



Staff Report to the Zoning Administrator

Application Number: **251496**

Applicant: Michael Harris
Owner: Lockheed Martin Space
APN: 086-281-21
Site Address: 16020 Empire Grade Road, Santa Cruz CA 95060

Agenda Date: 5/15/2026
Agenda Item #: 4
Time: After 9:00 a.m.

Project Description: Proposal to install three 10,000 gallon water tanks and a firewater pump skid, and to replace the existing security fencing around the site, located within the Lockheed Martin facility.

Location: Property is located on the south side of Bertoli Drive approximately 70 feet south of the intersection of Bertoli Drive and Empire Grade at 16020 EMPIRE GRADE in Santa Cruz.

Permits Required: The project requires a Coastal Development Permit, a Site Development Permit, and a Minor Variation to Use Permit 76-1054-U.

Supervisory District: 3rd District (District Supervisor: Justin Cummings)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251496, based on the attached findings and conditions.

Project Description & Setting

Construction on the Lockheed Martin facility began in 1957 and is identified by the 1961 County General Plan. Use Permit 76-1054-U, was subsequently approved on 3/27/1979 to recognize prior construction and allow for the development of additional sites within the Lockheed Martin property. The Lockheed Martin property is a secured facility approximately 515 acres in size, developed primarily for the manufacture and testing of defense systems and includes multiple existing structures together with roads and parking areas. The parcel is located in the North Coast General Planning area in a mountainous area surrounded by woodland. Lockheed owns multiple parcels in the vicinity and represents the primary use and development in the region with the other uses being one developed residential property to the north and a campground operated by a religious group to the east.

The proposed development site is located in an area of the Lockheed Martin facility which contains a Space Object Tracking Facility approved under Building Permit #113154. The existing facility consists of three small ground mounted telescopes affixed to tracks, two sheds, and an approximately 4,900 square foot support structure.

The proposal is to install three 10,000-gallon water tanks (two tanks will be used for fire suppression and one tank will be used for domestic use), a firewater pump skid, and to erect associated security fencing. No alterations or improvements to the existing Space Object Tracking Facility are currently proposed. A firewater pump skid is a potable firefighting system that integrates essential equipment for water delivery and fire suppression, designed for rapid deployment in emergency situations. The water tanks and firewater pump skid cover an area of approximately 1,423 square feet. The water tanks are approximately 7 feet 6 inches in height and the firewater pump skid is approximately 10 feet 7 inches in height. The associated chain link fence, which will replace existing fencing, will be 7 feet 6 inches in height and will reduce the area within the perimeter of the existing fence from approximately 267,815 square feet to approximately 107,060 square feet. The water tanks and firewater pump skid will be located approximately 67 feet from the nearest existing structure.

County Code Section 13.20.62 provides exemptions from Coastal Development Permits for existing non-residential structures. The water tanks and firewater pump skid are new structures; therefore, these exemptions do not apply. Additionally, County Code Section 13.20.072 sets out commercial exclusions from Coastal Development Permits for commercial structures less than 2,000 square feet in size on legal lots of record within the urban services line or rural services line. The subject parcel is not within the urban or rural services lines and therefore does not qualify for commercial exclusion. Therefore, a Coastal Development Permit is required.

Per County Code Section 13.10.037-1, nonresidential development less than 5,000 square feet requires a Site Development Permit. Together the water tanks and firewater pump skid represent approximately 1,423 square feet of development, therefore a Site Development Permit is also required.

Per County Code Section 13.10.261-2, expansion of a nonconforming use, with no intensification of use requires a Use Permit. While the water tanks and fire water pump skid can be considered an expansion of the existing legal nonconforming use, the water tanks are for fire suppression and drinking water when the water supply goes offline. As such they do not constitute an intensification of use under 13.10.260 (B) (2), in that the addition of the water tanks and fire water pump skid will not result in any new daily vehicle trips, and as the water tanks will not result in a 10% increase in water use. Therefore, a Minor Variation to Use Permit 76-1054-U, which authorized the use and associated development on the Lockheed Marting Facility on this property, is also required.

Zoning & General Plan Consistency

The subject property is an approximately 515-acre lot, located in the SU (Special Use) zone district, a designation which allows residential uses. The proposed water tanks and firewater pump skid are conditionally permitted uses within the zone district, and the zoning is consistent with the site's R-MT (Mountain Residential) General Plan designation. All proposed structures comply with the site and development standards for the zone district.

Design Review

The proposed water tanks and firewater pump skid comply with the requirements of the County Design Review Ordinance, in that they will be painted off-white to match the existing buildings

and the new fence is required for security purposes. Additionally, due to the topography and remoteness of the area, the project site is not publicly visible from any direction.

Local Coastal Program Consistency

The proposed water tanks and firewater pump skid are in conformance with the County's certified Local Coastal Program, in that the structures will be painted off-white to match the existing nearby buildings. Further, due to topography, remoteness, and the lack of any other significant use or development in the area, the project site is not visible from any direction and will not impact on any public views. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251496**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: John Hunter
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Santa Cruz CA 95060
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E-mail: John.Hunter

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251496

Assessor Parcel Number: 086-281-21

Project Location: 16020 Empire Grade, Santa Cruz CA 95060

Project Description: Install fire & domestic water tanks, firewater pump skid and new security fencing/gate.

Person or Agency Proposing Project: Michael Harris

Contact Phone Number: (408) 690-6877

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Existing Facilities (Section 15301)

F. Reasons why the project is exempt:

Installation of three 10,000 gallon water tanks and fire water pump skid at an existing commercial site with no expansion of use.

In addition, none of the conditions described in Section 15300.2 apply to this project.

John Hunter, Project Planner

Date: _____

Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that while the property is zoned SU (Special Use), and the zoning is consistent with the site's R-MT (Mountain Residential) General Plan designation. The existing use of the property for the manufacture and testing of defense systems constitutes an existing nonconforming use of the property and the proposed water tanks and firewater pump skid can be permitted as an expansion of the existing legal nonconforming use under County Code Section 13.10.261-2,

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the water tanks and firewater pump skid will be painted off-white to match the existing nearby buildings. Additionally, due to the topography and remoteness of the area, the project site is not publicly visible from any vantage point. The development site is not on a prominent ridge, beach, or bluff top.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Panther Beach located on the south side of Highway 1, approximately 15 miles by road from the project site.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the water tanks and firewater pump skid will be painted off-white to match the existing nearby buildings in the Lockheed Martin facility. Additionally, while commercial uses are not allowed in the SU (Special Use) zone district unless the applicable zone district is consistent with the with the General Plan and Local Coastal Program land use designation, disallowed uses that are preexisting on a parcel and were legally established may be considered legal nonconforming uses subject to County Code Section 13.10.261. Most of the developed parcels in the area constitute part of the Lockheed Martin facility, therefore the utilitarian design of the water tank and firewater pump skid matches the existing patten of development on the Lockheed Marting facility which consists of functional, unadorned metal and wood structures that are painted off-white.

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APN: 086-281-21
Owner: Lockheed Martin Space

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the water tanks and firewater pump skid will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that while the project is located in an area designated for residential use, the existing manufacturing and testing facility is considered to be a legal nonconforming use that operates in conformance with Use Permit 76-1054-U. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the water tanks and firewater pump skid and the conditions under which they would be operated or maintained will in substantial conformance with all pertinent County ordinances, as the continued operation of the existing legal nonconforming manufacturing and testing facility was established by Use Permit 76-1054-U. The site therefore operates in conformance with the intent of the County's Nonconforming Uses Ordinance (13.10.261) The primary use of the property will continue to be a manufacturing and testing facility that meets all current site standards for the zone district.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made in that while the existing manufacturing and testing facility use is nonconforming to the use requirements specified for the R-MT (Mountain Residential) land use designation, the General Plan does contain provisions for the continuation and expansion of nonconforming uses.

BE-4.4.2 Nonconforming Uses. Allow existing legal nonconforming uses in use for three or more of the previous five years (the threshold for "continuous history of property use") to continue and require discretionary review to reestablish a nonconforming use that has lapsed. Require discretionary review for expansion, changes, or intensification of legal nonconforming uses, subject to appropriate findings and conditions of approval to ensure that the change will not be detrimental to public health, safety or welfare. Maintain a process whereby the Board of Supervisors may terminate any nonconforming use that is significantly detrimental to public health, safety, welfare or the environment.

A specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the subject parcel is developed with an existing manufacturing and testing facility, and the addition of water tanks and a fire water pump skid will not generate any additional daily vehicle trips. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the existing manufacturing and testing facility constitutes a legal nonconforming use, and the General Plan contains provisions for the continuation and expansion of legal nonconforming uses under General Plan Objective BE-4.4.2 as implemented by County Code Section 13.10.261.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made in that the required Coastal Development Permit findings have been made for this project, and the project is consistent with the provisions of the certified Local Coastal Program.

Site Development Permit Findings

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed water tank and firewater pump skid have been located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development at the Lockheed Martin manufacturing and testing facility.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed water tanks and firewater pump skid is in substantial conformance with the requirements of the County Design Review Ordinance as they will be painted white to match the nearby buildings. The proposed project will be of an appropriate scale and type of design that matches the existing development on the Lockheed facility. Additionally, due to the topography and remoteness of the area, the project site is not visible from any direction.

Minor Variation to Use Permit 76-1054-U, Findings

- (1) That additional parking requirements created by the project can be met in accordance with SCCC 13.10.551;

This finding can be made in that the proposed project does not result in the requirement for additional parking on the project site.

- (2) That the proposed project will not significantly impair economic vitality goals or key land use goals of the General Plan;

This finding can be made, in that the existing manufacturing and testing facility use is a legal nonconforming use. The continuation and expansion of legal nonconforming uses is a goal of the general plan and implementing ordinances. No additional economic development plans currently exist for the project site.

- (3) For a change of use to a different nonconforming use of a site, conformance with uses currently allowed for the zone district is not feasible due to conditions on the site and surrounding land uses, or due to economic conditions; and

This finding is not applicable, in that the project does not involve a change of use to another nonconforming use.

- (4) For a nonconforming commercial, industrial, or residential use on a site adjacent to residential property, the proposed modification to the nonconforming use, or the proposed reestablishment of a legal nonconforming use pursuant to subsection (B)(1) of this section, does not unreasonably infringe on adequate light, air, solar access, privacy, or the quiet enjoyment of adjacent residences, and does not create excessive noise, vibration, illumination, glare, odors, dust, dirt, smoke, or hazards such as noxious fumes to a level that substantially exceeds that of the existing or former legal nonconforming use of the site.

This finding is not applicable in that the project site is approximately 3,430 feet north of the closest residentially zoned property.

Conditions of Approval

Exhibit D: Project plans, prepared by Bay Area Builders, dated 3/5/2026.

- I. This permit authorizes the construction of three water tanks, firewater pump skid, and security fence as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.
 3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
 - B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 1. The discretionary application has not been reviewed for compliance with Part 3 of the County Design Criteria. Prior to issuance of a building, grading, or other permit, final Stormwater Management documents shall be

submitted for review and approval by Stormwater Management Section that adhere to the County Design Criteria and County Code 7.79.

2. Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
 3. New and/or replaced impervious and/or semi-impervious surface area shall not exceed 5,000 square feet.
- C. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
 - D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - E. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - F. Pay the current Affordable Housing Impact Fee. The fees are based on new square footage and the current fee for non-residential construction is \$3 per square foot.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor's) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Application #: 251496
APN: 086-281-21
Owner: Lockheed Martin Space

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

DRAWING INDEX:

ARCHITECTURAL		
DWG #	TITLE	REV#
1	G0.0 COVER SHEET	1
2	G0.1 BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY	0
3	AD1.1 EXISTING SITE PLAN	1
4	A1.1 PROPOSED SITE PLAN	1
5	A1.2 FLOOR PLAN	1
6	A1.3 YARD PLAN	1
7	A2.1 REFLECTED CEILING PLAN	1
8	A6.1 EXTERIOR ELEVATIONS	1
9	A8.1 DETAILS	0



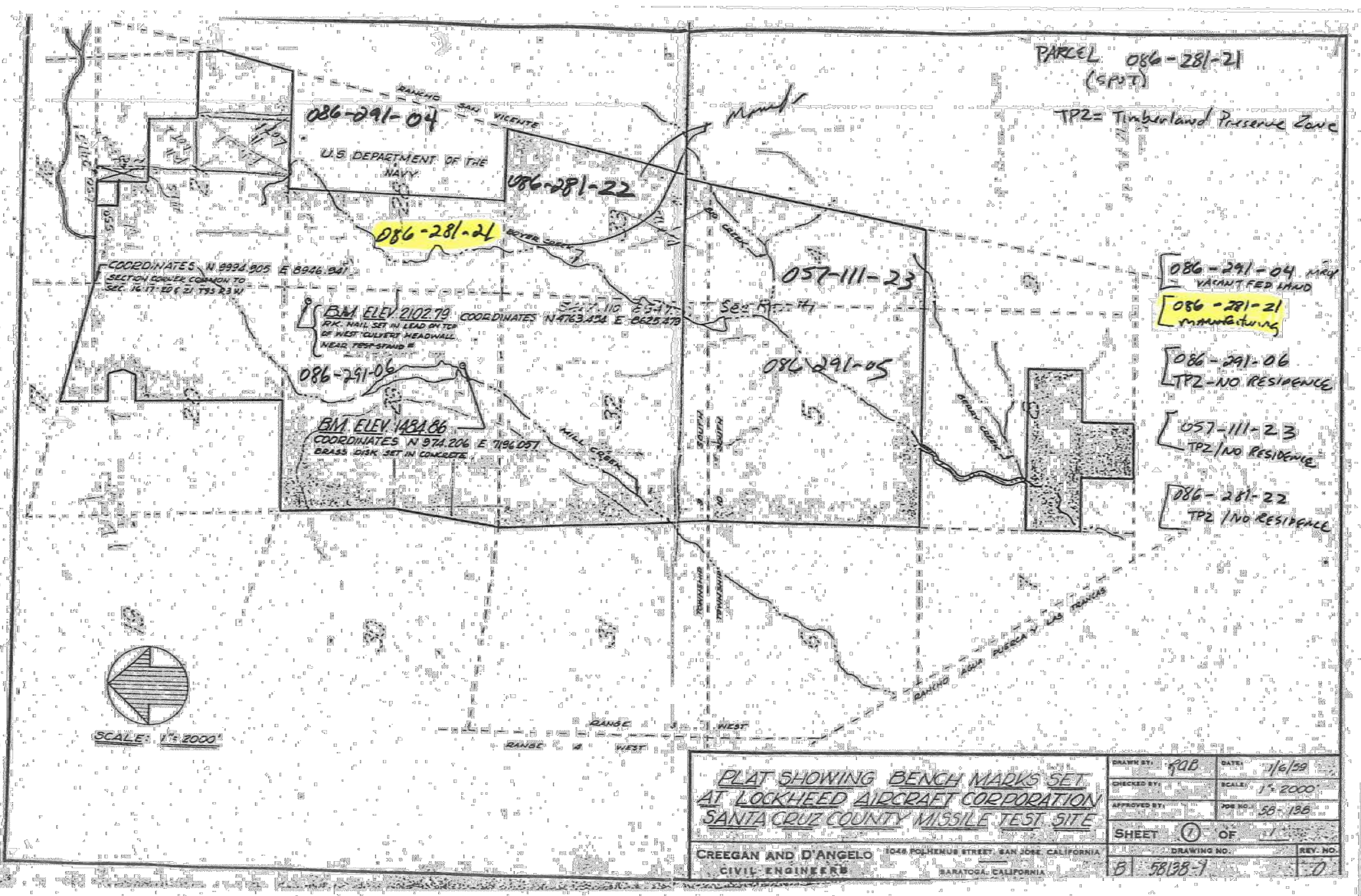
BUILDING 657

16020 EMPIRE GRADE ROAD
SANTA CRUZ, CALIFORNIA 95060

SPOT SCF BUILDING SUSTAINMENT C.E.R. #D50899 \ L.M.B.R. #1020479

RESPONSE TO COUNTY COMMENTS MARCH 5, 2026

PARCEL MAP:



PROPERTY OWNER: LOCKHEED MARTIN SPACE
ADDRESS: 16020 EMPIRE GRADE RD | SANTA CRUZ, CALIFORNIA 95060
CONTACT: KRISTY SMITH, PROJECT MANAGER | (303) 977-1147

DESIGN PROFESSIONALS: ARCHITECT BAY AREA BUILDERS, INC. 3360 DE LA CRUZ BLVD. SANTA CLARA, CA 95054 (408) 648-4500 PHONE www.ba-builders.com	MECHANICAL AND PLUMBING ENGINEER PROMETHEAN MECHANICAL 1323 RIDGEFIELD LOOP ROUND ROCK, TX 78665 (480) 507-7946 PHONE www.prometheanmechanical.com	FIRE SPRINKLER ENGINEER FIRE-MATIC SYSTEMS, INC. 5165 BRANDIN COURT FREMONT, CA 94538 (510) 773-5250 PHONE www.fire-matic.com
STRUCTURAL ENGINEER BAY AREA BUILDERS, INC. 10375 ROYAL COACHMAN DRIVE MISSOULA, MT 59808 (406) 360-2586 PHONE	ELECTRICAL ENGINEER BAY AREA BUILDERS, INC. 3360 DE LA CRUZ BLVD. SANTA CLARA, CA 95054 (408) 648-4500 PHONE www.ba-builders.com	FIRE ALARM & SECURITY ENGINEER PAVION (RFI) 4060 S. McCARRAN BLVD. RENO, NV 89502 (775) 852-0426 PHONE www.rfi.com

SITE AREA: 515.257 ACRES (22,444,608 S.F.) APN: 086-281-21 BUILDING AREA: TOTAL 4,977 S.F. B/657 3,225 S.F. B/653 1,752 S.F. ALLOWABLE BUILDING AREA: 9,500 S.F. BASIC PER TABLE 506.2 TYPE OF CONSTRUCTION: TYPE V-B SPRINKLERS: B/657 (YES, ORDINARY HAZARD); B/653 (NO) PROJECT AREA: 2,791 S.F. (BLDG), 1,475 S.F. (EXTERIOR)	NUMBER OF STORIES: 1 OCCUPANCY: B YARD SEPARATION: 4 SIDES MORE THAN 60 FEET BUILDING ZONE: SU (SPECIAL USE) PARKING REQUIRED: 5 ACTUAL PARKING: 5 LANDSCAPED AREA: REDUCED BY 1,475 S.F. ALLOWABLE HEIGHT: 40' FOR V-B, 2 STORIES ACTUAL: 18'-9"	GENERAL SCOPE OF WORK: <ul style="list-style-type: none"> INSTALL FIRE AND DOMESTIC WATER TANKS (WATER SOURCE IS PRE-TREATED FROM THIRD PARTY VENDOR) INSTALL FIRE WATER PUMP SKID SEPARATE FIRE AND DOMESTIC SUPPLY TO BLDG PROVIDE VALVE TO ISOLATE WHEN B/660 (LAKE PUMPS) AND B/664 (TREATMENT/DISTRIBUTION) GOES OFFLINE UPGRADE FIRE SPRINKLERS AND ALARM IN B/657 NEW SECURITY FENCE PERIMETER & GATE ADD CARD READERS TO EXISTING DOORS IN BOTH BLDGS DEFERRED SUBMITTALS <ul style="list-style-type: none"> FIRE SPRINKLERS FIRE ALARM ACCESS CONTROL WATER TANKS CALCS FOR WATER TANKS FIRE PUMP SKID HAZARDOUS MATERIALS: THERE ARE NEW HAZARDOUS MATERIALS BEING INTRODUCED TO THE PROJECT AREA AS PART OF THIS PROJECT FOR THE DIESEL FIRE PUMP SKID. SEE SHEET A1.3 FOR SUMMARY/COMPLIANCE.
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LOCKHEED PROJECT MANAGER: KRISTY SMITH (303) 977-1147
 LOCKHEED CONSTRUCTION MANAGER: BRENT SHEPHERD (408) 756-3009
 LOCKHEED PROCUREMENT: CATHERINE CHESKEY (303) 479-5517
 PROJECT ARCHITECT/ENGINEER: MICHAEL HARRIS, BAY AREA BUILDERS, INC. (408) 690-6877

GENERAL NOTES: (UNLESS OTHERWISE NOTED)

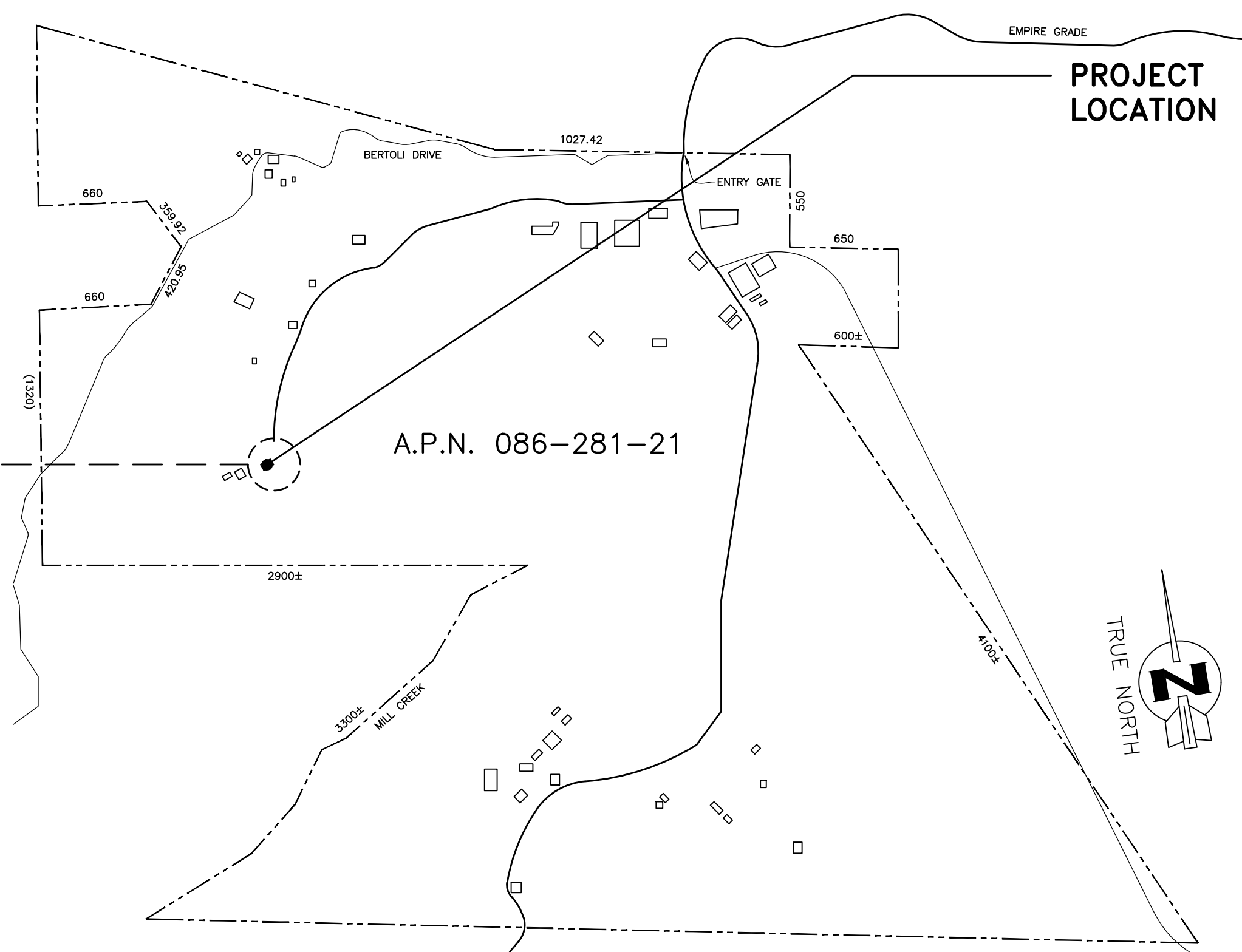
- THESE DRAWINGS WERE PREPARED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.
- VERIFY EXISTING CONDITIONS ON SITE AND REVIEW MODIFICATIONS REQUIRED TO SUIT EXISTING CONDITIONS PRIOR TO FABRICATION AND INSTALLATION, INCLUDING UNDERGROUND UTILITY LOCATIONS.
- TYPE OF LOCK OR LATCH, EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT HAVING INTENSITY OF NOT LESS THAN 1 FOOTCANDLE AT FLOOR LEVEL. WHERE REQUIRED, EXIT SIGNS SHALL BE INSTALLED AT REQUIRED EXIT DOORWAYS AND WHERE OTHERWISE NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS WHEN THE EXIT SERVES AN OCCUPANT LOAD OF 50 OR MORE.
- COMPLY WITH SPECIAL INSPECTION REQUIREMENTS OF SECTIONS 110 AND 1704 OF THE 2022 CALIFORNIA BUILDING CODE AS APPLICABLE TO THIS PROJECT.
- ALL PARTITION DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- SEISMIC BRACING AND ANCHORING OF EQUIPMENT SYSTEMS SHALL BE IN ACCORDANCE WITH APPLICABLE SMACNA GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL UNITS. SECTIONS OF THE CBC WITH THE EXCEPTION OF MECHANICAL EQUIPMENT & DIST. WHICH SHALL COMPLY WITH SMACNA GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL UNITS.
- ALL NEW CONSTRUCTION MATERIALS SHALL NOT CONTAIN ANY ASBESTOS OR LEAD.
- LMS EXCAVATION PERMIT REQUIRED FOR ALL EXCAVATIONS > FOUR FEET.
- LARGE EQUIPMENT NOTED TO BE DEMOLISHED THAT CANNOT BE LOADED INTO THE LMS RECLAMATION BINS SHALL BE REMOVED AND DELIVERED TO LMS RECLAMATION BY THE SUBCONTRACTOR RESPONSIBLE FOR THE DEMOLITION OF SAID EQUIPMENT. COORDINATE AS REQUIRED WITH CONSTRUCTION SUPERINTENDENT.
- THERE ARE NO PROPOSED ACCESSIBILITY PROVISIONS INCLUDED IN THIS PROJECT DUE TO THE NATURE OF THE SCOPE OF WORK (CBC 11B-202.4 EXCEPTION 7 - INSTALLATION & ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT NOT PART OF THE ARCHITECTURE OF THE BUILDING OR AREA).
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
- A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH.
- ACCESSIBLE FEATURES AND PATH OF TRAVEL WILL NOT BE REDUCED OR ALTERED IN ANY WAY AS A RESULT OF THE BUILDING ALTERATIONS.
- REFER TO SHEET A2.1 FOR DEFERRED FIRE SYSTEM SUBMITTALS AND ASSOCIATED COUNTY FIRE DEPARTMENT NOTES.

