



## Staff Report to the Zoning Administrator

Application Number: **251312**

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**Applicant:** Fuse Architects  
**Owner:** Stan and Melissa Vukovich  
**APN:** 028-232-24  
**Site Address:** 111 24th Avenue, Santa Cruz

**Agenda Date:**  
**Agenda Item #:**  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to demolish a 1,453 square foot single-family dwelling and construct a 4,364 square foot replacement dwelling. Project requires a Coastal Development Permit and a Site Development Permit.

**Location:** Property is located on the west side of 24th Avenue about 260 feet south of the intersection of 24th Avenue and East Cliff Drive (111 24th Avenue).

**Permits Required:** Coastal Development Permit and Site Development Permit

**Supervisory District:** 1<sup>st</sup> District (District Supervisor: Manu Koenig)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251312, based on the attached findings and conditions.

### Project Description & Setting

The subject property is a 7,276 square foot corridor access lot which spans from the north side of 24<sup>th</sup> Avenue through to the 23<sup>rd</sup> Avenue right-of-way. The site has a gentle slope downward toward the coastal bluff edge at Corcoran Beach, with a six-foot elevation drop front-to-rear. Existing development on-site consists of an approximately 1,453 square foot split-level single-family dwelling and 200 square foot attached garage, constructed circa 1959.

The proposed project includes demolition of the existing dwelling and construction of a 4,364 square foot, two-story single-family dwelling and attached garage with five bedrooms (one called “theater” and one called “office”).

In that the site is located on a coastal bluff, it is designated a “sensitive site” pursuant to Santa Cruz County Code (SCCC) 13.11.030 and the proposal requires a Site Development Permit. The project cannot qualify for either Coastal Development Permit exemptions or exclusions (SCCC 13.20.061 and 13.20.071); thus, and a Coastal Development Permit is required.

## **Project Background**

In 2025, the owner of the subject property and the owner of 103 24<sup>th</sup> Avenue (APN 028-232-32) acquired the 5,096 square foot vacant lot separating their properties and, through lot line adjustment application 251106, transferred 1,219 square feet to the subject property resulting in an increase in the gross site area to the current 7,276 square feet. The current parcel size is substantially larger than the 4,000 square foot minimum parcel size required by site's R-1-4-PP zoning designation.

## **Zoning & General Plan Consistency**

The subject property is a 7,246 square foot lot, located in the R-1-4-PP zone district (single-family residential, 4,000 square foot parcel area, Pleasure Point Combining District), a designation which allows residential use. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

The project complies with the site standards for the R-1-4 zone district, including lot coverage (forty percent proposed, forty five percent maximum), floor area ratio (sixty percent proposed, sixty percent maximum), and setbacks (proposed minimum five feet on the sides and fifteen feet front and rear), and as discussed below, the 28-foot maximum height limit.

Sheet A1 indicates a 25-foot geologic setback from the bluff edge, reflective of the recommendations in the accepted geologic and soils report (REV251111), dated July 15, 2025. CDI Environmental Planning staff have identified that a small portion of the proposed bioswale would be located within the 25-foot setback and therefore noncompliant with the County Geologic Hazards Ordinance (SCCC 16.10). Condition of Approval II(D)(1) requires that building plans include a revision indicating removal of any improvement within the 25-foot setback.

## **Structure Height**

Since the building site slopes from both front to rear and side to side, and because the proposed structure would span the natural and finished grades of the existing development, conventional methods of measuring building height were determined to be inadequate. The applicant provided supplemental roof diagrams (Sheet A14, Exhibit D) in addition to the standard elevations provided in most applications.

The first study on Sheet A14 represents the maximum building height if measurements are limited to only the lowest finished grade of the existing development, where the differentiated height planes correlate to the existing slabs at the lower and upper floors below. This method of measurement does not reflect that portions of the house would be developed above, and therefore measured to, natural grade.

The second study prepared by the applicant reflects the maximum allowed height using existing and natural topography data at the northeast and southwest elevations. The hybrid measurement incorporates the height of the existing finished slab on the first floor on the north side of the house and the natural grade at the south elevation. This method highlights the difference in building height measurements between the north and south elevations, where the roofline on the south side of the structure is closer to the height limit due to measurement from the higher natural grade.

The third study is the most accurate to County means of height measurement, where height at the interior of the structure is measured to natural grade and height at the perimeter is measured to the lower of natural or finished grade. In conjunction with the elevations provided on Sheets A9 through A11, the roof profile diagrams demonstrate that the structure complies with the 28-foot maximum height limit. Notwithstanding this determination of compliance, conditions of approval require that the building permit for the project include spot elevations for the roof to confirm the 28-foot limit (Condition of Approval II(A)(4)).

### **Pleasure Point Combining District**

The Pleasure Point Combining District (SCCC 13.10.444-448) implements additional residential development standards to reduce visual and shading impacts of new houses, to encourage street interaction, and to reduce visual impacts of automobile-oriented features. Principally, the district limits second story development by requiring a 10-foot second story setback for wall heights exceeding 15-feet in height and limiting first floor wall heights and second story decks to 15-feet in height, measured from finished grade.

As indicated on Sheet A8 of the project plans (Exhibit D), the project meets the required 10-foot second story setback. Sheet A9 demonstrates that the second story deck at the rear of the property is designed as exactly compliant with the 15-foot height limitation. A small portion of the rear deck at the north corner of the structure, identified on Sheet A6 of Exhibit D, potentially exceeds the 15-foot height limit (~16 feet as proposed). Similar to the roof height at the rear of the structure, conditions of approval for the project require confirmation of compliance at building permit submittal (Condition of Approval II(A)(5)(a)).

The purpose of the Pleasure Point combining district includes to “reduce the visual and shading impacts of new and expanded houses on neighboring parcels and houses”, and the proposed project is anticipated to have some shading on the adjacent property located at 70 23<sup>rd</sup> Avenue. Impacts would be most realized during the late afternoon during winter months when the sun is lowest in the sky. However, the property would not be entirely deprived of sunlight as a result of the project, and the project design meets the development standards of the zone district. Decreasing shading would require a substantially different design including, potentially, elimination of the second story or flattening of the roof. Second story development is both allowed by the zone district and is a design element included in most of the surrounding homes (including 70 23<sup>rd</sup> Avenue), and flattening of the roof would result in a less compatible home design that would be less consistent with the overall design standards specified for development in the Coastal Zone and in the County Design Guidelines; these standards call for roofline variation and pitched rather than flat roofs.

On balance, the project design meets intent of the Pleasure Point Combining district by proposing a design consistent with Coastal Design Criteria, intended to achieve compliance with site standards and neighborhood compatibility while minimizing impacts to shading where practicable.

### **Design Review**

The project is subject to the requirements of the County Design Review Ordinance, including an evaluation of the building design, environmental constraints at the site, and site design. The project site is prominently visible from Corcoran Beach and from southbound vehicular traffic on East Cliff Drive, and the proposed dwelling is substantially larger than the existing development. However, the design complies with the requisite site and development standards for the zone

district and implements a multitude of architectural features to improve visual appearance from the public viewshed. Notably, the roof design changes pitch at multiple points from front to rear, and the exterior wall planes on all sides of the building articulate with inset windows and pop out wall elements. Materials used on the exterior exaggerate the wall articulation by integrating glass, stucco, and natural wood and stone finishes.

The historic development pattern of homes along 24<sup>th</sup> Avenue (from which the site takes access) includes a mix of older one- and two-story dwellings ranging in size from about 1,400 to 2,400 square feet, while the scale of development on 23<sup>rd</sup> Avenue, including at the adjacent property (103 24<sup>th</sup> Avenue) is developed with an approximately 5,800 square foot dwelling with the contemporary styling of the homes located at 70 and 80 23<sup>rd</sup> Avenue. The proposed dwelling fits within the range of existing residential development located throughout 24<sup>th</sup> Avenue and 23<sup>rd</sup> Avenue.

The house is sited to generally follow the existing contours of the site and a nominal amount of grading (155 cubic yards cut, 110 cubic yards of fill) is proposed for the project. No tree removal is proposed, and the preliminary landscape plan submitted with the project does not include planting of any tree types for the site. It does however include a variety of low water use grass, shrub, and succulent species across the entirety of the project site, which is consistent with requirements of the Design Review Ordinance. Although not located on the project site, conditions of approval for the project relating to removal of unpermitted paving of the 24<sup>th</sup> Avenue right-of-way at the rear of the site require the applicant to install native coastal landscaping between the rear property line and the bluff edge.

### **Local Coastal Program Consistency**

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is located between the shoreline and the first public road, but it is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. Furthermore, the project is conditioned to remove private improvements in the public right of way at 23<sup>rd</sup> Avenue.

The project substantially complies with the Design Guidelines adopted in County Code, including the criteria identified in SCCC 13.20.130 for Coastal Developments. Although a large structure, it will not block public viewsheds and the design promotes an interesting and attractive built environment.

### **Public Outreach/Public Comment**

As of the date of preparation of this staff report, staff received comments or correspondence from two neighbors and one agent on behalf of a neighbor. The adjacent property owner at 70 23<sup>rd</sup> Avenue corresponded with staff on several occasions expressing strong opposition to the scale and placement of the project. An agent representing that neighbor also met and/or spoke on the phone with staff on several occasions to review the proposal and requested that the project include reduced building heights and/or shadow studies be provided prior to a decision.

A second neighbor, located at 160 24<sup>th</sup> Avenue, submitted a letter of support for the project which is included in Exhibit H.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251312**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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### **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Acceptance Letter for Geologic/Geotechnical Report REV251111
- H. Comments & Correspondence

# CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251312  
Assessor Parcel Number: 028-232-24  
Project Location: 111 24th Avenue, Santa Cruz

**Project Description:** Proposal to demolish a 1,453 square foot single-family dwelling and construct a 4,364 square foot replacement dwelling. Project requires a Coastal Development Permit and a Site Development Permit.

**Person or Agency Proposing Project:** Fuse Architects

**Contact Phone Number:** 831-479-9295

- A.  The proposed activity is not a project under CEQA Guidelines Section 15378.
- B.  The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C.  **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D.  **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E.  **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

Construction of one single-family dwelling in a residential zone district.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Evan Ditmars, Project Planner

Date: \_\_\_\_\_

## Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-4-PP (Single-family residential, 4,000 square foot land area per parcel, Pleasure Point Combining District), a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the site is surrounded by lots developed to an urban density and the proposed development would be consistent with the surrounding properties in terms of architectural style. The design incorporates architectural treatments to promote an attractive built environment, utilizing unique roof design and variation of materials across the structure. Although a large home, the design meets the criterion detailed in SCCC 13.20.130 and 13.20.140.

The building site is located on a prominent blufftop and is highly visible from the shoreline, but the design does not loom into the public viewshed; and, when viewed from the beach will fit into the silhouette of the existing residential development along 23<sup>rd</sup> and 24<sup>th</sup> Avenue.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available north of the project site along E Cliff Drive (to Corcoran Beach) and south of the project site at the end of 24<sup>th</sup> Avenue.

23<sup>rd</sup> Avenue does not provide access to the beach or visitor-serving needs and uses, but the removal of unpermitted private amenities in 23<sup>rd</sup> Avenue right of way to the rear of the property improve existing conditions and offer the opportunity to develop those elements in the future.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure has been found to substantially conform with the requirements of the R-1-4-PP zone district development standards, is consistent with the pattern of development within the surrounding neighborhood, and is consistent with the County Design Criteria.

Similarly, the project conforms with the additional development standards required for properties located in the Pleasure Point Combining District (-PP overlay), which includes supplemental setbacks for second story development and discourages visual impacts of structures and automobile-oriented features.

Shading induced from the proposed development on adjacent properties (principally 70 23<sup>rd</sup> Avenue) is consistent with shading impacts anticipated from any new development meeting site standards. The structure complies with the height limits and second story setbacks required for residential structures in the R-1-4 zone district.

The combined soils and geotechnical report prepared for the project, application REV251111, accepted September 4, 2025 (Exhibit G) determined the expected retreat of the bluff would be minimal over the next 100 years and recommended compliance with the stricter 25-foot setback from the bluff edge required by County Code 16.10. As proposed and conditioned, all development would occur inland of the 25-foot bluff edge setback, with the edge of the house about 12-feet beyond that delineation.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first public road, it does not provide public access to the shoreline. Access is provided at Corcoran Beach, north of the site or at 24<sup>th</sup> Avenue south of the project site. Consequently, the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. The project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## Discretionary Permit Findings

- (a) Health and Safety. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

- (b) Zoning Conformance. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-4-PP (Single-family residential, Pleasure Point Combining District) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

The project complies with the site standards for the R-1-4 zone district, including lot coverage (forty percent proposed, forty five percent maximum), floor area ratio (sixty percent proposed, sixty percent maximum), and setbacks (proposed and minimum five feet on the sides and fifteen feet front and rear), and as discussed below, the 28-foot maximum height limit.

Compliance with the Pleasure Point Combining district special criteria is accomplished through the implementation of the required second story setbacks and additional five feet beyond the first floor and ten feet from the property line. First floor wall heights and second story decks are compliant, or are conditioned to comply, with the 15-foot height limit prescribed by the Combining District. The building site is set back from 24<sup>th</sup> Avenue to the extent that the garage doors and parking areas are adequately screened from public view.

Shading induced from the proposed development on adjacent properties (principally 70 23<sup>rd</sup> Avenue) is consistent with impacts anticipated from any new development meeting site standards. Decreasing shading would require a substantially different design including, potentially elimination of the second story or flattening of the roof. Second story development is both allowed by the zone district and is a design element included in most of the surrounding homes (including 70 23<sup>rd</sup> Avenue), and flattening of the roof would result in less compatible home design that would be less consistent with the overall design standards specified for development in the Coastal Zone and in the County Design Guidelines. The project is therefore consistent with the specific design requirements established by the Pleasure Point Combining zone district.

- (c) General Plan Conformance. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any

specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

The project complies with General Plan Policy BE-4.1.4 (Neighborhood Scale, Size, and Context) which allows that *“new residential development may be different from but must take into account the scale and size of the existing surrounding neighborhood, while allowing for infill development, innovative design, and creative expression”* and requires the development is designed so that it does not *“overwhelm or primarily shade adjacent properties, including appropriate setbacks and adequate and maintained landscape buffering to reduce the perception of bulk and height.”* The proposed structure includes architectural design elements to diminish the size and scale, and although some shading occurs on the adjacent property, the property is not overwhelmed by shading generated by the project.

A specific plan has not been adopted for this portion of the County.

- (d) CEQA Conformance. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) Utilities and Traffic Impacts. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling will add one residential unit on an existing developed lot. The expected level of traffic generated by the proposed project is anticipated to be only peak trip per day (1 peak trip per dwelling unit), consistent with the expected level of traffic under existing conditions. Therefore, the project will not adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) Neighborhood Compatibility. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances. Although a larger dwelling compared to existing development, the project does not exceed the density standards of the General Plan or development standards of the Zoning Code.

- (g) Local Coastal Program Consistency. For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

### **Site Development Permit Findings**

- (a) Siting and Neighborhood Context. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is designed and located on the site in a manner that will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood.

The project meets Objective BE-3.1 (Quality + Context) of the General Plan by implementing functional and high-quality development. Furthermore, as mandated by Policy BE-4.1.1, the project meets the object design and development standards for the zone district.

Although the project is larger and more prominent than existing development on-site or in the neighborhood, the design is consistent with designs utilized in construction of new homes in the vicinity, including two dwellings north of the property (including 70 and 80 23<sup>rd</sup> Avenue).

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed single family dwelling is in substantial conformance with the requirements of the County Design Review Ordinance and by reference, the County of Santa Cruz Design Criteria. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property.

Landscaping implemented with the project will implement low water use plant varieties, consistent with purpose (E) of the County Site, Architectural, and Landscape Design Review regulations. All site, building, security, and landscape lighting are proposed and conditioned to be directed onto the site and away from adjacent properties

The proposed structure design includes architectural treatments to lessen massing and avoids a boxier or flat roofed design, consistent with the criteria prescribed for Coastal Zone development (SCCC 13.20.130)

## Conditions of Approval

Exhibit D: Project plans, prepared by Fuse Architects, dated 12/5/2025.

- I. This permit authorizes the construction of 3,363 square foot single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
    1. Contractor must obtain a sewer lateral abandonment permit from the Sanitation District prior to demolition of the structure.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
  - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing

the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.

3. Grading, drainage, and erosion control plans.
  4. Plans for removal and revegetation of area west of the rear property line, based on the recommendations of the County of Santa Cruz Parks Department.
  5. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
    - a. Plans shall include spot elevations for the northwest corner of the rear deck to demonstrate compliance with the 15-foot maximum height in the second story setback.
  6. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. The application submittal shall adhere to the County Design Criteria (CDC). Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  2. Submit signed, stamped letters from the project geologist and geotechnical engineer approving the final stormwater management plan. The letters shall refer to the latest revision date of the plans reviewed and shall correspond with the latest revision date of the plans submitted.
- C. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
1. A public sewer main exists on this parcel. Show public sewer main and public utility easement.
  2. Remove constructed items from the public sewer utility easement on this parcel (proposed shed)
  3. Contractor must obtain a sewer lateral abandonment permit from the

Sanitation District prior to demolition of the structure.

If any portion of the existing sewer lateral is to be re-used, a sewer lateral video inspection conforming with Sanitation District Code 7.04.375 must be submitted for review. Any defects identified in the video inspection review must be repaired as a condition of the building permit.

<https://cdi.santacruzcountyca.gov/Portals/19/pdfs/Sanitation/Forms%20FAQs%20Laterals/Video%20Submittal%20Criteria%20rev%2012-2023.pdf>

- D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
  - 1. Plans shall be updated to indicate removal of any improvement, including but not limited to the bioswale, located within the 25-foot geologic setback.
- E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
  - 1. NOTE on the plans that these plans are in compliance with California Building and Fire Codes (2016) and reference or Central Fire District amendments.
  - 2. NOTE on the plans the OCCUPANCYCLASSIFICATION, BUILDING CONSTRUCTION TYPE-FIRE RATING and either SPRINKLERED or NON-SPRINKLERED as determined by the building official and the 2022 California Building Code (e.g., R-3, Type V-b, Sprinklered)
  - 3. NOTE on the plans that the building shall be protected by an approved automatic sprinkler system complying with the edition of 2022 NFPA 13D currently adopted in Chapter 35 of the California Building Code.
  - 4. NOTE on the plans all of the applicable 2022 Building Codes and standards.
- F. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- G. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings.
- H. Pay the current fees Child Care mitigation. Currently, these fees are \$0.88 per square foot for single family dwellings.
- I. Pay the current Affordable Housing Impact Fee, which is based on new habitable square footage.
- J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. Complete removal of unpermitted paving and revegetation consistent with the comments provided by the County Parks and Recreation comments dated 1/30/26, shall be completed prior to project final.
- C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- D. The project must comply with all recommendations of the approved soils reports.
- E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The

applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  - 1. COUNTY bears its own attorney's fees and costs; and
  - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

---

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Application #: 251312  
APN: 028-232-24  
Owner: Stan and Melissa Vukovich

---

Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

**VICINITY / PROJECT MAP & DIRECTIONS**

FROM HIGHWAY 1 NORTHBOUND, TAKE 41st AVENUE TO 26th AVENUE IN PLEASURE POINT. TURN RIGHT ONTO PORTOLA DRIVE AND THEN FOLLOW 26th AVENUE AND 24th AVENUE TO 111 24th AVENUE ON THE RIGHT.



pacific ocean



1 mile 5 miles



# YUCKOVICH RESIDENCE

111 24th Avenue + Santa Cruz + California + 95062

APN : 028-23-224

Coastal Development Permit Drawing Set  
December 5, 2025

**fuse** architects + builders

Exhibit D  
Project Plans  
Application 251312

**PROPERTY OWNER**

**STAN & MELISSA YUCKOVICH**  
16840 KENNEDY ROAD  
LOS GATOS, CA 95032  
C: STAN YUCKOVICH  
T: (408) 497-8300  
E: YUCKOVICHSTAN@GMAIL.COM

**ARCHITECT / APPLICANT**

**FUSE ARCHITECTS + BUILDERS**  
512 CAPITOLA AVENUE  
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JERROD@FUSEARCHITECTURE.COM

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1794 THE ALAMEDA  
SAN JOSE, CA 95026  
C: MARK De MATTEI  
T: (408) 350-4200  
E: MARKD@DeMATTEI.COM

**STRUCTURAL ENGINEER**

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET, SUITE 1450  
SAN FRANCISCO, CA 94111  
C: JASON POWERS  
T: (415) 314-4482  
E: JASONP@ZFA.COM

**CIVIL ENGINEER**

**BOWMAN & WILLIAMS**  
3949 RESEARCH PARK COURT, STE 100  
SOQUEL, CA 95073  
C: BEN RYLANDER  
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E: BEN@BOWMANANDWILLIAMS.COM

**GEOTECHNICAL ENGINEER**

**HARO, KASUNICH & ASSOCIATES**  
116 EAST LAKE AVENUE  
WATSONVILLE, CA 95076  
C: MOSES CUPRILL  
T: (831) 722-4175 x113  
E: MCUPRILL@HAROKASUNICH.COM

**PROJECT GEOLOGIST**

**EASTON GEOLOGY, INC.**  
P.O. BOX 3533  
SANTA CRUZ, CA 95063  
C: GREG EASTON  
T: (831) 247-4317  
E: GREG@EASTONGEOLOGY.COM

**LAND SURVEYOR**

**KIER + WRIGHT**  
3350 SCOTT BOULEVARD, BLDG 22  
SANTA CLARA, CA 95054  
C: MICHAEL J. ANAYAS-HILLIARD  
T: (408) 727-6665 x1015  
E: MANAYAS@KIERWRIGHT.COM

**ENERGY CONSULTANT**

**MORTON GREEN BUILDING SERVICES**  
4534 NEW HAMPSHIRE STREET  
SAN DIEGO, CA 92116  
C: LUKE MORTON  
T: (619) 721-3180  
E: LUKE@MORTONGREENBUILDING.COM

