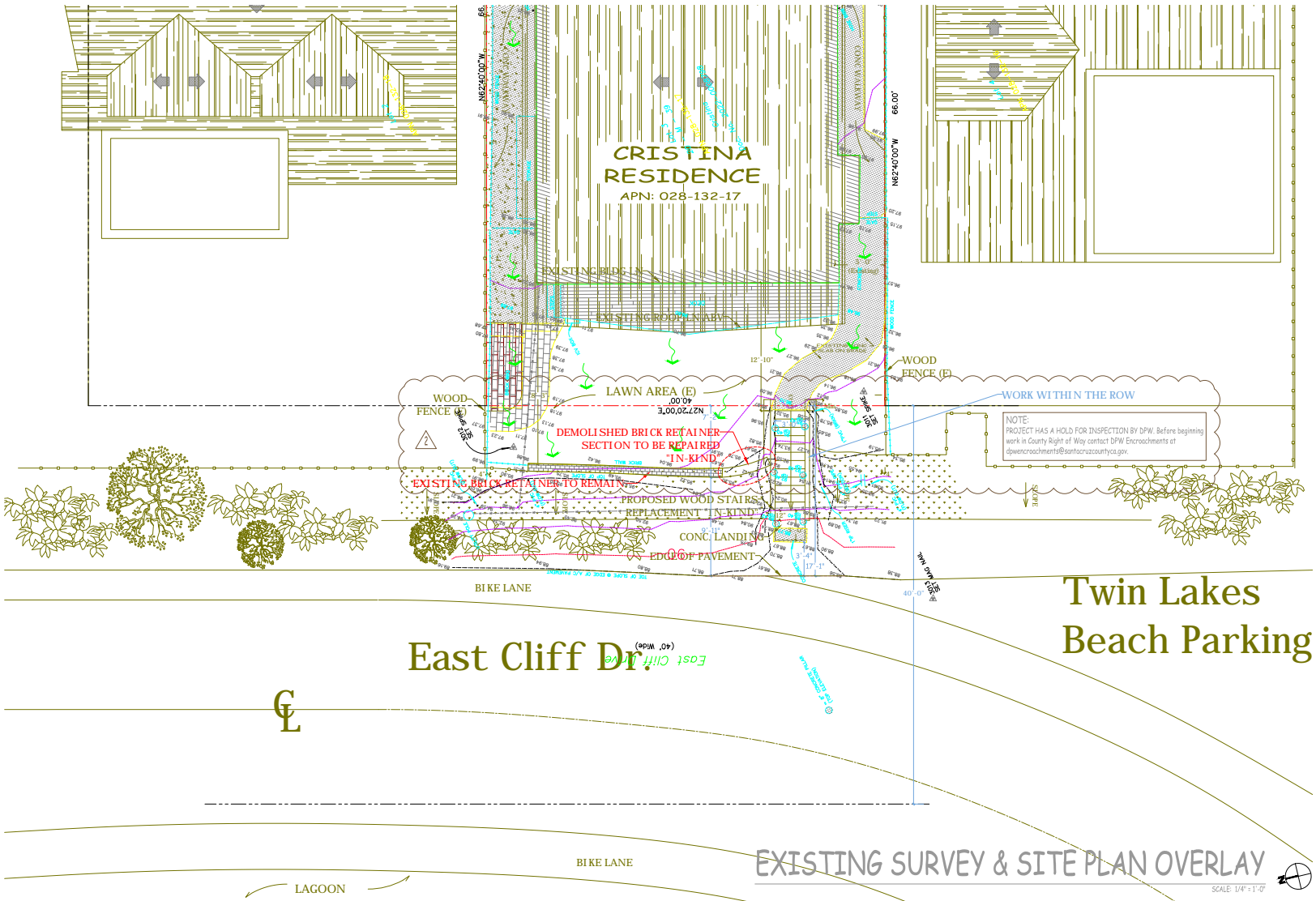
Exhibit D

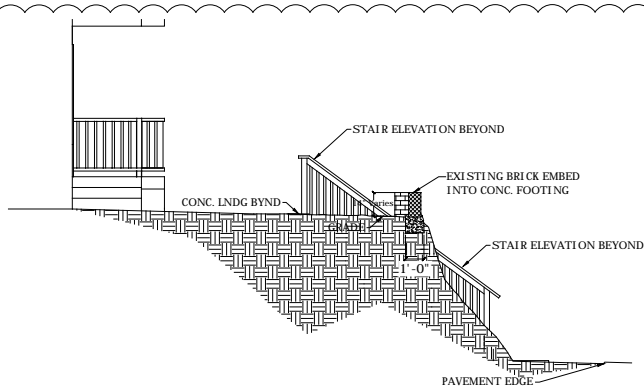
VISUAL CONCEPTS
Technical Drafting

2950 EAST CLIFF DR.
SANTA CRUZ, CA 95062
APN 028-132-17



Discussed, issued, altered, sold or copied distribution of these privileged drawings without prior written approval by Visual