NON-RESIDENTIAL ENERGY EFFICIENCY STANDARDS:

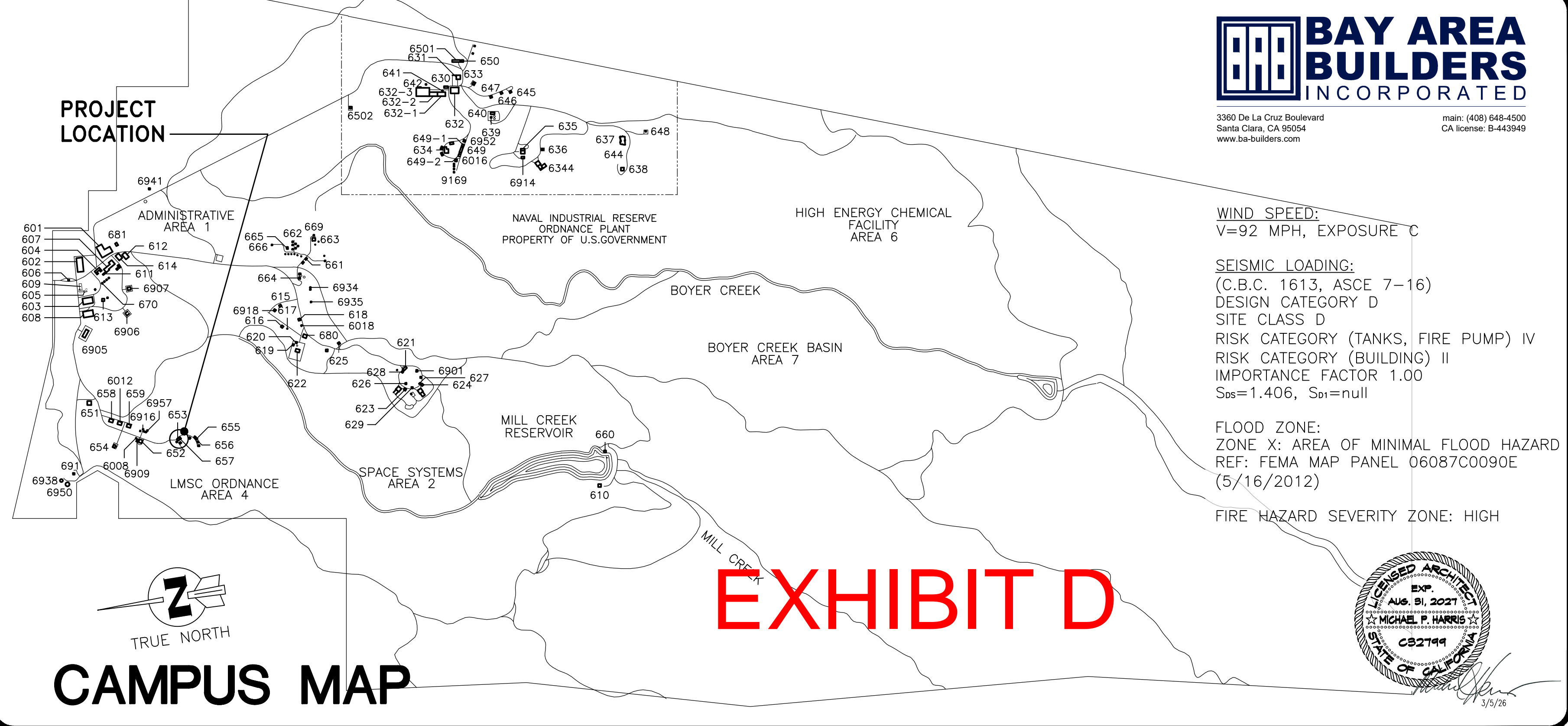
THE ENVELOPE, LIGHTING & MECHANICAL HVAC SYSTEMS AND EQUIPMENT SHALL BE SPECIFIED & INSTALLED IN COMPLIANCE WITH THE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS AS APPLICABLE. CODES:

- CALIFORNIA BUILDING CODE (CBC) 2022 EDITION
- CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS
- CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS 2022 EDITION
- CALIFORNIA GREEN BUILDING CODE (CGC) 2022 EDITION
- CALIFORNIA FIRE CODE (CFC) 2022 EDITION
- CALIFORNIA MECHANICAL CODE (CMC) 2022 EDITION
- CALIFORNIA PLUMBING CODE (CPC) 2022 EDITION
- CALIFORNIA ELECTRICAL CODE (CEC) 2022 EDITION
- ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

PARCEL BOUNDARY:

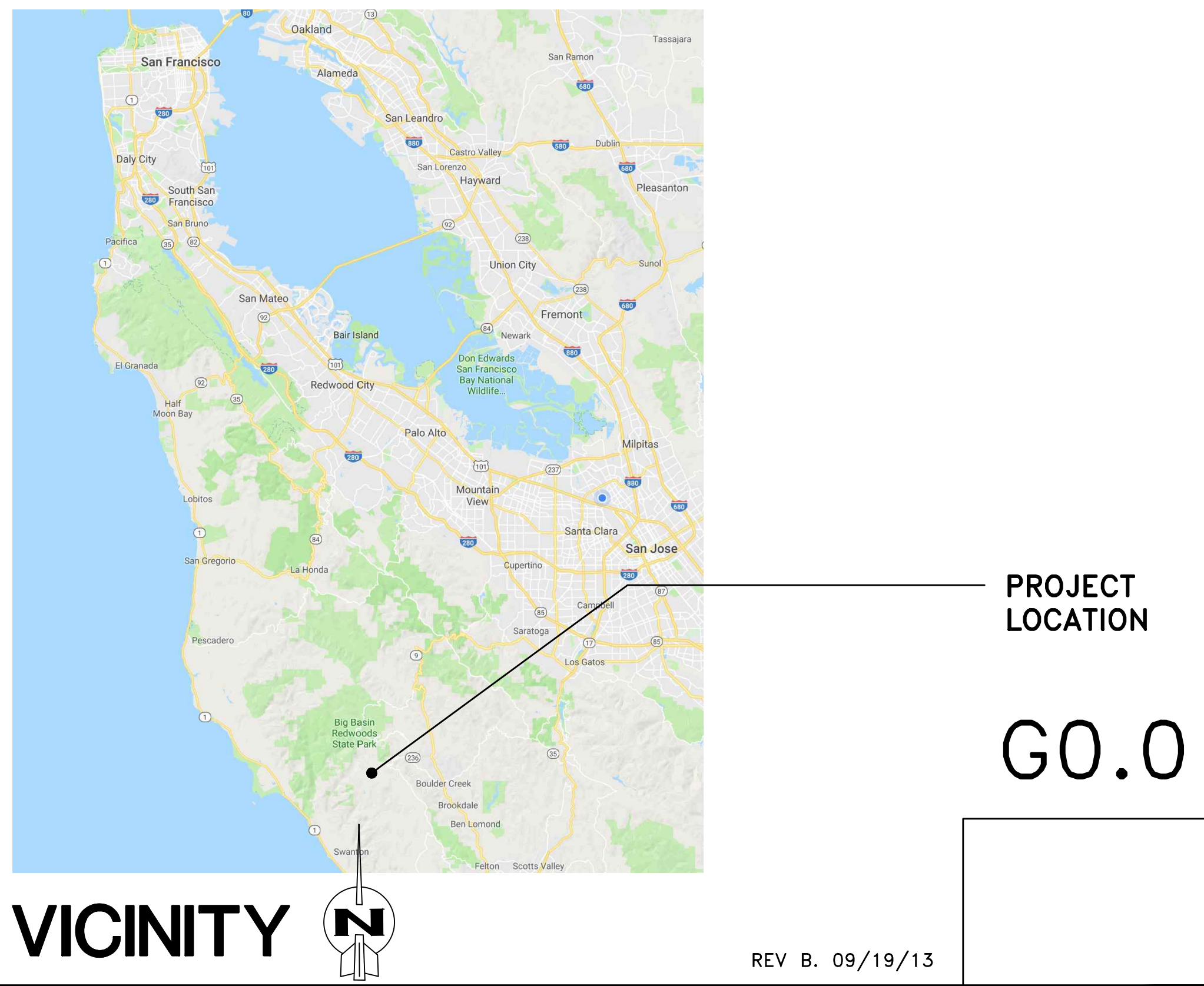
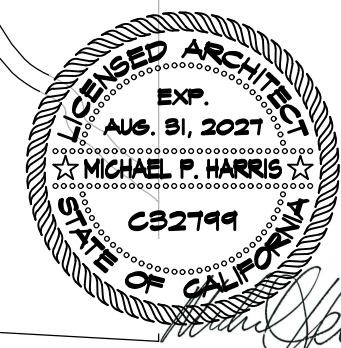


PROJECT LOCATION



3360 De La Cruz Boulevard
Santa Clara, CA 95054
www.ba-builders.com

WIND SPEED: V=92 MPH, EXPOSURE C
 SEISMIC LOADING: (C.B.C. 1613, ASCE 7-16) DESIGN CATEGORY D SITE CLASS D RISK CATEGORY (TANKS, FIRE PUMP) IV RISK CATEGORY (BUILDING) II IMPORTANCE FACTOR 1.00 S_{DS}=1.406, S_{DI}=null
 FLOOD ZONE: ZONE X: AREA OF MINIMAL FLOOD HAZARD REF: FEMA MAP PANEL 06087C0090E (5/16/2012)
 FIRE HAZARD SEVERITY ZONE: HIGH



GO.0

REV	PROJECT NO.	JOB TITLE/DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING								
						ARCH.	MECH.	ELECT.	PLUMB.	PAINT.	CONSTR.	ASST.		
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000									
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000									

Best Management Practices for the Construction Industry

The stormwater system is completely separate from the sanitary sewer system. The local agency maintains many stormwater management facilities such as retention ponds, grassy swales and other kinds of buffers that help naturally filter out pollutants before they hit the waterways. While these natural processes can take a lot of the pollutants out, because stormwater isn't processed and treated like sewage, it's easier for pollutants in stormwater runoff to end up in our waterways. Stormwater pollution is a serious problem for wildlife dependent on our rivers, creeks and lakes and for the people who live near polluted streams or water bodies. Common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment, construction debris, sediment created by erosion, landscaping runoff containing pesticides or weed killers, and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain. This sheet summarizes "Best Management Practices" (BMP) for the construction industry for stormwater pollution prevention.

General Construction and Site Supervision

Who should use this information?

- General Contractors
- Site Supervisors
- Inspectors
- Home Builders
- Developers
- Homeowners



Doing the Job Right

General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Refer to the Regional Water Quality Control Board's Stormwater Quality Best Management Practices Implementation Guidelines.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make sure everyone who works at the construction site is familiar with this information, informs subcontractors about the stormwater requirements and their own responsibilities.

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local rivers, creeks and lakes.

As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Earth-Moving and Dewatering Activities

Who should use this information?



- Bulldozer, Back Hoe, and Grading Machine Operators
- Dump Truck Drivers
- Site Supervisors
- General Contractors
- Home Builders
- Developers

Storm Drain Pollution from Earth-Moving Activities

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in rivers, creeks and lakes. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

Contaminated groundwater is a common problem. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in rivers, creeks or lakes, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

Doing the Job Right

General Business Practices

- Schedule excavation and grading work during dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.
- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downspout drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Stormwater Quality Best Management Practices Implementation Guidelines for more information.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downspout drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Stormwater Quality Best Management Practices Implementation Guidelines for more information.

Practices Implementation Guidelines

- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
- Dewatering Operations
 - Check for odors, discoloration, or an oily sheen on groundwater.
 - Call your local wastewater treatment agency and ask whether the groundwater must be tested.
 - If contamination is suspected, have the water tested by a certified laboratory.
 - Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility.

Check for Sediment Levels

- If the water is clear, the pumping time is less than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain.
- If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for guidance.
- If the water is not clear, solids must be filtered or settled out by pumping to a settling tank prior to discharge. Options for filtering include:
 - Pumping through a perforate pipe sunk part way into a small pit filled with gravel.
 - Pumping from a bucket placed below water level using a submersible pump.
 - Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.
- When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

Detecting Contaminated Soil or Groundwater

- Unusual soil conditions, discoloration or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris or trash.
- If any of these are found follow the procedures to the left.

Roadwork and Paving

Who should use this information?

- Road Crews
- Driveway/Sidewalk/Parking Lot Construction Crews
- Seal Coat Contractors
- Operators of Grading Equipment, Paving Machines, Dump Trucks, Concrete Mixers
- Construction Inspectors
- General Contractors
- Developers
- Home Builders



Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and lakes.

Doing the Job Right

General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.
- Take broken up concrete to a local recycling facility.

During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.
- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roots or plastic sheets and berms.
- Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- Clean all spills and leaks using "dry" methods (with absorbent materials and/or rags) Dig up, remove, and properly dispose of contaminated soil.

Asphalt/Concrete Removal

- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over-application by water trucks for dust control.
- Avoid over-application by water trucks for dust control.
- Asphalt/Concrete Removal
 - Avoid creating excess dust when breaking asphalt or concrete.
 - After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
 - When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
 - Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains.

Painting and Application of Solvents and Adhesives

Who should use this information?

- Painters
- Paperhangers
- Plasterers
- Graphic Artists
- Dry Wall Crews
- Floor Covering Installers
- General Contractors
- Home Builders
- Developers
- Homeowners

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks and lakes. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.



Doing the Job Right

Handing Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of as hazardous.

- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.

- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as a hazardous waste.

Paint Removal

- Buildings constructed before 1978 may have lead paint in them. Test paint for lead by taking samples to a local environmental testing laboratory to determine if removed paint must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyltin must be disposed of as hazardous wastes. Lead-based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, cover or term storm drain inlets. Direct wash water onto a dirt area, or check with local wastewater treatment plant, collect (mop or vacuum) building cleaning water and discharge to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its decision.

Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain. Dispose of excess liquids and residue as hazardous waste.

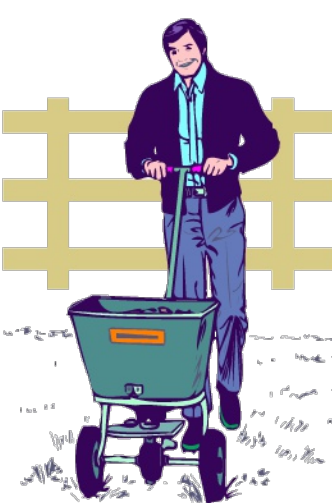
Recycle/Reuse Leftover Paints Whenever Possible

- Donate excess water-based (latex) paint for reuse.
- Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste.
- Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

Landscaping, Gardening, and Pool Maintenance

Who should use this information?

- Landscapers
- Gardeners
- Swimming Pool/Spa Service and Repair Workers
- General Contractors
- Home Builders
- Developers
- Homeowners



Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

Doing the Job Right

General Business Practices

- Protect stockpiles (e.g. asphalt, sand, or soil) and landscaping materials with plastic sheeting or under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Revegetation is an excellent form of erosion control for any site. Replant as soon as possible with temporary vegetation such as grass seed.

Landscaping/Garden Maintenance

- Consider using Integrated Pest Management Techniques. Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinsewater as product. Dispose of insect, empty containers as the trash.
- Dispose of unused pesticides as hazardous waste.

- Curbside pickup of yard waste is provided for local residences. Place yard waste in approved containers at curbside for pickup on waste collection days.
- Commercial landscapers may bring yard waste to the locally approved recycling center.

- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost if possible.
- Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders. Sweep up any leaves, litter or residue in gutters or on street.

Pool/Fountain/Spa Maintenance

Draining pools or spas

When it is time to drain a pool, spa or fountain, please be sure to call the local Water Pollution Control Plant before you start for further guidance on flow rate restrictions, backflow prevention and handling special cleaning water (such as acid wash). Discharge flows should be kept to the low levels typically possible through a garden hose. Higher flow rates may be prohibited by local ordinance.

Fresh Concrete and Mortar Application

Who should use this information?

- Masons and Bricklayers
- Sidewalk Construction Crews
- Patio Construction Workers
- Construction Inspectors
- General Contractors
- Home Builders
- Developers
- Concrete Delivery/Pumping Workers



Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

Doing the Job Right

General Business Practices

- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

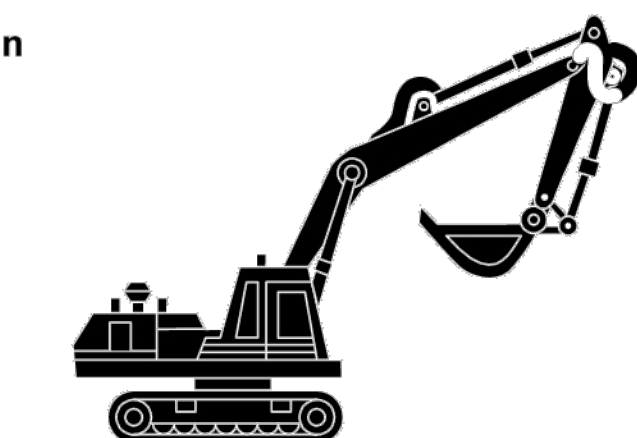
During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area, (2) drain onto a bermed surface from which it can be pumped and disposed of properly, or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a local recycling facility.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Heavy Equipment Operation

Who should use this information?

- Vehicle and Equipment Operators
- Site Supervisors
- General Contractors
- Home Builders
- Developers



Stormwater Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

Doing the Job Right

Site Planning and Preventive Vehicle Maintenance

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Contain the area with berms, sand bags, or other barriers.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers. Recycle them whenever possible, otherwise, dispose of them as hazardous wastes.
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.

Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. Dial 9-1-1 if hazardous materials might enter the storm drain.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services 1-800-852-7500.

APPROVED		ORGN	DATE	ARCH./ENGR. STAMP	TEMP. DRWG. I.D.
		<p style="text-align: right; font-size: 2em; font-weight: bold;">GO.1</p>			
		<p style="text-align: right;">FACILITY OPERATIONS & SERVICES</p>			
BLDG: 657	LEVEL: 1	AREA: 00	PROJECT NUMBER: 1020479		
DRAWING TITLE: BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY					
LOCATION: SANTA CRUZ, CALIFORNIA		CAD FILE ID: _657-002-G01.dwg			
DRAWN BY: BAB	DATE: 3/5/26	SCALE: NONE	SHT. OF	DWG NO. 657-8-100AA-002	REV

EXHIBIT D

BUILDING 657
FLOOR ELEVATION:
+0'-0" (REF.)
(FF 2001.30' CONC
SLAB ON GRADE)



3360 De La Cruz Boulevard
Santa Clara, CA 95054
www.ba-builders.com
ARCHITECT OF RECORD
MICHAEL HARRIS | (408) 690-6877

REV	PROJECT NO.	JOB TITLE/DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING				AS BUILT	
						MECH.	ELECT.	PIPE	PLUMB.		
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000					002	--
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000					002	--
1	1020479	COUNTY COMMENTS	BAB	3/5/26	B-257000					002	--

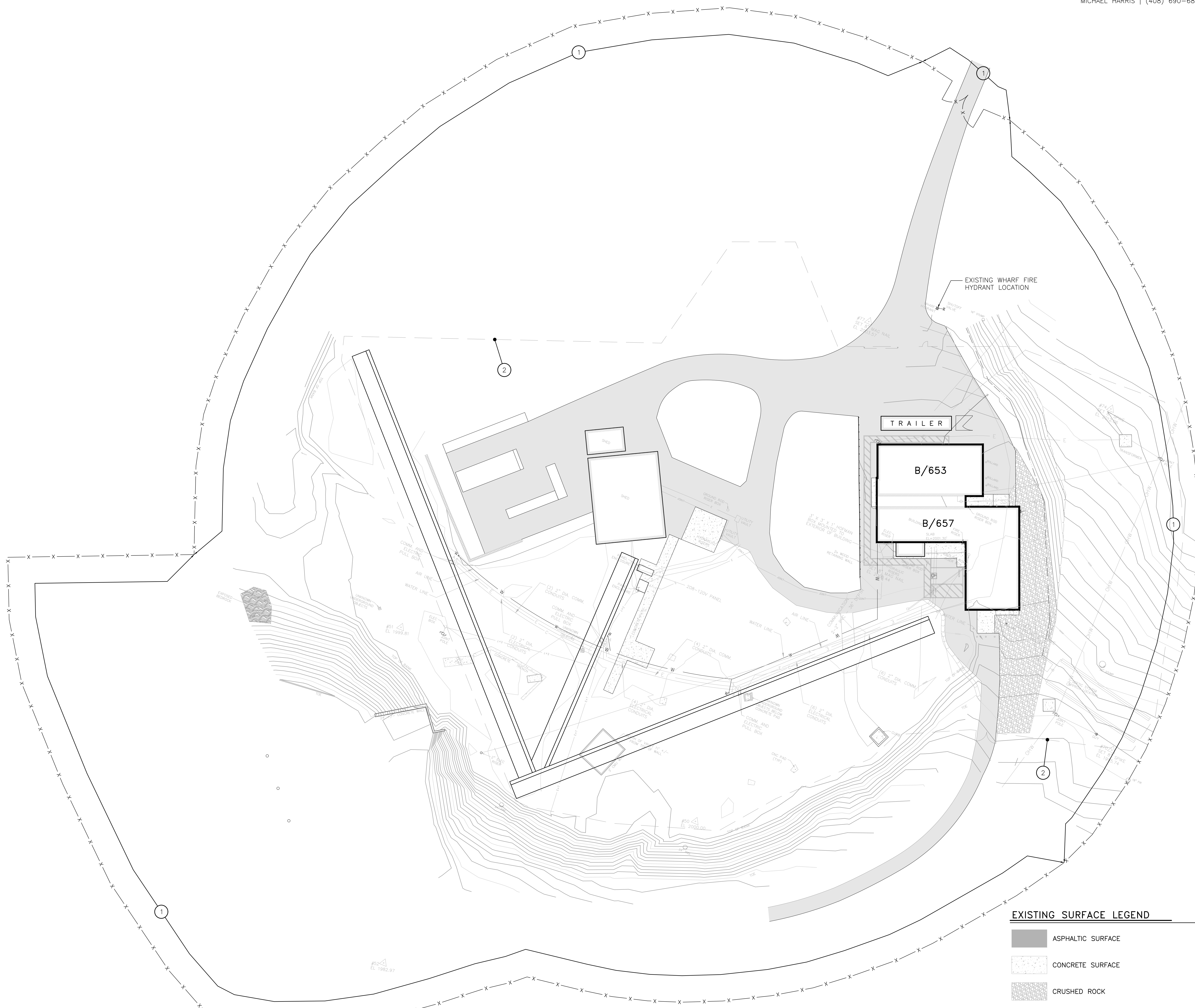
GENERAL NOTES:

- A. ALL WORK TO BE PERFORMED PER LOCKHEED MARTIN SPACE CALIFORNIA – BAY AREA FACILITY ENGINEERING – CONSTRUCTION SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE SPECIFIED.
- B. REFER TO SHEET G0.0 FOR INDEX OF DRAWINGS, NOTES AND REFERENCES. REFER TO SHEET AD1.2 FOR HAZMAT REMEDIATION AND FACTORY MUTUAL NOTES.
- C. ALL DIMENSIONS ARE TO FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS. VERIFY ALL MEASUREMENTS PRIOR TO MANUFACTURING AND INSTALLATION.
- D. REFER TO STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE.
- E. REPAIR ALL DAMAGED MATERIALS IMPACTED BY DEMOLITION AND/OR NEW CONSTRUCTION. ALIGN AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- F. ALL DEMOLISHED MATERIALS SHALL BE REMOVED AND DISPOSED OF FROM THE AREA ON A DAILY BASIS.
- G. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BEFORE BEGINNING DEMOLITION WORK. SPECIAL CARE SHALL BE TAKEN TO PROTECT UTILITIES THAT ARE TO REMAIN.
- H. CONTRACTOR SHALL BE AWARE THAT THERE IS POISON IVY, RATTLESNAKES AND OTHER NATURAL ELEMENTS IN THE VICINITY THAT COULD IMPACT SAFETY OF INDIVIDUAL(S). TAKE APPROPRIATE PRECAUTIONS.
- I. UPON TRENCHING, CONFORM TO LOCKHEED MARTIN SPACE CALIFORNIA – BAY AREA FACILITY ENGINEERING – CONSTRUCTION SPECIFICATIONS AND PATCH SURFACE TO MATCH EXISTING U.O.N.
- J. SENSITIVE PENSTEMON RATTANII IS POTENTIALLY IN OR NEAR THE PROJECT AREA. MEASURES SHOULD BE TAKEN TO AVOID IMPACTS, INCLUDING PRE-CONSTRUCTION SURVEYS AND MARKING/FENCING AN OBSERVED OCCURRENCES. REFER TO IMAGES BELOW FOR PENSTEMON RATTANII EXAMPLES.