SEE SHEET A1 - PROJECT INFORMATION FOR SHEET INDEX



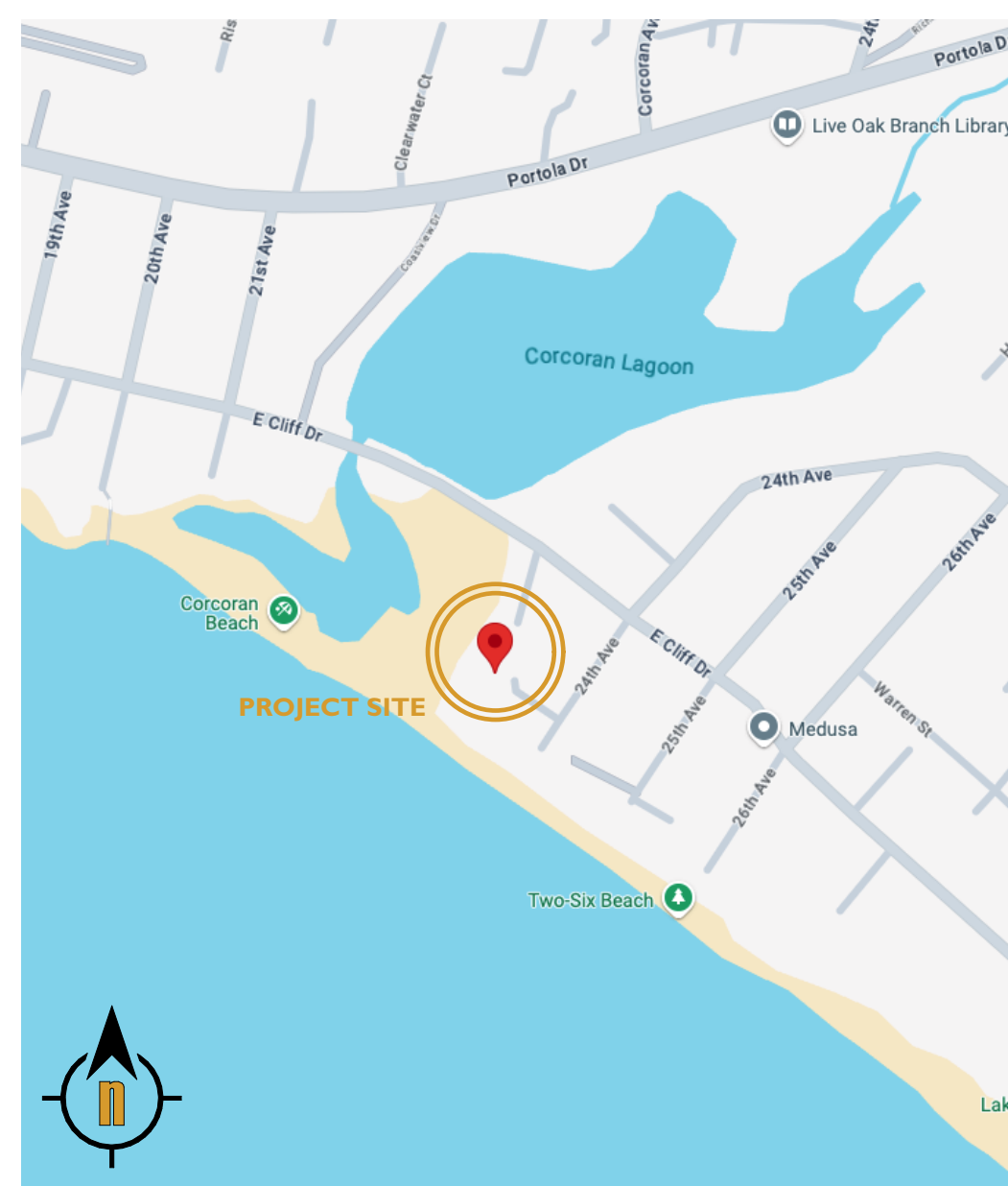
**SITE PLAN KEYNOTES**

- 1 TOP OF BLUFF; PER EASTON GEOLOGY REPORT DATED MARCH 7, 2025. REFER TO PAGE 34 OF 34 IN REPORT. "TOB" INDICATES GRADE LEVEL AT TOP OF BLUFF.
- 2 GEOLOGIC DEVELOPMENT "BLUFFTOP" SETBACK LINE; PER EASTON GEOLOGY REPORT DATED MARCH 7, 2025. REFER TO PAGE 34 OF 34 IN REPORT.
- 3 ALL SPOT ELEVATIONS REFERENCED TO NAVD 88 DATUM.
- 4 DASHED LINE REPRESENTS DEVELOPMENT SETBACKS.
- 5 LONG DASHED LINE REPRESENTS EXTENT OF EXISTING RESIDENCE TO BE DEMOLISHED.
- 6 PROPOSED PERVIOUS PAVERS
- 7 EXTERIOR SPIRAL STAIRCASE
- 8 PROPOSED BIO-SWALE; SEE CIVIL SHEETS C3.0 AND C6.0 FOR MORE INFORMATION.
- 9 WOOD LOUVERS, WD-01

**PROJECT LOCATION**



**VICINITY MAP**



**DRAWING INDEX**

SHEET NUMBER	SHEET NAME	5/29/2025	12/5/2025
A1	PROJECT INFO + SITE PLAN	X	X
A2	TOPOGRAPHIC MAP	X	X
A3	AREA CALCULATIONS	X	X
A4	EXISTING FLOOR PLANS	X	X
A5	PROPOSED GROUND FLOOR PLAN	X	X
A6	PROPOSED UPPER FLOOR PLAN	X	X
A7	PROPOSED ROOF PLAN	X	X
A8	PROPOSED FRONT ELEVATION	X	X
A9	PROPOSED SIDE ELEVATION	X	X
A10	PROPOSED REAR ELEVATION	X	X
A11	PROPOSED SIDE ELEVATION	X	X
A12	PROPOSED BUILDING SECTION	X	X
A13	NEIGHBORHOOD CONTEXT	X	X
A14	MAX HEIGHT DIAGRAMS	X	X
C0.0	COVER SHEET	X	X
C2.0	SITE PLAN	X	X
C3.0	GRADING & DRAINAGE PLAN	X	X
C3.1	STORMWATER MANAGEMENT PLAN	X	X
C3.2	GRADING & DRAINAGE SECTIONS & PROFILES	X	X
C4.0	UTILITY PLAN	X	X
C5.0	EROSION CONTROL PLAN	X	X
C5.1	EROSION CONTROL DETAILS	X	X
C6.0	CIVIL PLAN DETAILS	X	X
L1	PRELIMINARY LANDSCAPE PLAN	X	X
L2	PRELIMINARY LANDSCAPE / WELO & LIGHTING ...	X	X

**PROJECT DESCRIPTION**

**PROJECT SCOPE**  
DEMOLITION OF AN EXISTING 1,453 SF TWO-STORY SINGLE FAMILY DWELLING. CONSTRUCTION OF A NEW 4,364.2 SF TWO-STORY SINGLE FAMILY DWELLING WITH ATTACHED GARAGE - NEW HARDSCAPE, LANDSCAPE AND DECKING ALSO PROPOSED. ALL EXISTING LANDSCAPE TO BE REMOVED.

PROPOSAL FOR DESIGN IS BASED ON LOT LINE ADJUSTMENT TO SOUTHWEST PROPERTY LINE, WHICH IS NOW 10 FEET FURTHER TO THE SOUTHWEST; SEE PENDING APPLICATION #251106, WHICH ADJUSTS PROPERTY LINES AT APN: 028-232-24, 028-232-29 AND 028-232-32.

**PROJECT INFORMATION**

**SITE DATA**

APN: 028-232-24  
ZONING: R-1-4-PP (SINGLE FAMILY RESIDENCE / 4,000 SF LOT SIZE / PLEASURE POINT COMBINING DISTRICT)

GENERAL PLAN DESIGNATION: R-UM (RURAL / URBAN MEDIUM DENSITY)  
LOT DESIGNATION: LOT WIDTH OF 35 FEET OR GREATER  
PARCEL SIZE (SF): 7,276 SF (VERIFY WITH LOT LINE ADJUSTMENT)  
PARCEL SIZE (ACRES): 0.167 AC (VERIFY WITH LOT LINE ADJUSTMENT)  
MAX LOT COVERAGE: 3,275 SF (45%)  
PROPOSED LOT COVERAGE: 2,975.5 SF  
MAX FLOOR AREA RATIO (FAR): 4.365 SF (60%)  
PROPOSED FAR: 4,362.2 SF (SEE SHEET AS FOR BREAKDOWN)

PARKING: 3 // 3 PROVIDED  
PROPOSED STORIES: 2 // 2 PROPOSED

**SITE DATA**  
FRONT SETBACK: 15'-0"  
REAR SETBACK: 25'-0" GEOLOGICAL DEVELOPMENT LINE  
SIDE SETBACK: 5'-0"  
SECOND FLOOR SIDE SETBACK: 10'-0"  
MAX BUILDING HEIGHT: 28'-0"

**PROJECT DIRECTORY**

**PROPERTY OWNERS**

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e: MELISSA95032@GMAIL.COM

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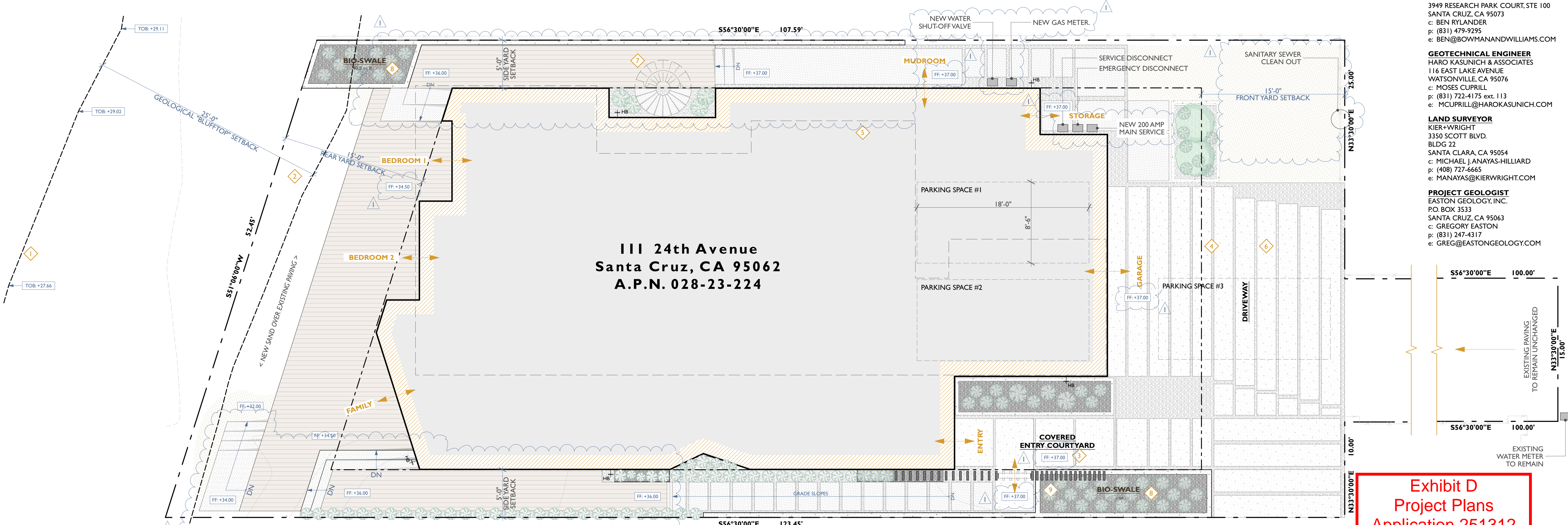
**LAND SURVEYOR**

KIER+WRIGHT  
3350 SCOTT BLVD.  
BLDG 22  
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c: MICHAEL JANAYAS-HILLIARD  
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e: MANAYAS@KIERWRRIGHT.COM

**PROJECT GEOLOGIST**

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PO BOX 3533  
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c: GREGORY EASTON  
p: (831) 247-4317  
e: GREG@EASTONGEOLOGY.COM

**PROPOSED EXTERIOR MATERIAL PALETTE**



**Exhibit D  
Project Plans  
Application 251312**

**VUCKOVICH  
RESIDENCE**  
111 24th AVENUE  
SANTA CRUZ, CA 95062

**fuse** architects + builders  
512 Capitola Ave + Capitola + California + 95010  
fusearchitecture.com 831.479.9295

**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL

**Seal / Signature**



**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
PROJECT INFO + SITE PLAN

**Scale**  
As Indicated

**AI**

COASTAL DEVELOPMENT PERMIT

**PROPOSED SITE PLAN**  
SCALE: 3/16" = 1'-0"

**NOTES**

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED JULY 31, 2024, NUMBER 4402-7159695. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
  - ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
  - THIS IS NOT A UTILITY SURVEY. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
  - THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CRUZ COUNTY, CALIFORNIA, MAP NUMBER 06087C0353F FOR COMMUNITY NUMBER 060353 (CITY OF SANTA CRUZ), WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2017, AS BEING LOCATED IN FLOOD ZONE "X" AND FLOOD ZONE "VE"
- ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (UNSHADED) IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ACCORDING TO FEMA THE DEFINITION OF ZONE "VE" IS :BASE FLOOD ELEVATIONS DETERMINED.
- INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (MSC.FEMA.GOV) ON SEPTEMBER 9, 2024.
- BASIS OF BEARINGS:**  
THE BEARING OF SOUTH 56°30'00" EAST TAKEN ON THE NORTHEASTERLY LOT LINE OF LOTS 15 AND 16 OF BLOCK 8 AS SHOWN ON THAT CERTAIN MAP OF SANTA MARIA DEL MAR FILED FOR RECORD ON DECEMBER 14, 1891, IN BOOK 12 OF MAPS AT PAGE 1, OFFICIAL RECORDS OF SANTA CRUZ COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
  - CORNER RECORD NOTE:**  
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
  - BENCHMARK:**  
BM 242 - SANTA CRUZ COUNTY SURVEYOR'S CONCRETE MONUMENT WITH A BRASS DISK STAMPED BM 242 SET AT THE NORTHEASTERLY CORNER OF EAST CLIFF DRIVE AT 24TH AVENUE ON TOP OF A DIRT EMBANKMENT 0.3' ABOVE GROUND LEVEL & 4' ABOVE ROAD LEVEL (RESET 5/2014). ELEVATION=38.15' (NGVD29)

**ABBREVIATIONS**

BL<	BUILDING CORNER	SSMH	SANITARY SEWER MANHOLE
BS	BOTTOM OF STAIRS	TC	TOP OF CURB
C	CONCRETE	TS	TOP OF STAIRS
CB	CATCH BASIN	UB	UTILITY BOX
EP	EDGE OF PAVEMENT	U.O.	UNKNOWN ORIGIN
FF	FINISHED FLOOR	WM	WATER METER
FND	FOUND		
FW	FACE OF WALL		
IP	IRON PIPE		
M	MAP		
O.R.	OFFICIAL RECORDS		
RWL	ROOF DRAIN		
SDMH	SANITARY SEWER MANHOLE		
SSCO	SANITARY SEWER CLEAN OUT		

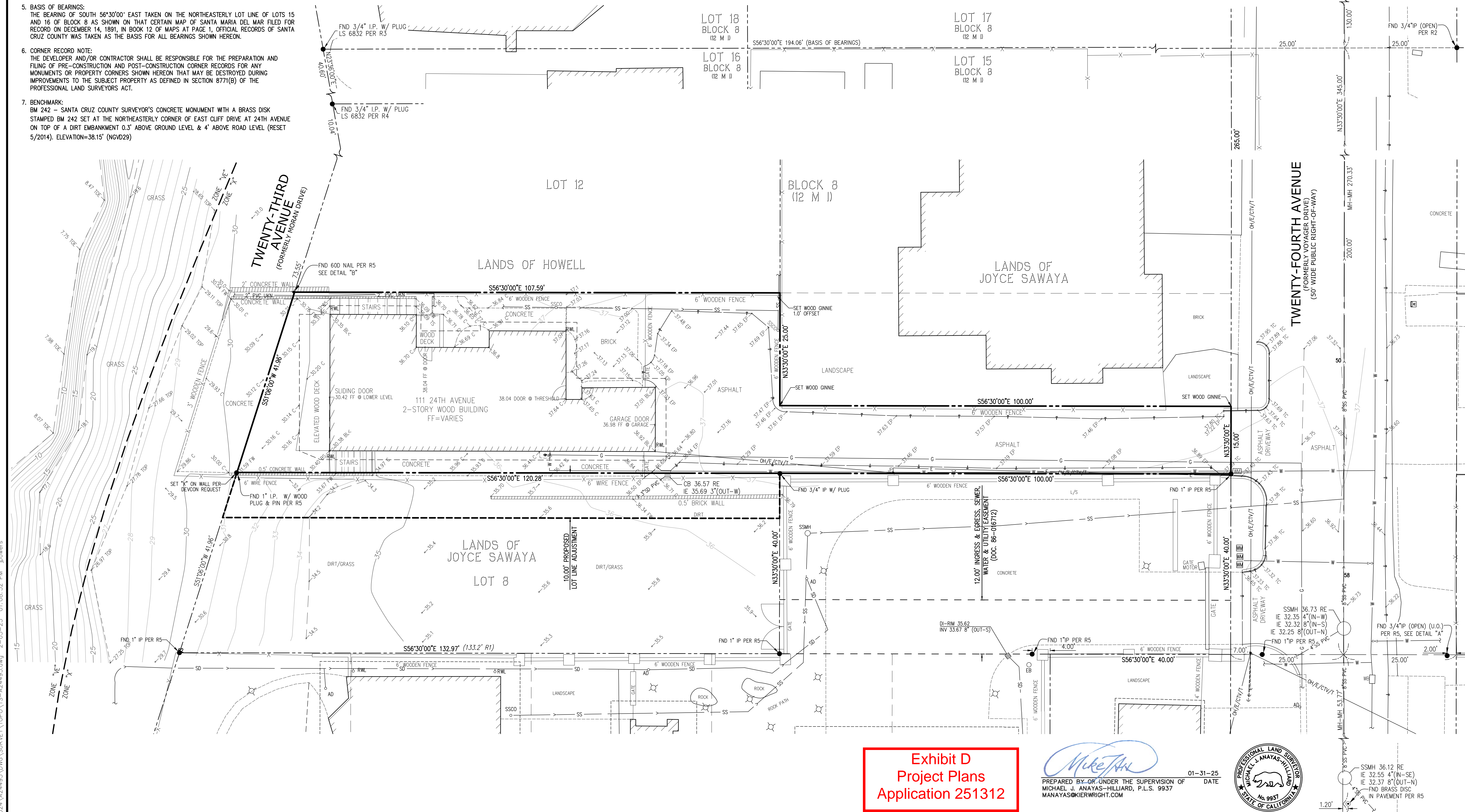
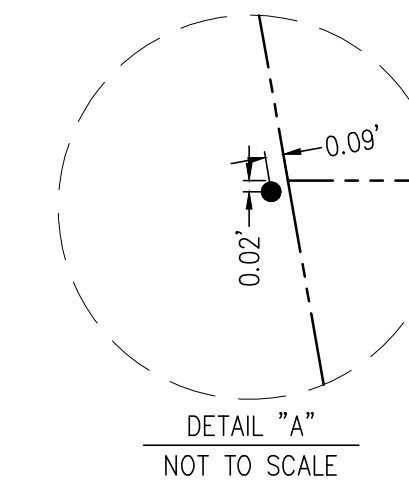
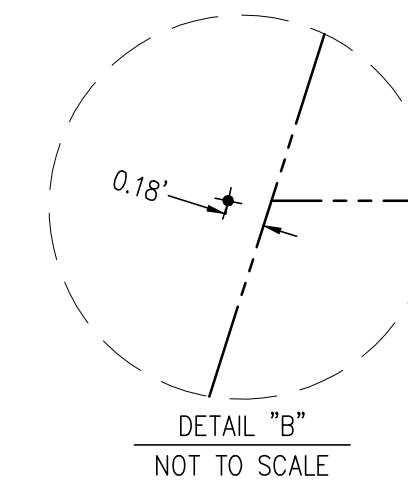
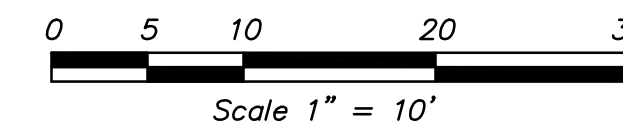
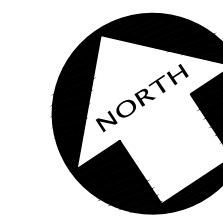
**LEGEND**

	BUILDING LINE		OVERHEAD ELECTRIC-CABLE
	BUILDING OVERHANG LINE		TELEVISION-TELEPHONE LINE
	CENTER LINE		PROPERTY LINE
	CONCRETE CURB		AREA DRAIN
	CONTOUR LINE-MAJOR		ELECTROLUER
	CONTOUR LINE-MINOR		FLAG POLE
	EASEMENT LINE		GAS METER
	EDGE OF PAVEMENT		GUY ANCHOR
	FEMA FLOOD ZONE BOUNDARY		HOSEBIB
	FENCE LINE		IRON PIPE FOUND
	LOT LINE		IRON PIPE SET
	LOT LINE OLD		MAIL BOX
	MONUMENT/MONUMENT LINE		NAIL FOUND
	ELECTRIC LINE		POWER POLE/JOINT POLE
	SANITARY SEWER LINE-MANHOLE & CLEANOUT		TRAFFIC SIGN
	STORM DRAIN LINE-MANHOLE & CATCH BASIN		TREE
	WATER LINE & VALVE		UTILITY BOX
	WALL		WALK-BOLLARD LIGHT
			WATER VALVE

**REFERENCES**

- R1 MAP OF SANTA MARIA DEL MAR (12 M 1)
- R2 PARCEL MAP (57 PM 30)
- R3 CORNER RECORD (CR 506)
- R4 CORNER RECORD (CR 521)
- R5 RECORD OF SURVEY (123 M 4)

**EAST CLIFF DRIVE**  
(50' WIDE, A PUBLIC STREET)



BY				
REVISION				
NO.	1	2	3	4
BY				
REVISION				
NO.	1	2	3	4
BY				

**KIER+WRIGHT**

**TOPOGRAPHIC SURVEY**  
OF  
**111 24th AVENUE**  
FOR  
**STAN VUCKOVICH**

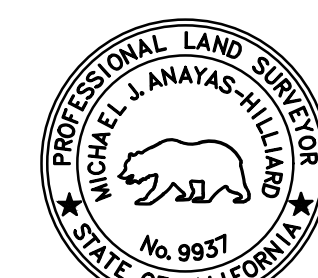
CALIFORNIA  
SANTA CRUZ,

DATE	FEB, 2025
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	JLP
JOB NO.	A24495
SHEET	<b>A2</b>

**Exhibit D  
Project Plans  
Application 251312**

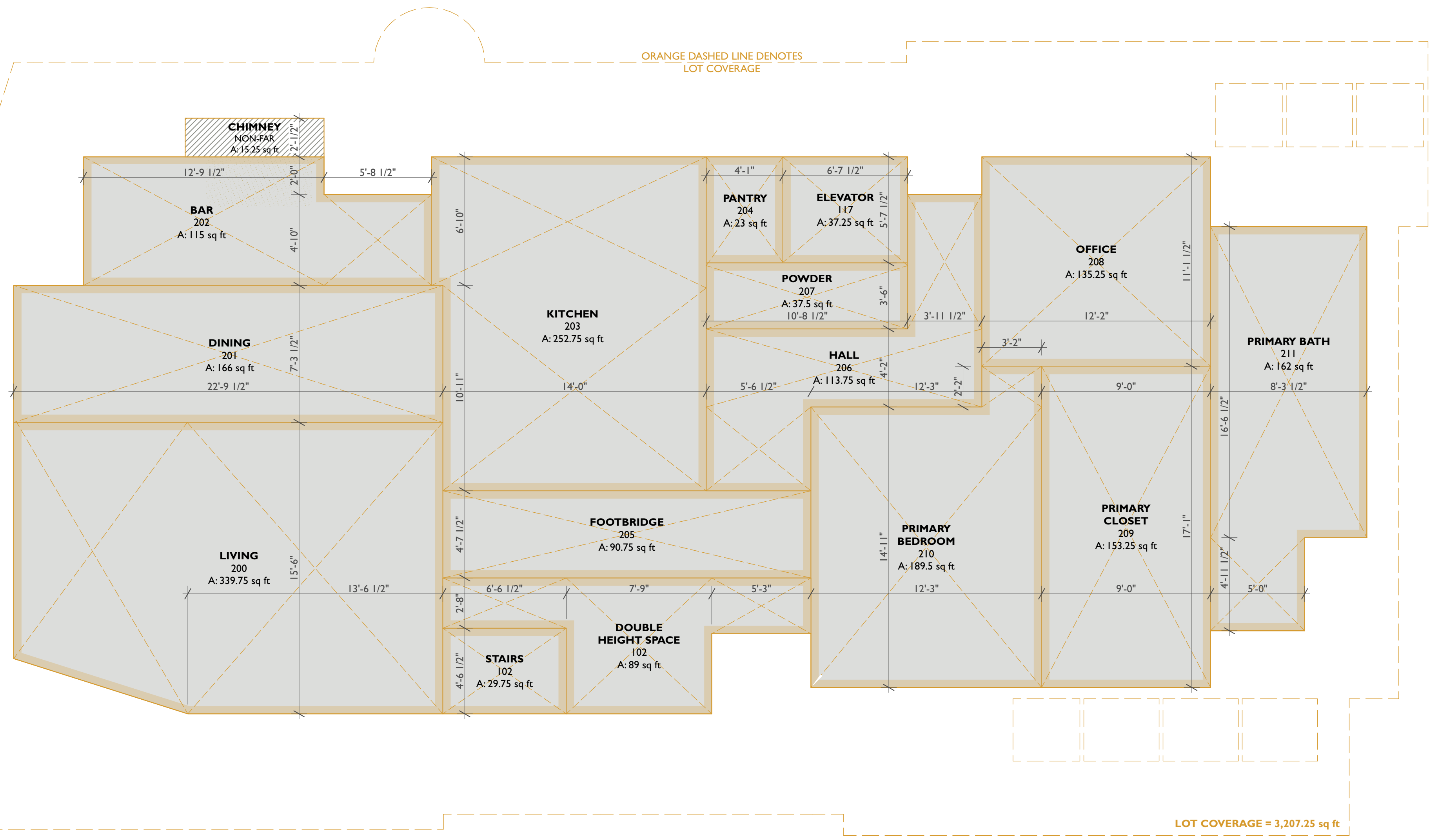
*Mike An*  
PREPARED BY OR UNDER THE SUPERVISION OF  
MICHAEL J. ANAYAS-HILLIARD, P.L.S. 9937  
MANAYAS@KIERWRIGHT.COM