Concepts is strictly prohibited and enforceable by all common law copyright and related state and federal laws.

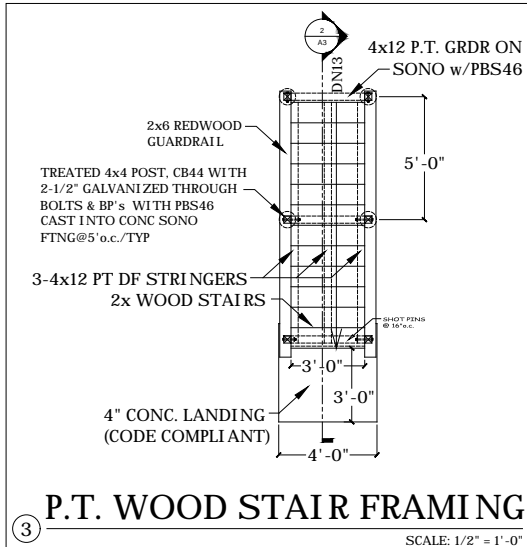




EXISTING BRICK LANDSCAPE WALL SECTION

SCALE: 3/8" = 1'-0"

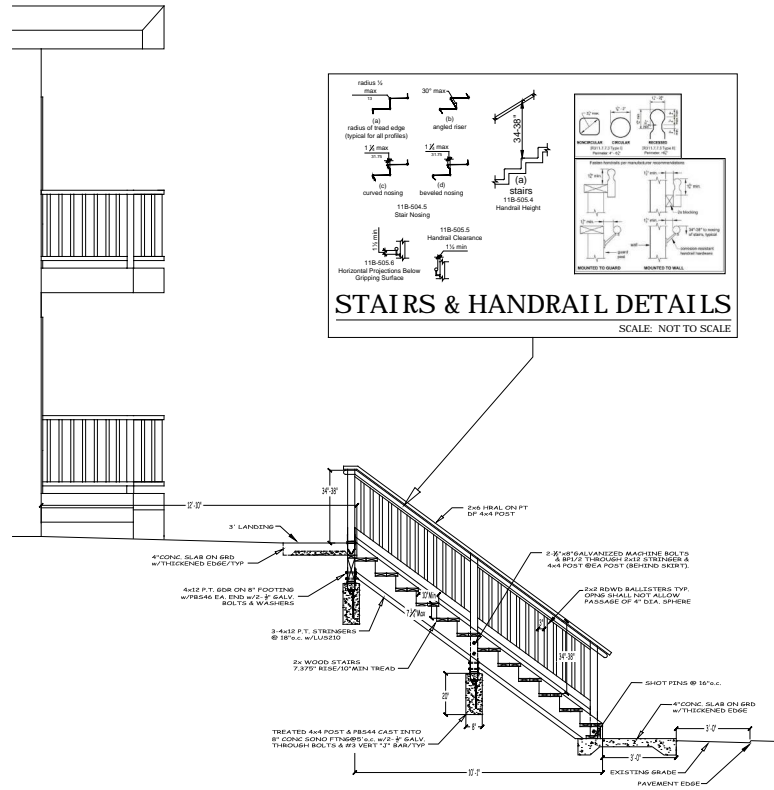
4



P.T. WOOD STAIR FRAMING

SCALE: 1/2" = 1'-0"