SHEET NOTES:

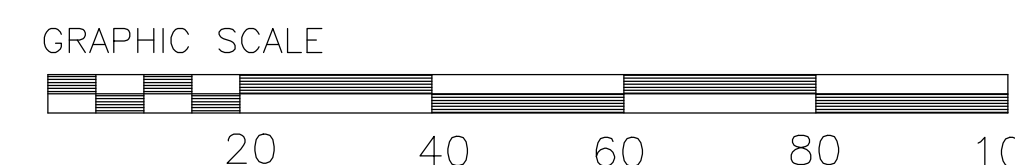
- ① DENOTES PORTION OF EXISTING FENCING TO REMAIN, HOWEVER IN AN ABANDONED STATE UPON INSTALLATION OF NEW SECURITY FENCE PERIMETER.
- ② CLEAR BRUSH AND AREA AS REQUIRED FOR INSTALLATION OF NEW SECURITY FENCING AS SHOWN.



EXISTING SURFACE LEGEND

- ASPHALTIC SURFACE
- CONCRETE SURFACE
- CRUSHED ROCK
- NATIVE SURFACE (I.E. DIRT)

EXHIBIT D



1 SITE PLAN - DEMOLITION
SCALE: 1" = 20'-0"

APN: 086-281-21

PROPERTY OWNER: LOCKHEED MARTIN SPACE
ADDRESS: 16020 EMPIRE GRADE RD | SANTA CRUZ, CALIFORNIA 95060
CONTACT: KRISTY SMITH, PROJECT MANAGER | (303) 977-1147

APPROVED		ORGN	DATE	ARCH./ENGR. STAMP	TEMP. DRWG. I.D.
		AD1.1		FACILITY OPERATIONS & SERVICES	
		BLDG: 657	LEVEL: 1	AREA: 00	PROJECT NUMBER: 1020479
DRAWING TITLE: EXISTING SITE PLAN					
LOCATION: SANTA CRUZ, CALIFORNIA			CAD FILE ID: 657-002-A_D11.dwg		
DRAWN BY: BAB	DATE: 3/5/26	SCALE: AS NOTED	SHT. OF	DWG NO. 657-8-100AD-002	REV

File Name: K:\32128 LMG 6657 SP01 SSF Building Submittal\Design\Arch\657-002-A_D11.dwg
 Plotted on: Thu, 12 Feb 2026 - 9:46am
 User Name: mharris

BUILDING 657
FLOOR ELEVATION:
+0'-0" (REF.)
(FF 2001.30' CONC
SLAB ON GRADE)

BAY AREA BUILDERS INCORPORATED
3360 De La Cruz Boulevard
Santa Clara, CA 95054
www.ba-builders.com
Main: (408) 648-4500
CA License: B-443949
ARCHITECT OF RECORD
MICHAEL HARRIS | (408) 690-6877

REV	PROJECT NO.	JOB TITLE / DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING							
						MECH.	ELECT.	PLUMB.	PAVING	FINISH	CONV.	ASPH.	
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000								
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000								
1	1020479	COUNTY COMMENTS	BAB	3/5/26	B-257000								

- GENERAL NOTES:**
- ALL WORK TO BE PERFORMED PER LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE SPECIFIED.
 - REFER TO SHEET G0.0 FOR INDEX OF DRAWINGS, NOTES AND REFERENCES.
 - ALL DIMENSIONS ARE TO FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS. VERIFY ALL MEASUREMENTS PRIOR TO MANUFACTURING AND INSTALLATION.
 - ALL NEW PENETRATIONS THROUGH FIRE-RATED, SMOKE-PROOF, STC RATED, CLEAN ROOM, SECURED AND EXTERIOR WALLS SHALL BE SEALED IN ACCORDANCE TO LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATION SECTION 07 84 00.
 - REFER TO STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE.
 - PRIOR TO ANY CONSTRUCTION ACTIVITY RELATING TO THE ROUTING AND TRENCHING OF UTILITIES, THE CONTRACTOR SHALL SCAN THE AFFECTED AREA FOR EXISTING UTILITIES AND IDENTIFY/CONFIRM CONFLICTS. IN ADDITION, HAND TRENCHING MAY BE REQUIRED IN CERTAIN INSTANCES TO AVOID DAMAGE AND IMPACT TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE AWARE THAT IMPACTING EXISTING UTILITIES WOULD HAVE A SIGNIFICANT IMPACT TO THE OPERATION OF LOCKHEED MARTIN SPACE AND EXTREME CAUTION SHOULD BE EXERCISED AT ALL TIMES TO AVOID IMPACTS.
 - CONTRACTOR SHALL BE AWARE THAT THERE IS POISON IVY, RATTLESNAKES AND OTHER NATURAL ELEMENTS IN THE VICINITY THAT COULD IMPACT SAFETY OF INDIVIDUAL(S). TAKE APPROPRIATE PRECAUTIONS.
 - UPON TRENCHING, CONFORM TO LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND PATCH SURFACE TO MATCH EXISTING U.O.N.
 - REFER TO SHEET A2.1 FOR DEFERRED FIRE SYSTEM SUBMITTALS AND ASSOCIATED COUNTY FIRE DEPARTMENT NOTES.

- SHEET NOTES:**
- PROVIDE & INSTALL NEW 6'-0" HIGH CHAIN LINK FENCE ASSEMBLY WITH 18" OF BARBED WIRE (3 STRANDS MINIMUM) ON TOP IN LOCATION SHOWN. CLEAR BRUSH AND AREA AS REQUIRED FOR INSTALLATION. REFER TO DETAIL 6/AB.1. LENGTHS NOTED ON PLAN ARE APPROXIMATE. CONTRACTOR TO ACCOUNT FOR A LENGTH UP TO 10% MORE TO ACCOMMODATE TERRAIN DEVIATIONS IN FIELD.
 - PROVIDE & INSTALL NEW PAIR OF 6'-0" HIGH BY CHAIN LINK SECURITY SLIDING GATE ASSEMBLY WITH 18" OF BARBED WIRE (3 STRANDS MINIMUM) ON TOP IN LOCATION SHOWN. CLEAR OPENING WIDTH SHALL BE 16'-0". PROVIDE 12" DEEP CONCRETE PAD AS REQUIRED TO ACCOMMODATE ROLLING V-TRACK. REFER TO DETAIL 7/AB.1.
 - PROVIDE & INSTALL NEW 3'-0" WIDE GATE ASSEMBLY WITH LATCHING HARDWARE AND 18" OF BARBED WIRE (3 STRANDS MINIMUM) ON TOP IN LOCATION SHOWN. GATE ASSEMBLY SHALL MATCH THE NEW SECURITY CHAIN LINK FENCE ASSEMBLY AS DESCRIBED HERE WITHIN THESE PLANS. REFER TO DETAIL 5/AB.1.
 - PROVIDE & INSTALL AUTOMATIC GATE OPENING MECHANISM ASSOCIATED WITH THE NEW AUTOMATED SLIDING GATE ASSEMBLY BY "CUSTOMLINE" M-35 (2hp) OR APPROVED EQUIVALENT. TIE INTO NEW CARD READER. REFER TO ENLARGED PLAN VIEW 2/AB.1.
 - PROVIDE & INSTALL NEW LEVEL CONCRETE PAD FOR AUTOMATIC GATE ASSEMBLY DEVICE. TOP OF SLAB SHALL ALIGN WITH GATE LEVEL. ANCHOR AUTOMATIC GATE MOTOR ASSEMBLY (175 LBS) WITH (4) 1/2" SIMPSON TITEN HD (ICC ESR-2713) POST-INSTALLED SCREW ANCHORS WITH 4" MINIMUM EMBEDMENT.
 - PROVIDE & INSTALL NEW SENSORS IN THE ASPHALT AND TIE INTO AUTOMATIC GATE OPENING MECHANISM (SAWCUT ASPHALT 2" DEEP BY WIDTH APPROPRIATE FOR THE SENSOR INSTALLATION; UPON INSTALLATION SEAL WITH QUICK-SET BLACK EPOXY COMPOUND OR HOT BITUMEN MASTIC TO BLEND INTO ASPHALT). GATES SHALL AUTOMATICALLY OPEN WHEN TRIGGERED BY A VEHICLE UPON EXITING THE FACILITY.
 - PROVIDE & INSTALL NEW CARD READER AND POST (2 1/2" SQ x 3 1/2") IN LOCATION SHOWN. FOOTING SHALL BE 24" SQ BY 12" DEEP WITH #4 AT 9" O.C.E.W. ANCHOR POST WITH (4) 1/2" SIMPSON TITEN HD (ICC ESR-2713) POST-INSTALLED SCREW ANCHORS WITH 4" MINIMUM EMBEDMENT. REFER TO DETAIL A/AB.1.
 - DENOTES NEW SECURITY CAMERA LOCATIONS. WHERE THERE IS NOT A POLE, PROVIDE & INSTALL NEW TELEPHONE POLE. SECURITY CAMERAS BY LMS; SEE ELECTRICAL DRAWINGS FOR ROUTING OF UNDERGROUND CONDUIT FOR COMMUNICATIONS FOR SECURITY CAMERAS.
 - DENOTES PORTION OF EXISTING FENCING TO REMAIN HOWEVER IN AN ABANDONED STATE UPON INSTALLATION OF NEW SECURITY FENCE PERIMETER. RECOMMENDED GATE LOCATIONS ARE ILLUSTRATED ON PLAN.
 - PROVIDE & INSTALL NEW PAIR OF 6'-0" HIGH BY 6'-0" WIDE CHAIN LINK SECURITY GATES WITH 18" OF BARBED WIRE (3 STRANDS MINIMUM) ON TOP IN LOCATION SHOWN. GATE HARDWARE SHALL INCLUDE PLUNGER BAR WITH ABILITY TO LOCK (LOCK BY LMS). REFER TO DETAIL 4/AB.1.
 - ADD-ALTERNATE COST DEDUCT - UTILIZE PORTION OF EXISTING FENCE IN RANGE NOTED (APPROXIMATELY 200'). PROVIDE A SEPARATE LINE ITEM AS PART OF THE BID.
 - PROVIDE & INSTALL AN APPROVED FIRE DEPARTMENT PADLOCK LOCK ON ALL MANUAL GATES. COORDINATE WITH THE COUNTY FIRE DEPARTMENT.

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ADDRESS: 16020 EMPIRE GRADE RD | SANTA CRUZ, CALIFORNIA 95060
CONTACT: KRISTY SMITH, PROJECT MANAGER | (303) 977-1147

EXISTING SURFACE LEGEND

- ASPHALTIC SURFACE
- CONCRETE SURFACE
- CRUSHED ROCK
- NATIVE SURFACE (I.E. DIRT)

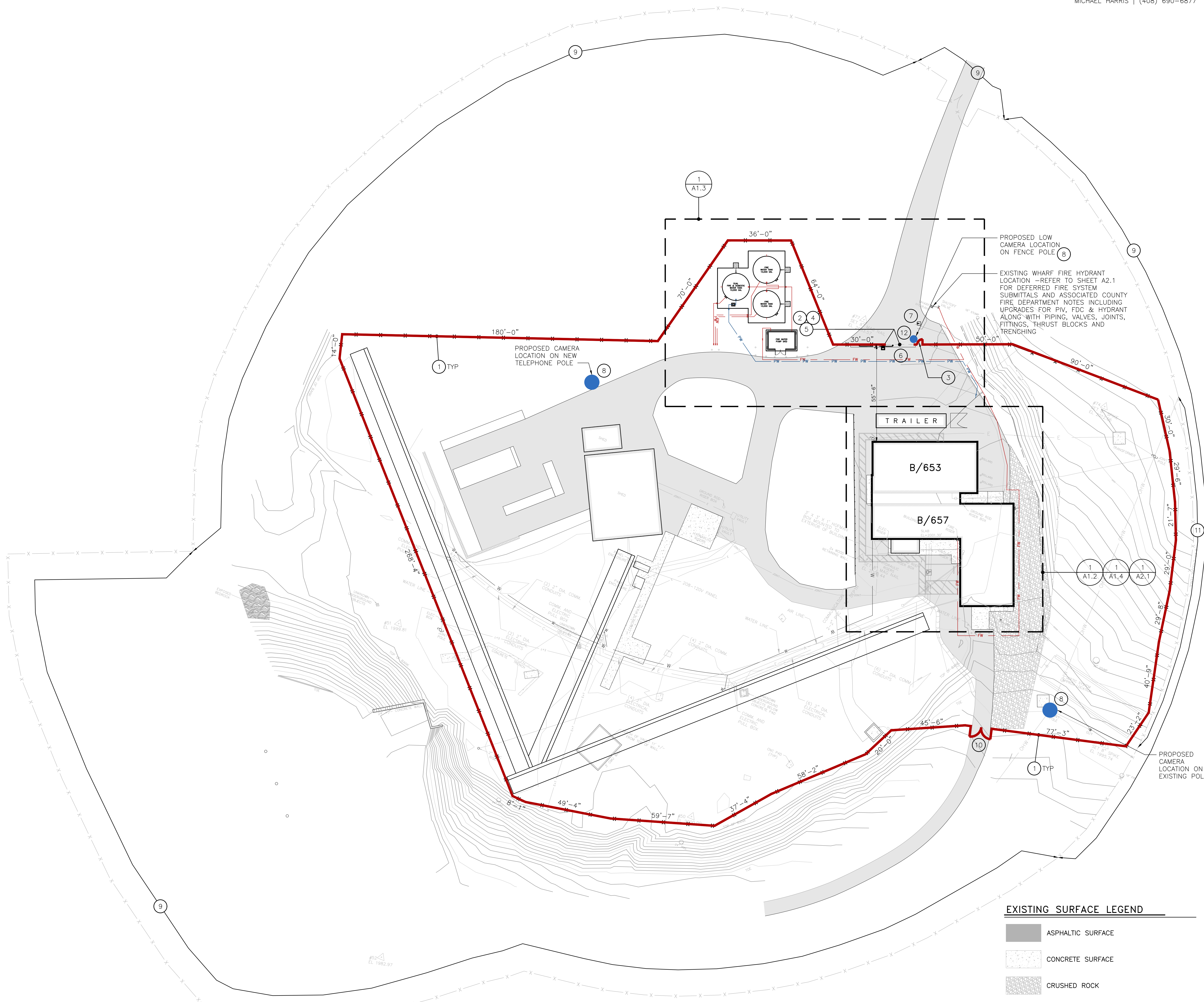
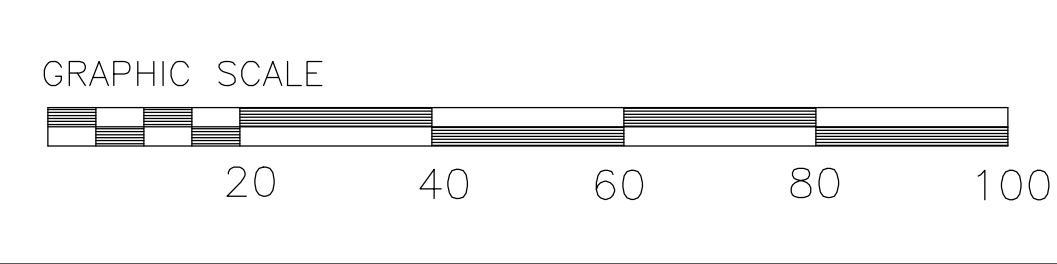


EXHIBIT D

1 SITE PLAN
A1.1 SCALE: 1" = 20'-0"
APN: 086-281-21



APPROVED ORGN DATE ARCH./ENGR. STAMP TEMP. DRWG. I.D.

LOCKHEED MARTIN FACILITY OPERATIONS & SERVICES

BLDG: 657 LEVEL: 1 AREA: 00 PROJECT NUMBER: 1020479

DRAWING TITLE: PROPOSED SITE PLAN

LOCATION: SANTA CRUZ, CALIFORNIA CAD FILE ID: 657-002-A11.dwg

DRAWN BY: DATE: SCALE: SHT. DWG NO. REV

BAB 3/5/26 AS NOTED OF 657-8-100AA-002 -

FOR CONTINUATION TO WATER STORAGE TANKS, ENTRANCE GATE AND FIRE PUMP, SEE SHEET A1.3

BUILDING 657
FLOOR ELEVATION:
+0'-0" (REF.)
(FF 2001.30' SONG
SLAB ON GRADE)

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REV	PROJECT NO.	JOB TITLE / DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING								
						ARCH.	MECH.	ELECT.	PLUMB.	PIPE	MECH.	PLUMB.	ELECT.	
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000									
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000									
1	1020479	COUNTY COMMENTS	BAB	3/5/26	B-257000									

GENERAL NOTES:

- ALL WORK TO BE PERFORMED PER LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE SPECIFIED.
- REFER TO SHEET 60.0 FOR INDEX OF DRAWINGS, NOTES AND REFERENCES.
- ALL DIMENSIONS ARE TO FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS. VERIFY ALL MEASUREMENTS PRIOR TO MANUFACTURING AND INSTALLATION.
- ALL NEW PENETRATIONS THROUGH FIRE-RATED, SMOKE-PROOF, STC RATED, CLEAN ROOM, SECURED AND EXTERIOR WALLS SHALL BE SEALED IN ACCORDANCE TO LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATION SECTION 07 84 00.
- REFER TO STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE.
- PATCH ASPHALT AND CONCRETE AS REQUIRED FOR INFILL OF NEW TRENCHING. AT CONCRETE, REPLACE ENTIRE SECTION BETWEEN JOINTS.
- VERIFY THAT ALL EXTERIOR DOORS HAVE NON-REMOVABLE PINS. IF FOUND INADEQUATE, PROVIDE ADD-ALTERNATE COST TO SPOT WELD TO MAKE THEM INTO NON-REMOVABLE. SPOT WELDING SHALL NOT IMPACT FUNCTION OF DOOR OPERATION.
- UPON TRENCHING, CONFORM TO LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND PATCH SURFACE TO MATCH EXISTING U.O.N.
- REFER TO SHEET A2.1 FOR DEFERRED FIRE SYSTEM SUBMITTALS AND ASSOCIATED COUNTY FIRE DEPARTMENT NOTES. THIS INCLUDES THE REQUIRED 100-FOOT VEGETATION MANAGEMENT (HANDLED BY LMS)

SHEET NOTES:

- MODIFY EXISTING DOOR HARDWARE AS REQUIRED TO INSTALL NEW CARD READER, INTRUSION DETECTION SYSTEM AND ELECTRIC STRIKE. IF DOOR ASSEMBLY IS DAMAGED, REPLACE IN KIND. TOP OF CARD READER SHALL BE MOUNTED AT 38" A.F.F.
- MODIFY EXISTING DOOR HARDWARE AS REQUIRED TO MAKE EXIT ONLY. IF DOOR ASSEMBLY IS DAMAGED, REPLACE IN KIND.