01-31-25  
DATE

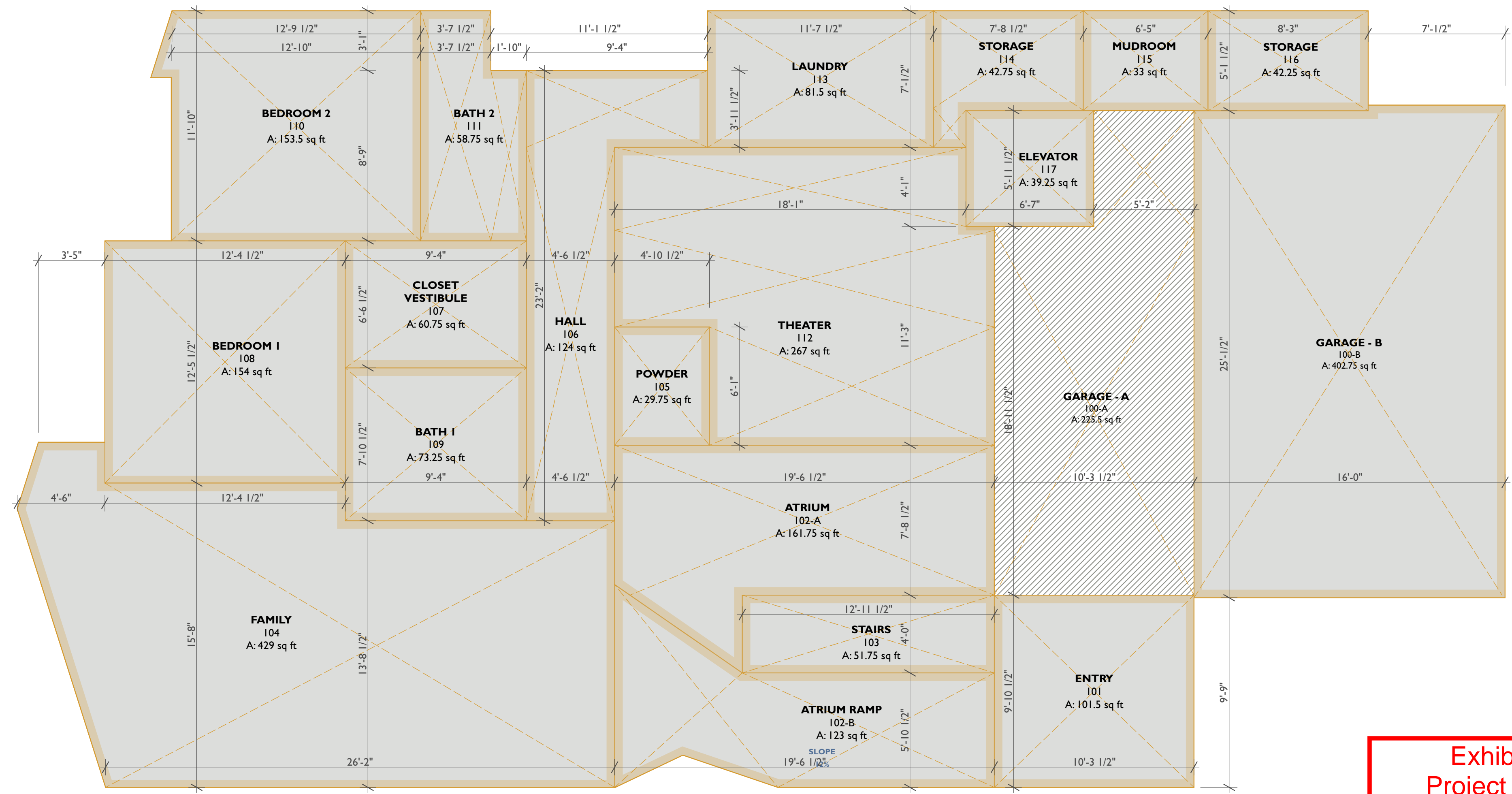


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**2 UPPER FLOOR - AREA CALCULATIONS (F.A.R.)**  
SCALE 1/4" = 1'-0"



**1 GROUND FLOOR - AREA CALCULATIONS (F.A.R.)**  
SCALE 1/4" = 1'-0"



**F.A.R. SQUARE FOOTAGE**

ROOM NAME	ROOM #	AREA
<b>GROUND FLOOR</b>		
GARAGE - B	100-B	402.8
ENTRY	101	101.5
ATRIUM	102-A	161.9
ATRIUM RAMP	102-B	122.9
STAIRS	103	51.9
FAMILY	104	429.1
POWDER	105	29.6
HALL	106	124.0
CLOSET VESTIBULE	107	60.9
BEDROOM 1	108	153.9
BATH 1	109	73.3
BEDROOM 2	110	153.5
BATH 2	111	58.8
THEATER	112	267.1
LAUNDRY	113	81.6
STORAGE	114	42.7
MUDROOM	115	33.0
STORAGE	116	42.4
ELEVATOR	117	39.2
		<b>2,430.1 ft<sup>2</sup></b>

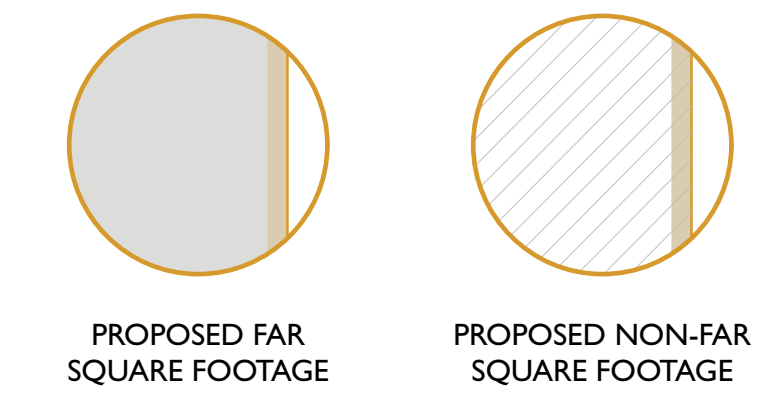
ROOM NAME	ROOM #	AREA
<b>UPPER FLOOR</b>		
STAIRS	102	29.9
DOUBLE HEIGHT SPACE	102	88.9
ELEVATOR	117	37.1
LIVING	200	339.6
DINING	201	166.0
BAR	202	114.9
KITCHEN	203	252.6
PANTRY	204	22.9
FOOTBRIDGE	205	90.7
HALL	206	113.8
POWDER	207	37.5
OFFICE	208	135.3
PRIMARY CLOSET	209	153.3
PRIMARY BEDROOM	210	189.6
PRIMARY BATH	211	162.0
		<b>1,934.1 ft<sup>2</sup></b>

**TOTAL F.A.R. SQUARE FOOTAGE** 4,364.2 ft<sup>2</sup>  
**ALLOWED F.A.R. SQUARE FOOTAGE (60%)** 4,365.0 ft<sup>2</sup>

**LOT COVERAGE**

PROPOSED LOT COVERAGE	3,207.25 ft <sup>2</sup>
ALLOWED LOT COVERAGE (45%)	3,275.00 ft <sup>2</sup>

**AREA CALCULATIONS LEGEND**



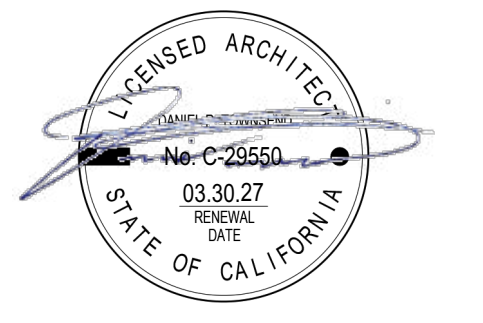
**VUCKOVICH RESIDENCE**  
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SANTA CRUZ, CA 95062

**fuse architects + builders**  
512 Capitola Ave + Capitola + California + 95010  
fusearchitecture.com 831.479.9295

**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL

**Seal/Signature**



**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
AREA CALCULATIONS

**Scale**  
As Indicated

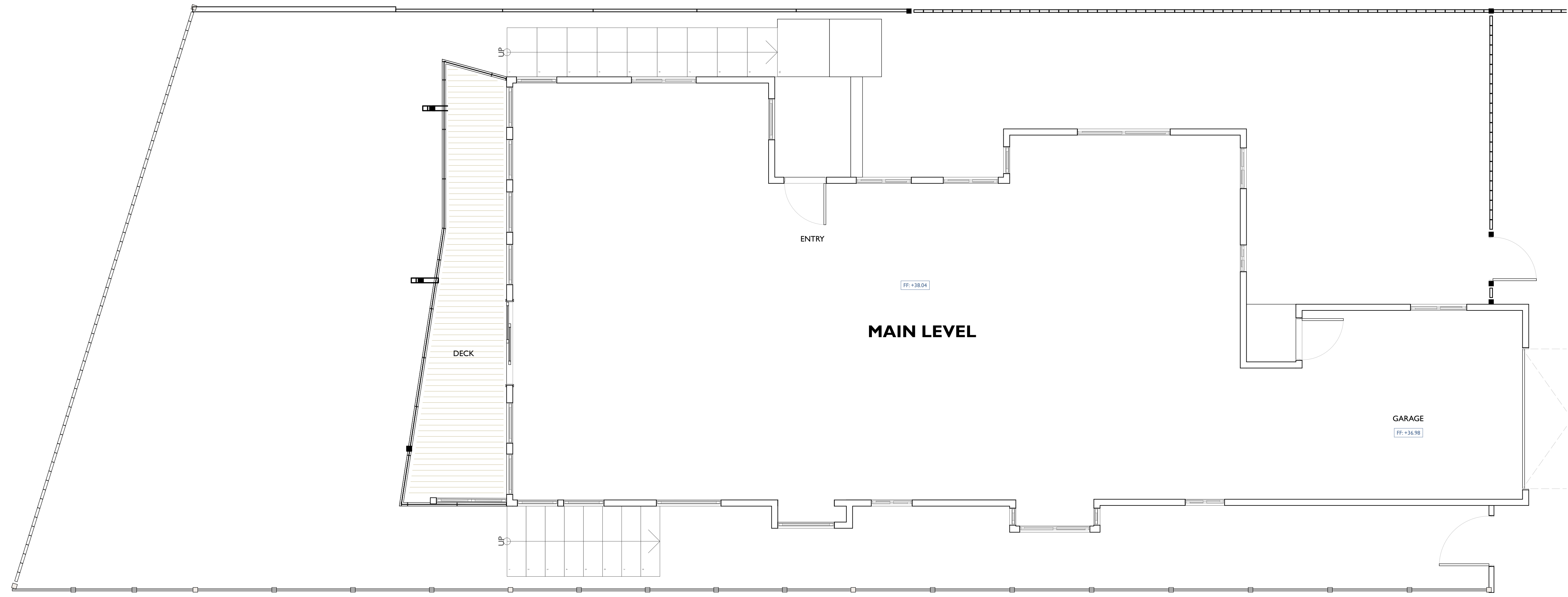
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COASTAL DEVELOPMENT PERMIT

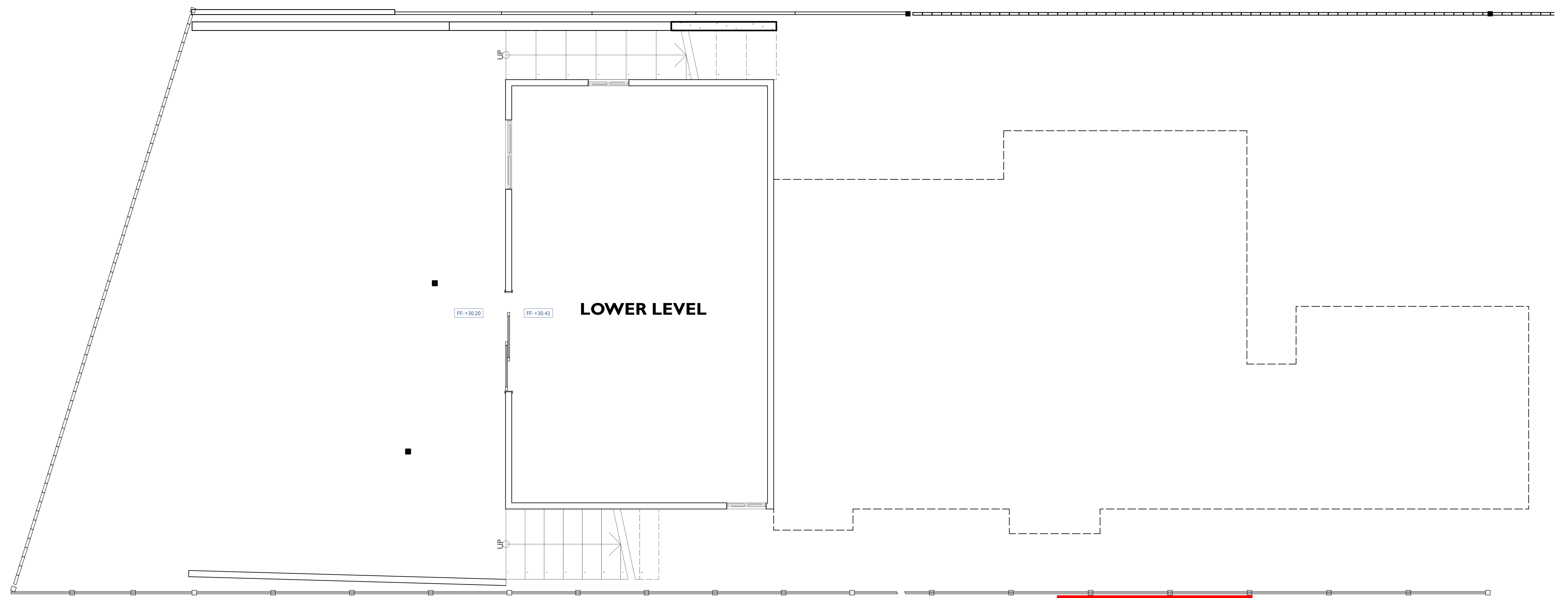
**Exhibit D**  
**Project Plans**  
**Application 251312**



**2 EXISTING MAIN LEVEL PLAN**  
SCALE 1/4" = 1'-0"



**1 EXISTING LOWER LEVEL PLAN**  
SCALE 1/4" = 1'-0"



**Exhibit D  
Project Plans  
Application 251312**

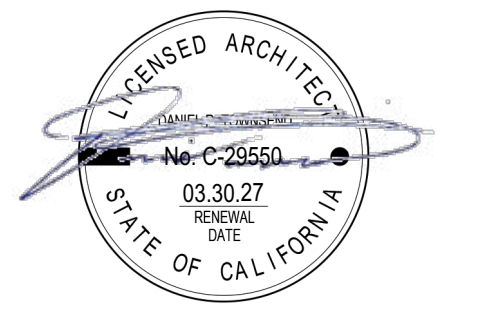
**VUCKOVICH  
RESIDENCE**  
111 24th AVENUE  
SANTA CRUZ, CA 95062

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architects + builders  
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fusearchitecture.com 831.479.9295

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VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
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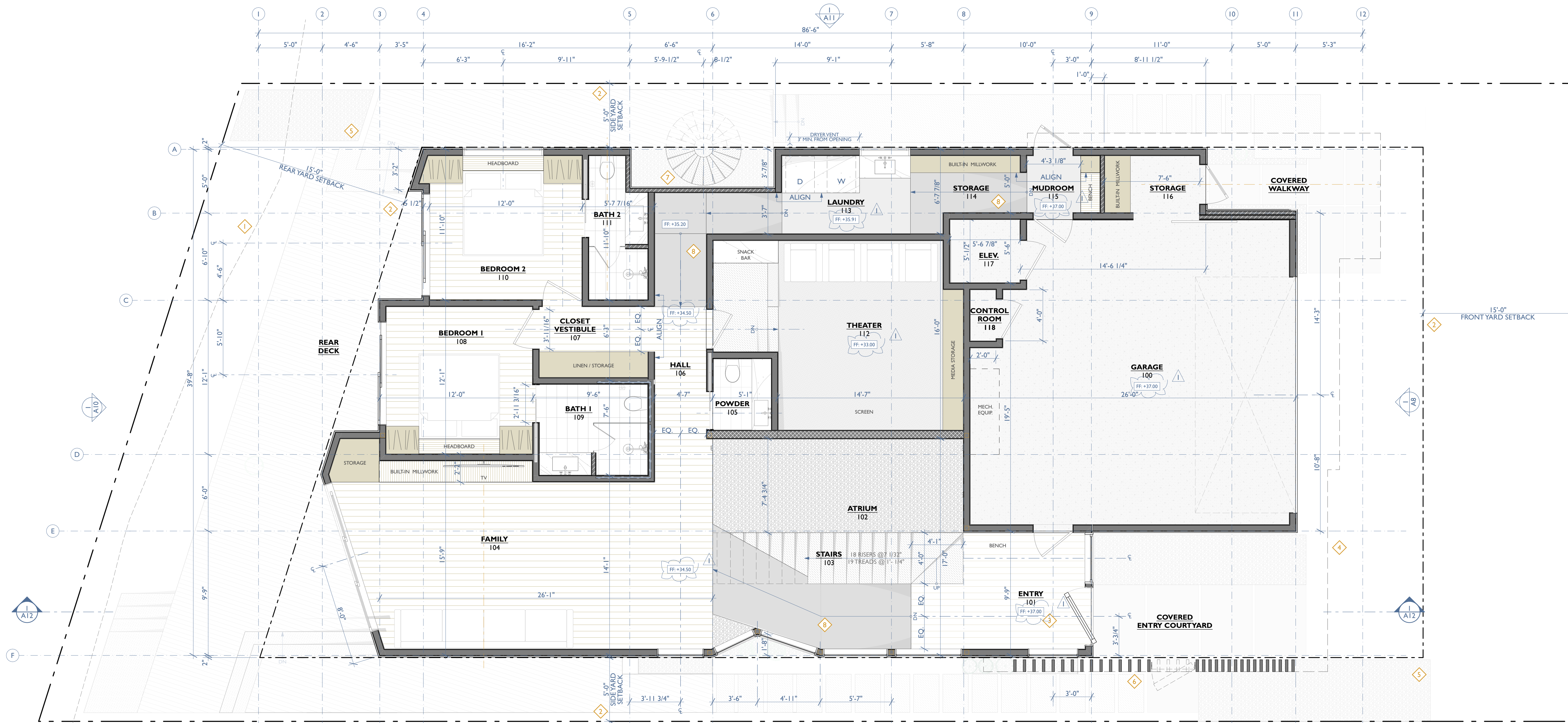
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EXISTING FLOOR PLANS

**Scale**  
As Indicated

**A4**

COASTAL DEVELOPMENT PERMIT

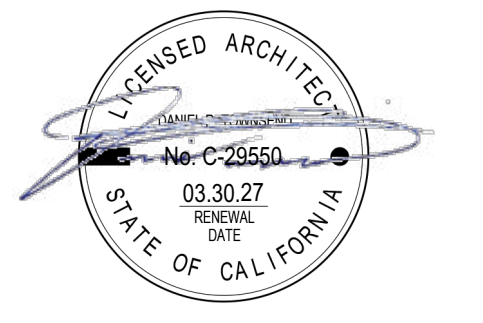
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**I PROPOSED GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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APN #: 028-232-24

**Sheet Title**  
PROPOSED GROUND FLOOR PLAN

**Scale**  
As Indicated

**A5**  
COASTAL DEVELOPMENT PERMIT

**FLOOR PLAN SYBOLS LEGEND**

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (N) 2x6 WALL
- (N) 2x8 WALL
- DETAIL/ SECTION/ ELEVATION NUMBER
- SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET A7.0 & A7.1
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A7.2, A7.3 & A7.4
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET A7.5

**FINISH LEGEND**

- <N> WOOD FLOOR BOARDS
- <N> TILE FLOORING - WET LOCATIONS
- <N> STONE SLAB (COUNTERTOPS)
- <N> WOOD FINISH
- <N> BUILT-IN MILLWORK
- <N> WOOD DECKING
- <N> PLANTING; SEE LANDSCAPE PLAN

**FLOOR PLAN NOTES**

- 1) U.N.O: ALL GRIDLINE DIMENSIONS ARE MEASURE TO EXT. FACE OF STUD
- 2) U.N.O: ALL INTERIOR DIMENSIONS ARE MEASURED TO INTERIOR FACE OF STUD
- 3) WINDOWS WITHIN 24" OF DOOR JAMBS SHALL BE SAFETY GLAZED
- 4) DOORS OPENING INTO GARAGES MUST BE A MINIMUM OF 1 3/8" SOLID CORE, SELF-CLOSING AND LATCHING. DOOR MUST SEAL ON ALL FOUR EDGES AND MUST NOT OPEN UP OVER STEPS OR LANDING LOWER THAN 1" FROM THE THRESHOLD OF DOOR
- 5) GLAZING IN SHOWER ENCLOSURES WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING, PER CBC 2406.4.5.
- 6) PROTECT ALL OPENINGS AGAINST LOCAL WEATHER CONDITIONS - OUTDOOR AIR EXHAUST (CRC R303.5.2) AND INTAKE OPENINGS (CRC R303.5.1) SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTIVES.
- 7) THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2 PERCENT, PER CRC R311.3.
- 8) BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR, PER CRC R307.2