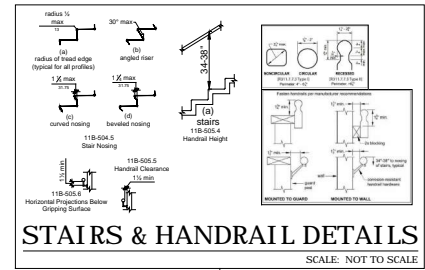
3



P.T. D.F. WOOD STAIRS SECTION

SCALE: 1/2" = 1'-0"

2



STAIRS & HANDRAIL DETAILS

SCALE: NOT TO SCALE

VISUAL CONCEPTS
 Technical Drafting
 891.818.3076
 VISUALCONCEPTS.COM

2950 EAST CLIFF DR.
 SANTA ANITA, CA 95062
 APR. 028-132-17

A3

Exhibit D



6DQWD &UX] &RXQW\ 3ODQQLQJ 'HSDUW P
3DUFHO /RFDWLRQ ODS



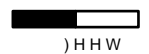
3DUFHO

□ 6XEMHFW 3DUFHO

ODS SULQWHG \$SU

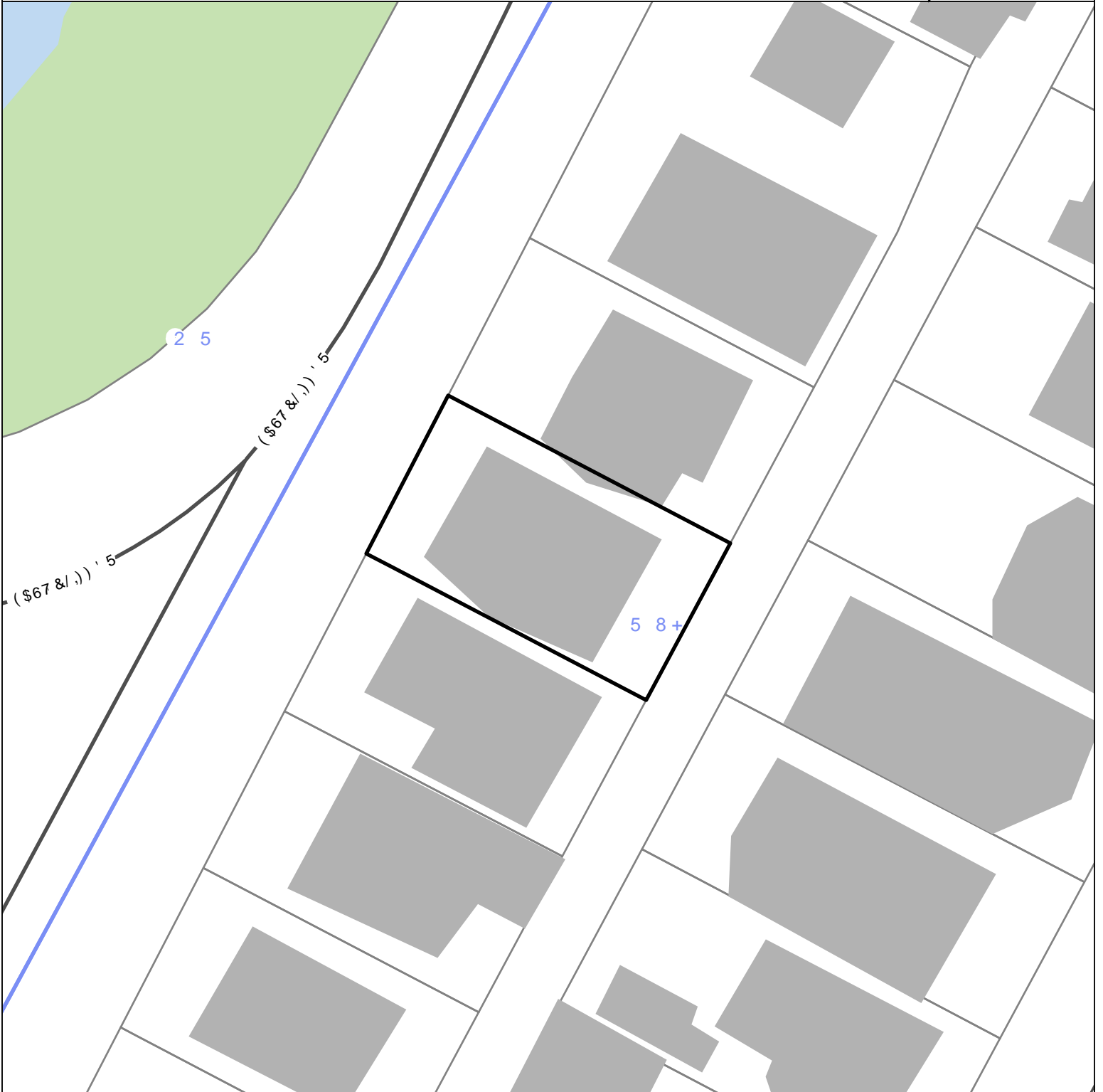
9

Exhibit E





6DQWD &UX] &RXQW\ 3ODQQLQJ 'HSDUW
3DUFHO *HQUHDO 3ODQ 0DS



□ 6XEMHFW 3DUFHO

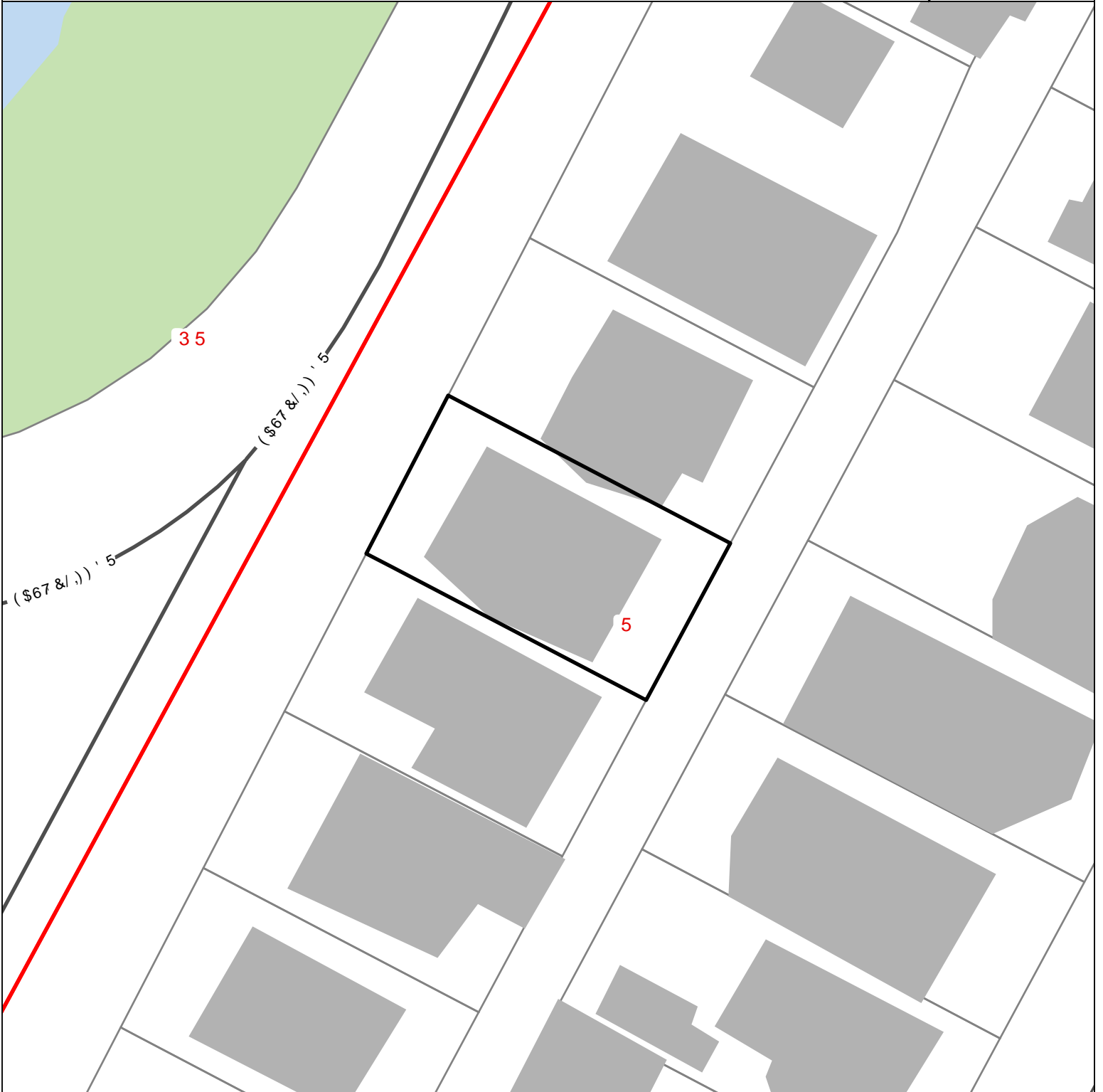
9

Exhibit E





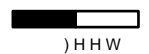
6DQWD &UX] &RXQW\ 3ODQQQLQJ 'HSDUW P