DOOR HARDWARE:

- MISCELLANEOUS HARDWARE
- GROUP 42e (EXIT ONLY)**
EXISTING DOOR WITH THE FOLLOWING MODIFICATIONS/ADDITIONS
1 - REPLACE LATCHING HARDWARE AND APPLY BLANK PLATE ON EXTERIOR
- GROUP 86c (ADD CARD READER TO EXISTING DOOR)**
EXISTING DOOR(S) WITH THE FOLLOWING MODIFICATIONS/ADDITIONS
1 - ELECTRONIC POWER TRANSFER, VON DUPRIN EPT 2, (2) 18 GA WIRES
1 - LOCKSET SCHLAGE N80RDEU 24VDC (FAIL SECURE) W/ SPARTA LEVER
- BY SECURITY CONTRACTOR:
1 - SURFACE MOUNTED DOOR CONTACT, LOCKNETICS 679-05
1 - CARD READER

LEGEND:

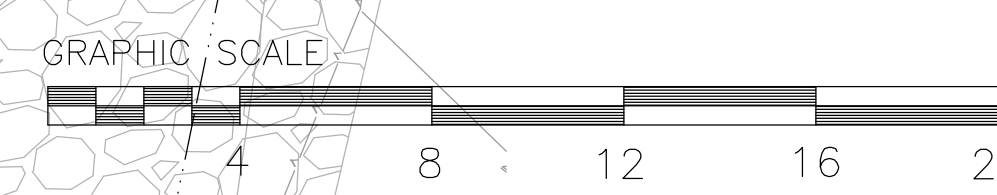
DOOR SYMBOL

- DOOR TYPE (EXISTING)
- FRAME TYPE (EXISTING)
- SOUND RATING IN STC WALLS AS APPLICABLE
- SIZE IN FEET & INCHES (e.g. 3'-0"=30)
FOR PAIR INDICATE "PR" (e.g. PR 3070)
- FIRE RATING 20 MINUTES, 45 MINUTES
OR NUMBER OF HOURS
- LETTER INDICATING MODIFICATION OF
HARDWARE GROUP
- HARDWARE GROUP SEE THIS SHEET

EXHIBIT D

EXISTING SURFACE LEGEND

- ASPHALTIC SURFACE
- CONCRETE SURFACE
- CRUSHED ROCK
- NATIVE SURFACE (I.E. DIRT)

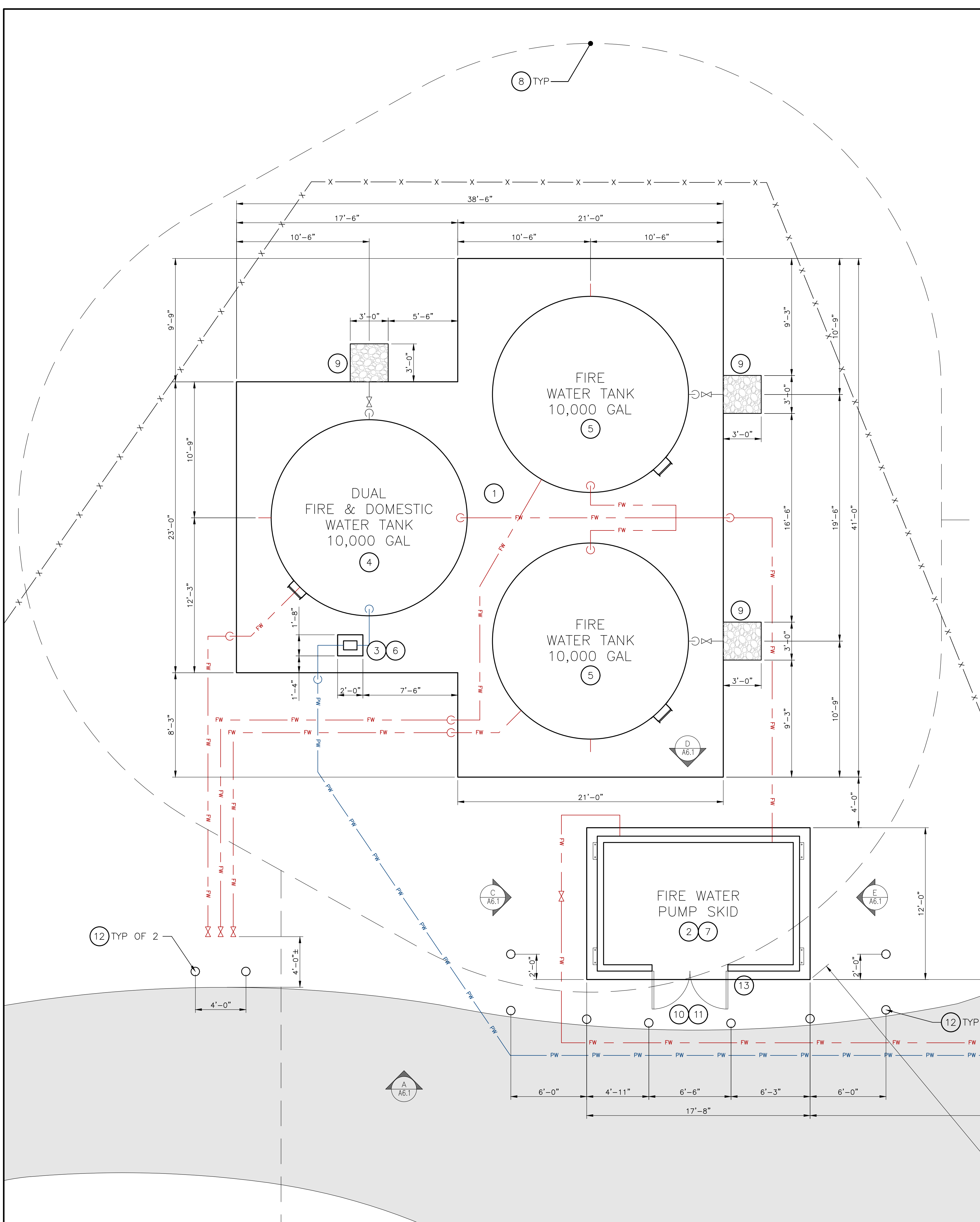


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APPROVED		ORGN	DATE	ARCH./ENGR. STAMP	TEMP. DRWG. I.D.
		FACILITY OPERATIONS & SERVICES			
		PROJECT NUMBER: 1020479			
DRAWING TITLE: FLOOR PLAN					
BLDG: 657		LEVEL: 1	AREA: 00	PROJECT NUMBER: 1020479	
LOCATION: SANTA CRUZ, CALIFORNIA		CAD FILE ID: 657-002-A12.dwg			
DRAWN BY: BAB	DATE: 3/5/26	SCALE: AS NOTED	SHT. OF	DWG NO. 657-8-100A0-002	REV

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

APN: 086-281-21



SHEET NOTES:

- 1 PROVIDE AND INSTALL NEW CONCRETE MAT SLAB PER STRUCTURAL DRAWINGS. ENSURE THAT THE HOUSEKEEPING PAD IS SLOPED AT 1/8" PER FOOT IN THE DIRECTION OF THE GROUND TO ACCOMMODATE DRAINAGE.
- 2 PROVIDE AND INSTALL NEW CONCRETE MAT SLAB PER STRUCTURAL DRAWINGS FOR FIRE WATER PUMP SKID.
- 3 PROVIDE AND INSTALL NEW 4" HIGH CONCRETE HOUSEKEEPING PAD ON TOP OF MAT SLAB. REFER TO STRUCTURAL DRAWINGS.
- 4 PROVIDE AND INSTALL NEW 10,000 GALLON NOMINAL NFPA 22 AND NSF-61 COMPLIANT CORRUGATED STEEL DUAL FIRE & DOMESTIC WATER STORAGE TANK BY "PIONEER" MODEL CA-XLR 08/02 THROUGH "WEST COAST TANKS AND INSTALLATION, INC." OR APPROVED EQUIVALENT IN LOCATION SHOWN. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION & ANCHORAGE AND PLUMBING DRAWINGS FOR WATER SUPPLY CONNECTION. PROVIDE A COMPLETE WATER TANK SUBMITTAL FOR REVIEW AND APPROVAL INCLUDING STRUCTURAL CALCULATIONS FOR THE TANK ASSEMBLY AS PART OF A DEFERRED SUBMITTAL TO THE COUNTY.
 SIZE: 15'-5"Ø X 7'-2" HIGH
 COLOR: ZINCALUME SILVER
 ACCESS HATCH (30"x30" HINGED), LADDER, GUARDS AT ACCESS HATCH
 REMOVABLE 800 MICRON BASKET FILTER
 DRAINS AND OVERFLOW
 AUTOMATIC FILL ASSEMBLY
 FIRE DEPARTMENT CONNECTION
 TANK WATER LEVEL GAUGES, FLOAT VALVE AND ALARMS FOR 3/4 FULL, HALF FULL AND EMPTY
 ANTI-VORTEX PLATES/FLANGES
 ANTI-INSECT/RODENT INTRUSION FLAPPERS
 ROOF VENT WITH ANTI-INSECT RODENT INTRUSION SCREEN
 PAINT TANK WITH HIGH SOLID ACRYLIC ALKYD ENAMEL TO MATCH B657
 CONFINED SPACE ENTRY SIGNAGE AT WATER TANK ACCESS
- 5 PROVIDE AND INSTALL (2) NEW 10,000 GALLON NOMINAL NFPA 22 COMPLIANT CORRUGATED STEEL FIRE WATER STORAGE TANKS BY "PIONEER" MODEL CA-XLR 08/02 THROUGH "WEST COAST TANKS AND INSTALLATION, INC." OR APPROVED EQUIVALENT IN LOCATION SHOWN. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION & ANCHORAGE AND PLUMBING DRAWINGS FOR PIPING. CONNECT TO EXISTING WHARF FIRE HYDRANT AND 2 FIRE RISERS AT BUILDING 657. TANK SHALL INCLUDE THE FOLLOWING ATTRIBUTES AND ACCESSORIES. PROVIDE SUBMITTAL TO ARCHITECT AND LMS CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL. PROVIDE A COMPLETE WATER TANK SUBMITTAL FOR REVIEW AND APPROVAL INCLUDING STRUCTURAL CALCULATIONS FOR THE TANK ASSEMBLY AS PART OF A DEFERRED SUBMITTAL TO THE COUNTY.
 SIZE: 15'-5"Ø X 7'-2" HIGH
 COLOR: ZINCALUME SILVER
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 ANTI-VORTEX PLATES/FLANGES
 ANTI-INSECT/RODENT INTRUSION FLAPPERS
 ROOF VENT WITH ANTI-INSECT RODENT INTRUSION SCREEN
 PAINT TANK WITH HIGH SOLID ACRYLIC ALKYD ENAMEL TO MATCH B657
 CONFINED SPACE ENTRY SIGNAGE AT WATER TANK ACCESS

BUILDING 657
 FLOOR ELEVATION:
 +0'-0" (REF.)
 (FF 2001.30' CONC
 SLAB ON GRADE)



VENDOR CONTACTS:
 WATER STORAGE TANKS:
 WEST COAST TANKS AND INSTALLATION, INC.
 CONTACT: GUY GIORDANENGO
 (831) 321-0321 CELL
 GUYG@WESTCOASTTANKS.COM

FIRE WATER PUMP SKID:
 THE BROWN COMPANY
 CONTACT: ERIC SILVA
 (510) 886-5260 OFFICE
 (510) 376-0106 CELL
 ERIC@THEBROWNCO.NET

REV	PROJECT NO.	JOB TITLE/DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING								
						ARCH.	ENVS.	ELECT.	MECH.	PIPE/PNE.	PLUMB.	SEWER	TRAC.	
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000									
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000									
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GENERAL NOTES:

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- REFER TO STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE.
- PAIN ALL EXPOSED PIPE SUPPORTS. COLOR TO MATCH TANKS.
- REFER TO SHEET A2.1 FOR DEFERRED FIRE SYSTEM SUBMITTALS AND ASSOCIATED COUNTY FIRE DEPARTMENT NOTES.

SHEET NOTES (CONTINUED):

- 6 PROVIDE AND INSTALL NEW DOMESTIC WATER PUMP PER PLUMBING DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR ANCHORAGE AND ELECTRICAL DRAWINGS FOR POWER.
- 7 PROVIDE AND INSTALL NEW FIRE WATER PUMP SKID PER PLUMBING DRAWINGS ("TIGERFLOW" SERIES FPS-7000-PEC MODEL #FP-450-HSC-DEHO-HV-FM). REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION & ANCHORAGE AND ELECTRICAL DRAWINGS FOR POWER. PROVIDE A COMPLETE FIRE WATER PUMP SKID SUBMITTAL FOR REVIEW AND APPROVAL INCLUDING STRUCTURAL CALCULATIONS FOR THE SKID ASSEMBLY AS PART OF A DEFERRED SUBMITTAL TO THE COUNTY. INCLUDE 4" HOSPITAL EXTREME GRADE, END IN END OUT DOUBLE SHELL EXHAUST SILENCER (26"x96"L) M72 BY "MAXIM" AS A MITIGATION TO REDUCE NOISE OUTPUT TO MAXIMUM LEVEL OF 60 dBA (A-WEIGHTED AVERAGE SOUND LEVEL) MEASURED AT 23 FEET FROM THE DEVICE. INCLUDE OPTIONAL FULL-CAPACITY DIESEL SPILL CONTAINMENT DIKING AT THE BASE OF THE FIRE WATER PUMP SKID TO COMPLY WITH FACTORY MUTUAL REQUIREMENTS (IN ADDITION TO THE DOUBLE-CONTAINED DIESEL TANK). PAINT ENCLOSURE, TRIM, SILENCER, VENT PIPING/CAPS, WEATHER PROTECTION, DOOR ASSEMBLY AND OTHER ELEMENTS WITH HIGH SOLID ACRYLIC ALKYD ENAMEL TO MATCH B657
- 8 PROVIDE & INSTALL NEW CRUSHED STONE BASE ROCK WITHIN 20' PERIMETER OF THE NEW FIRE WATER TANKS AND WITHIN 25' PERIMETER OF THE NEW FIRE WATER PUMP ENCLOSURE. BASE ROCK SHALL MATCH B/657 OUTSIDE AREAS. PREPARE GROUND AS REQUIRED TO REMOVE BRUSH AND PROVIDE & INSTALL LANDSCAPE FABRIC BARRIER TO PREVENT GROWTH OF BRUSH/WEEDS.
- 9 PROVIDE & INSTALL NEW OVERFLOW AREA CONSISTING OF 4x6 REDWOOD WITH 1-3" ANGULAR ROCK OVER 6" DEEP SAND BED. SEE PLUMBING DRAWINGS FOR DETAIL.
- 10 PROVIDE & INSTALL NFPA 704 PLACARD ON DOOR TO FIRE PUMP ENCLOSURE DOOR IN LOCATION SHOWN. SIZE OF DIAMOND SHALL BE 12"x12", REFER TO DETAIL 3/AB.1.
- 11 PROVIDE & INSTALL NEW "NO SMOKING" SIGN ON FIRE PUMP ENCLOSURE DOOR AND ALL SIDES. REFER TO DETAIL 1/AB.1.
- 12 PROVIDE & INSTALL NEW BOLLARD AT FILLING STATION & FIRE PUMP ENCLOSURE FOR IMPACT PROTECTION. REFER TO DETAIL 9/AB.1.
- 13 PROVIDE & INSTALL NEW FIRE EXTINGUISHER WITH MINIMUM RATING OF 2A:10-BC ALONG WITH A SURFACE-MOUNTED EXTERIOR RATED CABINET WITH THE CENTER OF HANDLE AT +40" A.F.F. PROVIDE & INSTALL (N) FIRE EXTINGUISHER SIGNAGE PER DETAIL 1/AB.1.

HAZARDOUS MATERIALS:

- THE FIRE PUMP ENCLOSURE IS LOCATED IN AN OUTSIDE CONTROL AREA.
- PROJECT HAZARDOUS MATERIALS IN FIRE PUMP ENCLOSURE:

1. Room No.	2. Chemical Name & Concentration (Not Trade Name)	3. CFC Class	4. Quantity in Storage	5. Quantity in Use	6. Stored in Approved Cabinet
Fire Pump	Diesel	Comb Liquid Class II	187	<input type="checkbox"/> gal. <input type="checkbox"/> lb. <input type="checkbox"/> qt. <input type="checkbox"/> oz.	<input type="checkbox"/> Yes <input type="checkbox"/> No

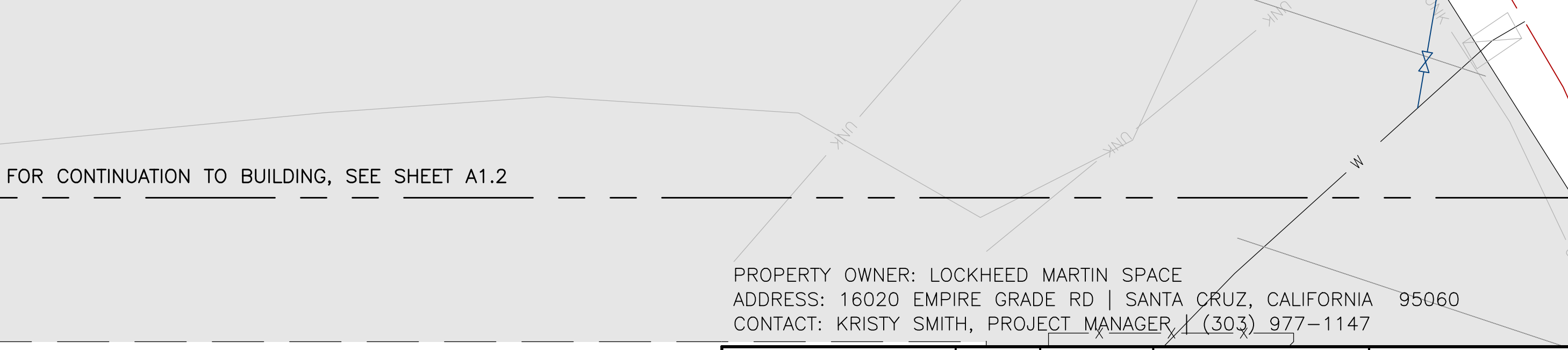
C. FIRE PUMP DATA:
 SIZE: 450 GPM
 CAPACITY: 187 GALLONS
 FLUID: DIESEL
 TANK: ABOVE GROUND CLOSED-TOP SECONDARY CONTAINED SYSTEM WITH LEAK DETECTION
 SECONDARY CONTAINMENT: 110% TANK CAPACITY
 USE: FIRE PUMP RELIABLE POWER SUPPLY
 POWER RATING: 74 BHP (55kW)

SEPARATION REQUIREMENTS:
 (NFPA 30 SECTION 4.3.2.1.2 & CFC TABLE 2306.2.3)
 BUILDING: 5'
 BUILDING OPENINGS: 5'
 PROPERTY LINE/PUBLIC WAY: 15'
 NON-COMBUSTIBLE MATERIALS (CFC 5003.7.1): 25'
 NO SMOKING (CFC 2310.5.5.1): 50'

FIRE DEPARTMENT NOTES:

- A FIRE DEPARTMENT ROUGH AND FINAL INSPECTION IS REQUIRED BEFORE THE FUEL CAN BE PLACED INTO THE TANK AND THE FIRE PUMP IS USED.
- LABEL ABOVE FIRE PUMP ENCLOSURE ON ALL SIDES WITH "187 GALLONS DIESEL FUEL - COMBUSTIBLE LIQUID - NO SMOKING".
- LABEL ALL DOORS, AREAS, PIPING, TUBING, TANKS, EXHAUST DUCTS, CONTAINERS, ETC., IN ACCORDANCE WITH COUNTY OF SANTA CRUZ FIRE DEPARTMENT GUIDELINES. ADDITIONAL LABELING/SIGNAGE MAY BE REQUIRED BASED UPON FIELD INSPECTION.
- INSTALL HAZARD IDENTIFICATION SIGNS AS SPECIFIED IN NFPA 704 OR UFC 79-3 AT THE ENTRANCES TO LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED, AND ON ABOVEGROUND TANKS.
- AFTER INSTALLATION, AND PRIOR TO PLACING IN SERVICE, PNEUMATICALLY TEST PRIMARY HORIZONTAL TANKS AT 3-5 PSIG FOR 60 MINUTES. THE INTERSTITIAL SPACE OF HORIZONTAL TANKS SHALL EITHER BE PNEUMATICALLY TESTED AT 3-5 PSIG FOR 60 MINUTES OR BY VACUUM AT 5.3 IN. HG (17.9KPA). VERTICAL PRIMARY TANKS SHALL BE PNEUMATICALLY TESTED AT 1.5- 2.5 PSIG FOR 60 MINUTES OR PERFORM A VACUUM TEST FOR 30 MINUTES. THE INTERSTITIAL SPACE OF VERTICAL TANKS SHALL EITHER BE PNEUMATICALLY TESTED AT 1.5- 2.5 PSIG FOR 60 MINUTES OR BY VACUUM AT 5.3 IN. HG (17.9KPA). (NFPA 30, 2.4.2.3 AND 2.4.2.4)
- FIRE PUMP INSTALLATIONS GREATER THAN 50 HP (37 kW) REQUIRE APPROVAL FROM BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) PRIOR TO INSTALLATION / OPERATION. ALTHOUGH THE BAAQMD APPLICATION IS IN THE PROCESS AT THE TIME OF BUILDING PLAN CHECK, A COPY OF BAAQMD PERMIT TO CONSTRUCT & OPERATE SHALL BE PROVIDED TO THE COUNTY OF SANTA CRUZ FIRE DEPARTMENT PRIOR TO FINAL INSPECTION.

EXHIBIT D



PROPERTY OWNER: LOCKHEED MARTIN SPACE
 ADDRESS: 16020 EMPIRE GRADE RD | SANTA CRUZ, CALIFORNIA 95060
 CONTACT: KRISTY SMITH, PROJECT MANAGER | (303) 977-1147

APPROVED	ORGN	DATE	ARCH./ENGR. STAMP	TEMP. DRWG. I.D.

LOCKHEED MARTIN FACILITY OPERATIONS & SERVICES

BLDG: 657	LEVEL: 1	AREA: 00	PROJECT NUMBER: 1020479
DRAWING TITLE: YARD PLAN			
LOCATION: SANTA CRUZ, CALIFORNIA	CAD FILE ID: 657-002-A13.dwg		
DRAWN BY: DATE: BAB 3/5/26	SCALE: AS NOTED	SHT. OF: DWG NO. 657-8-100AA-002	REV

1 YARD PLAN
 A13 SCALE: 1/4" = 1'-0"

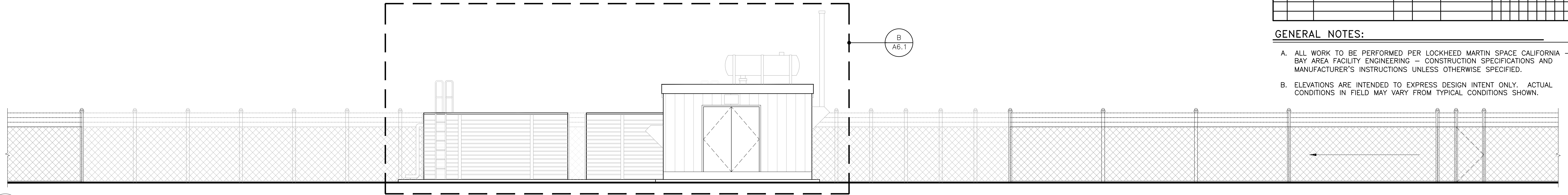
APN: 086-281-21

657-002-A13.dwg
 12:11pm
 Wed, 11 Feb 2026
 User Name: K:\25028_LMS_1657_SPT_507_Building_Stationing\Design\Arch\657-002-A13.dwg
 User Name: MICHAEL P. HARRIS
 State of CA
 License No. 02794

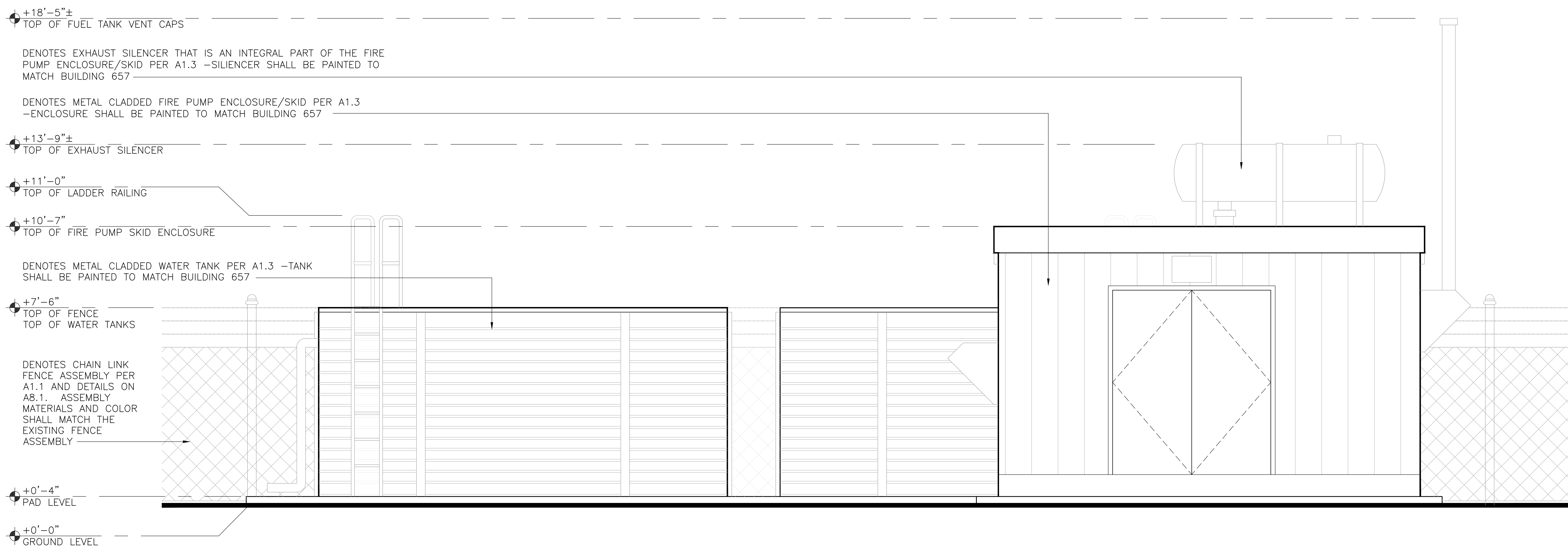
REV	PROJECT NO.	JOB TITLE / DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING				
						MECH.	ELECT.	PLUMB.	PIPE	MECH.
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000					
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000					
1	1020479	COUNTY COMMENTS	BAB	3/5/26	B-257000					