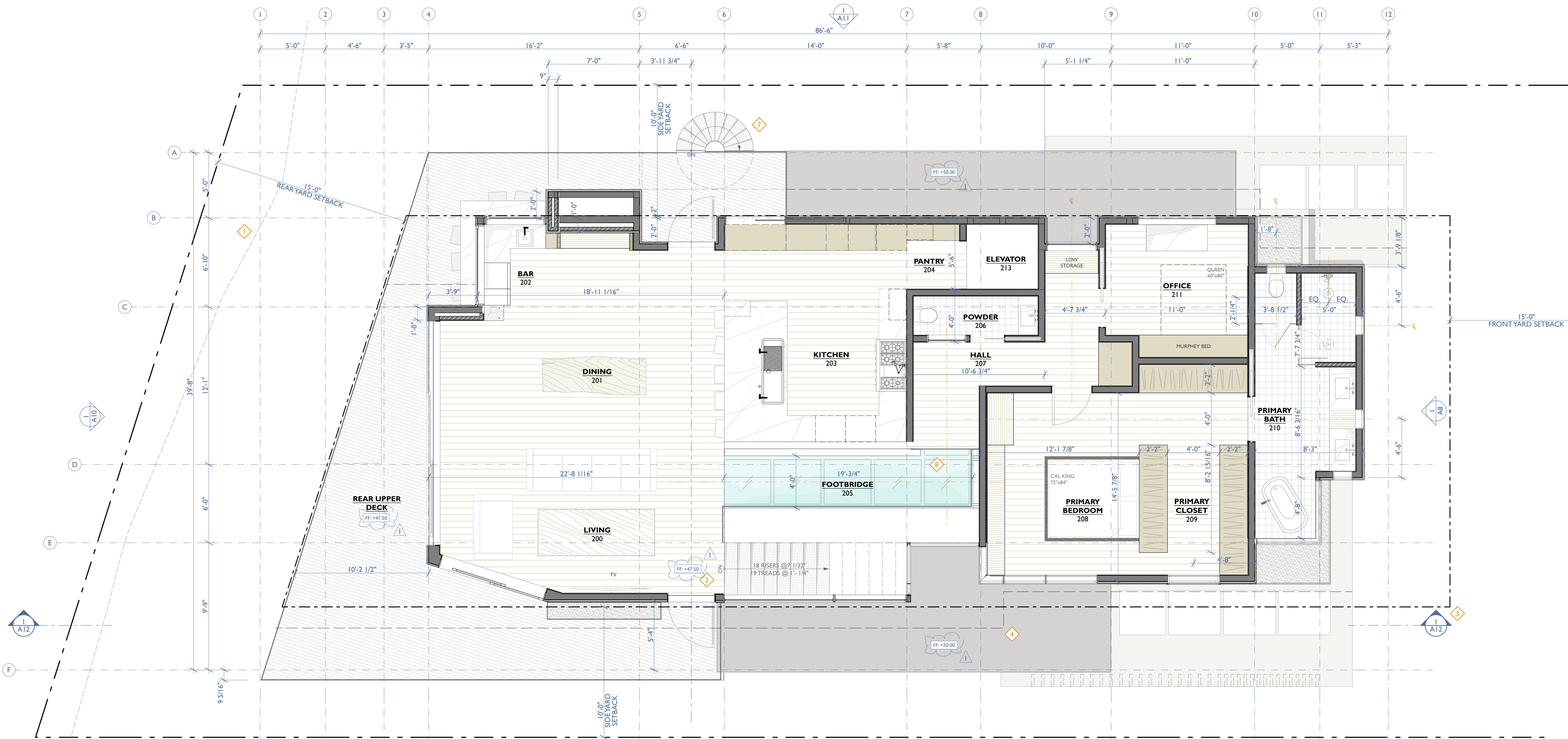
**FLOOR PLAN NOTES (cont.)**

- 9) GYPSUM BOARD USED AS THE BASE OR BACKER FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER REQUIRED NONABSORBENT FINISH MATERIAL SHALL CONFORM TO ASTM C1178, C1278 OR C1396. USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CUT OR EXPOSED EDGES, INCLUDING THOSE AT WALL INTERSECTIONS, SHALL BE SEALED AS RECOMMENDED BY THE MANUFACTURER, PER CRC R702.3.7.
- 10) VERIFY THE PRESENCE OF MEDICINE CABINETS AND SHOWER WALL NICHE LOCATIONS AND DIMENSIONS PRIOR TO FRAMING.
- 11) MINIMUM CEILING HEIGHT IN A KITCHEN IS 7' CLEAR, FROM THE FINISHED FLOOR TO THE FINISHED CEILING
- 12) HABITABLE SPACES TO HAVE EXTERIOR GLAZING AREA EQUAL TO 8% OF THE FLOOR AREA MIN - 4% MIN OF THE GLAZING AREA TO BE OPERABLE.
- 13) PROVIDE BLOCKING FOR HANDRAILS AND GRAB BARS, CURTAIN ROD ATTACHMENTS ABOVE ALL WINDOWS AND EXTERIOR DOORS, ACCESSORIES IN BATHROOMS, AND ALL WALL MOUNTED EQUIPMENT; VERIFY HEIGHT WITH ARCHITECT PRIOR TO INSTALLATION.
- 14) MAXIMUM THRESHOLD HEIGHT FOR SWINGING DOORS IS 1/2"; MAXIMUM THRESHOLD HEIGHT FOR SLIDING DOORS IS 3/4"
- 15) AS PER 2022 CRC SECTION R311.7.8.3: TYPE I - NON CIRCULAR HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF NOT LESS THAN 4 INCHES AND NOT GREATER THAN 6 1/4 INCHES WITH A CROSS SECTION OF DIMENSION OF NOT MORE THAN 2 1/4 INCHES. EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH, TYP. AND IF ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.

**GROUND FLOOR KEYNOTES**

- 1) TOP OF BLUFF 25-FOOT SETBACK; PER EASTON GEOLOGY REPORT DATED MARCH 7 2025. REFER TO PAGE 34 OF 34 IN REPORT.
- 2) ALL SPOT ELEVATIONS REFERENCED TO NAVD 88 DATUM.
- 3) DASHED LINE REPRESENTS DEVELOPMENT SETBACKS.
- 4) DASHED LINE REPRESENTS OUTLINE OF FLOOR / ROOF ABOVE.
- 5) PROPOSED BIO-SWALE; SEE CIVIL DRAWINGS.
- 6) WOOD LOUVERS; WD-04
- 7) EXTERIOR SPIRAL STAIRCASE; MTL-02
- 8) INTERIOR RAMP

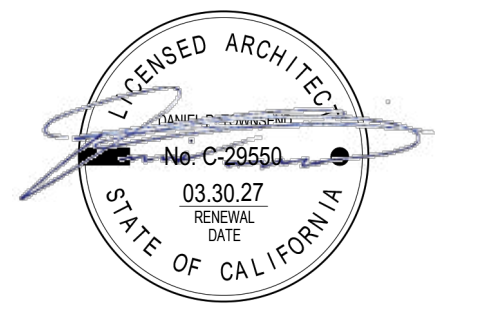
**Exhibit D**  
Project Plans  
Application 251312



**I PROPOSED UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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Seal/Signature



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VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
PROPOSED UPPER FLOOR PLAN

**Scale**  
As Indicated

**A6**  
COASTAL DEVELOPMENT PERMIT

**FLOOR PLAN SYBOLS LEGEND**

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (N) 2x6 WALL
- (N) 2x8 WALL
- DETAIL/ SECTION/ ELEVATION NUMBER
- SHEET NUMBER
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- WALL TAG, SEE PARTITION SCHEDULE ON SHEET A7.5

**FINISH LEGEND**

- <N> WOOD FLOOR BOARDS
- <N> TILE FLOORING - WET LOCATIONS
- <N> STONE SLAB (COUNTERTOPS)
- <N> WOOD FINISH
- <N> BUILT-IN MILLWORK
- <N> WOOD DECKING
- <N> PLANTING; SEE LANDSCAPE PLAN

**FLOOR PLAN NOTES**

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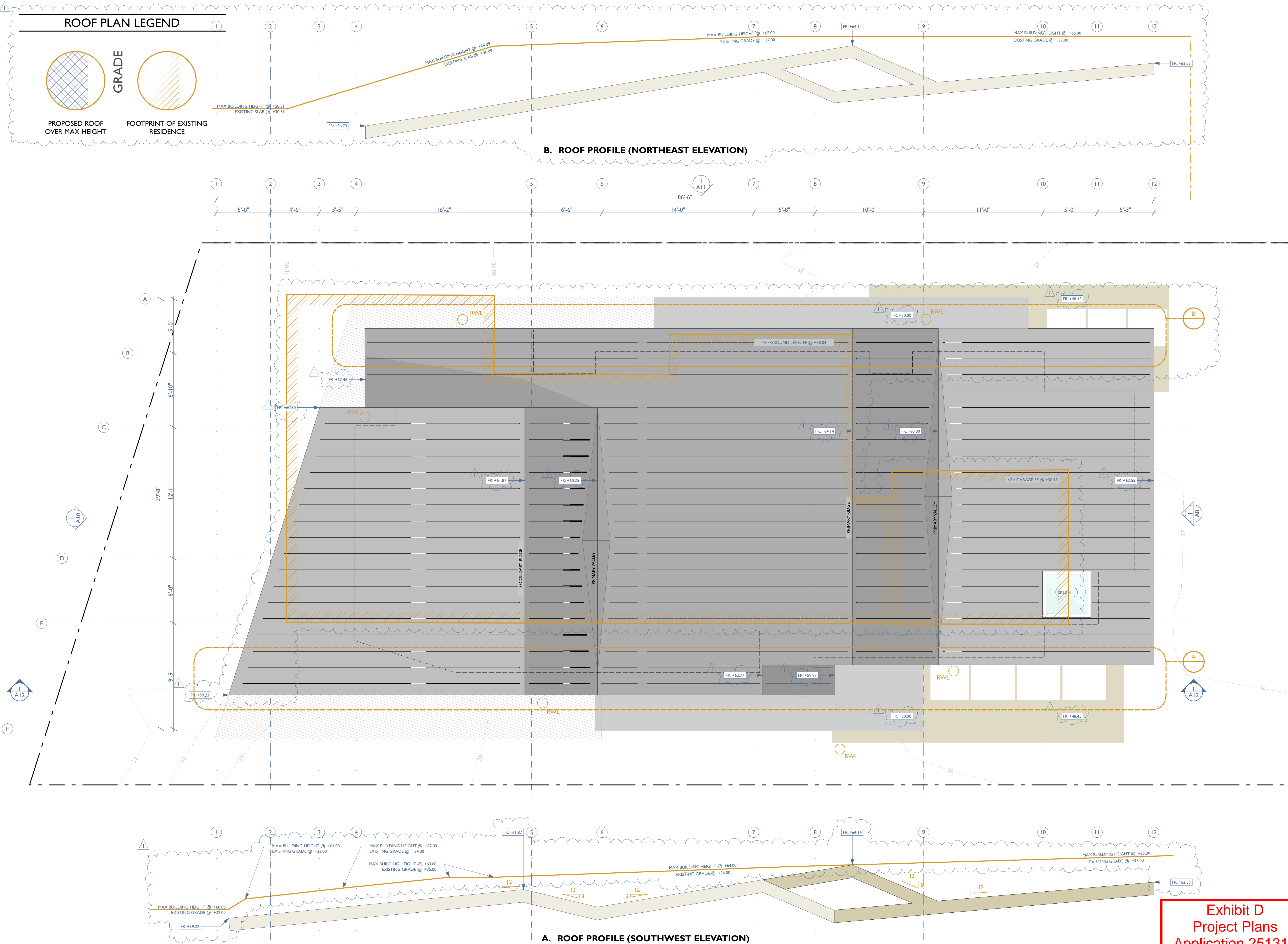
**FLOOR PLAN NOTES (cont.)**

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**UPPER FLOOR KEYNOTES**

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- 4 DASHED LINE REPRESENTS OUTLINE OF FLOOR / ROOF ABOVE.
- 5 CHIMNEYS MAY EXTEND INTO THE SIDE YARD SETBACK UP TO 3 FEET, PER §13.10.323(E)(1) IN SANTA CRUZ COUNTY ZONING REGULATIONS.
- 6 FIXED SKYLIGHTS
- 7 EXTERIOR SPIRAL STAIRCASE, MTL-02
- 8 INTERIOR GLASS FOOT BRIDGE

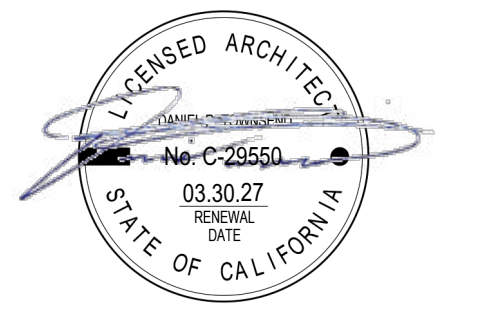
**Exhibit D**  
**Project Plans**  
**Application 251312**



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Seal/ Signature



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VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
PROPOSED ROOF PLAN

**Scale**  
As Indicated

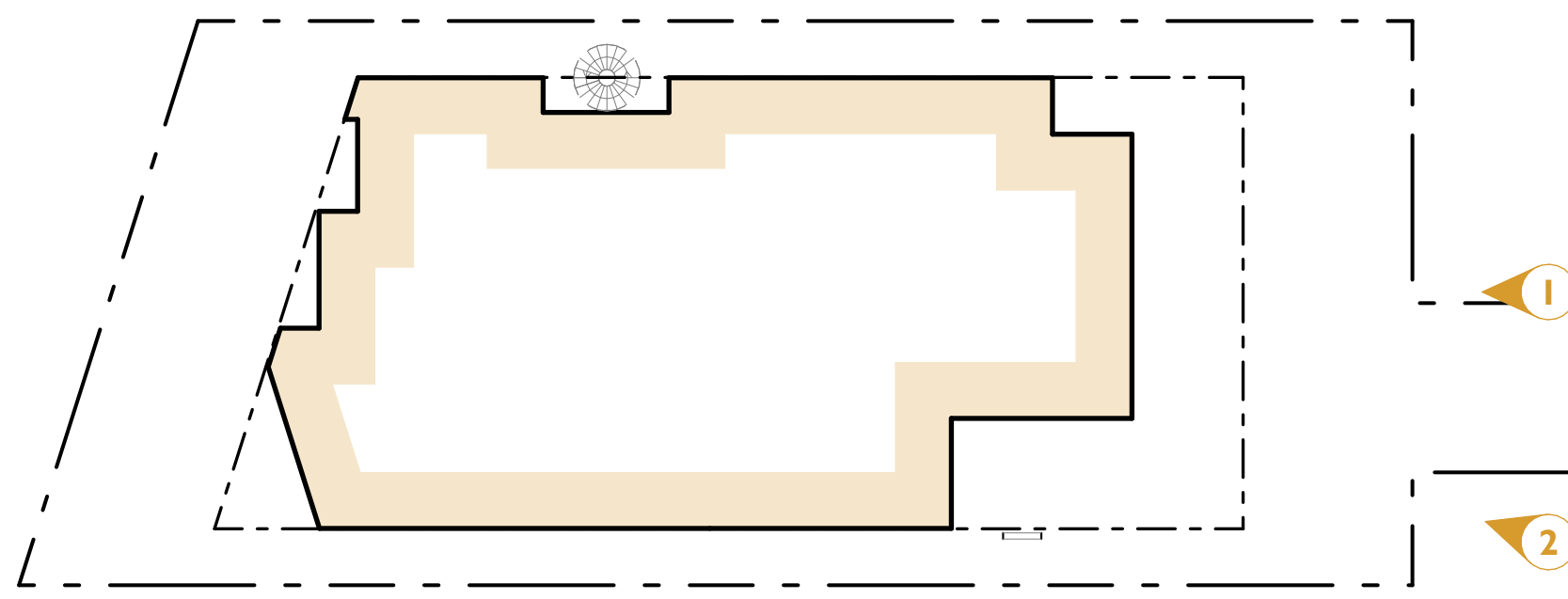
**Exhibit D**  
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**Application 251312**

**A7**

COASTAL DEVELOPMENT PERMIT

**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"

PROPOSED MATERIAL PALETTE



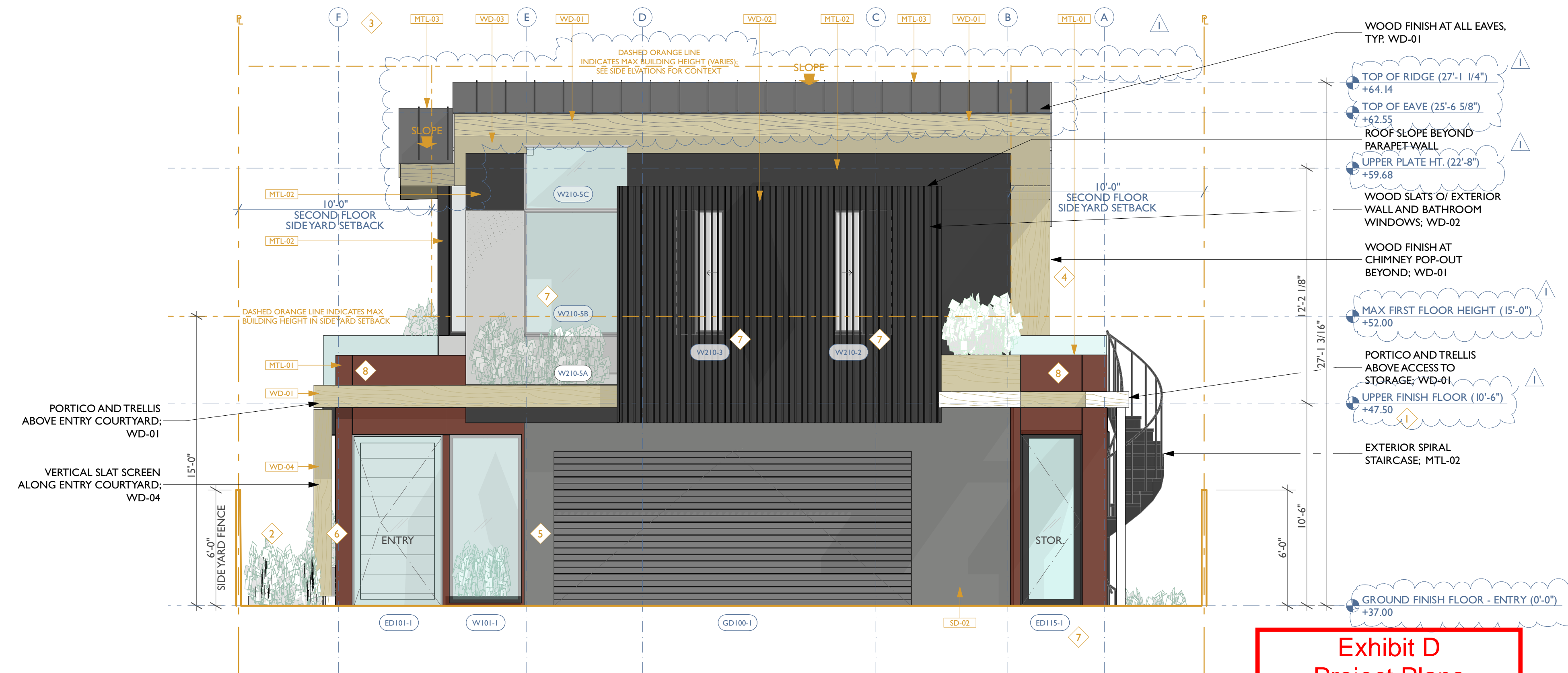
3 ELEVATION REFERENCE KEY PLAN  
SCALE: 1/16" = 1'-0"



2 FRONT PERSPECTIVE (southeast)  
SCALE: n.t.s.

FRONT ELEVATION KEYNOTES

- 1 ALL FINISH FLOOR HEIGHTS ON ELEVATIONS REFERENCED TO NAVD 88 DATUM.
- 2 SEE SHEET L1 PRELIMINARY LANDSCAPE PLAN FOR LANDSCAPE LEGEND AND PLANTING LAYOUT.
- 3 MAX. ALLOWABLE BUILDING HEIGHT PER §13.10.446(A)(1)(a) IN SANTA CRUZ COUNTY ZONING REGULATIONS.
- 4 CHIMNEYS MAY EXTEND INTO THE SIDE YARD SETBACK UP TO 3 FEET, PER §13.10.323(E)(1) IN SANTA CRUZ COUNTY ZONING REGULATIONS.
- 5 ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
- 6 DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC R327.14
- 7 ETCHED GLASS WINDOW/DOOR UNIT; SEE WINDOW/DOOR SCHEDULES.
- 8 EXTERIOR PANEL SIZE AND LAYOUT TO BE COORDINATED.