3DUFHO =RQLQJ 0DS



□ 6XEMHFW 3DUFHO

9

Exhibit E



FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
 © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

Electronically Redrawn 9/26/98 rw
 Rev. 8/26/98 (Por. to pg. 43) rw
 Rev. 7/20/12 mc (12-0007658 LBA, 2-28)
 Rev. 2/3/14 CB (Por from 028-12)
 Rev. 2/3/14 CB (13-0023376, LBA 2-30)



POR. OF N.W. 1/4 SEC. 20,
 T.11S., R.1W., M.D.B. & M.

Tax Area Code
 82-040

28-13

Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 28-13
 County of Santa Cruz, Calif.
 Aug. 1998

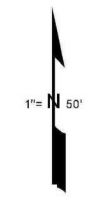


Exhibit E

Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Santa Cruz Water Service Area
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5

Parcel Information

Parcel Size: 2,640 square feet
Existing Land Use - Parcel: residential
Existing Land Use - Surrounding: residential
Project Access: East Cliff Drive and Alleyway
Planning Area: Live Oak
Land Use Designation: R-UH (Urban Residential - High Density)
Zone District: R-1-3.5 (Single Family Residential, 3,500 square foot minimum per dwelling)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm.: Yes No

Technical Reviews: REV251085

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: Minor slopes on the site
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource, visible from public beach
Archeology: Not mapped/no physical evidence on site