GENERAL NOTES:

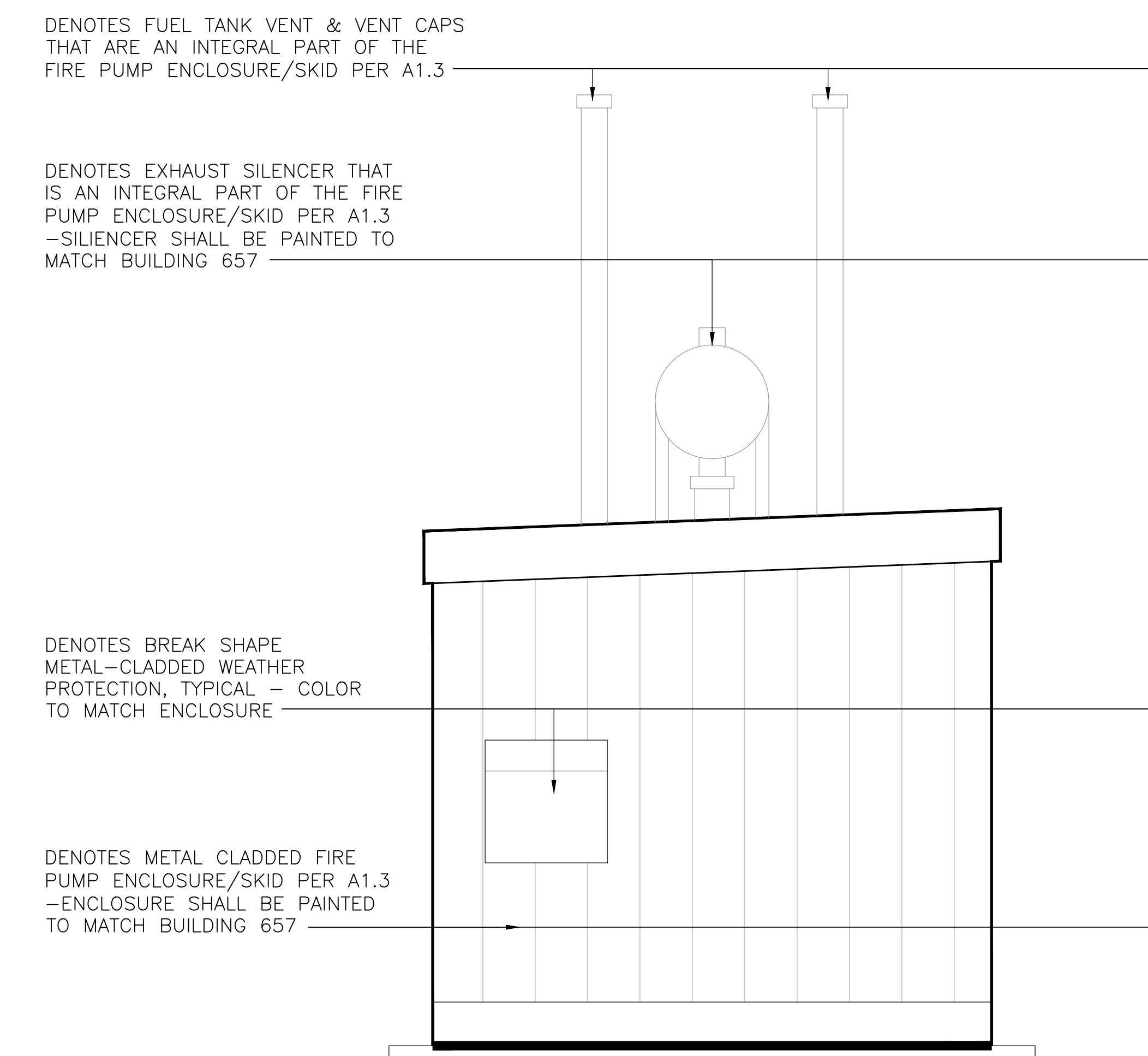
- A. ALL WORK TO BE PERFORMED PER LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE SPECIFIED.
- B. ELEVATIONS ARE INTENDED TO EXPRESS DESIGN INTENT ONLY. ACTUAL CONDITIONS IN FIELD MAY VARY FROM TYPICAL CONDITIONS SHOWN.



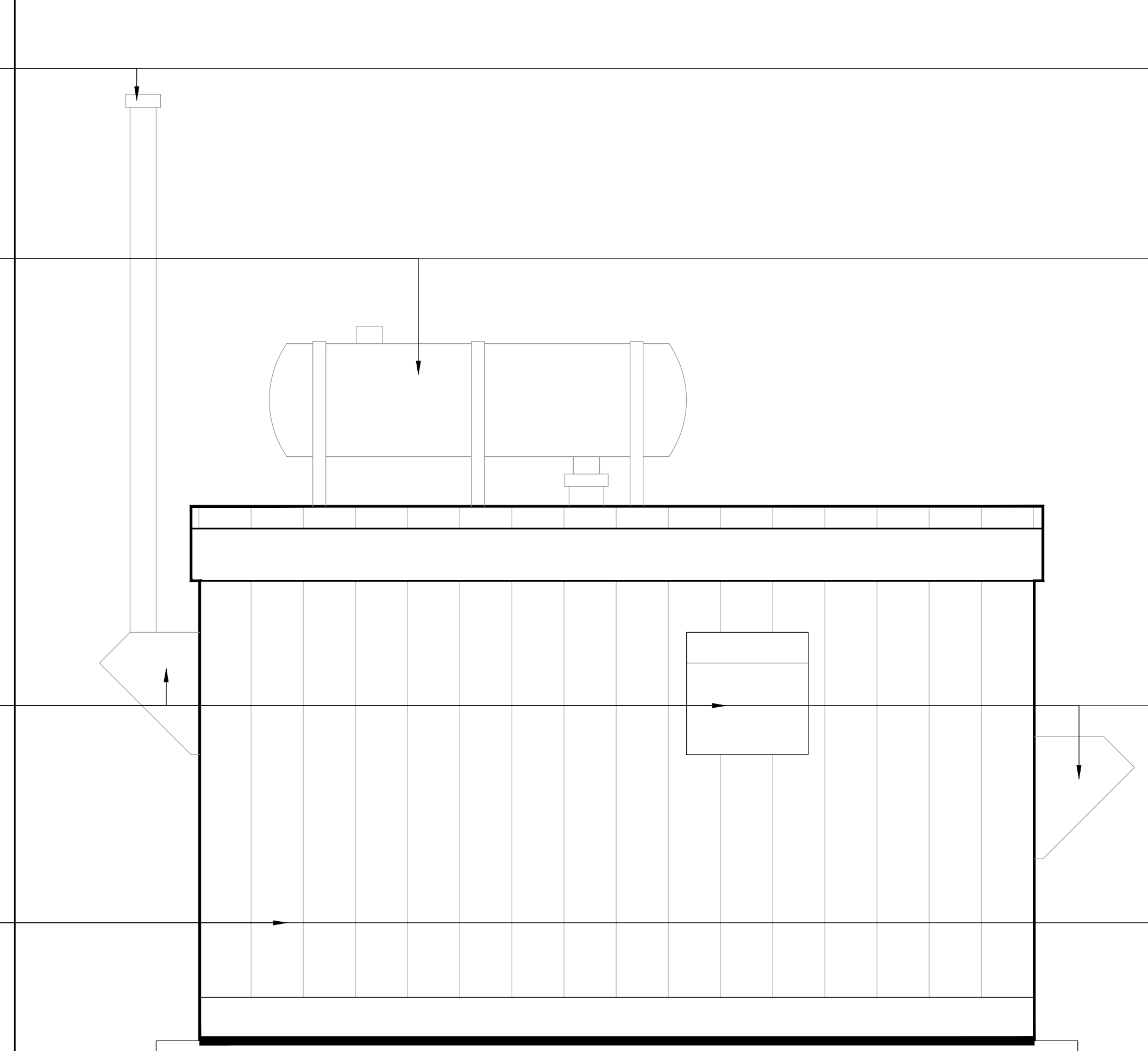
A YARD ELEVATION
 SCALE: 1/4"=1'-0" REFER TO ELEVATION B FOR DATUMS



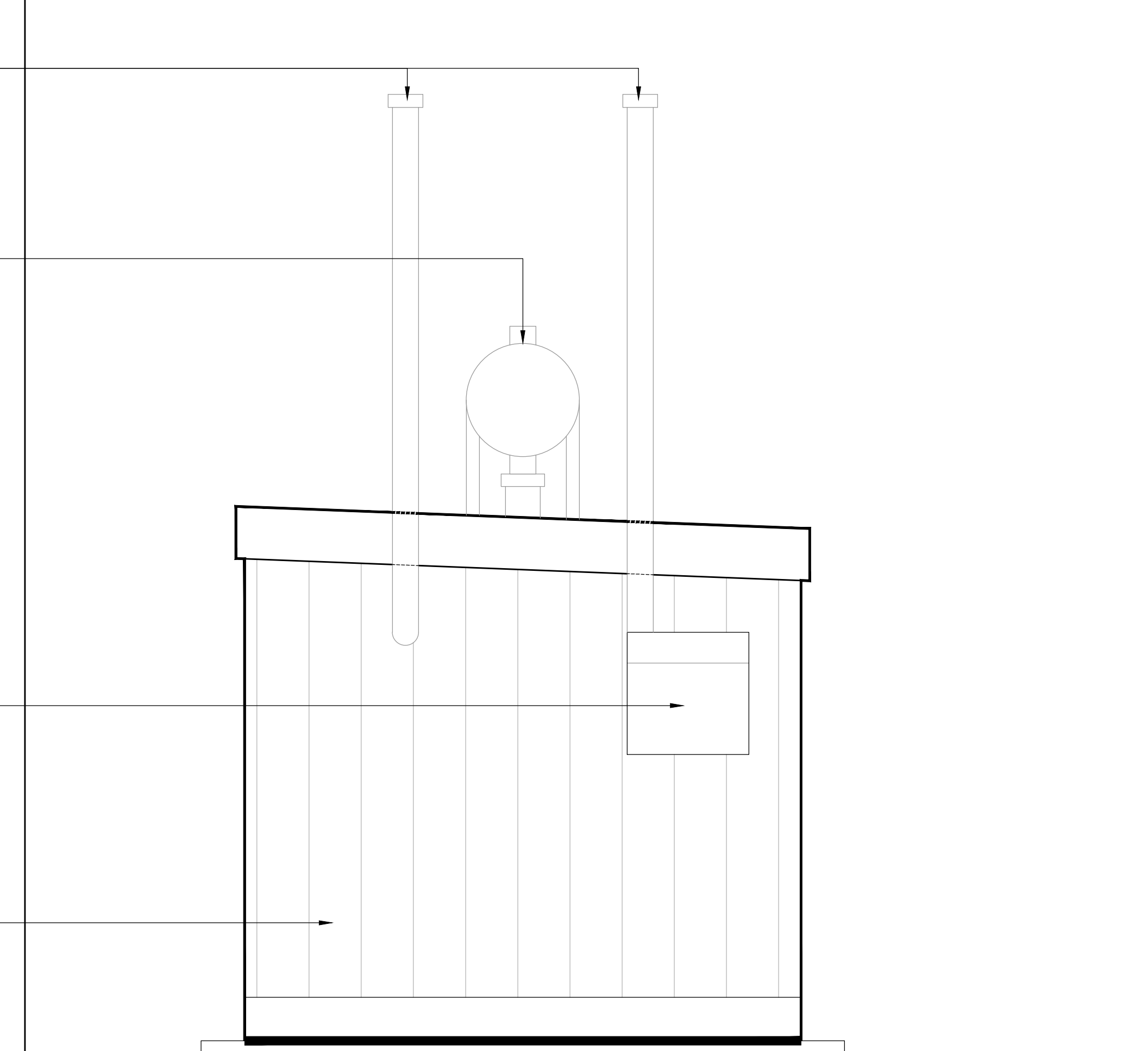
B ENLARGED YARD ELEVATION
 SCALE: 1/2"=1'-0"



C FIRE PUMP ENCLOSURE SIDE PROFILE
 SCALE: 1/2"=1'-0" REFER TO ELEVATION B FOR DATUMS



D FIRE PUMP ENCLOSURE REAR PROFILE
 SCALE: 1/2"=1'-0" REFER TO ELEVATION B FOR DATUMS

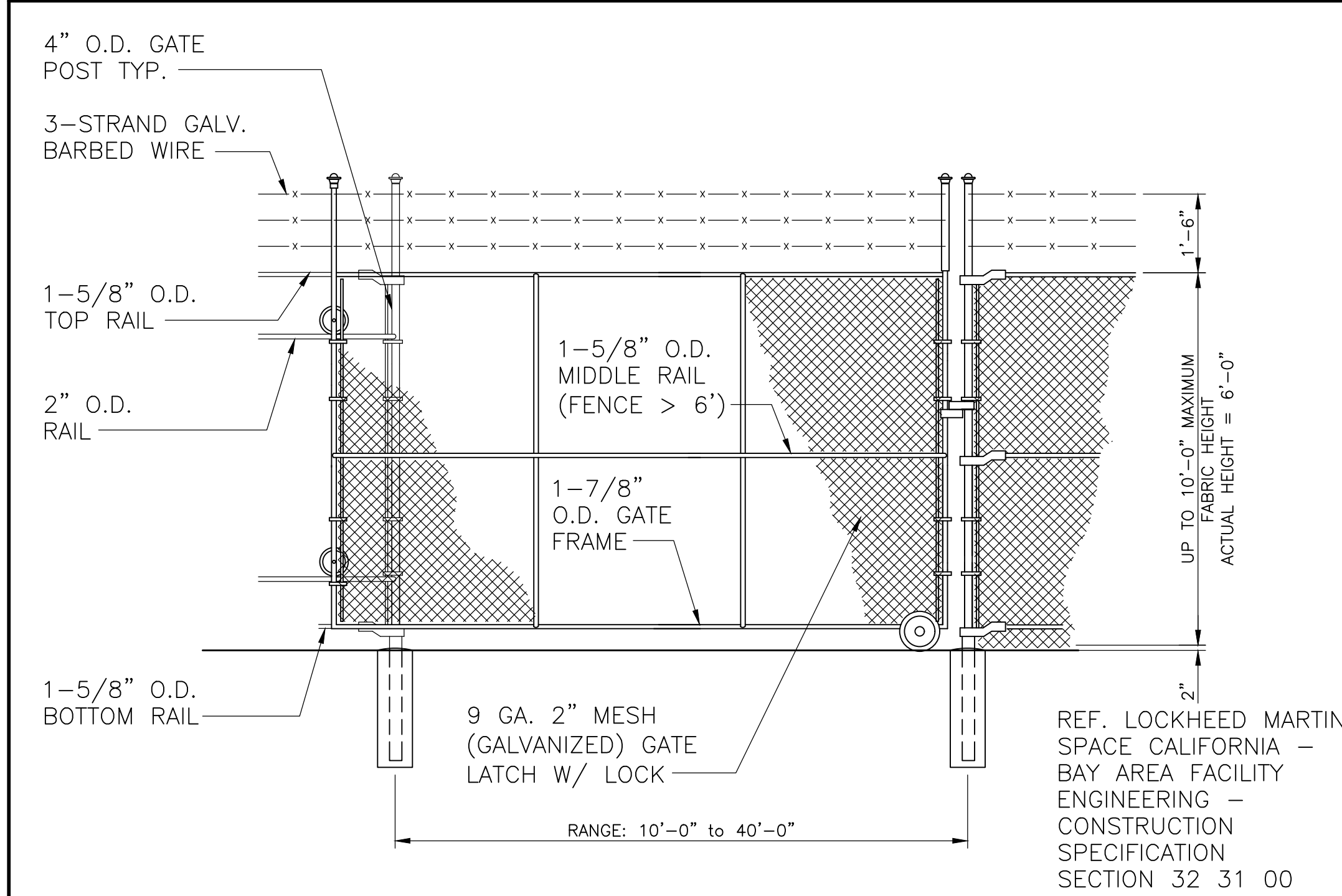


E FIRE PUMP ENCLOSURE SIDE PROFILE
 SCALE: 1/2"=1'-0" REFER TO ELEVATION B FOR DATUMS

EXHIBIT D

PROPERTY OWNER: LOCKHEED MARTIN SPACE
 ADDRESS: 16020 EMPIRE GRADE RD | SANTA CRUZ, CALIFORNIA 95060
 CONTACT: KRISTY SMITH, PROJECT MANAGER | (303) 977-1147

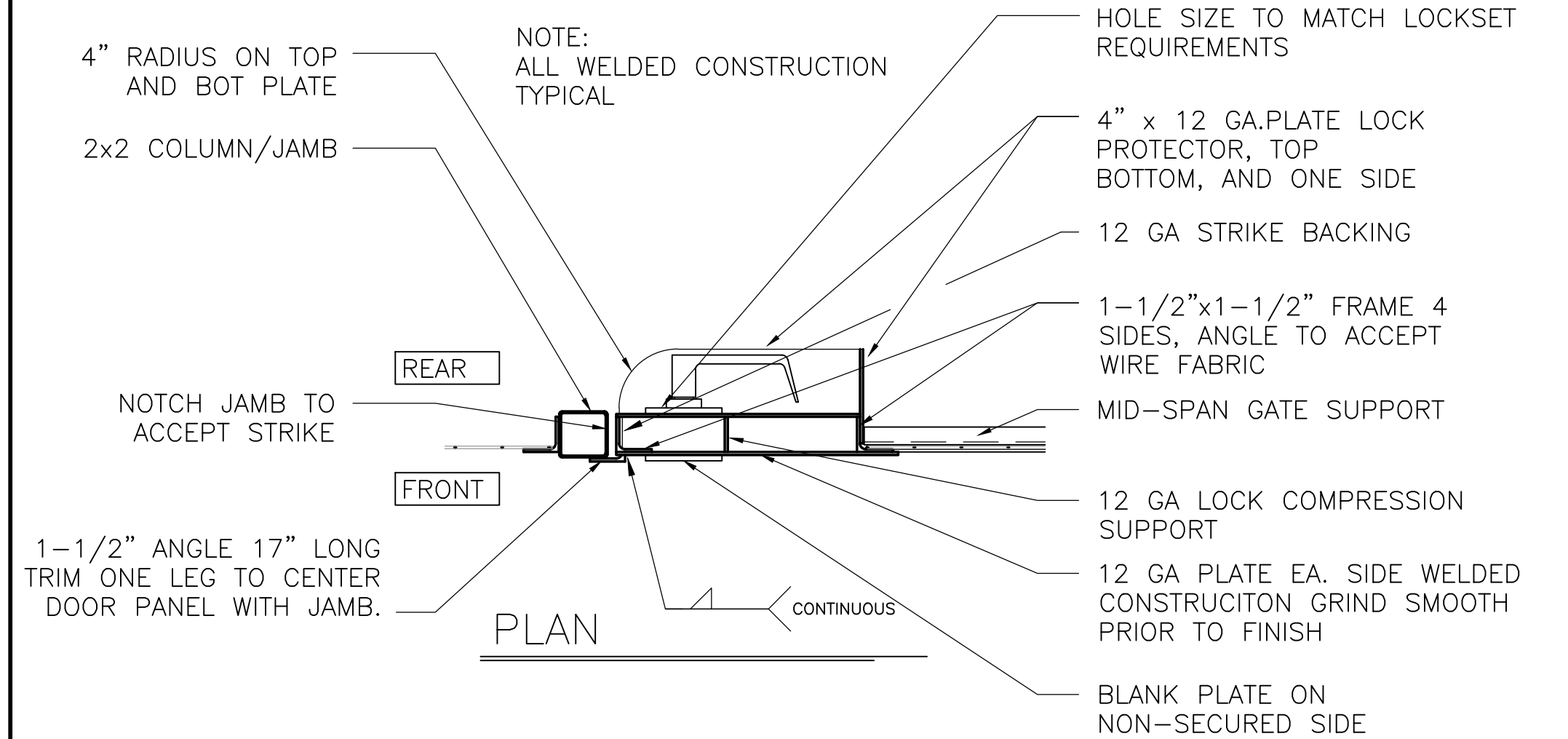
APPROVED		ORGN	DATE	ARCH./ENGR. STAMP	TEMP. DRWG. I.D.
		<p>A6.1</p>		<p>LOCKHEED MARTIN FACILITY OPERATIONS & SERVICES</p>	
				BLDG: 657	LEVEL: 1
DRAWING TITLE: EXTERIOR ELEVATIONS					
LOCATION: SANTA CRUZ, CALIFORNIA			CAD FILE ID: 657-002-A61.dwg		
DRAWN BY: BAB	DATE: 3/5/26	SCALE: AS NOTED	SHT. OF	DWG NO. 657-8-100AE-002	REV



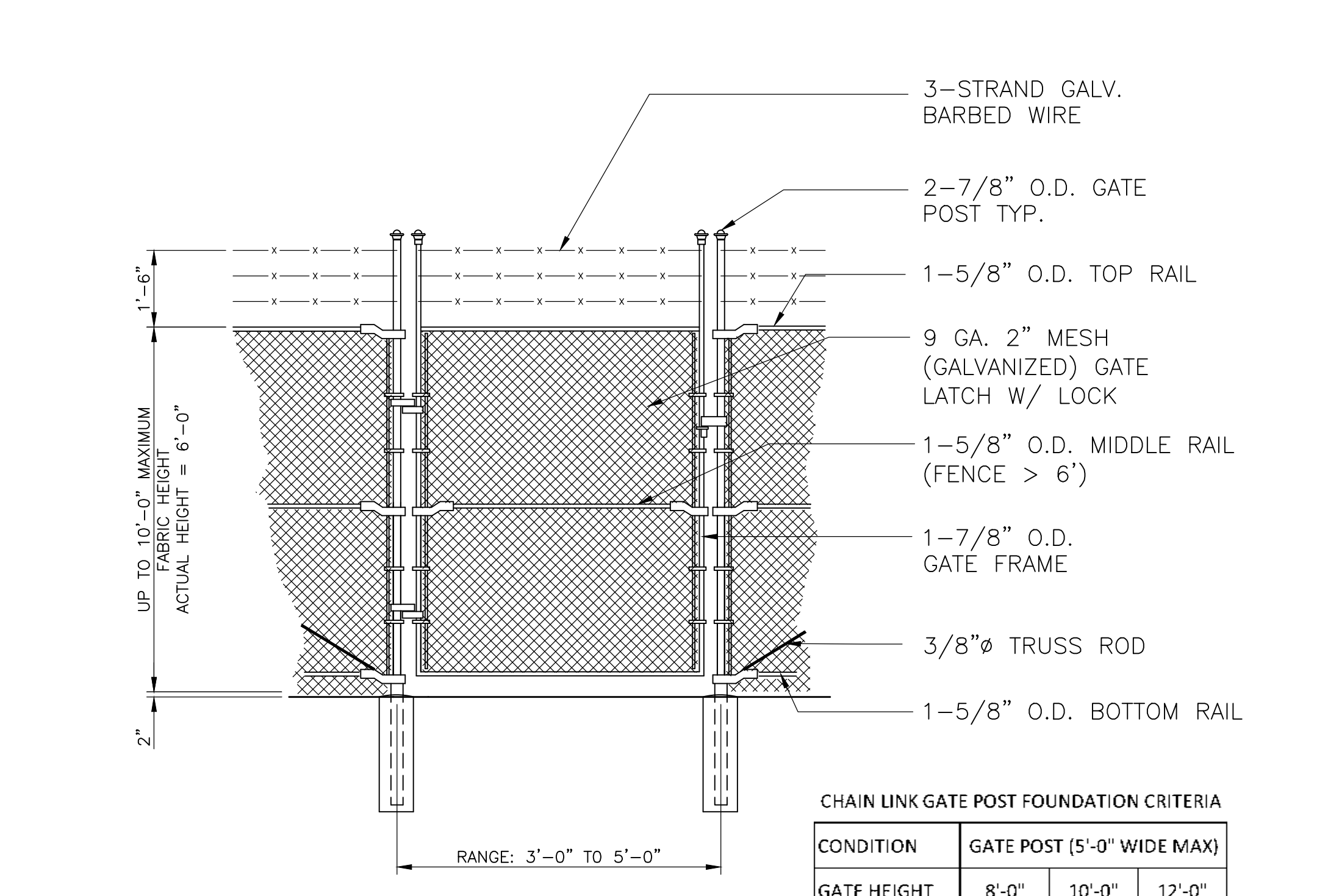
CHAIN LINK GATE POST FOUNDATION CRITERIA

CONDITION	GATE POST (12'-0" WIDE MAX)			GATE POST (24'-0" WIDE MAX)			PLUNGER BAR		
GATE HEIGHT	8'-0"	10'-0"	12'-0"	8'-0"	10'-0"	12'-0"	8'-0"	10'-0"	12'-0"
DIAMETER	14"	16"	18"	18"	18"	18"	10"	10"	10"
DEPTH	3'-0"	3'-3"	3'-6"	3'-6"	3'-6"	3'-6"	2'-6"	2'-6"	2'-6"
EDGE DIST.	6"	6"	6"	6"	6"	6"	3"	3"	3"