1 PROPOSED FRONT EXTERIOR ELEVATION (southeast)  
SCALE: 1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251312

**VUCKOVICH**  
RESIDENCE  
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SANTA CRUZ, CA 95062

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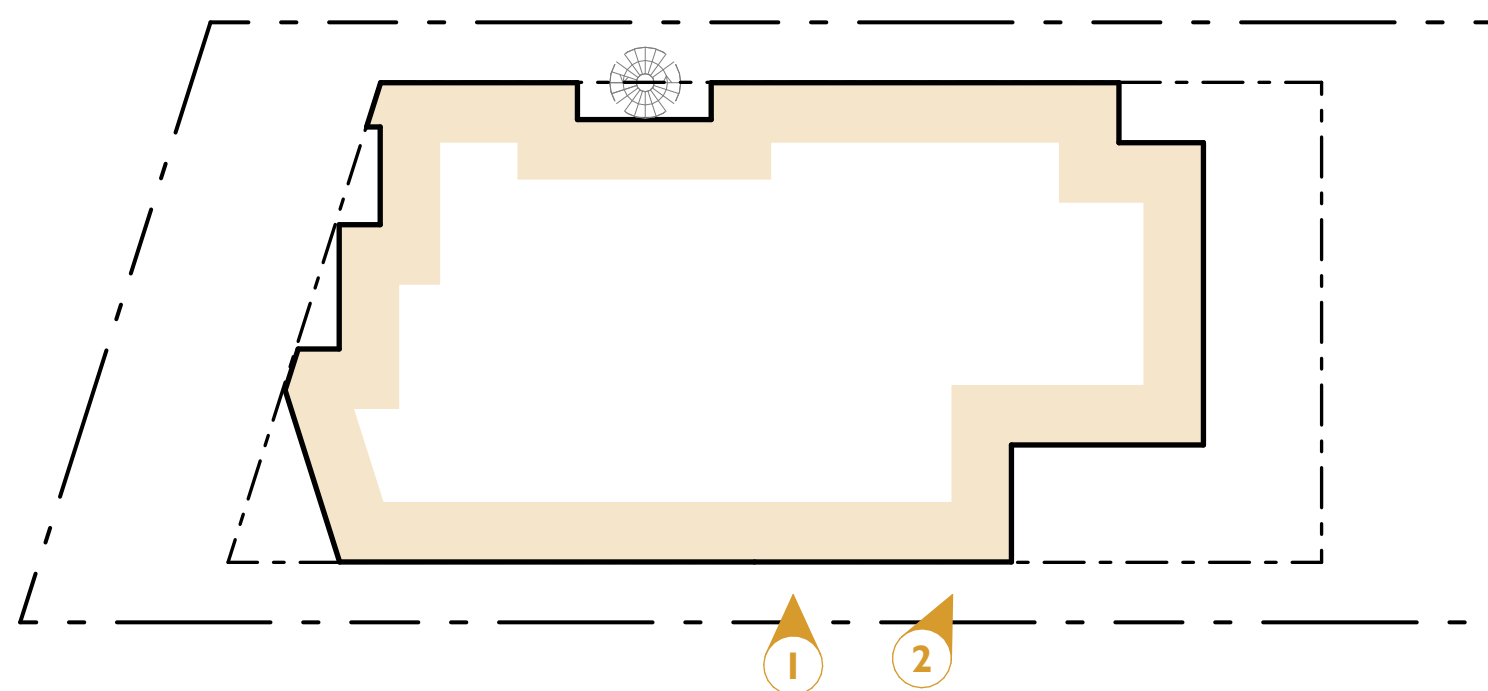
Sheet Title  
PROPOSED FRONT ELEVATION

Scale  
As Indicated

A8

COASTAL DEVELOPMENT PERMIT

PROPOSED MATERIAL PALETTE



**3 ELEVATION REFERENCE KEY PLAN**  
SCALE: 1/16" = 1'-0"

SIDE ELEVATION KEYNOTES

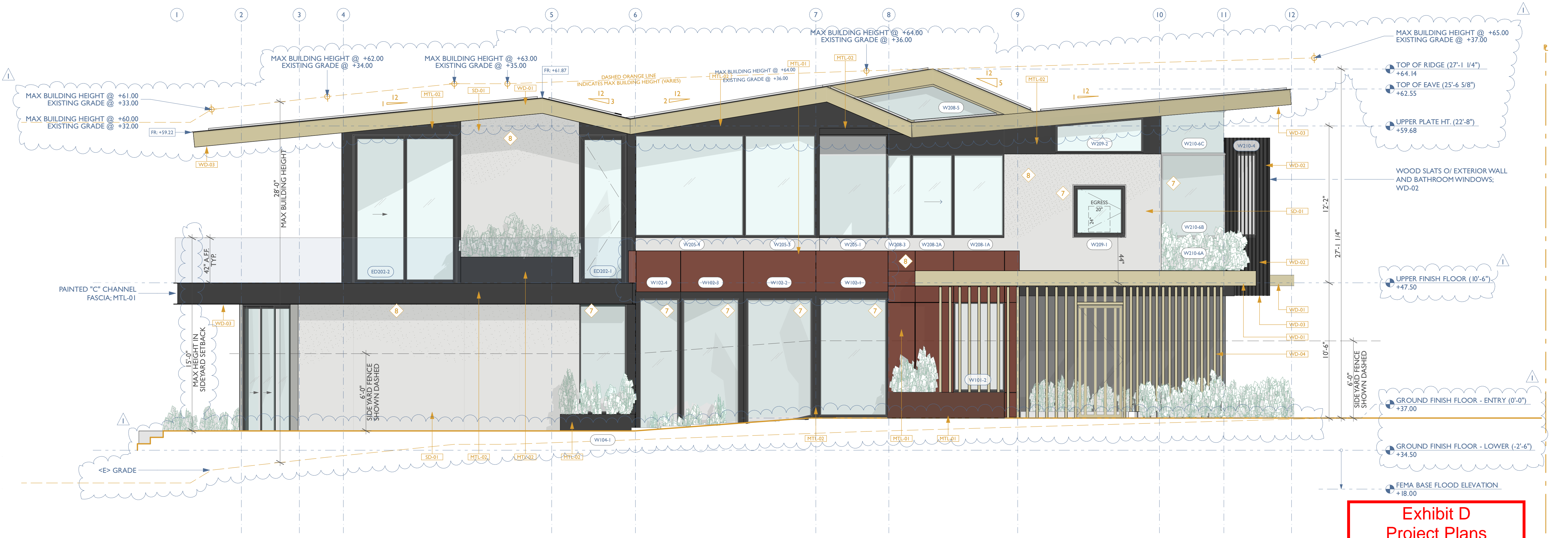
- 1 ALL FINISH FLOOR HEIGHTS ON ELEVATIONS REFERENCED TO NAVD 88 DATUM.
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- 5 ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.

SIDE ELEVATION KEYNOTES CONT.

- 6 DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC R327.14
- 7 ETCHED GLASS WINDOW/DOOR UNIT; SEE WINDOW/DOOR SCHEDULES.
- 8 EXTERIOR PANEL SIZE AND LAYOUT TO BE COORDINATED.



**2 FRONT PERSPECTIVE (southwest)**  
SCALE: n.t.s.



**1 PROPOSED SIDE EXTERIOR ELEVATION (southwest)**  
SCALE: 1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251312

**VUCKOVICH**  
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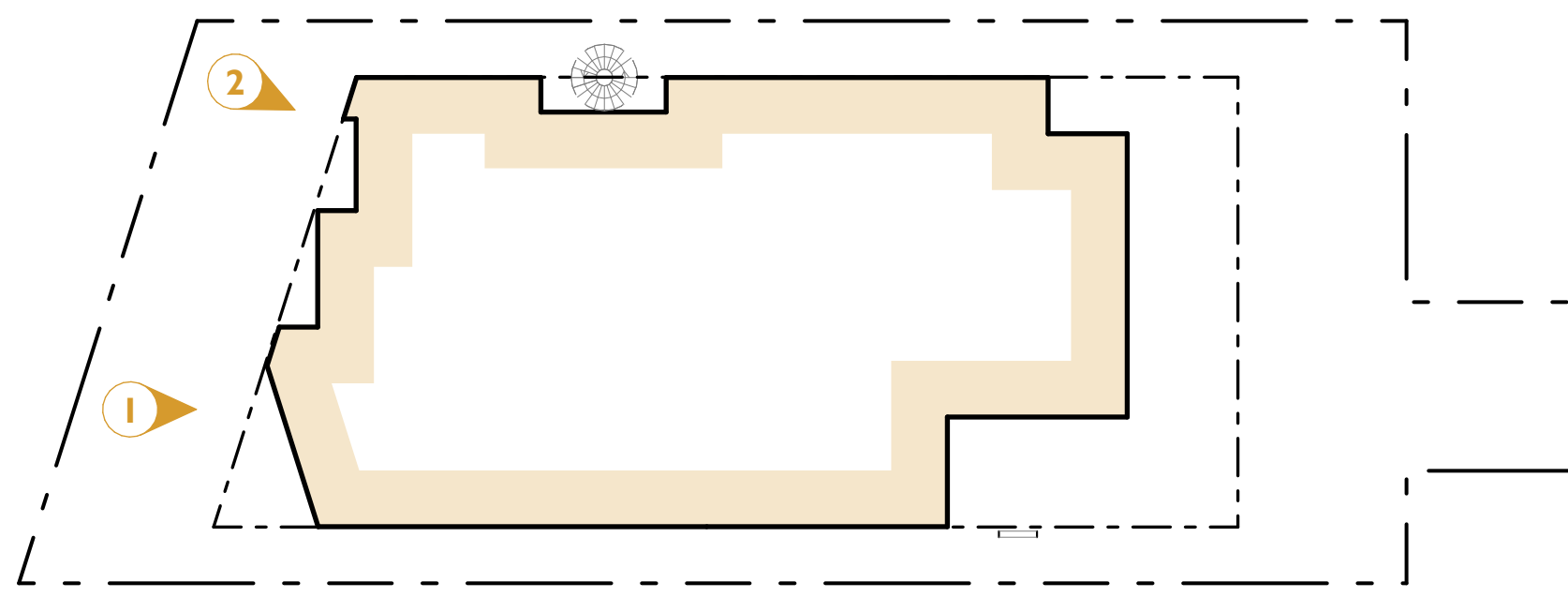
Sheet Title  
PROPOSED SIDE ELEVATION

Scale  
As Indicated

A9

COASTAL DEVELOPMENT PERMIT

PROPOSED MATERIAL PALETTE



**3 ELEVATION REFERENCE KEY PLAN**  
SCALE: 1/16" = 1'-0"



**2 REAR PERSPECTIVE (northwest)**  
SCALE: n.t.s.

REAR ELEVATION KEYNOTES

- 1 ALL FINISH FLOOR HEIGHTS ON ELEVATIONS REFERENCED TO NAVD 88 DATUM.
- 2 SEE SHEET L1 PRELIMINARY LANDSCAPE PLAN FOR LANDSCAPE LEGEND AND PLANTING LAYOUT.
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- 8 EXTERIOR PANEL SIZE AND LAYOUT TO BE COORDINATED.



**1 REAR EXTERIOR ELEVATION (northwest)**  
SCALE: 1/4" = 1'-0"

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PROPOSED REAR ELEVATION

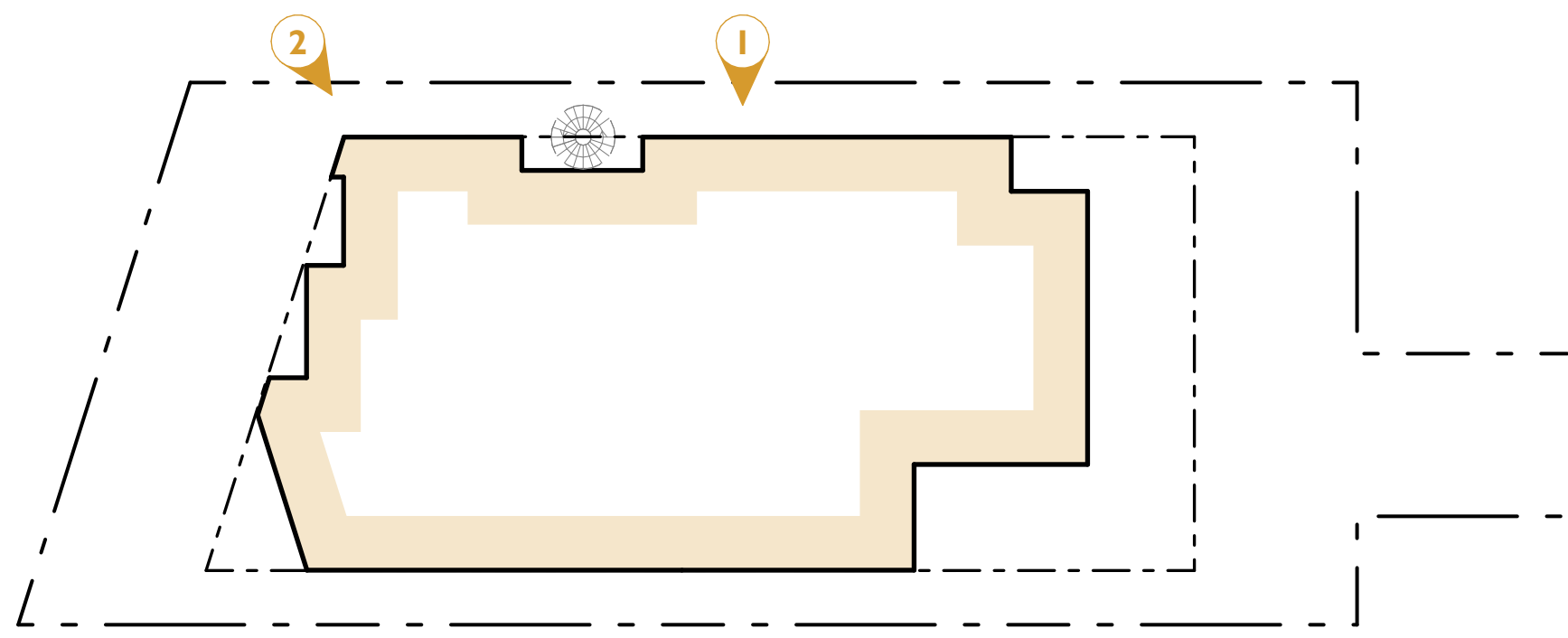
**Scale**  
As Indicated

**A10**

COASTAL DEVELOPMENT PERMIT

PROPOSED MATERIAL PALETTE

- MTL-01**: METAL SIDING; WEATHERED + SEALED - CORTEN STEEL
- MTL-02**: METAL SIDING; POWDER COATED - BLACK BREAK METAL
- MTL-03**: METAL ROOF; STANDING SEAM - FINISH TBD
- SD-01**: EXTERIOR SIDING; LIGHT WARM GREY STUCCO
- SD-02**: EXTERIOR SIDING; NEOLITH BETON
- WD-01**: WOOD SIDING; NEOLITH LA BOHEME - AT FASCIA, TRELLIS
- WD-02**: WOOD SIDING; reSAWN NATT - SHOU SUGI BAN
- WD-03**: WOOD SIDING; reSAWN WHIDBEY AT EAVES, SOFFIT, CEILING AND LOUVERS
- WD-04**: WOOD EXTERIOR; SOLID CEDAR ENTRY SLATS



**3 ELEVATION REFERENCE KEY PLAN**  
SCALE: 1/16" = 1'-0"

SIDE ELEVATION KEYNOTES

- ALL FINISH FLOOR HEIGHTS ON ELEVATIONS REFERENCED TO NAVD 88 DATUM.
- SEE SHEET L1 PRELIMINARY LANDSCAPE PLAN FOR LANDSCAPE LEGEND AND PLANTING LAYOUT.
- MAX. ALLOWABLE BUILDING HEIGHT PER §13.10.446(A)(1)(a) IN SANTA CRUZ COUNTY ZONING REGULATIONS.
- CHIMNEYS MAY EXTEND INTO THE SIDE YARD SETBACK UP TO 3 FEET, PER §13.10.323(E)(1) IN SANTA CRUZ COUNTY ZONING REGULATIONS.

SIDE ELEVATION KEYNOTES CONT.

- ETCHED GLASS WINDOW/DOOR UNIT; SEE WINDOW/DOOR SCHEDULES.
- EXTERIOR PANEL SIZE AND LAYOUT TO BE COORDINATED.
- DASHED GREY LINE REPRESENTS MAX. ALLOWABLE BUILDING HEIGHT ON OPPOSITE SIDE OF HOUSE - SEE SHEET A9 PROPOSED ELEVATION



**2 SIDE PERSPECTIVE (northeast)**  
SCALE: n.t.s.

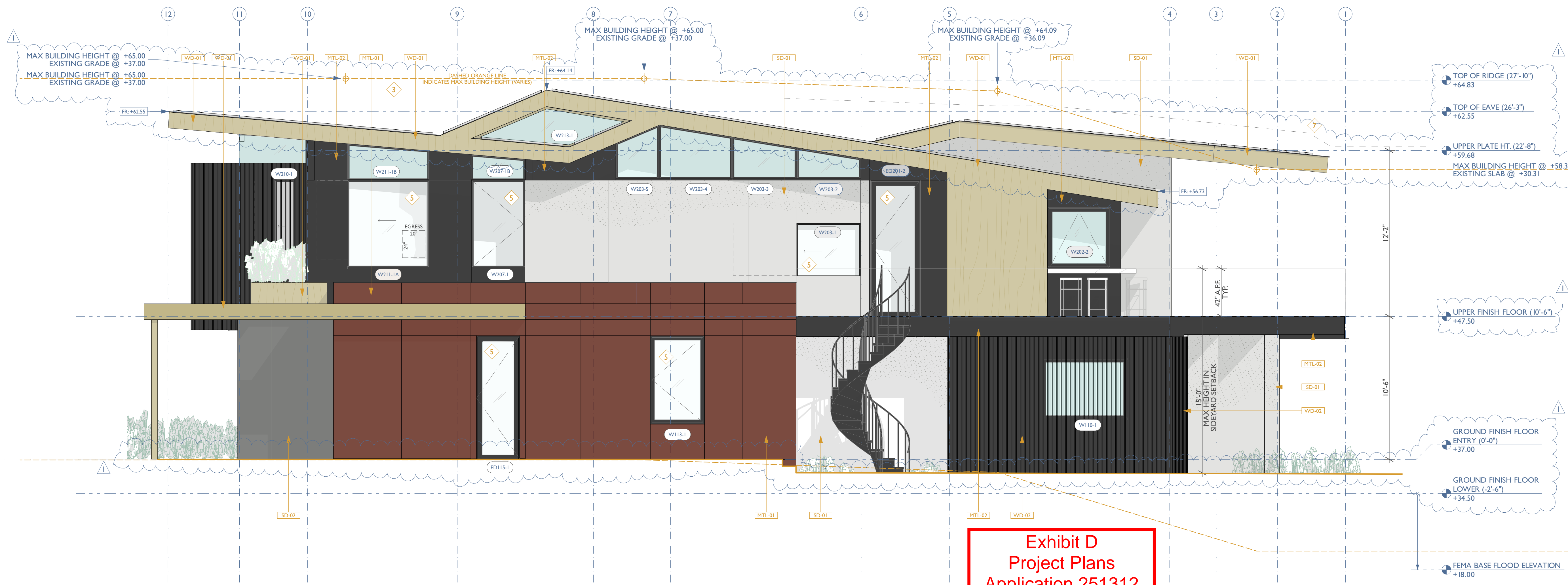


Exhibit D  
Project Plans  
Application 251312

**1 SIDE EXTERIOR ELEVATION (northeast)**  
SCALE: 1/4" = 1'-0"

**VUCKOVICH**  
RESIDENCE  
111 24th AVENUE  
SANTA CRUZ, CA 95062

**fuse** architects + builders  
512 Capitola Ave + Capitola + California + 95010  
fusearchitecture.com 831.479.9295

**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL

**Seal/Signature**

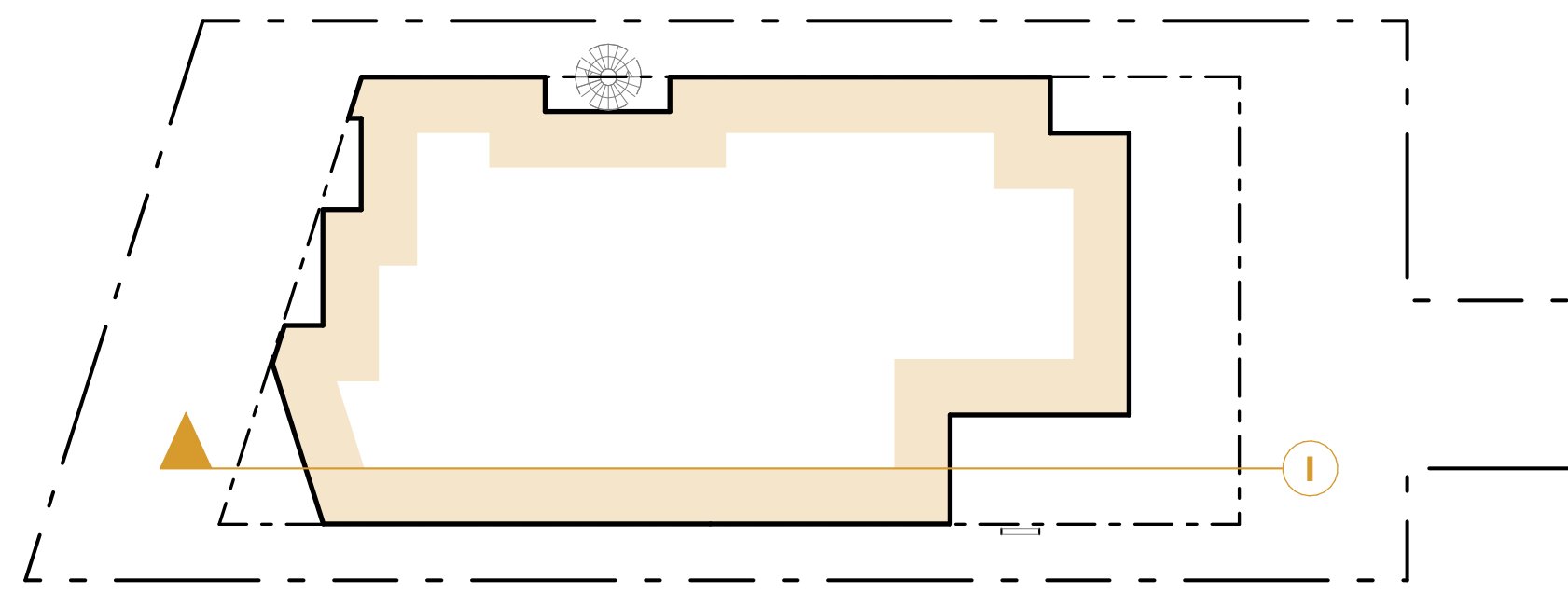
**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

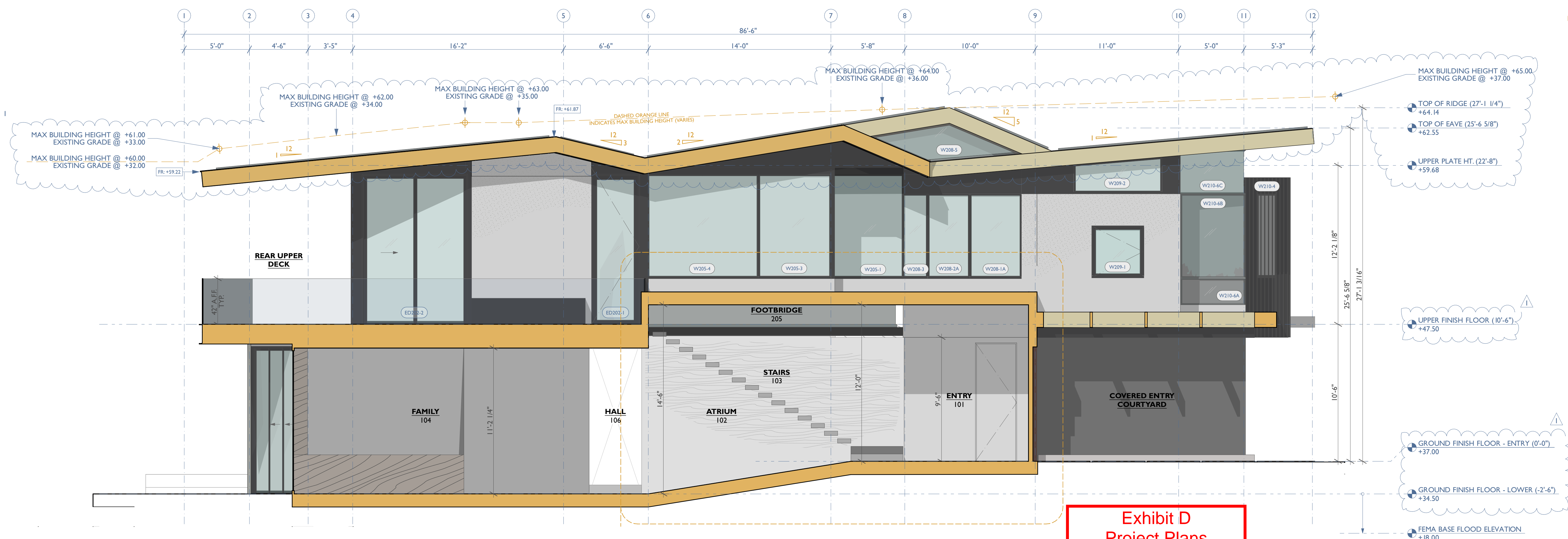
**Sheet Title**  
PROPOSED SIDE ELEVATION