County of Santa Cruz

Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060

Planning (831) 454-2580 Public Works (831) 454-2160

sccoplanning.com

dpw.co.santa-cruz.ca.us

Matt Machado - Deputy CAO, Director of Community Development & Infrastructure

17 July 2025

2950 East Cliff Drive Santa Cruz LLC
c/o Jeffery Christina <jeffreycristina@gmail.com>

Subject: Review of the Geotechnical Investigation, Proposed Retaining Wall and Concrete Staircase, 2950 East Cliff Drive, Santa Cruz, Santa Cruz County, CA/APN 028-132-17 report dated 22 April 2025 by CMAG Engineering, Inc. Project No. 25-108-SC

Project Site: 2950 East Cliff Drive
APN 028-132-17
Application No. REV251085

Dear Applicant:

The Planning Division has accepted the subject geotechnical investigation report for the proposed project. The following items shall be required:

1. All project design and construction shall comply with the recommendations of the subject geotechnical investigation report;
2. Final plans shall reference the report by title, author, and date. Final Plans should also include a statement that the project shall conform to the report's recommendations; and
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The Consultants Plan Review Form (Form PLG-300) is available on the Planning Department's web page. The author of the soils reports shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by the last revision date.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

EXHIBIT G

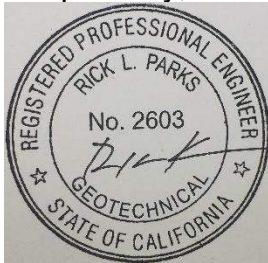
REV251085
APN 028-132-17
17 July 2025
Page 2 of 3

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to their technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

If we may be of any further assistance, please contact the undersigned at: 831.454.3168 or rick.parks@santacruzcountyc.gov

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz CDI Planning Division

Cc: Environmental Planning Department, Attn: Leah MacCarter
CMAG Engineering, Inc. Attn: Shannon Chome' PE
Primary Contact: Jeffery Cristina <jefferycristina@gmail.com>

Attachments: Notice to Permit Holders

EXHIBIT G

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and/or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.

March 8, 2026

Project Planner Alexandra Corevello
701 Ocean Street
Santa Cruz, CA 96060

Dear Ms. Corvello,

I was outraged to see a notice for a proposed staircase to encroach on East Cliff Drive (at 2950 East Cliff). I walk and bike that stretch of extremely dangerous road almost every day. I'm scared to death that I'll be hit by a speeding or distracted (I've seen many a driver on their cell phones there) and send up prayers of thanks every time I make safe passage! Not kidding! This stairway and retaining wall (and a power pole) in question were wiped out by some such vehicle!

My son works at the harbor and I take care of his children and I have never once, in eleven years, walked them down for an ice cream and a visit to their dad because of how dangerous it is.

This is the county's chance to start taking back the property on that stretch that belongs to the taxpayers and make a safe passage for our community and visitors who frequent that area! The width of the bike lane there shrinks with every year that passes, due to the encroachment and over-growth of the plants. Take a look at the history of accidents that have happened on this stretch - this is not the first stairway to be wiped out...that curve sneaks up on people. Make the safety of our community your priority over landowners who encroach on our shared property!

I implore you to take that walk some day before you accept this proposal. I'll be curious to know if you had!

Thank you for our thoughtful consideration on this matter.

Jennifer Harris-Anderson
(831) 566-3367

EXHIBIT H

Alexandra Corvello

From: Kimberly Goddard <kimberlykgoddard@gmail.com>
Sent: Thursday, March 5, 2026 4:22 PM
To: Alexandra Corvello
Cc: Manu Koenig; Jamie Sehorn
Subject: Application # 251270

Follow Up Flag: Follow up
Flag Status: Flagged

****CAUTION:This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Ms. Alexandra Corvello,

Please do not recommend approval of the permit for stairs and retaining wall which will encroach into the right-of-way of East Cliff Drive. It is on a very dangerous curve where many cars over the years have run up that embankment because of speed or inattention. It will further endanger walkers and bicyclists on that dangerous path. The right-of-way needs to be protected for a future safer walking and biking path on this 1/4 mile dangerous stretch. That particular curve is the most dangerous part of that path.

Kimberly Kelly Goddard