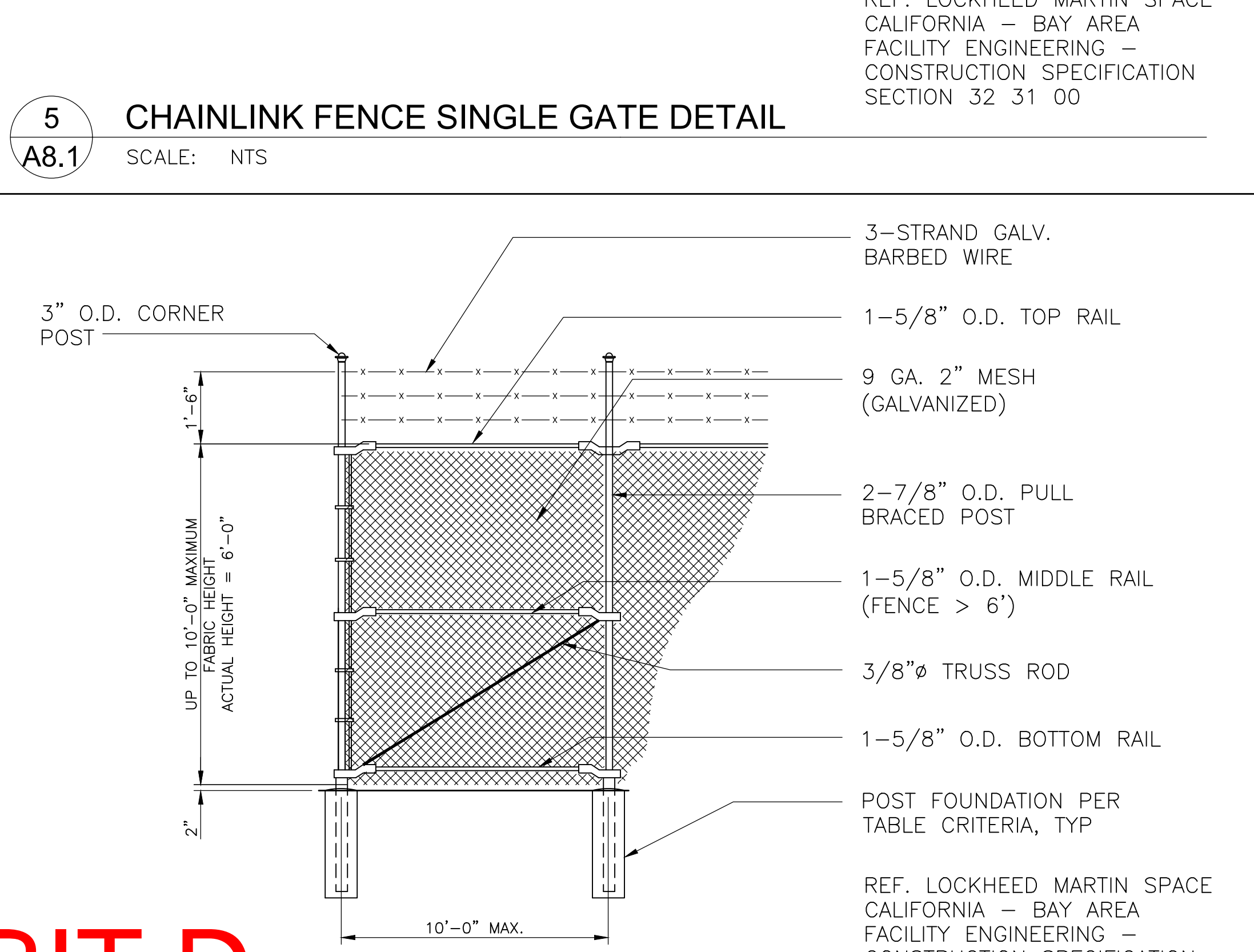
7 ROLL-AWAY GATE DETAIL
A8.1 SCALE: NTS



4 CHAINLINK FENCE DOUBLE GATE DETAIL
A8.1 SCALE: NTS



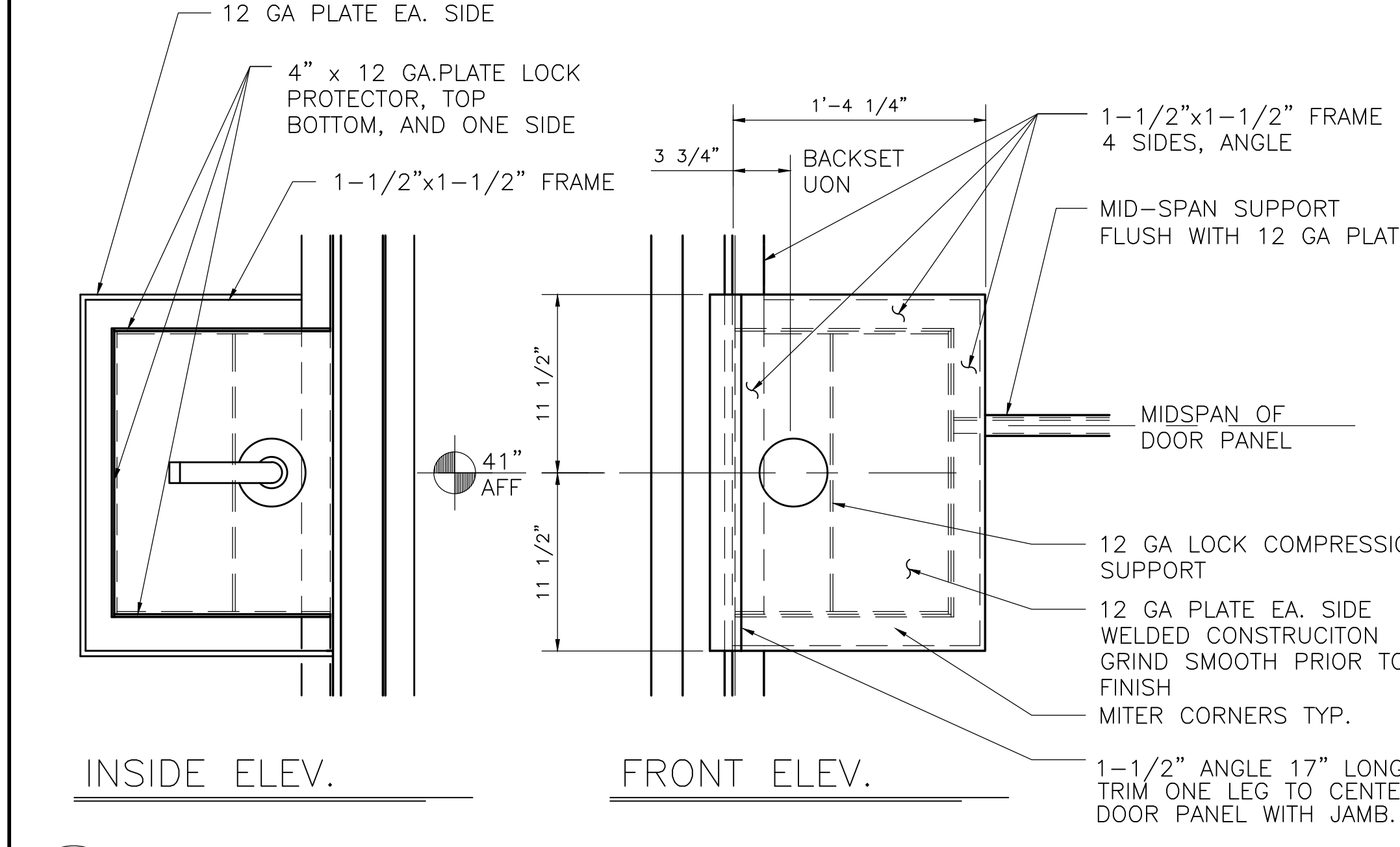
5 CHAINLINK FENCE SINGLE GATE DETAIL
A8.1 SCALE: NTS



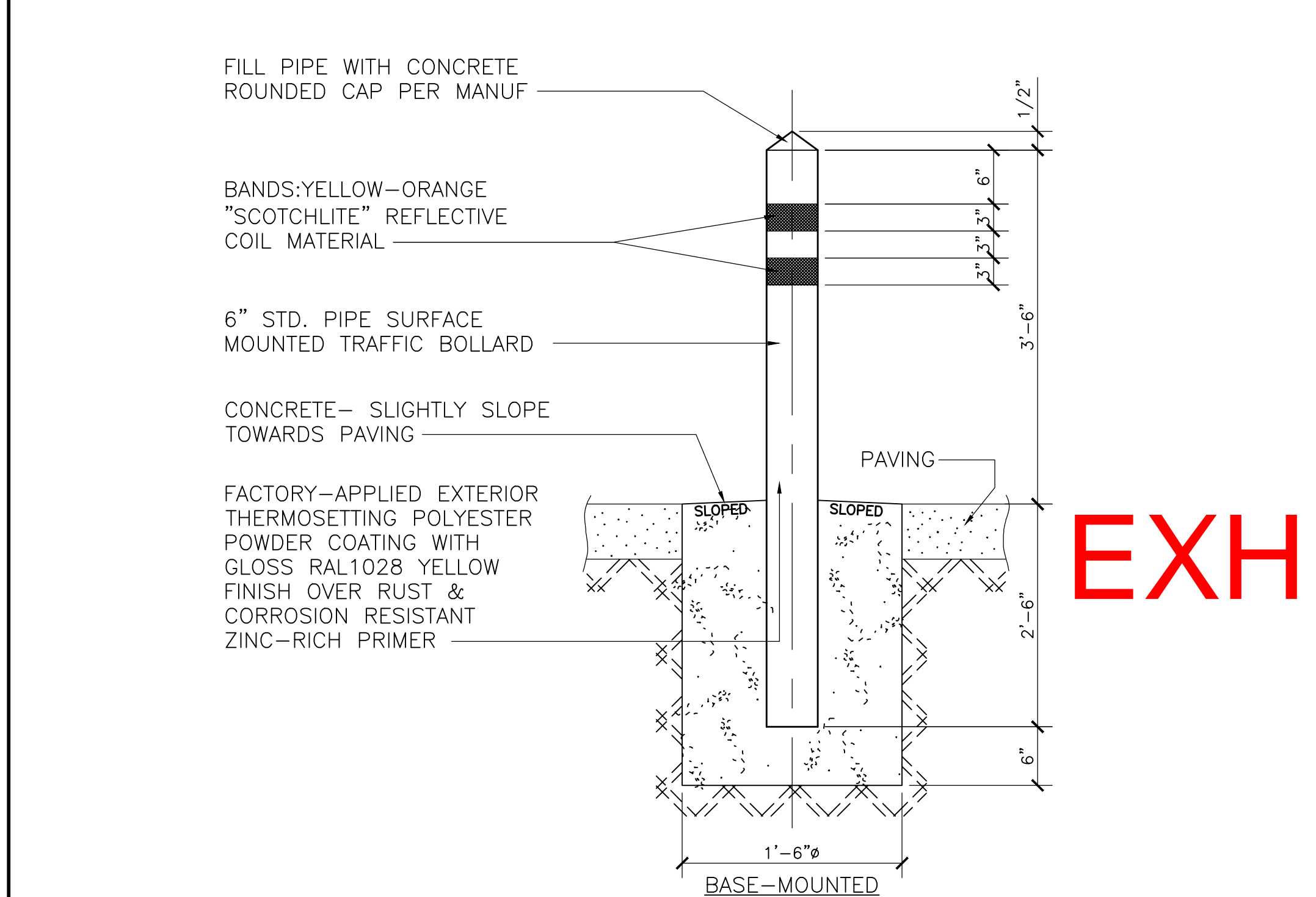
6 CHAINLINK FENCE CORNER DETAIL
A8.1 SCALE: NTS

CHAIN LINK FENCE POST FOUNDATION CRITERIA

CONDITION	END/CORNER POST			PULL/BRACED POST			LINE POST		
FENCE HEIGHT	8'-0"	10'-0"	12'-0"	8'-0"	10'-0"	12'-0"	8'-0"	10'-0"	12'-0"
DIAMETER	14"	16"	18"	14"	16"	18"	12"	12"	12"
DEPTH	3'-0"	3'-3"	3'-6"	3'-0"	3'-3"	3'-6"	2'-6"	2'-9"	3'-0"
EDGE DIST.	6"	6"	6"	6"	6"	6"	3"	3"	3"



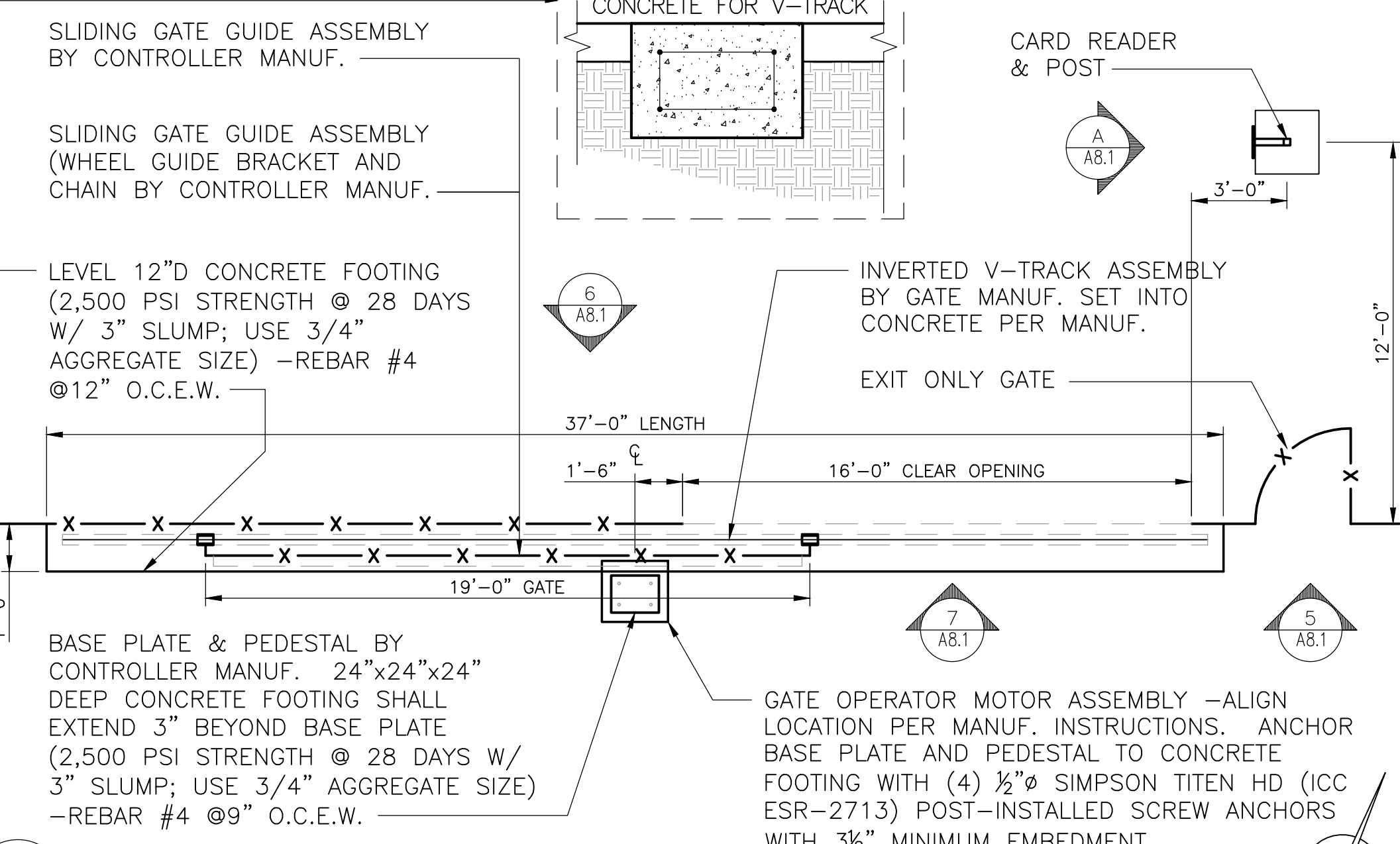
8 GATE (EXIT HARDWARE) DETAIL
A8.1 SCALE: NTS



9 BOLLARD DETAIL
A8.1 SCALE: NTS

3 NFPA 704 SIGN CRITERIA
A8.1 SCALE: NTS

1 SIGNAGE DETAILS
A8.1 SCALE: NTS



2 SITE PLAN
A8.1 SCALE: 1/4" = 1'-0"

Color of numerals 1,2,3,4 should be as indicated

Arrangements for display of NFPA 704 Hazardous Identification System

Adhesive-backed plastic background pieces, one need for each numeral, three needed for each complete signal

Proposed Fire Pump Enclosure Signage

Proposed Signage

For use where specified color background is used with numerals of contrasting colors.

Flammability signal - red

Reactivity signal - yellow

Health signal - blue

For use where white background is used with numerals, or for use when signal is in the form of sign or placard.

When painted (use same dimensions for sign or placard)

When made from adhesive-backed plastic (one for each numeral, three necessary for each complete signal)

NFPA 704 Appendix A

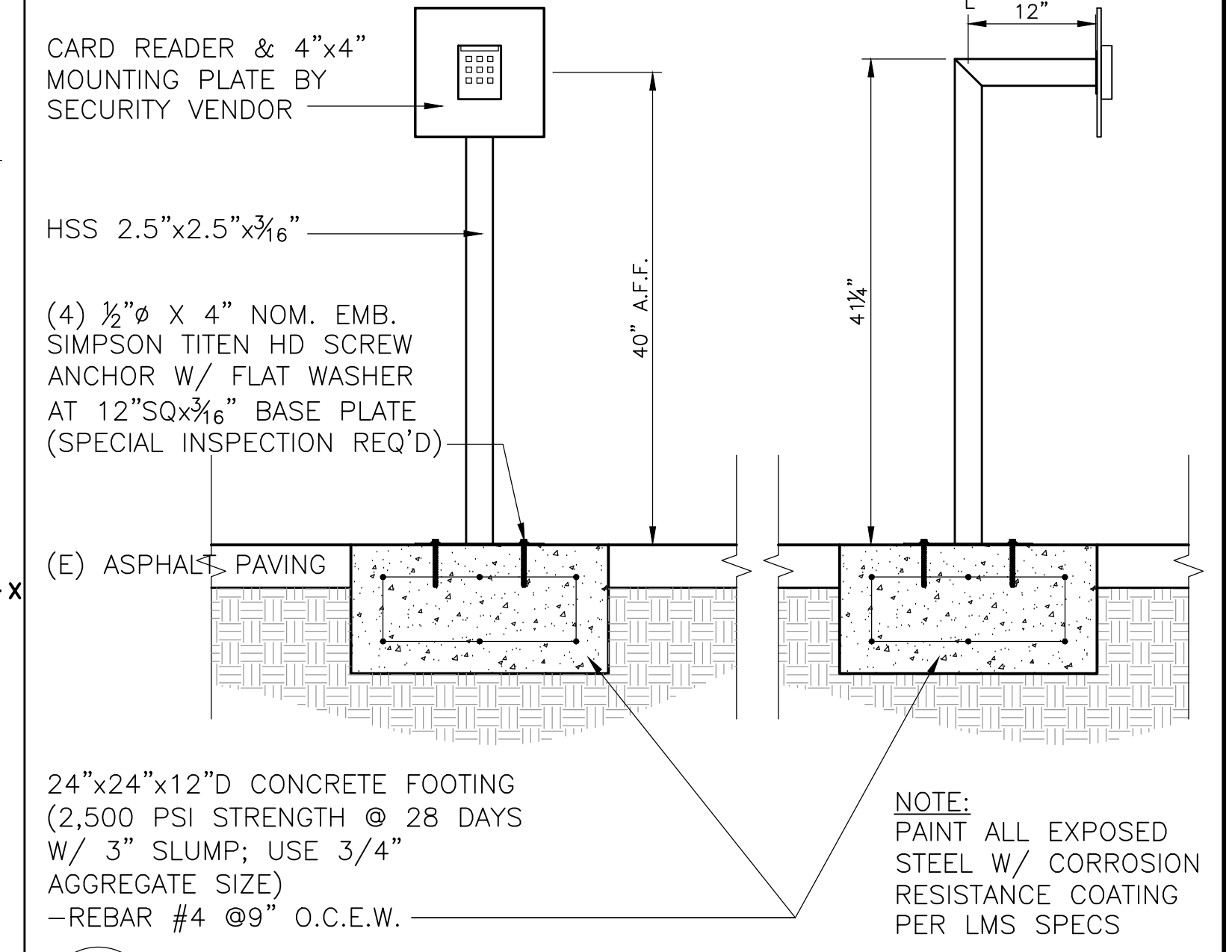
Identification of Health Hazard Color Code: BLUE	Identification of Flammability Color Code: RED	Identification of Reactivity (Stability) Color Code: YELLOW			
Signal	Type of Possible Injury	Signal	Susceptibility to Burning	Signal	Susceptibility to Release of Energy
4	Materials that on very short exposure could cause death or major residual injury	4	Materials that will rapidly or completely vaporize at atmospheric pressure and normal ambient temperature, or that are readily dispersed in air and that will burn readily.	4	Materials that in themselves are readily capable of detonations or of explosive decomposition or reaction at normal temperatures and pressures
3	Materials that on short exposure could cause serious temporary or residual injury	3	Liquids and solids that can be ignited under almost all ambient temperature conditions	3	Materials that in themselves are capable of detonation or explosive decomposition or reaction but require a strong initiating source or which must be heated under confinement before initiation or which react explosively with water
2	Materials that on intense or continued but not chronic exposure could cause temporary incapacitation or possible residual injury	2	Materials that must be moderately heated or exposed to relatively high ambient temperatures before ignition can occur	2	Materials that readily undergo violent chemical change at elevated temperatures or pressures or which react violently with water or which may form explosive mixtures with water
1	Materials that on exposure would cause irritation but only minor residual injury	1	Materials that must be pre-heated before ignition can occur	1	Materials that in themselves are normally stable, but which can become unstable at elevated temperatures and pressures
0	Materials that on exposure under fire conditions would offer no hazard beyond that of ordinary combustible material	0	Materials that will not burn	0	Materials that in themselves are normally stable, even under fire exposure conditions, and which are not reactive with water

3 NFPA 704 SIGN CRITERIA
A8.1 SCALE: NTS

REV	PROJECT NO.	JOB TITLE/DESCRIPTION	DR	DATE	PERMIT NO.	FACILITY ENGINEERING	DATE
D	1020479	ISSUE FOR PERMIT	BAB	12/4/25	B-257000		
0	1020479	ISSUE FOR BID	BAB	12/9/25	B-257000		

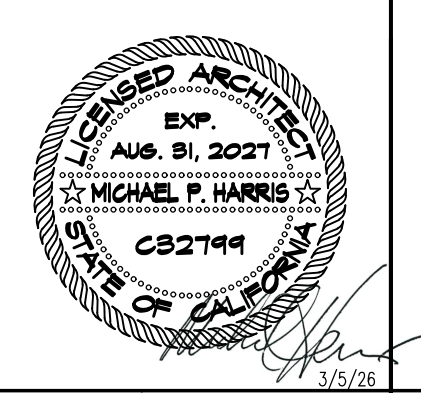
GENERAL NOTES:

- ALL WORK TO BE PERFORMED PER LOCKHEED MARTIN SPACE CALIFORNIA - BAY AREA FACILITY ENGINEERING - CONSTRUCTION SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE SPECIFIED.
- REFER TO SHEET 00.0 FOR INDEX OF DRAWINGS, NOTES & REFERENCES. REFER TO STRUCTURAL, PLUMBING & ELECTRICAL DWGS FOR RELATED SCOPE.
- DETAILS ARE INTENDED TO EXPRESS DESIGN INTENT ONLY. ACTUAL CONDITIONS IN FIELD MAY VARY FROM TYPICAL CONDITIONS SHOWN.
- PRIOR TO ANY CONSTRUCTION ACTIVITY RELATING TO THE ROUTING AND TRENCHING OF UTILITIES, THE CONTRACTOR SHALL SCAN THE AFFECTED AREA FOR EXISTING UTILITIES AND IDENTIFY/CONFIRM CONFLICTS. IN ADDITION, HAND TRENCHING MAY BE REQUIRED IN CERTAIN INSTANCES TO AVOID DAMAGE AND IMPACT TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE AWARE THAT IMPACTING EXISTING UTILITIES WOULD HAVE A SIGNIFICANT IMPACT TO THE OPERATION OF LOCKHEED MARTIN SPACE AND EXTREME CAUTION SHOULD BE EXERCISED AT ALL TIMES TO AVOID IMPACTS.
- CONTRACTOR SHALL BE AWARE THAT THERE IS POISON IVY, RATTLESNAKES AND OTHER NATURAL ELEMENTS IN THE VICINITY THAT COULD IMPACT SAFETY OF INDIVIDUAL(S). TAKE APPROPRIATE PRECAUTIONS.