**Scale**  
As Indicated

**ALL**  
COASTAL DEVELOPMENT PERMIT



**2 SECTION REFERENCE KEY PLAN**  
SCALE: 1/16" = 1'-0"



**Exhibit D**  
**Project Plans**  
**Application 251312**

**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL

**Seal/Signature**

**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
PROPOSED BUILDING SECTION

**Scale**  
As Indicated

**A12**

COASTAL DEVELOPMENT PERMIT



111 24th Avenue // PROPOSED FRONT ELEVATION RENDERING

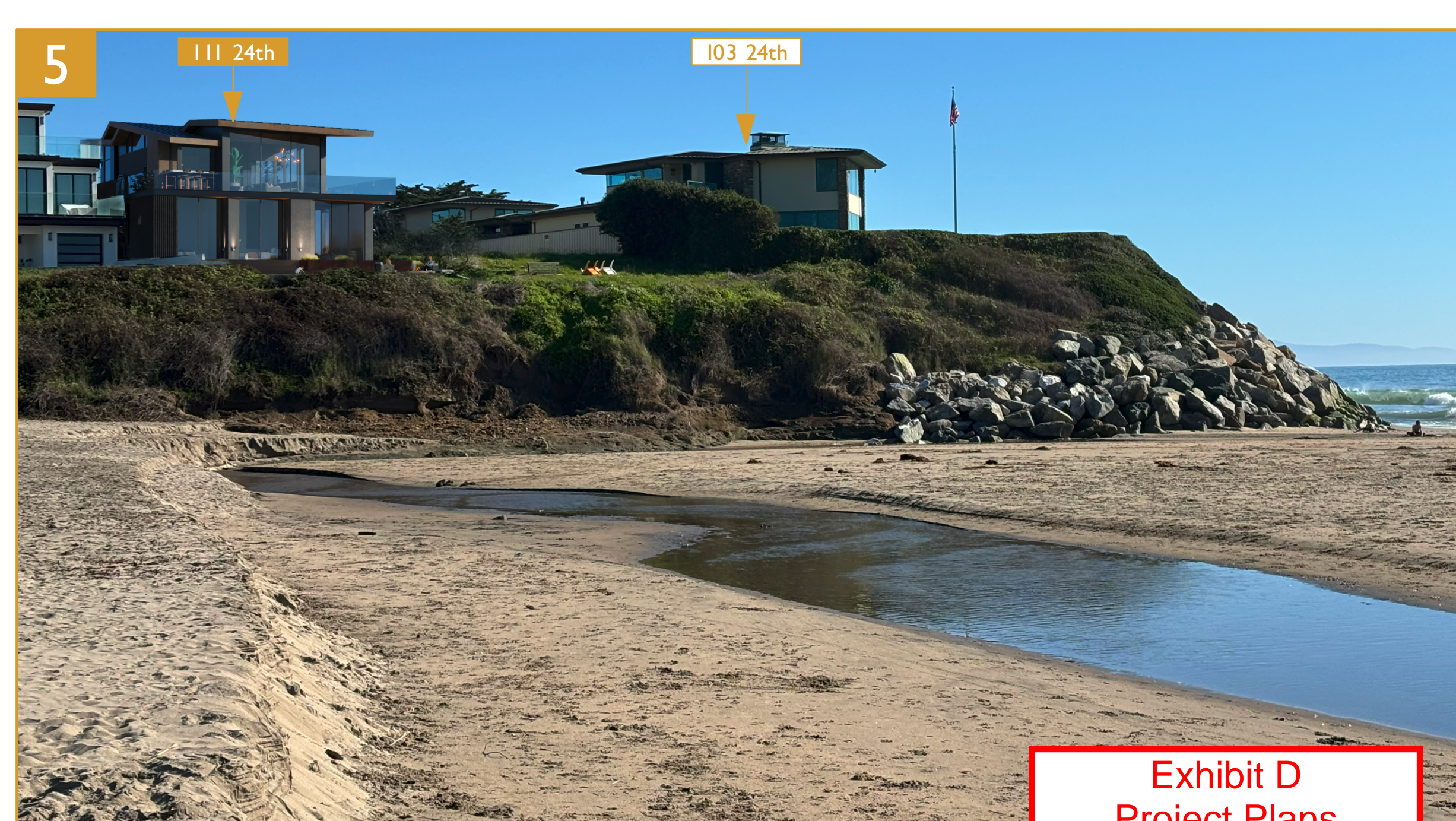


Exhibit D  
Project Plans  
Application 251312

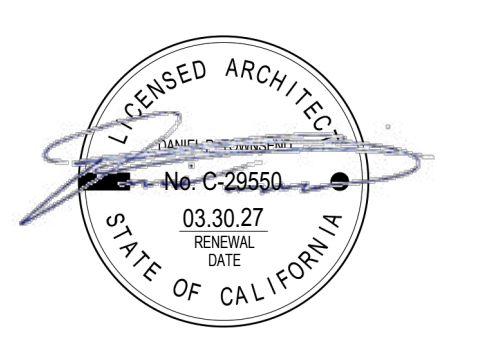
**VUCKOVICH**  
RESIDENCE  
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**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOP PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOP PERMIT RESUBMITTAL

Seal/ Signature



**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
NEIGHBORHOOD CONTEXT

**Scale**  
As Indicated

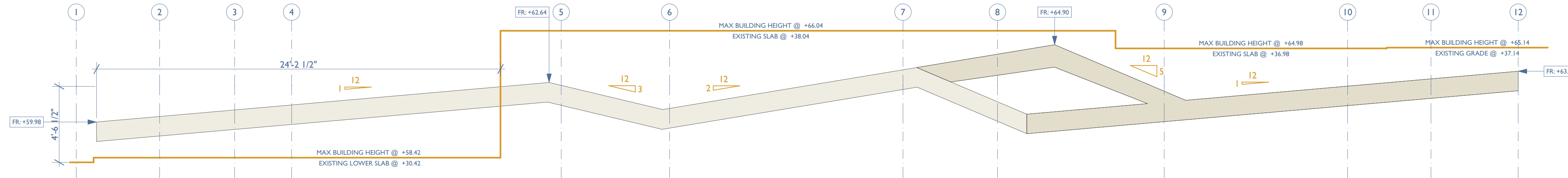
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COASTAL DEVELOPMENT PERMIT

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**FIRST STUDY:**

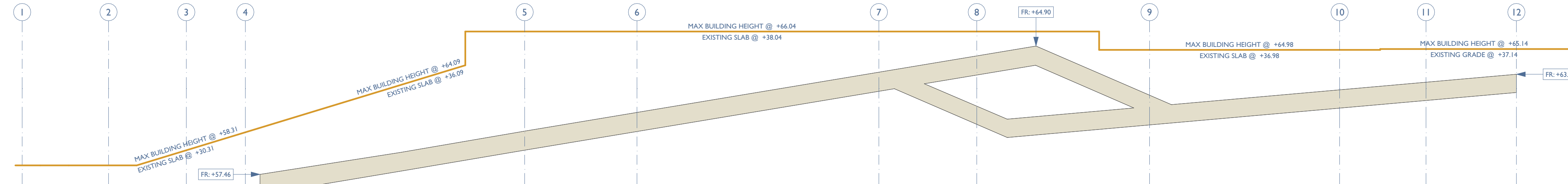
- REFERENCE: FROM EXISTING SLABS ON GRADE (GROUND & LOWER LEVEL)
- ACTION: LOWERED THE HOUSE 6-INCHES FROM PREVIOUS SUBMITTAL
- FINDING: HOUSE NON-COMPLIANT ABOVE <E> LOWER LEVEL



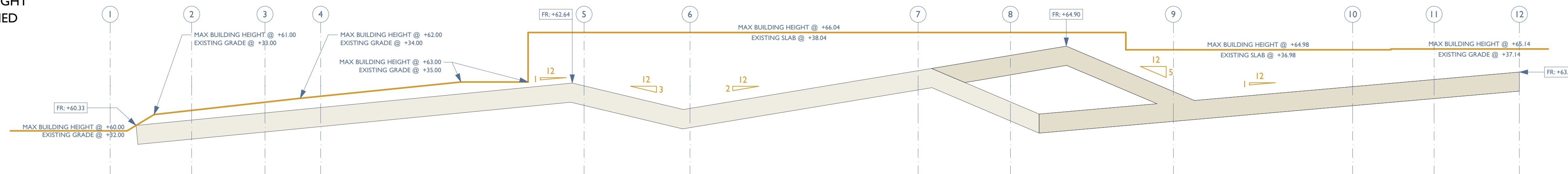
**ROOF PROFILE (SOUTHWEST ELEVATION)**

**SECOND STUDY:**

- REFERENCE: FROM EXISTING SLAB ON GRADE (GROUND LEVEL) AT EAST PART OF LOT AND FROM GRADE FOR PORTION OF SITE AT WEST PART OF LOT
- ACTION: LOWERED THE HOUSE 6-INCHES FROM PREVIOUS SUBMITTAL
- FINDING: HOUSE COMPLIANT BUT NOT AN ACCEPTABLE MEANS OF HEIGHT MEASUREMENT, PER DISCUSSION WITH EVAN DITMARS (PLANNER). BECAUSE LOT SLOPES 7- FEET FROM EAST TO WEST, AND BECAUSE LOT WAS EXTENDED TO THE SOUTH 10- FEET WHERE THERE IS NO EXISTING BUILDING TO REFERENCE HEIGHT FROM, A HYBRID APPROACH WAS STUDIED (USING EXISTING BUILDING AND TOPOGRAPHY AS DATUM POINTS).



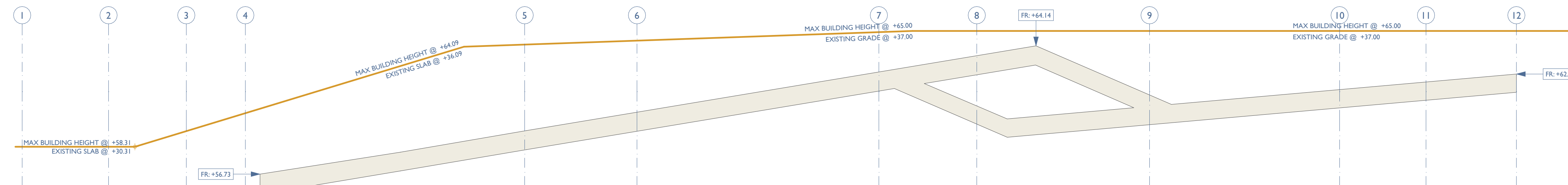
**ROOF PROFILE (NORTHEAST ELEVATION)**



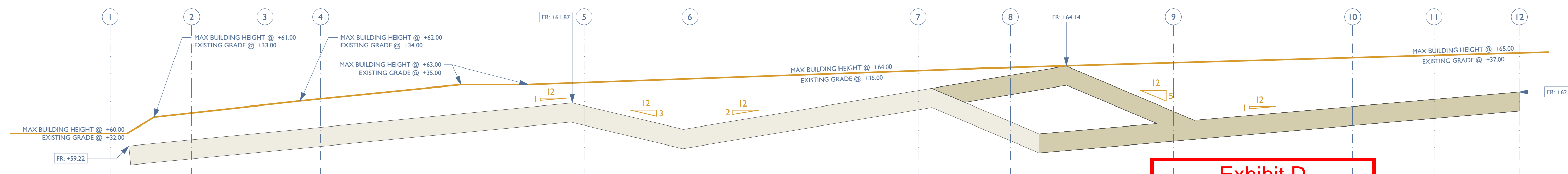
**ROOF PROFILE (SOUTHWEST ELEVATION)**

**THIRD STUDY:**

- REFERENCE: FROM EXISTING TOPOGRAPHY ALONG NORTH AND SOUTH OF LOT AS SITE SLOPES IN ALL DIRECTIONS (EAST > WEST; NORTH > SOUTH)
- ACTION: LOWERED THE HOUSE 6-INCHES FROM PREVIOUS SUBMITTAL AND LOWERED THE ROOF 9-INCHES FROM PREVIOUS SUBMITTAL
- FINDING: HOUSE COMPLIANT; THIS STRATEGY IS USED IN THE DRAWING SET



**ROOF PROFILE (NORTHEAST ELEVATION)**



**ROOF PROFILE (SOUTHWEST ELEVATION)**

Exhibit D  
Project Plans  
Application 251312

Project Submittal Record		
Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
△	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL

Seal/Signature



Project Name  
VUCKOVICH RESIDENCE

Accessor's Parcel Number  
APN #: 028-232-24

Sheet Title  
MAX HEIGHT DIAGRAMS

Scale  
As Indicated



COASTAL DEVELOPMENT PERMIT



**GENERAL NOTES**

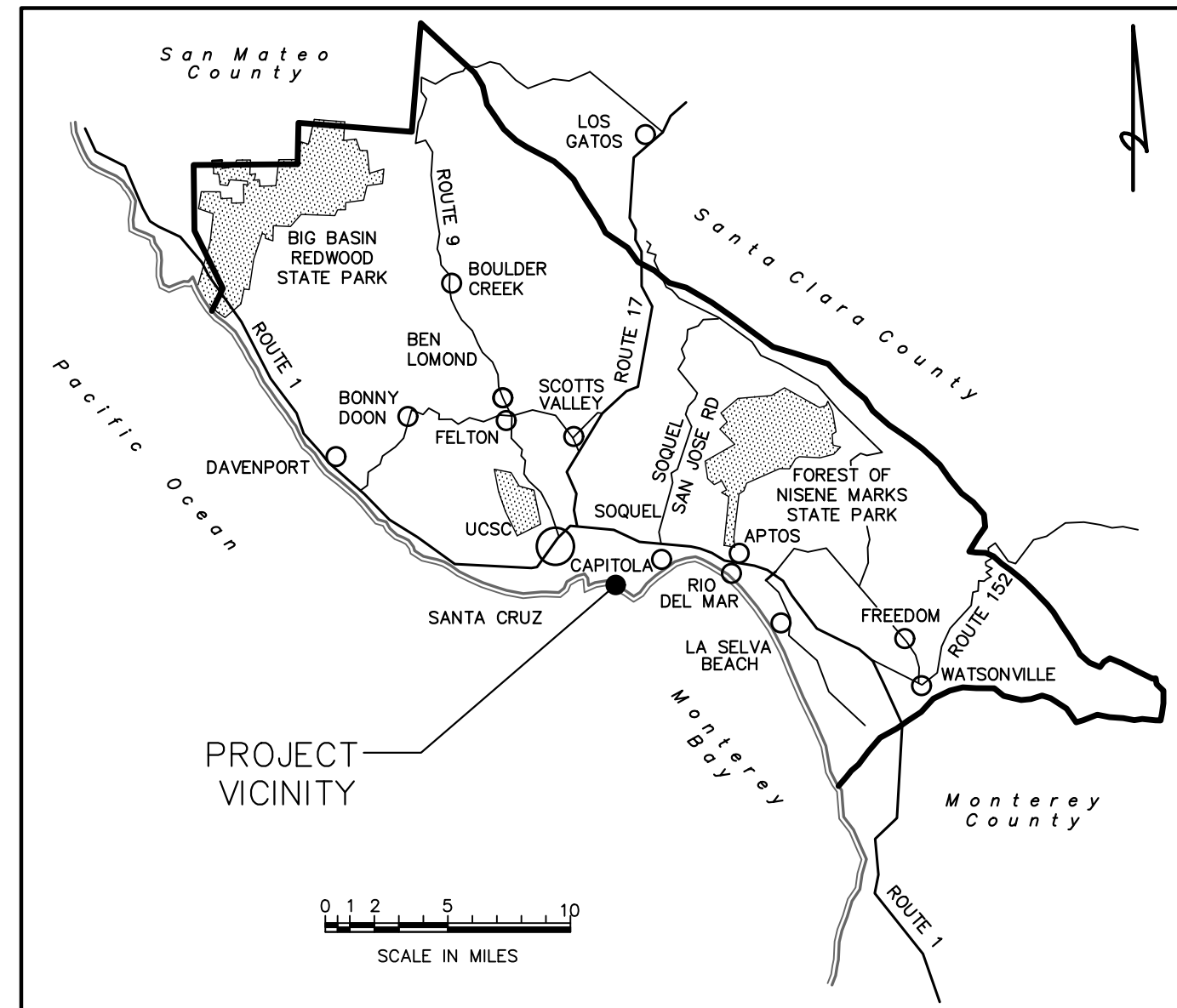
- 1) THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THEY ARE TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK.
- 2) THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN THEIR COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 3) ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- 4) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST APPLICABLE EDITION, THE LATEST EDITION OF THE COUNTY OF SANTA CRUZ DESIGN CRITERIA, THE CALIFORNIA BUILDING CODE AND ALL OTHER FEDERAL AND STATE LAWS.
- 5) NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE COUNTY OF SANTA CRUZ AND THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 6) ALL PERMITS, CITY, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 7) THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 8) THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE START OF GRADING CONSTRUCTION.
- 9) ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- 10) THE BUILDING OFFICIAL OR AN AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- 11) ALL CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LAND SURVEYOR OR CIVIL ENGINEER QUALIFIED TO PRACTICE CONSTRUCTION SURVEYING IN THE STATE OF CALIFORNIA.
- 12) IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE ENGINEER IN THE EVENT OF A CONFLICT.
- 13) THE CONTRACTOR SHALL NOTIFY THE BUILDING INSPECTOR FOR APPROVAL PRIOR TO POURING ANY CONCRETE.
- 14) THE CONTRACTOR SHALL DETERMINE THE REQUIRED INSPECTIONS AND THEIR TIMING. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL REQUIRED INSPECTIONS.
- 15) HOURS OF OPERATION FOR CONSTRUCTION RELATED ACTIVITY SHALL BE MONDAY THROUGH FRIDAY BETWEEN 8 A.M. AND 6 P.M. AND WITHIN THE INTERIOR OF THE BUILDING ON SATURDAYS UNLESS A SPECIFIC REQUEST IS MADE IN WRITING TO THE BUILDING OFFICIAL FOR OUTDOOR CONSTRUCTION ON SATURDAY. CONSTRUCTION STAGING AND DELIVERIES TO THE PROJECT SITE MAY OCCUR NO EARLIER THAN 7:30 A.M.
- 16) THE GEOTECHNICAL ENGINEER OF RECORD IS HARO, KASUNICH & ASSOCIATES, INC. SEE SOILS REPORT DATED MARCH 2025, PROJECT NUMBER SC12428.1, PREPARED FOR STAN VUCKOVICH, OWNER OF THE PROPERTY AT 111 24TH AVENUE.

**UNDERGROUND NOTES**

- 1) ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY AND HAVE COME FROM VARIOUS SOURCES OF RELIABILITY. UTILITIES WERE NOT LOCATED IN THE SURVEY. THEREFORE, CONTRACTOR IS TO HIRE A UTILITY LOCATOR PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. CONTRACTOR IS ADVISED TO CONTACT AN UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK (U.S.A. UNDERGROUND SERVICE ALERT) 800-642-2444), AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT. THE PROJECT INSPECTOR SHALL BE PRESENT WHILE THE UNDERGROUND SERVICE LOCATOR IS ONSITE.
- 2) CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
- 3) MATERIALS FOR PIPE, STORM WATER INLETS, CLEANOUTS, AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE UBC AND CPC SECTIONS, AND THESE PLANS AND DETAILS SHOWN HEREON.
- 4) ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS RECOMMENDATIONS.
- 5) STORM DRAIN TRENCH BACKFILL SHALL CONFORM TO COUNTY OF SANTA CRUZ STANDARD SPECIFICATIONS SECTION AND THE DETAILS SHOWN HEREON. JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
- 6) ANY TRENCHING OR DIGGING UNDER TREE CANOPIES SHALL BE DONE BY HAND IN ORDER TO PREVENT DAMAGE TO ROOTS. ROOTS THAT REQUIRE REMOVAL SHALL BE CUT CLEANLY WITH HAND TOOLS, USE WHITE LATEX PAINT ON CUTS GREATER THAN 3" IN DIAMETER.

**EARTHWORK AND GRADING NOTES**

- 1) WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS. EARTHWORK SHALL ALSO BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL SOILS REPORT.
- 2) ALL GRADING OPERATIONS SHALL BE DONE IN ACCORDANCE WITH "GEOTECHNICAL INVESTIGATION FOR NEW SINGLE-FAMILY RESIDENCE, 111 24TH AVENUE, SANTA CRUZ, CALIFORNIA, PREPARED FOR STAN VUCKOVICH" PREPARED BY HARO, KASUNICH & ASSOCIATES, INC. PROJECT NO. SC12428.1 PREPARED ON MARCH 2025. WORK SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS OF THE LATEST EDITION, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CITY OF SANTA CRUZ CODE.
- 3) THE CONTRACTOR SHALL NOTIFY THE PROJECT GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS.
- 4) THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
- 5) CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY, OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 6) THE EXCESS SOIL FROM GRADING OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED AT THE LOCAL LANDFILL, OR TAKEN TO A SITE WITH AN ACTIVE GRADING PERMIT.
- 7) IF ARCHEOLOGICAL RESOURCES OR HUMAN REMAINS ARE ACCIDENTALLY DISCOVERED DURING THE CONSTRUCTION OF THE IMPROVEMENTS, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- 8) AFTER THE EARTHWORK OPERATIONS HAVE BEEN COMPLETED AND THE GEOTECHNICAL ENGINEER HAS FINISHED HIS/HER OBSERVATIONS OF THE WORK, NO FURTHER EARTHWORK OPERATIONS SHALL BE PERFORMED EXCEPT WITH THE APPROVAL OF AND UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.



LOCATION MAP

**STORM DRAIN INSPECTION & MAINTENANCE**

**DRAIN INLETS AND EXISTING SWALES**

- 1) PRIOR TO THE ONSET OF THE RAINY SEASON (OCT 1ST) AND SUBSEQUENT TO LARGE RAIN EVENTS THE OWNER SHALL INSPECT ALL GRATES AND INLETS TO ENSURE SYSTEM IS NOT BLOCKED AND IN OPERATING ORDER.
  - A. INSPECT GRATES – REMOVE ANY DEBRIS ON OR AROUND GRATE
  - B. INSPECT INLETS – REMOVE ANY DEBRIS BY HAND OR VACUUM
- 2) ANY DEBRIS REMOVED FROM SD SYSTEM SHALL BE DISPOSED OF AT COUNTY LANDFILL.
- 3) THE OWNER(S) SHALL RECORD ALL INSPECTIONS, MAINTENANCE AND REPAIRS PERFORMED.

**BUILDING AND GROUND MAINTENANCE**

- 1) DURING THE BUILDING AND GROUND MAINTENANCE, CARE MUST BE TAKEN TO PREVENT SEDIMENT AND DEBRIS FROM RUNNING INTO THE DRAIN INLETS AND SWALE AREAS.
- 2) BUILDING AND GREEN WASTE MATERIAL SHALL BE STORED SEPARATELY AT THE WASTE DISPOSAL LOCATION AWAY FROM THE DRAIN INLETS AND SWALE AREAS.

**VECTOR CONTROL**

- 1) INSPECT ALL DRAIN INLETS 48 HOURS AFTER RAIN EVENTS TO ASSESS WATER PONDING FOR VECTOR CONTROL.
- 2) IF PROLONGED WATER PONDING IS IDENTIFIED IN EXCESS OF 48 HOURS, THE OWNER SHALL IMPLEMENT VECTOR CONTROL TO SUPPRESS/PREVENT VECTOR PRODUCTION PER THE LOCAL AGENCY GUIDELINES.

**OBSERVATION BY THE CIVIL ENGINEER**

OBSERVATION IS REQUIRED BY THE CIVIL ENGINEER AT THE FOLLOWING CONSTRUCTION MILESTONES:

- 1) INSPECTIONS AREA REQUIRED DURING THE INSTALLATION OF THE STORM DRAINAGE SYSTEM.
- 2) INSPECTION REQUIRED DURING THE INSTALLATION OF THE SUB-DRAINS.
- 3) INSPECTION REQUIRED PRIOR TO THE BACK FILL OF STORM DRAINAGE SYSTEM AND SUB-DRAINS.

THE ENGINEER SHALL BE NOTIFIED FOUR (4) DAYS IN ADVANCE OF ABOVE MILESTONES.

**OBSERVATION BY THE GEOTECHNICAL ENGINEER**

OBSERVATION AND/OR TESTING IS REQUIRED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING MILESTONES:

- 1) UPON COMPLETION OF THE CIVIL PLAN SET.
- 2) GRADING OPERATIONS AND FOUNDATION EXCAVATIONS AT THE SITE.
- 3) DRAINAGE PREPARATIONS, AND DISCHARGE AREAS.

THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED FOUR (4) DAYS IN ADVANCE OF ABOVE MILESTONES.

**SUBMITTALS TO THE ENGINEER**

CUT SHEETS FOR THE MATERIALS BELOW:

- 1) BUBBLER
- 2) NDS AREA DRAINS
- 3) CATCH BASINS
- 4) STORM DRAINAGE
- 5) DISSIPATOR
- 6) CONCRETE
- 7) STRAW WATTLES
- 8) SILT FENCE
- 9) AGGREGATE BASE/ROCK
- 10) PERVIOUS PAVERS
- 11) IMPERMEABLE LINER

Exhibit D  
Project Plans  
Application 251312

# VUCKOVICH RESIDENCE

## NEW SINGLE-FAMILY RESIDENCE

111 24TH AVENUE  
SANTA CRUZ, CALIFORNIA

**SURVEY DISCLAIMER:**

THE TOPOGRAPHIC AND BOUNDARY SURVEY DATA USED AS THE BASE OF THE 111 24TH AVENUE NEW SINGLE-FAMILY RESIDENCE PROJECT WAS CONDUCTED BY KIER+WRIGHT ON FEBRUARY, 2025.

**BUILDING PERMIT CONDITIONS:**

ALL CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE APPROVED PLANS FOR THE BUILDING PERMIT. PRIOR TO FINAL BUILDING INSPECTION, THE APPLICANT/OWNER MUST MEET THE FOLLOWING CONDITIONS:

- 1) ALL SITE IMPROVEMENTS SHOWN ON THE FINAL APPROVED BUILDING PERMIT PLANS SHALL BE INSTALLED.
- 2) ALL INSPECTIONS REQUIRED BY THE BUILDING PERMIT SHALL BE COMPLETED TO THE SATISFACTION OF THE COUNTY BUILDING OFFICIAL.
- 3) THE PROJECT MUST COMPLY WITH ALL RECOMMENDATIONS OF THE APPROVED SOILS REPORTS.
- 4) PURSUANT TO SECTIONS 16.40.040 AND 16.42.080 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.040 AND 16.42.080, SHALL BE OBSERVED.

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IN	INCHES
ACI	AMERICAN CONCRETE INSTITUTE	INV	INVERT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	JT	JOINT TRENCH
AP	ANGLE POINT	LF	LINEAR FEET
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	LT	LEFT
BC	BEGIN CURVE	MAX	MAXIMUM
BG	BOTTOM OF GRAVEL	MIN	MINIMUM
BM	BOTTOM OF MEDIA	NOAA	NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
BW	BACK OF WALL	NTS	NOT TO SCALE
BS	BOTTOM OF STEP	OC	ON CENTER
CB	CATCH BASIN	(P), P	PROPOSED
CBC	CALIFORNIA BUILDING CODE	PCC	PLAIN CEMENT CONCRETE
CF	CUBIC FEET	PTDF	PRESSURE TREATED DOUGLAS FIR
CL	CENTERLINE	PERF	PERFORATED PIPE
COSC	CITY OF SANTA CRUZ	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVMT	PAVEMENT
DF	DOUGLAS FIR	R=	RADIUS
DTL	DETAIL	RC	RELATIVE COMPACTION
DS	DOWNSPOUT	RIM	RIM ELEVATION
EC	END CURVE	RT	RIGHT
EG	EXISTING GRADE	S=	SLOPE
ELEV, EL	ELEVATION	SCWD	SANTA CRUZ WATER DEPARTMENT
EOR	ENGINEER OF RECORD	SD	STORM DRAIN
EW	EACH WAY	SDCO	STORM DRAIN CLEAN OUT
(E), EX	EXISTING	SSCO	SANITARY SEWER CLEAN OUT
FD	FIRE DEPARTMENT	STA	STATION
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE	TG	TOP OF GRAVEL
FL	FLOWLINE	TM	TOP OF MEDIA
FS	FINISHED SURFACE	TP	TOP OF PAVEMENT
FT	FEET	TF	TOP OF FOOTING
FW	FACE OF WALL	TW	TOP OF WALL
GR	GRATE	TYP	TYPICAL
HP	HIGH POINT	UBC	UNIFORM BUILDING CODE
		UNO	UNLESS NOTED OTHERWISE
		WWPA	WESTERN WOOD PRODUCTS ASSOCIATION

**CIVIL SHEET INDEX**

C0.0	COVER SHEET
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	STORMWATER MANAGEMENT PLAN
C3.2	GRADING AND DRAINAGE SECTIONS AND PROFILES
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C5.1	EROSION CONTROL DETAILS
C6.0	CIVIL PLAN DETAILS

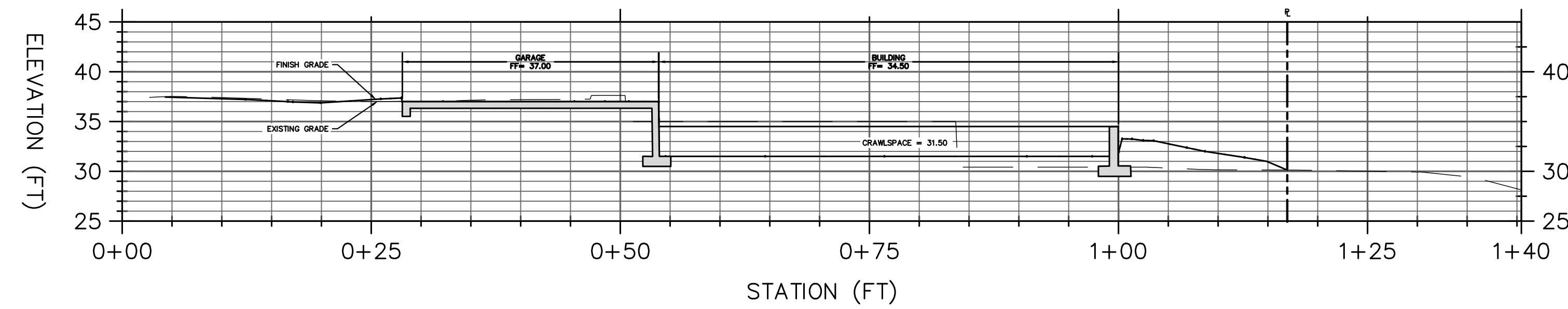
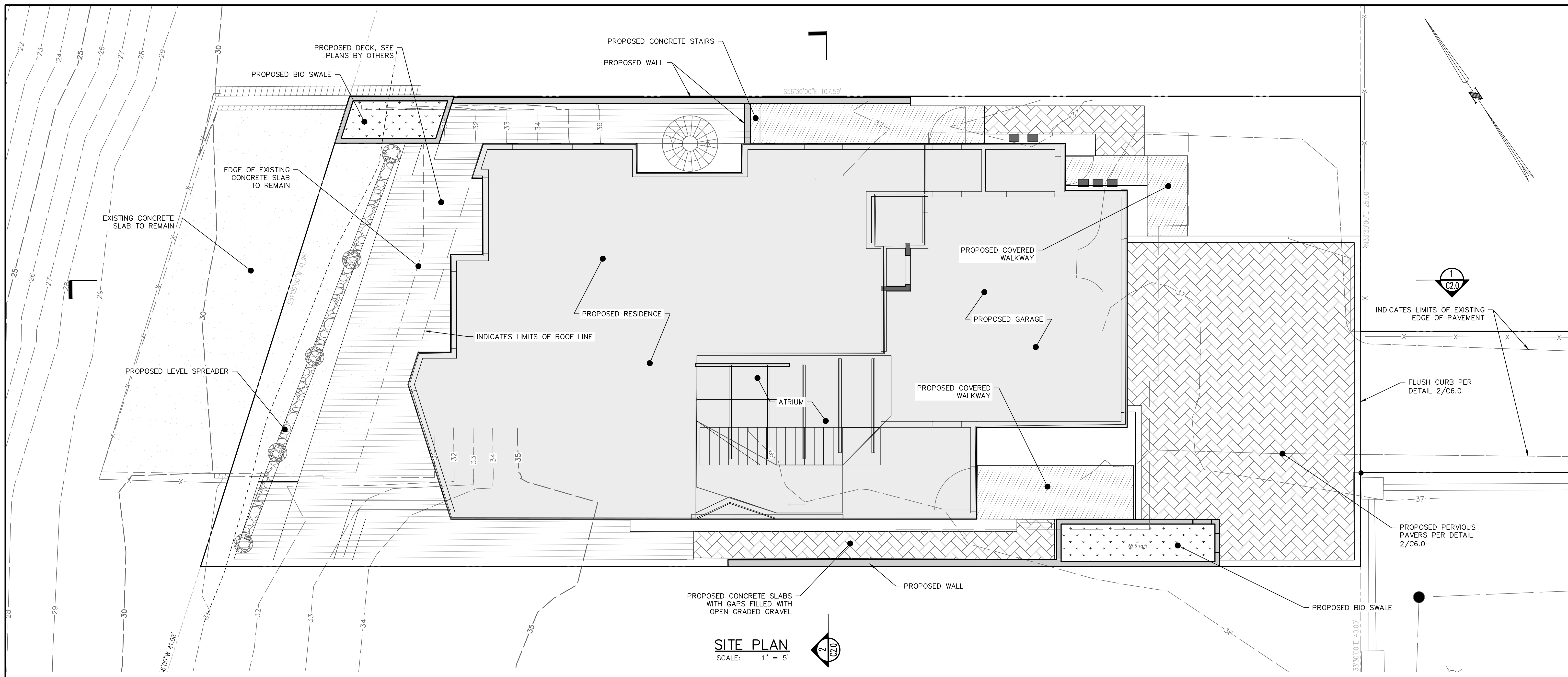


**DISCLAIMER**

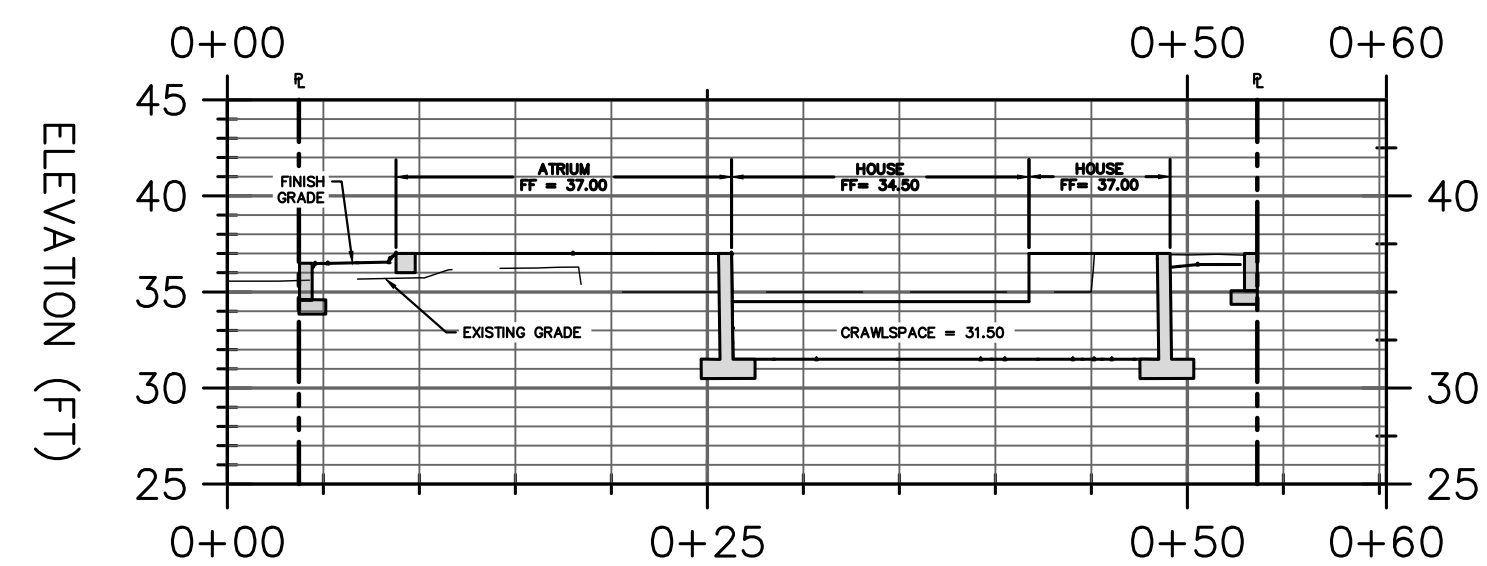
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF BOWMAN & WILLIAMS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE ENGINEER. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ENGINEER. UNAUTHORIZED USE IS PROHIBITED.

APN 028-263-16

REVISIONS		COVER SHEET	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		111 24TH AVENUE SITE IN SANTA CRUZ COUNTY, CALIFORNIA	
SCALE AS SHOWN	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RO 2-F	C0.0
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10



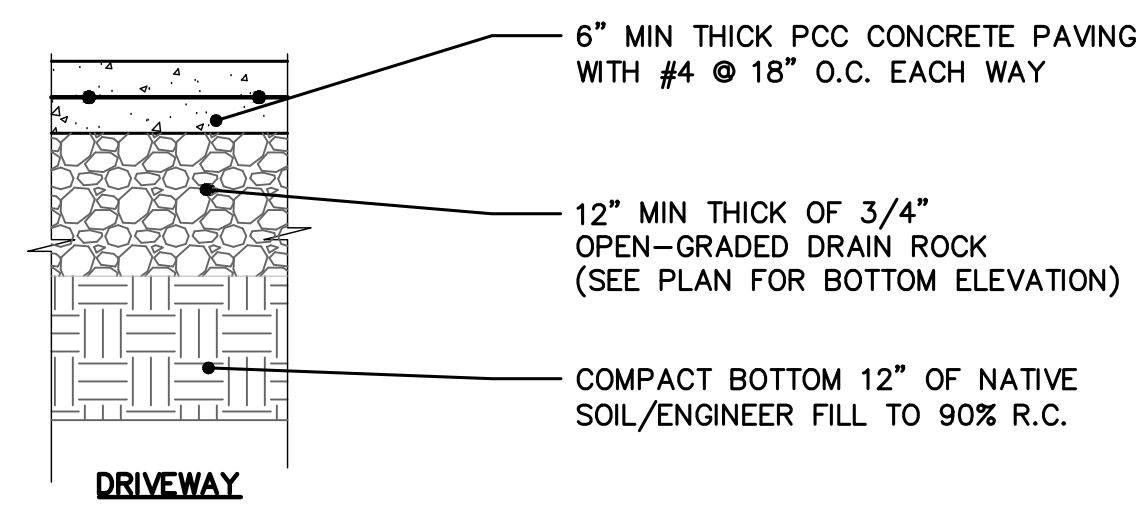
1  
C2.0



2  
C2.0

1  
C2.0

**RESIDENTIAL CONCRETE SECTIONS**



SCALE: NTS

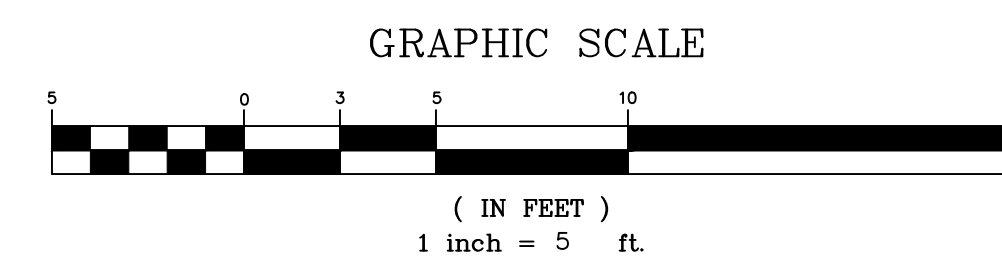
**LEGEND**

- ROOF LINE
- BOUNDARY LINE
- - - -35- EXISTING MAJOR CONTOUR
- - - -37- EXISTING MINOR CONTOUR
- PROPOSED WALL
- WOOD DECK
- BIO SWALE
- SEMI-IMPERVIOUS PAVERS
- IMPERVIOUS WALKWAY

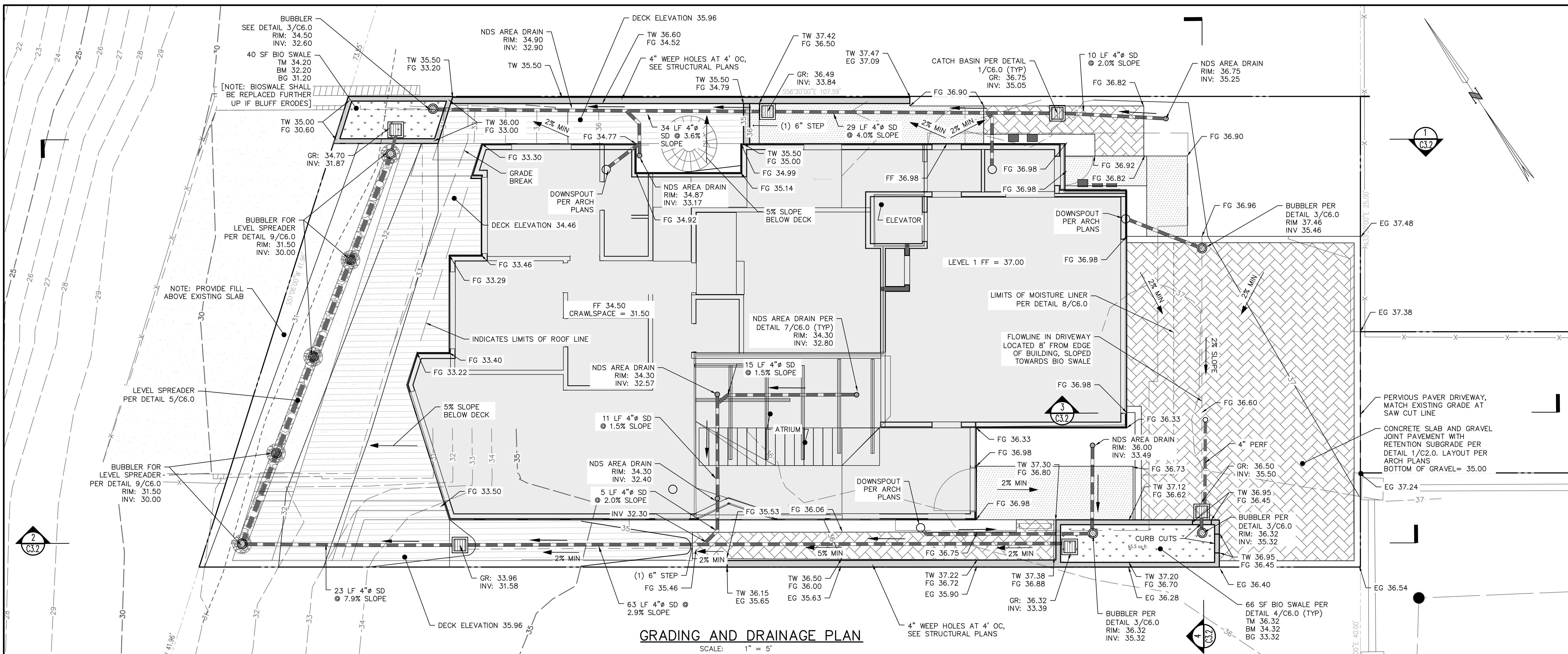
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APN 028-263-16

<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		<b>SITE PLAN</b>  111 24TH AVENUE SITUATE IN SANTA CRUZ COUNTY, CALIFORNIA	
SCALE 1" = 5' DATE 12/05/2025 DESIGN KB	DRAWN JUG CHECKED BRR DWG NAME CIVIL PLAN	JOB NO. 29563 INDEX RODEO RO 2-F FILE NO. 29563	SHEET <b>C2.0</b> OF 10



**Exhibit D**  
**Project Plans**  
**Application 251312**

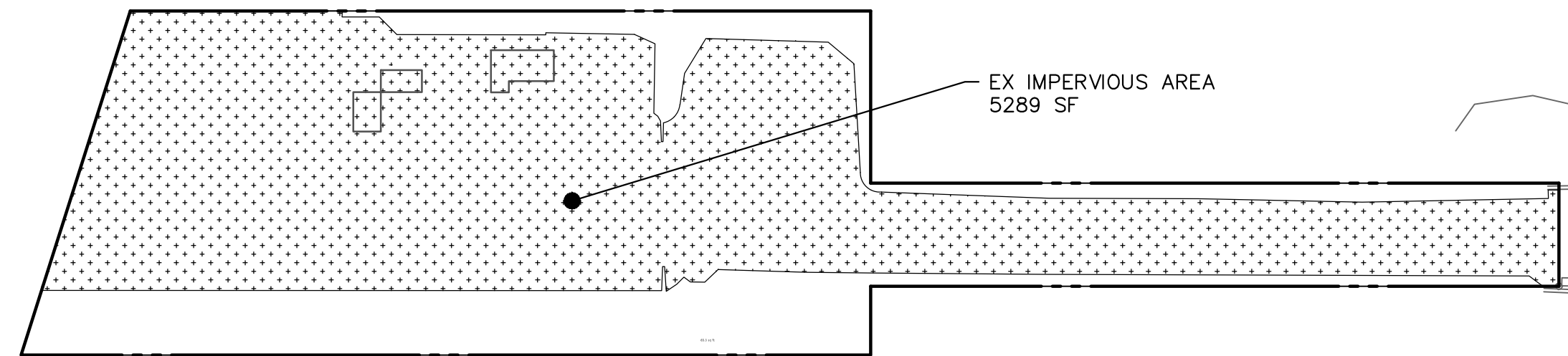


**GRADING AND DRAINAGE PLAN**

SCALE: 1" = 5'

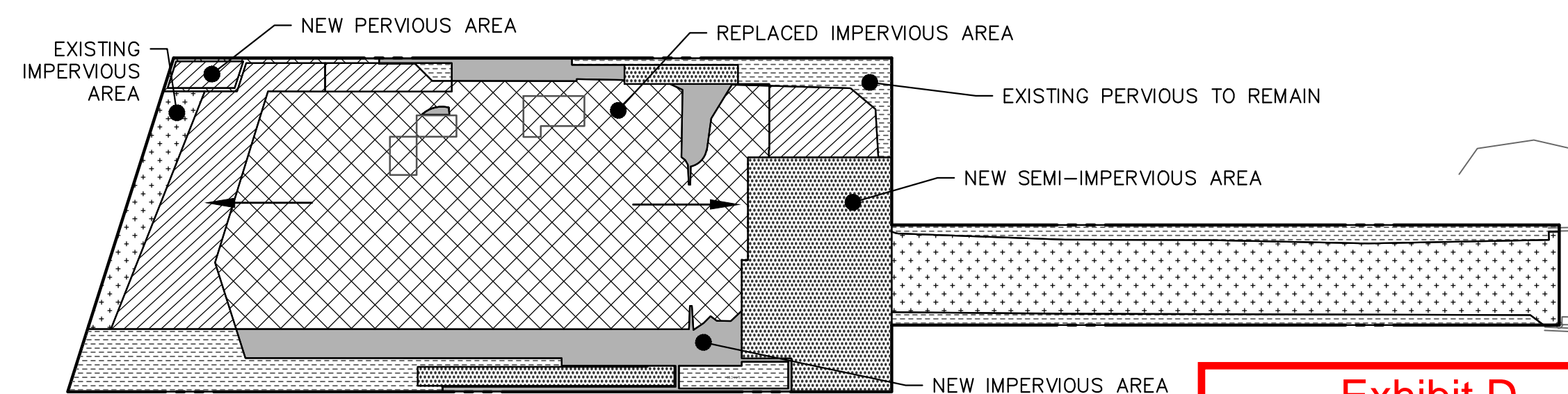
**LEGEND**

- ROOF LINE
- - - SAW CUT LINE
- STORM DRAIN LINE
- BUBBLER
- SDCO
- NDS AREA DRAIN
- ▭ CATCH BASIN
- FLOW DIRECTION
- BOUNDARY LINE
- SWALE CENTER LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ▭ PROPOSED WALL
- ▭ WOOD DECK
- ▭ BIO SWALE
- ▭ SEMI-IMPERVIOUS PAVERS
- ▭ IMPERVIOUS WALKWAY
- ▭ PLANTER AREA
- SECTION VIEW



**PRE-DEVELOPMENT**

SCALE: 1" = 20'



**POST-DEVELOPMENT**

SCALE: 1" = 20'

**GRADING CALCULATIONS**

**NOTES:**

- EARTHWORK VOLUMES SHOWN ARE FOR PERMITTING PURPOSES, EARTHWORK VOLUMES ARE TAKEN AS THE DIFFERENCE BETWEEN EXISTING GRADE AS SHOWN ON THE TOPOGRAPHIC SURVEY AND THE FINISH GRADES SHOWN HEREON (BUILDING GRADES HAVE BEEN ESTIMATED FROM THE AVAILABLE PHOTOS), ESTIMATES DO NOT INCLUDE FOUNDATION SPOILS, OR REMOVAL OF EXISTING SITE PAVEMENT.
- ACTUAL EARTHWORK VOLUMES MAY VARY, CONTRACTOR SHALL VERIFY THE EARTHWORK VOLUMES TO HIS/HER SATISFACTION PRIOR TO CONSTRUCTION
- ALL EXCESS EXCAVATION (EXPORT) SHALL BE OFF-HAULED FROM SITE AND DISPOSED AT AN APPROPRIATE LEGAL DISPOSAL SITE.