A CARD READER POST DETAIL
A8.1 SCALE: 1 1/2" = 1'-0"

EXHIBIT D



A8.1

LOCKHEED MARTIN FACILITY OPERATIONS & SERVICES

BLDG: 657 LEVEL: 1 AREA: 00 PROJECT NUMBER: 1020479

DRAWING TITLE: DETAILS

LOCATION: SANTA CRUZ, CALIFORNIA CAD FILE ID: 657-002-A81.dwg

DRAWN BY: DATE: SCALE: SHT. OF DWG NO. 657-8-100AM-002 - REV

BAB 3/5/26 AS NOTED



The preparer is legally responsible for signatures whether a graphic, typewritten, or handwritten. Documents may not be restricted by digital signatures or otherwise.

Project Information Date: _____

Permit No.: _____
 APN(s): _____
 Project Address or Location: _____
 Legal Owner: _____ Email: _____
 Owner Mailing Address: _____ Phone: _____

Applicant

Name: _____ Email: _____
 Address: _____ Phone: _____

Other Contact

Name: _____ Email: _____
 Address: _____ Phone: _____

Project Documents Checkmark and include all required supplemental documents

- Arborist Report (information [here](#))
- Archeological Report (information [here](#))
- Biological Report
- Drainage Calculations (information [here](#))
- Geological Report (information [here](#))
- Neighborhood Meeting Results (Levels VI and VII only) or Notification (information [here](#))
- Non-conforming Structural Modification Worksheet (information [here](#))
- Soils/ Geotechnical Report (information [here](#))
- Other: _____
- Other: _____
- Other: _____
- Other: _____
- Other: _____

EXHIBIT D

From: [Planning ZoningInfo](#)
To: [Mike Harris](#)
Subject: RE: planning process question on upcoming project submittal
Date: Tuesday, November 25, 2025 3:27:18 PM
Attachments: [image002.png](#)
[image003.png](#)
[image005.png](#)
[image006.png](#)

Hello Mike,

The site specified is within the Coastal Zone. Therefore, the project will trigger a Coastal Zone Permit. You are correct in your understanding that this would be processed as a Conditional Use Permit (which would cover the Coastal and Minor Site Development Permit).

The green lines the approximate likely occurrence area of a special status species in the vicinity of a known occurrence. After speaking with Environmental Planning staff, this likely wouldn't be a concern. I recommend speaking with Environmental Planning staff for further questions.

You are correct, you will use the PLG-100 application form. Please check off "Coastal Development" and "Site Development" permit types. After reading your brief project description, the assigned planner will be able to decipher that the application will be processed as a CUP. I would invite you to include this email thread as a supplemental document.

Email inquiries are answered on a rotating basis by staff. All answers are based on best available information, may be subject to revision and do not guarantee permit approval.

Thank you,
Zoning Information Services



Donovan Arteaga

Planner I
Community Development & Infrastructure

Phone: 831-454-2801
701 Ocean Street, Room 400

EXHIBIT D

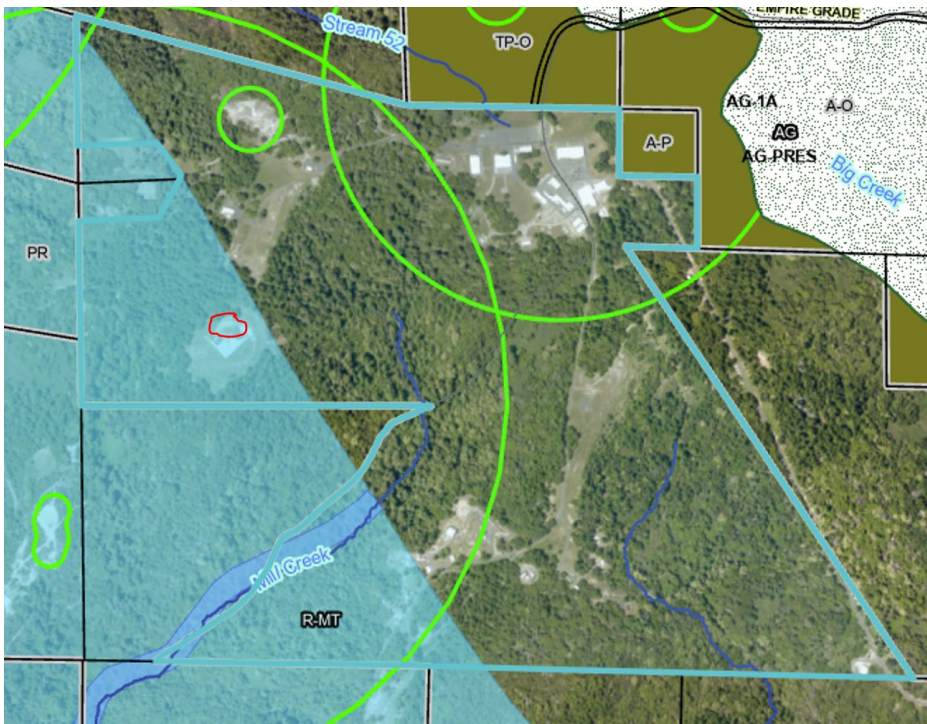
From: Mike Harris <MHarris@ba-builders.com>

Sent: Monday, November 24, 2025 10:28 AM
To: Planning ZoningInfo <Planning.ZoningInfo@santacruzcountyca.gov>
Subject: RE: planning process question on upcoming project submittal

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Donovan,

Thank you very much for the thorough information.
I have circled the specific location of the site below



My understanding is that we will need to obtain the following Planning permit:

- **Condition Use Permit** (Public Hearing – Level 5) which will include the Coastal Permit and Minor Site Development Permit

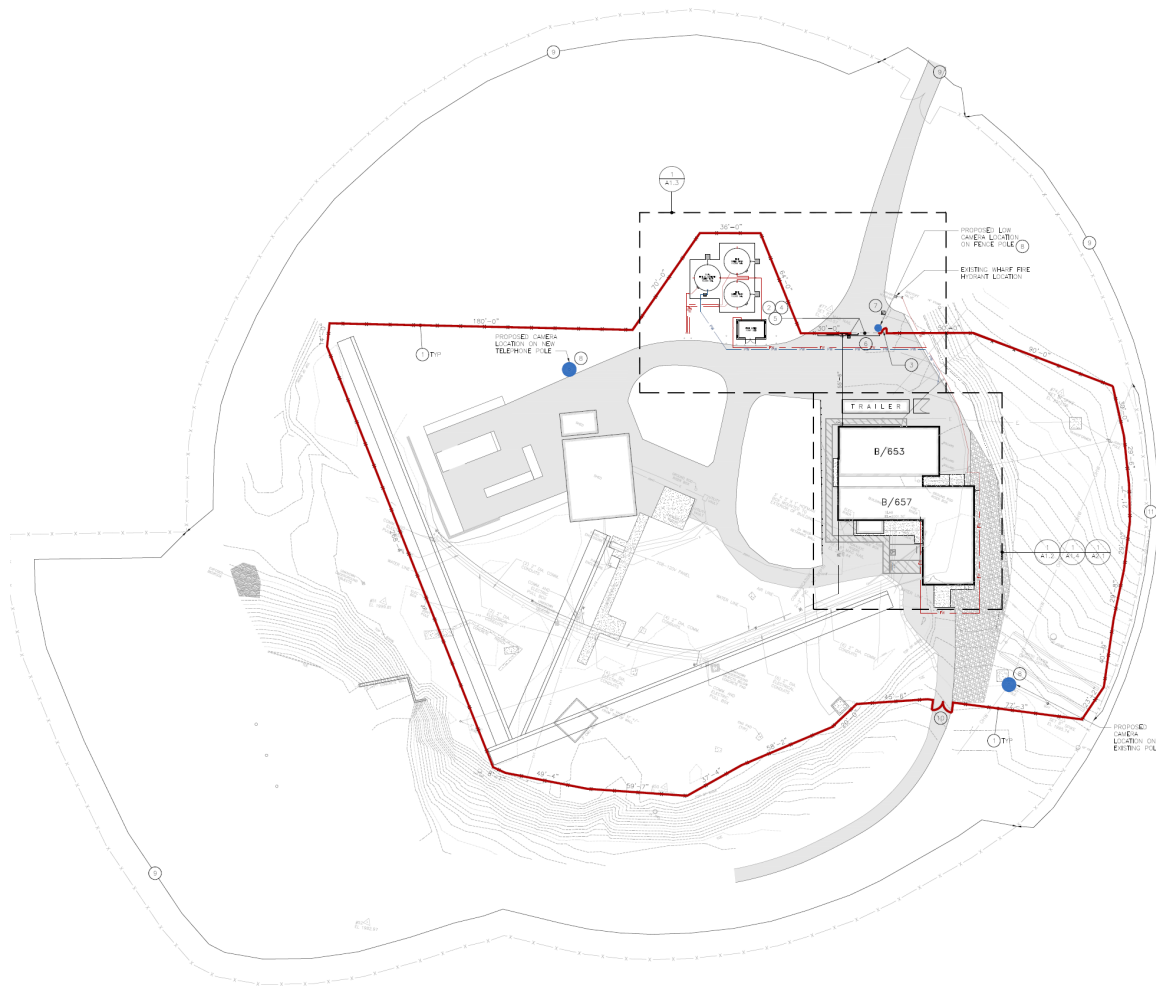
I hope I am reading that correctly.

I am unsure about the sensitive habitat aspect of it since the site is located in the Archeological Resources area and indicates Environmental Planner Team Area of San Lorezno Valley. Special Design indicates n/a. It is within the mapped biotic resources area with ground water recharge area, but not the sandhills habitat nor salamander range. Not sure if this means it is outside or inside a sensitive habitat.

The area is currently fenced and the new perimeter fence is contained entirely within per the

EXHIBIT D

graphic below (the red is the new fence and the light gray is the existing fence). The project just needs a smaller security perimeter that they can monitor due to the existing terrain.



The fire pump and water tanks sit on the ground in a relatively flat area on site so there is no grading involved.

The water tanks are considered new to be in operation when the current water facilities on campus are brought offline in 2028.

I am unsure what the boundary of the lime green circles represent. It appears the site is located in one of those areas. Please let me know what that is and what it might entail.

The current plan is to submit for building plan check, understanding that the zoning review will trigger the conditional use permit.

Fortunately, construction is not planned until summertime.

For the applications, PLG-100 and I click “Coastal Development Permit” and Site Development Permit under Discretionary Permit on the first page – please confirm.

I am also available by phone to further discuss any clarifications at my number in my signature.

EXHIBIT D

Thanks,

Michael Harris

Lead Architect, LEED AP BD+C

Bay Area Builders, Inc.

(408) 690-6877

From: Planning ZoningInfo <Planning.ZoningInfo@santacruzcountyca.gov>

Sent: Friday, November 21, 2025 3:30 PM

To: Mike Harris <MHarris@ba-builders.com>

Subject: RE: planning process question on upcoming project submittal

Hi Mike,

As part of your Building Permit submittal, your application will have a Zoning review. However, waiting for the Zoning review may end up delaying the project further or costing more money as there may be a need for revisions.

The proposed project is to construct an accessory commercial structures (water tanks and pump) in an effectively residential district (SU in R-Mtn General Plan land use classification). The proposed commercial structures would thus be a nonconforming use.

There are three types of permits potentially involved: a use permit, site development permit and a coastal permit.

Use permit. Commercial uses are not allowed in the SU district with a Residential Land Use designation. However, you do not need a discretionary permit under the nonconforming uses section (13.10.261) to expand an existing nonconforming use if there is no intensification. So no use permit is required.

Site development permit. The nonresidential nonagricultural section of site development permits (Ch. 13.11) does not specifically provide for water tanks. It therefore could be considered a type of storage structure. A minor site development permit is required.

As to the Coastal Permit (CDP), no Coastal Permit is required if outside the Coastal Zone pursuant to the map below.

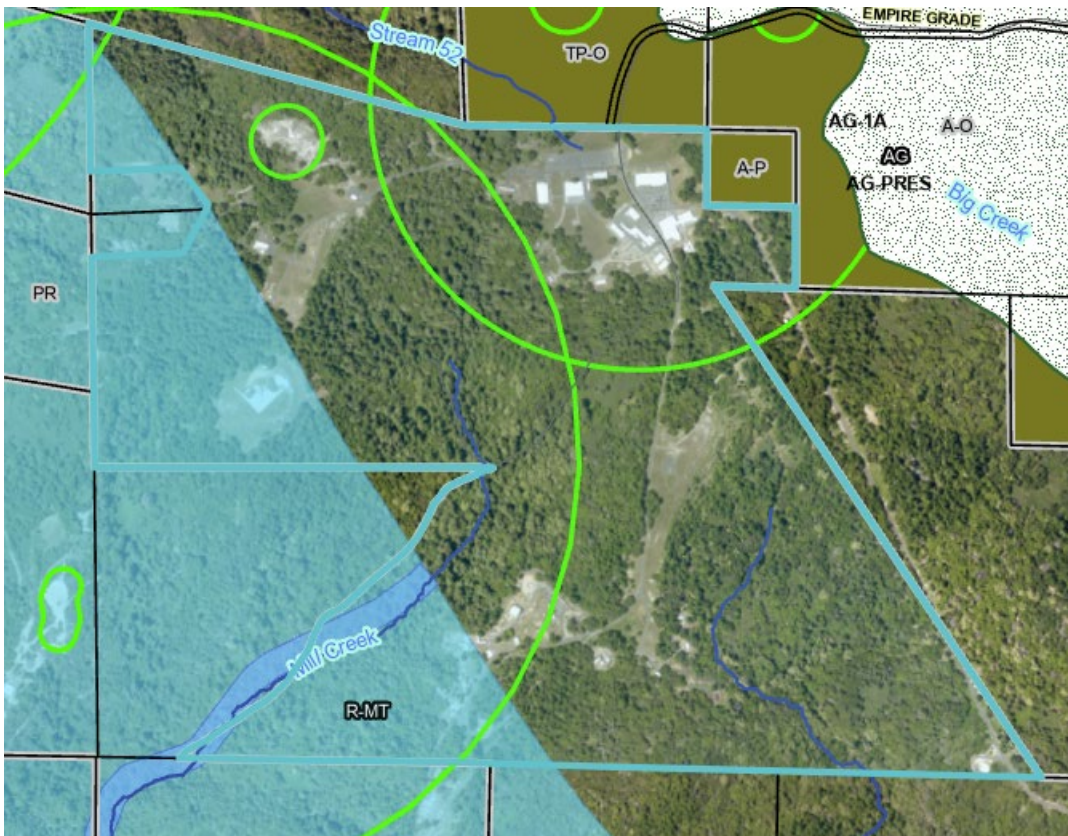
Coastal Permit (if within the CZ). If the “pump” was actually a well, it would be not be excluded per 13.20.078, because it is not for a residential use, and would require a CDP unless replacing an existing well, in which case it would be exempt pursuant to 13.20.062 unless sensitive habitat. The fence is exempt, pursuant to 13.20.062 (unless it is within a sensitive habitat area, and Environmental Planning would require to be located outside any sensitive habitat area unless not feasible, in which case the fence would require a CDP).

If the water tanks are to replace existing tanks, they would be exempt pursuant to 13.20.062 (do not

EXHIBIT D

have to be replacement-in-kind). If not *replacing existing* water tanks, or not possible to relocate out of sensitive habitat, the structures would not be exempt. Commercial structures (tanks and pump) cannot be excluded under the commercial or residential exclusion, because they are not within the RSL/USL. Therefore, the tanks most likely require a Coastal Permit if in the CZ.

Whenever one or more discretionary permits is required in addition to a Coastal Permit, the Coastal Permit is automatically a Conditional Use Permit (public hearing / Level 5).



If the tanks and pump were for a residential use, they would not require a use permit (non-cannabis water tanks and pumps are simply accessory structures, allowed by right). However, new wells and tanks are not exempt under the residential exemption 13.20.061, only replacement water tanks. So a CDP would likely be required even for a residential water tank.

Best,



Donovan Arteaga

Planner I
Community Development & Infrastructure

Phone: 831-454-2801
701 Ocean Street, Room 400

EXHIBIT D

From: Mike Harris <MHarris@ba-builders.com>

Sent: Tuesday, November 18, 2025 9:22 AM

To: Planning ZoningInfo <Planning.ZoningInfo@santacruzcountyca.gov>

Subject: planning process question on upcoming project submittal

******CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.****

Good morning –

I am working on a project at 16020 Empire Grade Road, Building 657 at Lockheed Martin Space Santa Cruz Campus.

The project involves installing fire-water and domestic water tanks and a fire water pump to serve Building 657.

In addition, I will have a security perimeter fence and gate consisting of chain link fence up to a maximum of 7'-6" high.

I am targeting 12/4/2025 to submit for building plan check, however my question is there a separate Planning process that I need to go through, or will there be a Planning review as part of the building plan check submittal process? In looking through the various planning permit levels of a zoning clearance vs. discretionary permit on the County website, I do not see any information on where this may fall under. The tanks will be 7'-2" high and the fire pump skid enclosure will be about 9' high. Both elements will not be seen from the public way nor falls into any of the categories that the application lists.

Please let me know.

Thanks,

Michael Harris

Lead Architect, LEED AP BD+C

(408) 690-6877

Bay Area Builders, Inc.

3360 De La Cruz Blvd.

Santa Clara, CA 95054

EXHIBIT D

CULTURAL RESOURCE EVALUATION OF
THE PROPOSED PROJECT AT
16020 EMPIRE GRADE ROAD
IN THE COUNTY OF SANTA CRUZ

FOR

MR. MICHAEL HARRIS
BAY AREA BUILDERS, INC.
3360 DE LA CRUZ BOULEVARD
SANTA CLARA, CA 95054
NWIC# 25-1131

BY

Archaeological Resource Management

Dr. Robert Cartier, Principal Investigator

496 North Fifth Street

San Jose, CA 95112

Phone: (408) 295-1373

FAX: (408) 286-2040

Email: armcartier@netscape.net

FEBRUARY 23, 2026

EXHIBIT D

ADMONITION

Certain information contained in this report is not intended for general public distribution. Portions of this report locate significant archaeological sites in the region of the project area, and indiscriminate distribution of these data could result in the desecration and destruction of invaluable cultural resources. In order to ensure the security of the critical data in this report, certain maps and passages may be deleted in copies not delivered directly into the hands of environmental personnel and qualified archaeologists.

THE PRINCIPAL INVESTIGATOR

EXHIBIT D

ABSTRACT

This cultural resource evaluation was carried out for the proposed project at 16020 Empire Grade Road in the County of Santa Cruz. The research included an archival background and surface survey of the proposed project area. The Northwest Information Center reported that there are no recorded sites within the proposed project area. One previously recorded site, P-44-102, is located within one-quarter mile radius of the proposed project area. No significant cultural resources, prehistoric or historic, were noted during surface reconnaissance. Therefore, no further recommendations are being made. In the event that prehistoric traces (human remains, artifacts, concentrations of shell/bone/rock/ash) are encountered, all construction within a 50 meter radius of the find should be stopped, the Planning Department notified, and an archaeologist retained to examine the find and make appropriate recommendations.

REQUEST FOR CULTURAL RESOURCE EVALUATION

This cultural resource evaluation was carried out to determine the presence or absence of any significant cultural resources. Archaeological services were requested in February of 2026 in order to provide an evaluation that would investigate the possible presence of cultural resources. This study meets the requirements of CEQA (California Environmental Quality Act).

QUALIFICATIONS OF ARCHAEOLOGICAL RESOURCE MANAGEMENT

Archaeological Resource Management has been specifically engaged in cultural resource management projects in central California since 1977. The firm is owned and supervised by Dr. Robert Cartier, the Principal Investigator. Dr. Cartier has a Ph.D. in anthropology, and is certified by the Register of Professional Archaeologists (RPA) for conducting cultural resource investigations as well as other specialized work in archaeology and history. He also fulfills the standards set forth by the Secretary of the Interior for inclusion as a historian and architectural historian and is certified as such on the State of California referral lists.

LOCATION AND DESCRIPTION OF THE SUBJECT AREA

The subject area consists of a small area within the much larger parcel at 16020 Empire Grade Road (APN 086-281-21) in the County of Santa Cruz. On the USGS 7.5 minute quadrangle of Big Basin, the Universal Transverse Mercator Grid (UTMG) center point of the project area is 10S 5 70 109mE/41 09 966mN. The elevation is approximately 2,240 feet MSL. The nearest source of fresh water is Mill Creek, which runs approximately 1000 feet southeast of the proposed project area.

The proposed project consists of the installation of fire water tanks, trenching for connection to existing structures, and perimeter fencing. This will require the necessary excavation, trenching, grading, and other earthmoving activities.

METHODOLOGY

The methodology used in this investigation consisted of an archival search, a surface reconnaissance, and a written report of the findings with appropriate recommendations. The archival research is conducted by transferring the study location to a State archaeological office which maintains records of archaeological investigations. This is done in order to learn if any archaeological sites or surveys have been recorded within a half mile radius of the subject area. Each archival search with the State is given a file number for verification. The surface reconnaissance portion of the evaluation is done to determine if traces of historic or prehistoric materials exist within the study area. This survey is conducted by a field archaeologist who examines exposed soils for cultural material. The archaeologist is looking for early ceramics, Native American cooking debris, and artifacts of stone, bone, and shell. For historic cultural resources, the field evaluation also considers older structures, distinctive architecture, and subsurface historic trash deposits of potentially significant antiquity. A report is written containing the archival information, record search number, the survey findings, and appropriate recommendations. A copy of this evaluation is sent to the State archaeological office by requirements of State procedure.

A cultural resource is considered "significant" if it qualifies as eligible for listing in the California Register of Historic Resources (CRHR). Properties that are eligible for listing in the CRHR must meet one or more of the following criteria:

1. Association with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Association with the lives of persons important to local, California, or national history;
3. Embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master, or possessing high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

Most Native American prehistoric sites are eligible due to their age, scientific potential, and/or burial remains.

The CRHR interprets the integrity of a cultural resource based upon its physical authenticity. An historic cultural resource must retain its historic character or appearance and thus be recognizable as an historic resource. Integrity is evaluated by examining the subject's location, design, setting, materials, workmanship, feeling, and association. If the subject has retained these qualities, it may be said to have integrity. It is possible that a cultural resource may not retain sufficient integrity to be listed in the National Register of Historic Places yet still be eligible for listing in the CRHR. If a cultural resource retains the potential to convey significant historical/scientific data, it may be said to retain sufficient integrity for potential listing in the CRHR.

ARCHIVAL BACKGROUND

Prior to reconnoitering the subject area, a study of the maps and records at the Northwest Information Center of the California Archaeological Site Inventory was conducted and given the file number of NWIC# 25-1131. This research into the records at the Information Center was done to determine if any known archaeological resources were reported in or around the subject area. The search of records at the Northwest Information Center (NWIC) revealed that there are no previously recorded sites within the proposed project area. One previously recorded resource, P-44-102, is located within a one-quarter mile radius of the proposed project area. This resource is described briefly below:

P-44-102 (CA-SCR-98)

This resource was originally recorded by R. Edwards in 1974. It is described as containing a prehistoric lithic scatter, bedrock milling features, and habitation debris. The recorded boundaries of this resource are located approximately 250 feet southeast downhill from the current proposed project area, extending southeast towards Mill Creek.

One previous study has been carried out which included the current proposed project area within its scope: S-3907. This study, carried out by J. Morris in 1977 is entitled "Preliminary Archaeological Reconnaissance of a portion, Lockheed Space & Missile Company Facility, Santa Cruz County, California."

SURFACE RECONNAISSANCE

A "general surface reconnaissance" was conducted by a field archaeologist on all open land surfaces. A "controlled intuitive reconnaissance" was performed in places where burrowing animals, exposed banks and inclines, and other activities had revealed subsurface stratigraphy and soil contents. The boundaries of the proposed project were well established in the field by fence lines, existing structures, and project maps. Accessibility to the proposed project area was good, all areas were accessible for a walking survey. Soil visibility was also good; although portions of the surface area were obscured by low grasses and imported soils, small exposures of native soil were visible throughout. Vegetation on the property consisted of winter grasses, shrubs, and trees. Where native soil was exposed, a light brown to tan silty loam was observed. Rock types noted included sandstone gravel and cobbles as well as metamorphic gravel and some imported gravel. No traces of significant cultural materials, prehistoric or historic, were noted during surface reconnaissance.

CONCLUSION AND RECOMMENDATIONS

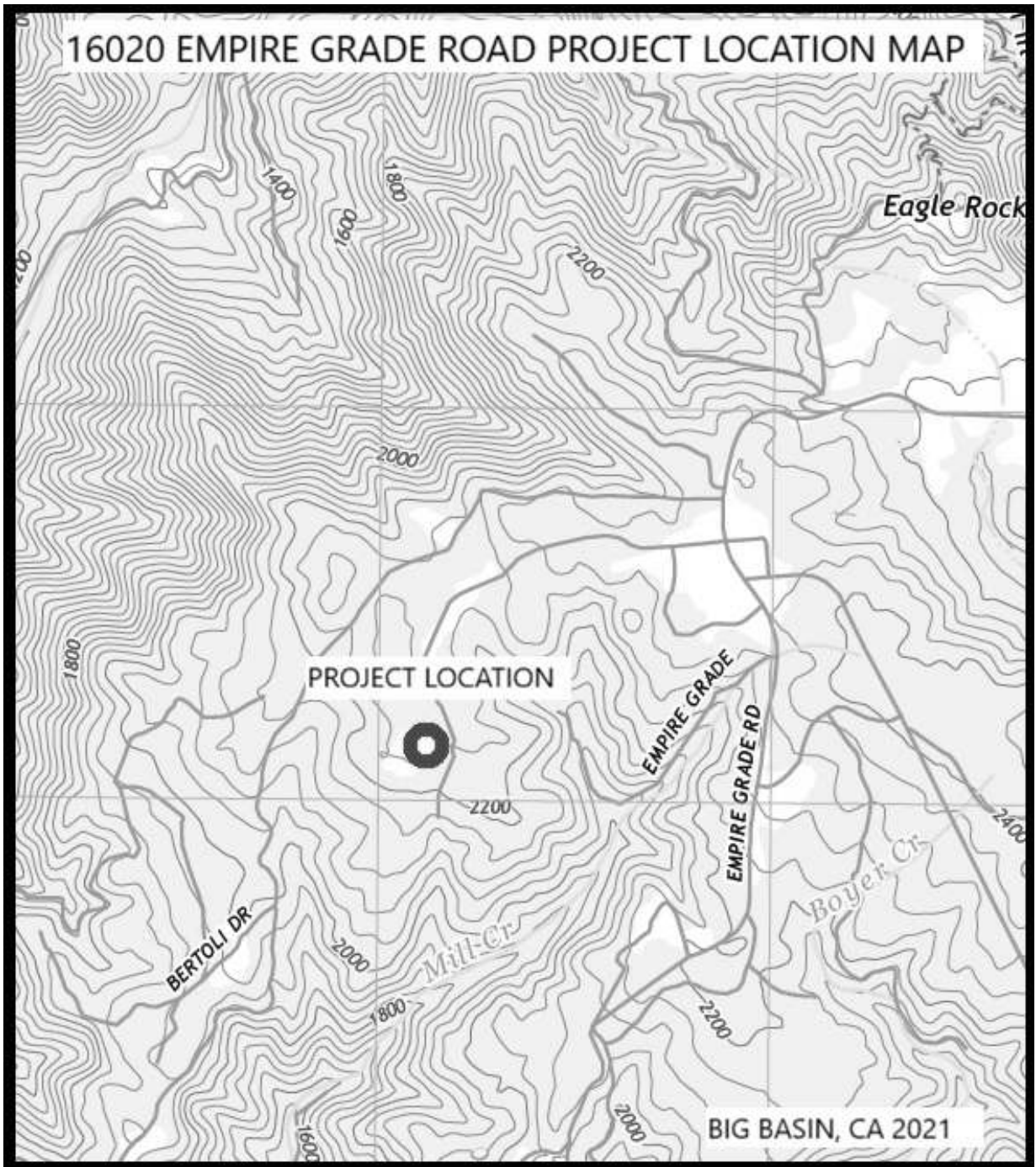
The Northwest Information Center reported that there are no recorded sites within the proposed project area. One previously recorded site, P-44-102, is located within one-quarter mile radius of the proposed project area. No significant cultural resources, prehistoric or historic, were noted during surface reconnaissance. Therefore, no further recommendations are being made. In the event that prehistoric traces (human remains, artifacts, concentrations of shell/bone/rock/ash) are encountered, all construction within a

50 meter radius of the find should be stopped, the Planning Department notified, and an archaeologist retained to examine the find and make appropriate recommendations.

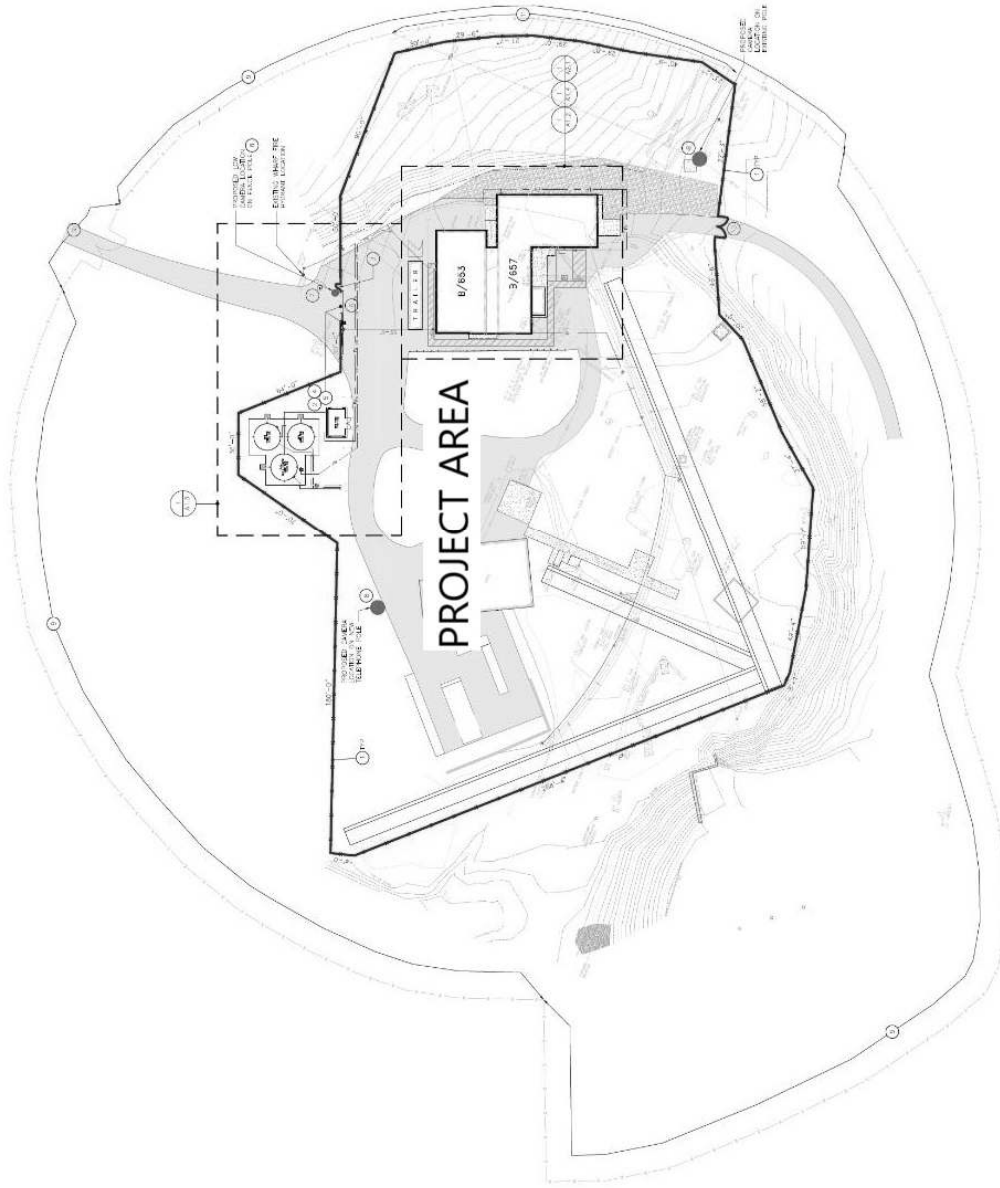
LITERATURE CITED AND CONSULTED

California Historical Resources Information System

- 2026 Archival search number NWIC# 25-1131 on file at the Northwest Information Center, Department of Anthropology, Sonoma State University, Rohnert Park.
- Edwards, R.
1974 Site record for P-44-102, on file at the Northwest Information Center, Department of Anthropology, Sonoma State University, Rohnert Park.
- Morris, J. W..
1977 Preliminary Archaeological Reconnaissance of a portion, Lockheed Space & Missile Company Facility, Santa Cruz County, California. Report on file at the Northwest Information Center, Department of Anthropology, Sonoma State University, Rohnert Park.



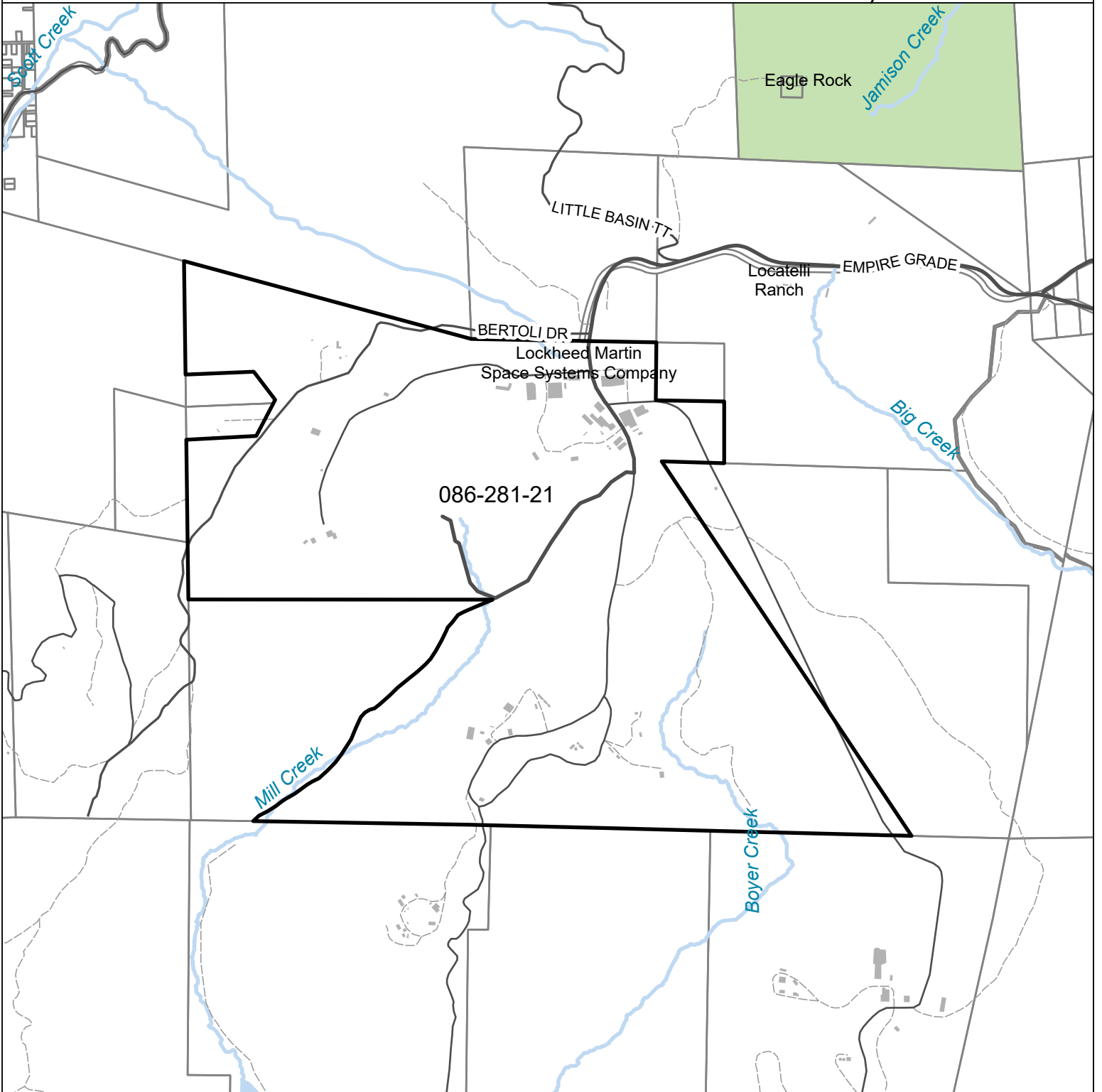
16020 EMPIRE GRADE ROAD PROJECT AREA MAP





Santa Cruz County Planning Department

Parcel Location Map

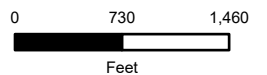


Parcel: 08628121

 Subject Parcel

EXHIBIT E

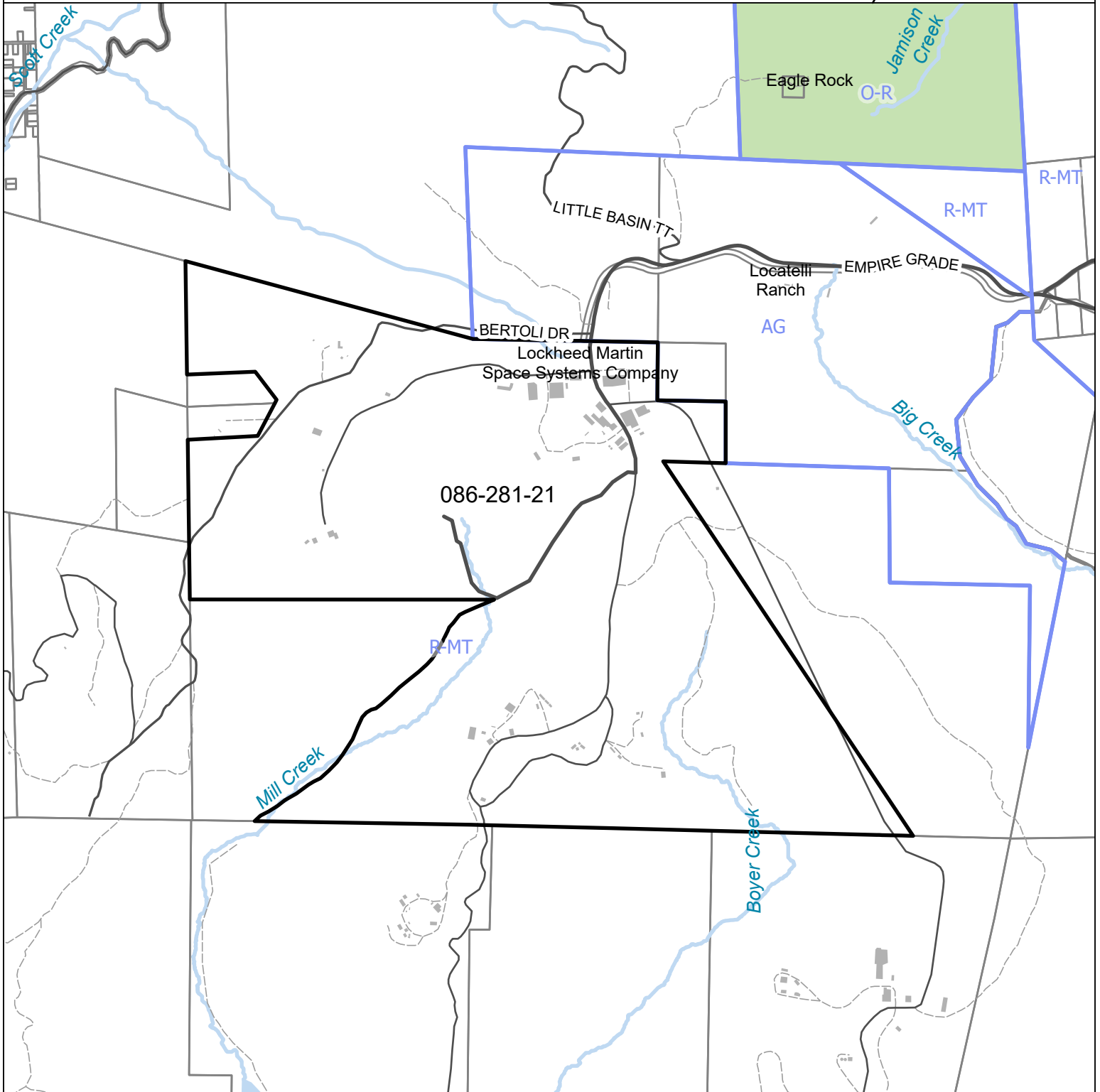
Map printed: 4 May, 2026





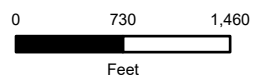
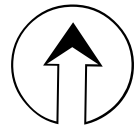
Santa Cruz County Planning Department

Parcel General Plan Map



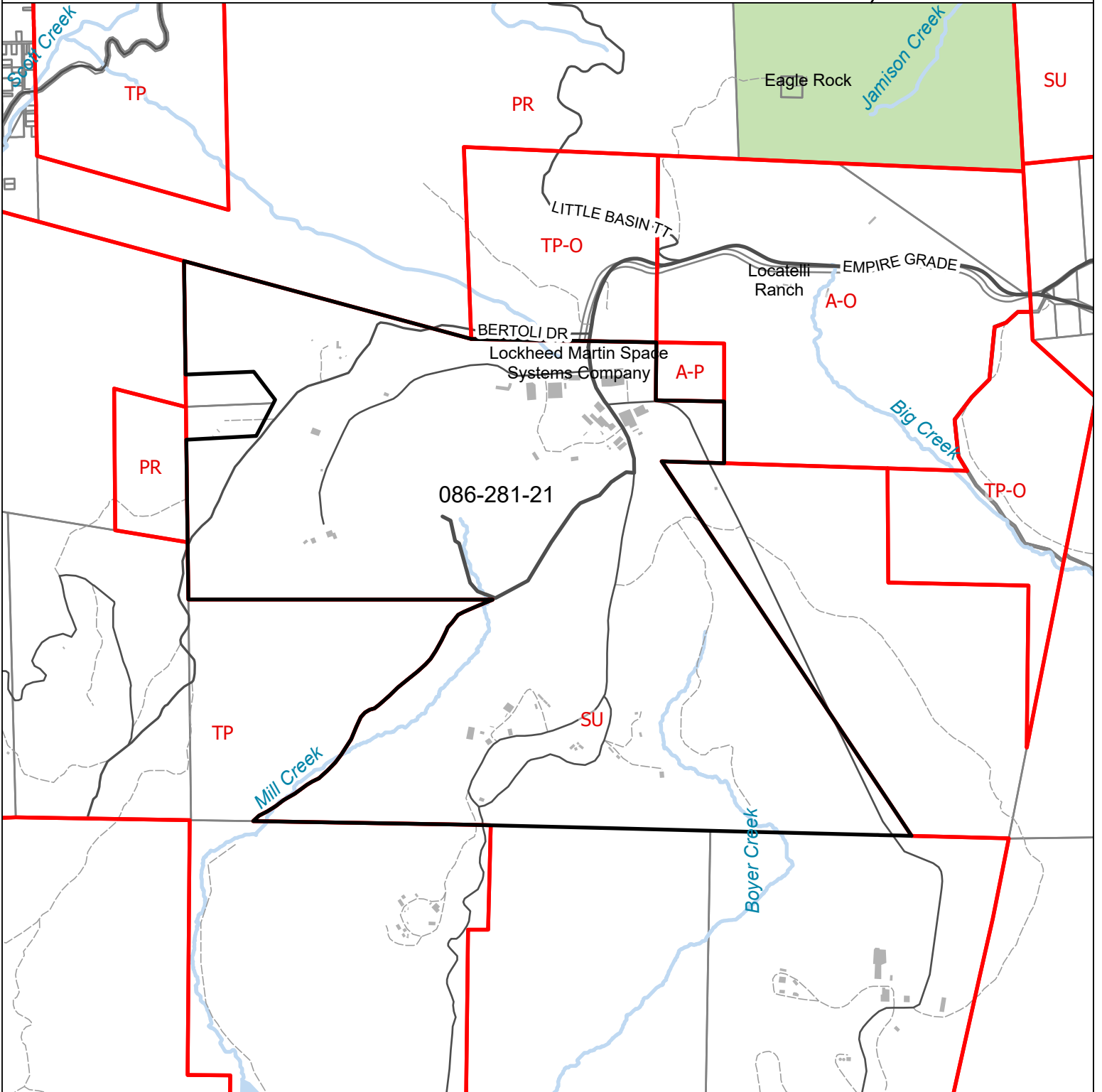
 Subject Parcel

EXHIBIT E



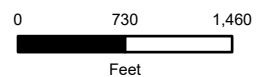


Parcel Zoning Map



Subject Parcel

EXHIBIT E



Application #: 251496
APN: 086-281-21
Owner: Lockheed Martin Space

Parcel Information

Services Information

Urban/Rural Services Line: Inside Outside
Water Supply: Lockheed Martin Missiles and Space
Sewage Disposal: CSA 12 Septic Maintenance District
Fire District: Central Fire Protection District
Drainage District: NA

Parcel Information

Parcel Size: 515.26 Acres
Existing Land Use - Parcel: Commercial
Existing Land Use - Surrounding: Parks, Recreation and Open Space, Timber Production, Agriculture
Project Access: Empire Grade
Planning Area: North Coast
Land Use Designation: R-MT (Mountain Residential)
Zone District: SU (Special Use)
Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm.: Yes No

Technical Reviews: REV261045

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Yes – Portion
Slopes: 0% to greater than 50% - Building site is level
Env. Sen. Habitat: Yes – Portion, not at building site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site