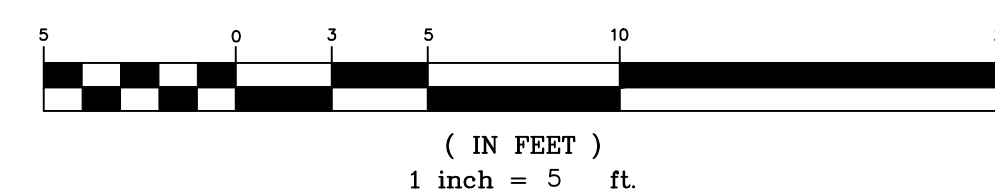
CUT	155 CY
FILL	110 CY
<b>NET ADJUSTED</b>	<b>45 CY</b>

**IMPERVIOUS AND PERVIOUS AREA**

	EXISTING IMPERVIOUS AREA TO REMAIN	1,290 SF
	REPLACED IMPERVIOUS AREA	2,980 SF
	NEW IMPERVIOUS AREA	574 SF
	EXISTING PERVIOUS AREA TO REMAIN	841 SF
	NEW PERVIOUS AREA	747 SF
	NEW SEMI-IMPERVIOUS AREA (SELF-RETAINING)	844 SF

TOTAL NEW AND REPLACED POST-DEVELOPMENT IMPERVIOUS	3,554 SF
TOTAL EXISTING IMPERVIOUS TO REMAIN	1,290 SF
TOTAL POST-DEVELOPMENT PERVIOUS	1,588 SF
TOTAL POST-DEVELOPMENT SEMI-IMPERVIOUS	844 SF

**GRAPHIC SCALE**



**STORMWATER MANAGEMENT SUMMARY**

- THE TOTAL ADDED IMPERVIOUS AREA, REPLACED IMPERVIOUS AREA, AND SEMI-IMPERVIOUS AREA (AREA X 0.5) FOR PROJECT SIZE DETERMINATION IS 3,785 SF WHICH CLASSIFIES AS A MEDIUM-SIZED PROJECT PER THE COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- SINCE PROJECT MOSTLY DRAINS DIRECTLY TO CORCORAN BEACH (PACIFIC OCEAN), THE PROJECT WILL ONLY INCLUDE BMP'S AND LID'S TO LIMIT POLLUTANTS AND HYDROLOGIC IMPACTS.
- LID/BMP MEASURES INCLUDE THE USE OF PERVIOUS PAVERS WITH GAPS TO ALLOW SURFACE WATER TO PENETRATE TO THE PERMEABLE LAYER BELOW THE PAVERS IN THE DRIVEWAY AND PATIO AREAS. DRAINAGE PRT OF THE ROOF WILL DRAIN TO THE PAVERS. DRAINAGE FROM THE ROOF AND PATIOS WILL DRAIN TO 2 BIOSWALES FOR STORMWATER TREATMENT.
- SAFE STORMWATER OVERFLOW IS INCORPORATED INTO THE DESIGN AT THE BIOSWALE AND DRAINAGE WILL BE DIRECTED TOWARD THE BEACH TO AVOID IMPACTING THE NEIGHBORS.
- POTENTIAL FUTURE IMPERVIOUS AREA FOR THE SHED HAS BEEN ACCOUNTED FOR IN THE DESIGN
- THERE ARE NO ANTICIPATED RUN-ON OR DRAINAGE ISSUES.

**DISCLAIMER**

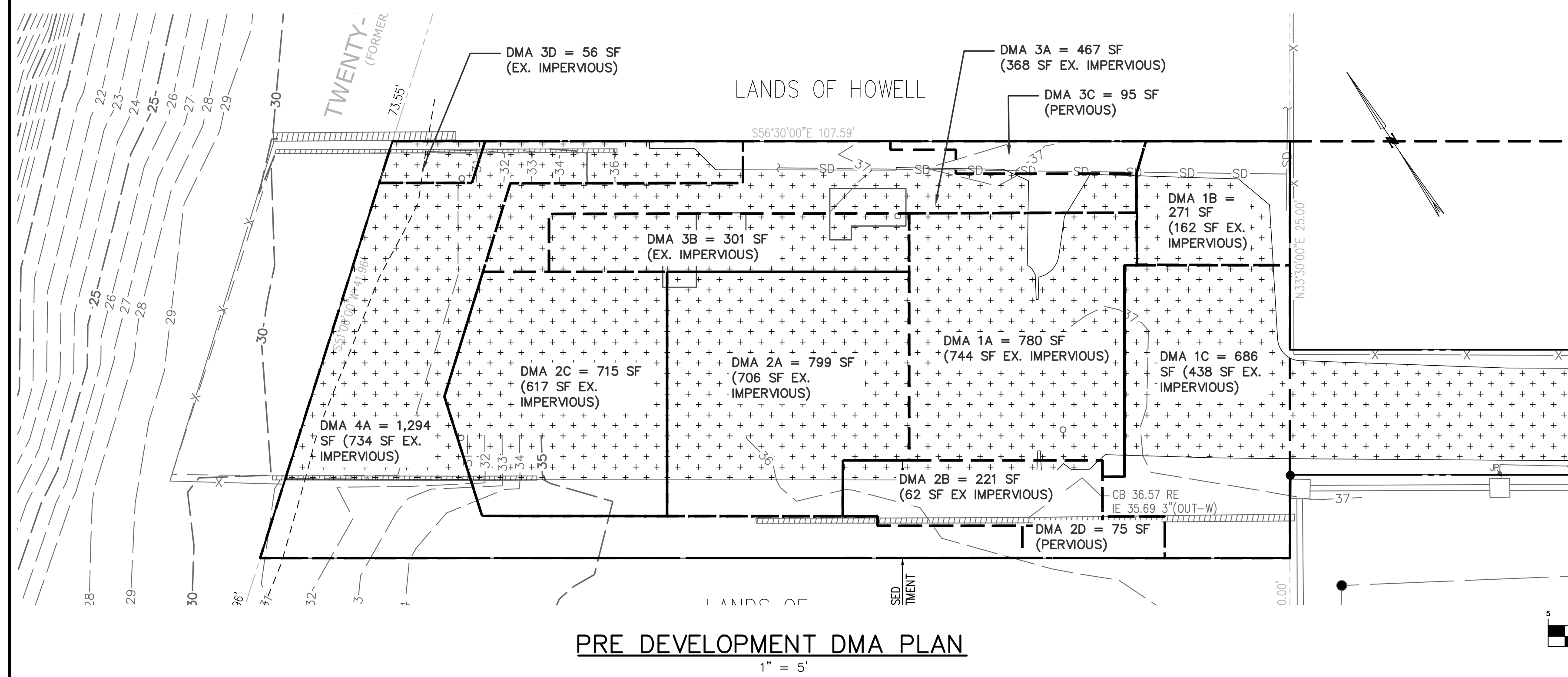
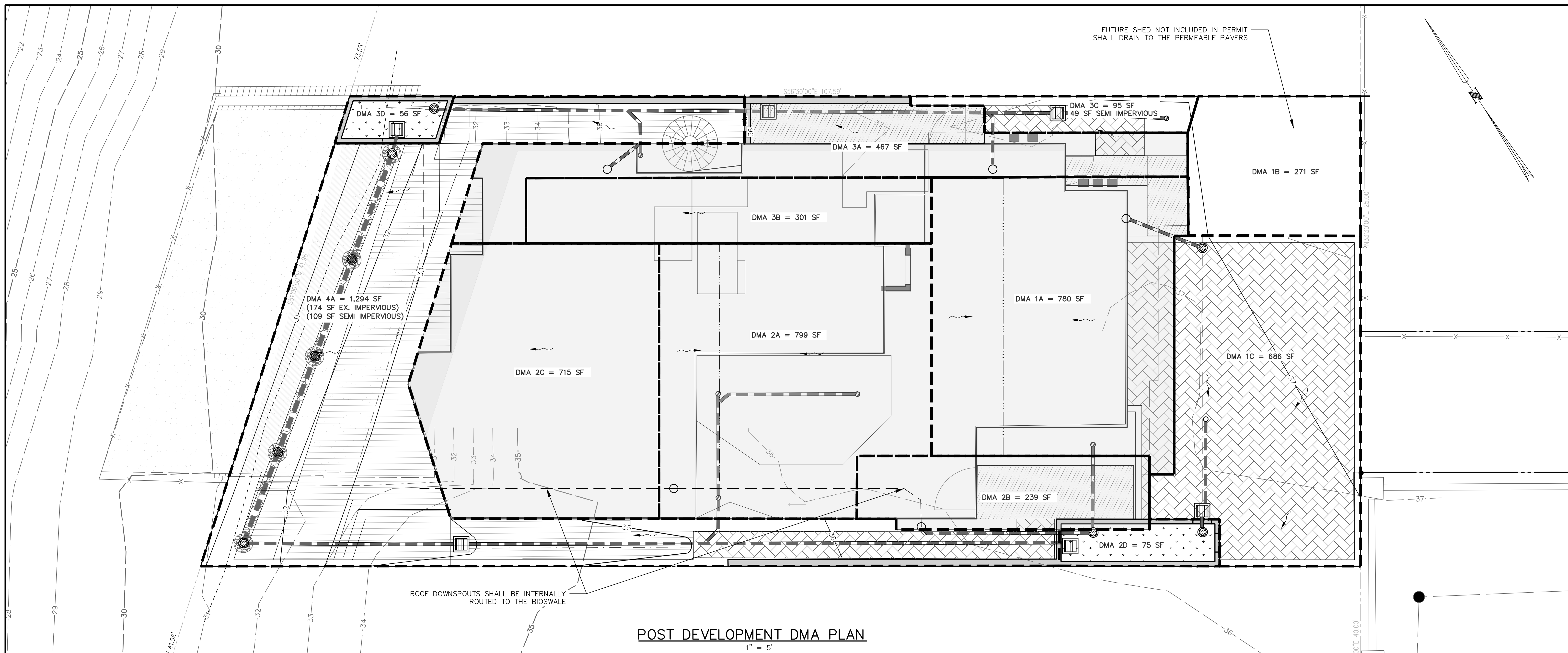
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APN 028-263-16



<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		<b>GRADING AND DRAINAGE PLAN</b>  111 24TH AVENUE SUITE 100 SANTA CRUZ COUNTY, CALIFORNIA	
SCALE AS SHOWN	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RD 2-F	C3.0
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10

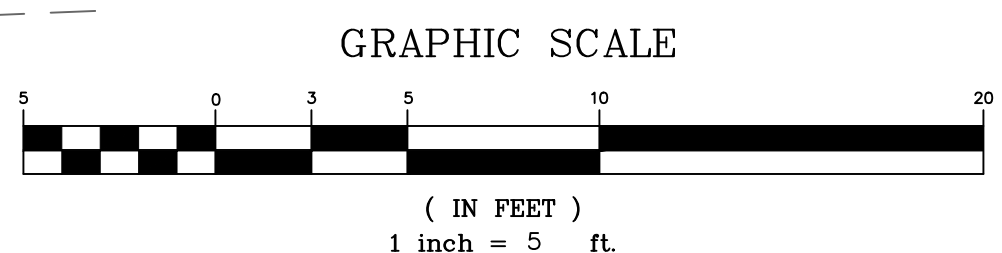
**Exhibit D**  
Project Plans  
Application 251312



**STORMWATER MITIGATION SUMMARY**

- DMA 1: THE IMPERVIOUS AREA SHALL DRAIN TO A SELF-RETAINING SEMI-IMPERVIOUS AREA. SIZED AT 2:1. THIS AREA OVERFLOWS TO DMA 2
- DMA 2: THE IMPERVIOUS AREA SHALL DRAIN TO A BIORETENTION AREA. SIZED AT 4%. THIS AREA OVERFLOWS TO AN ENERGY DISSIPATER
- DMA 3: THE IMPERVIOUS AREA SHALL DRAIN TO A BIORETENTION AREA. SIZED AT 4%. THIS AREA OVERFLOWS TO AN ENERGY DISSIPATER.
- DMA 4: THE MAJORITY OF THE IMPERVIOUS AREAS SHALL BE GRADED OVER WITH SAND AND IS UNABLE TO BE TREATED SO THE RUNOFF SHALL DRAIN TO PERVIOUS AREA.

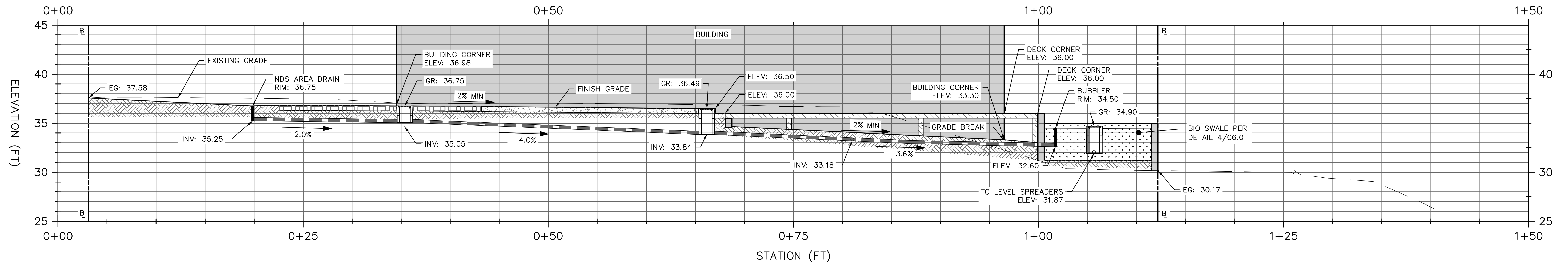
**Exhibit D**  
**Project Plans**  
**Application 251312**



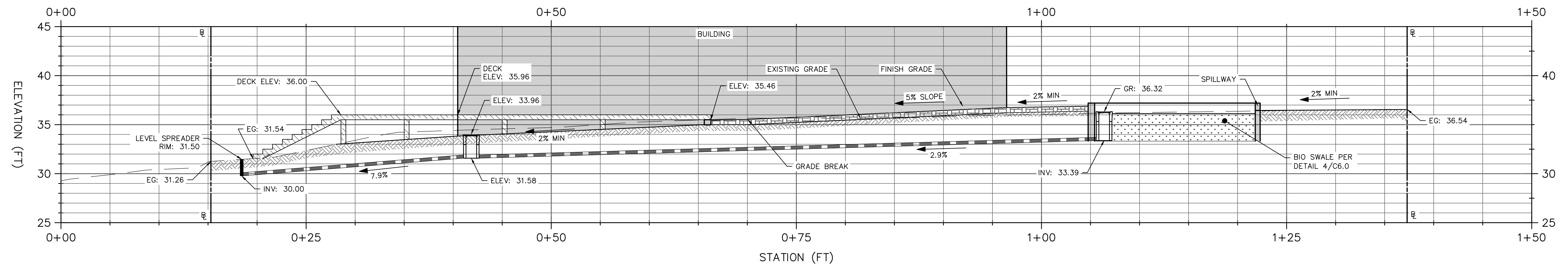
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APN 028-263-16			
REVISED			
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		<b>STORMWATER MANAGEMENT PLAN</b>	
111 24TH AVENUE SITUATE IN SANTA CRUZ COUNTY, CALIFORNIA			
SCALE AS SHOWN	DRAWN JUG	JOB NO. 29563	SHEET
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DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10

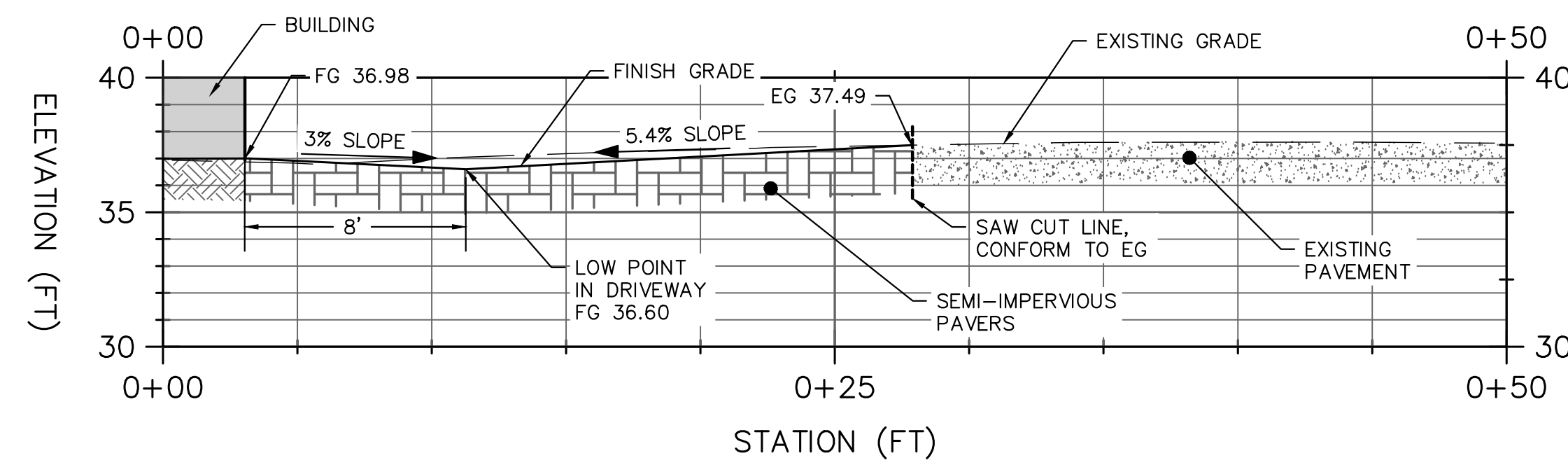
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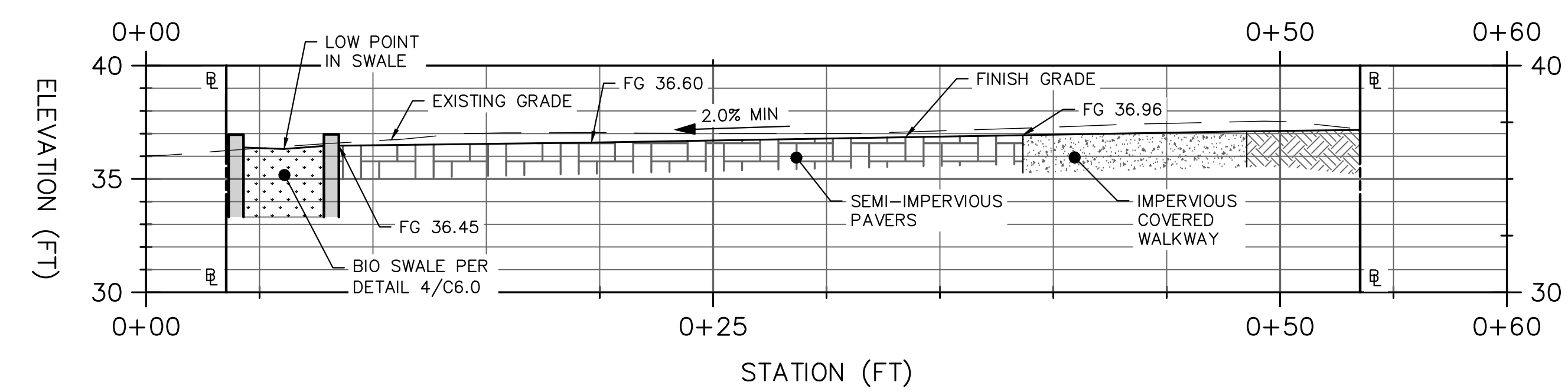
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C3.1  
**NORTH DRAINAGE PROFILE**  
SCALE: 1" = 5'



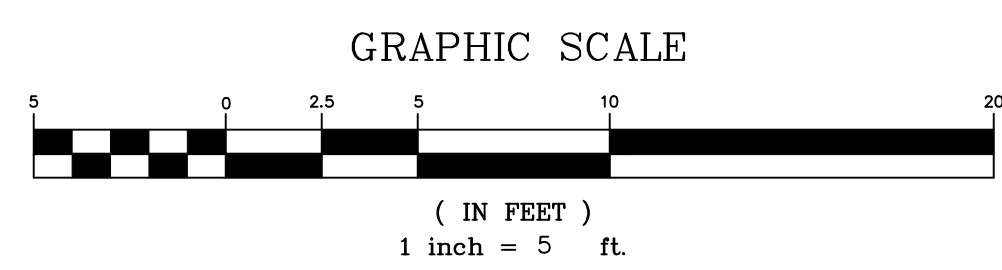
**2**  
C3.1  
**SOUTH DRAINAGE PROFILE**  
SCALE: 1" = 5'



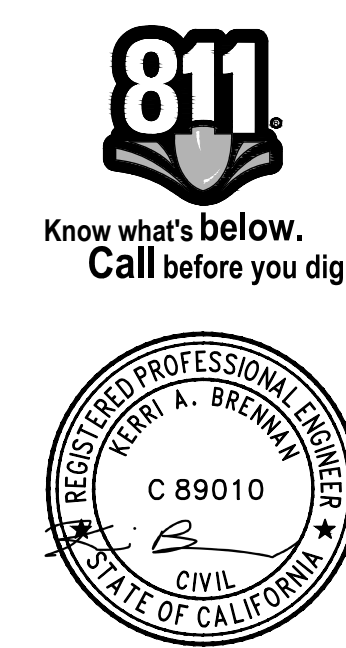
**3**  
C3.1  
**DRIVEWAY SECTION**  
SCALE: 1" = 5'



**4**  
C3.1  
**BIO SWALE AND DRIVEWAY SECTION**  
SCALE: 1" = 5'



**Exhibit D**  
**Project Plans**  
**Application 251312**

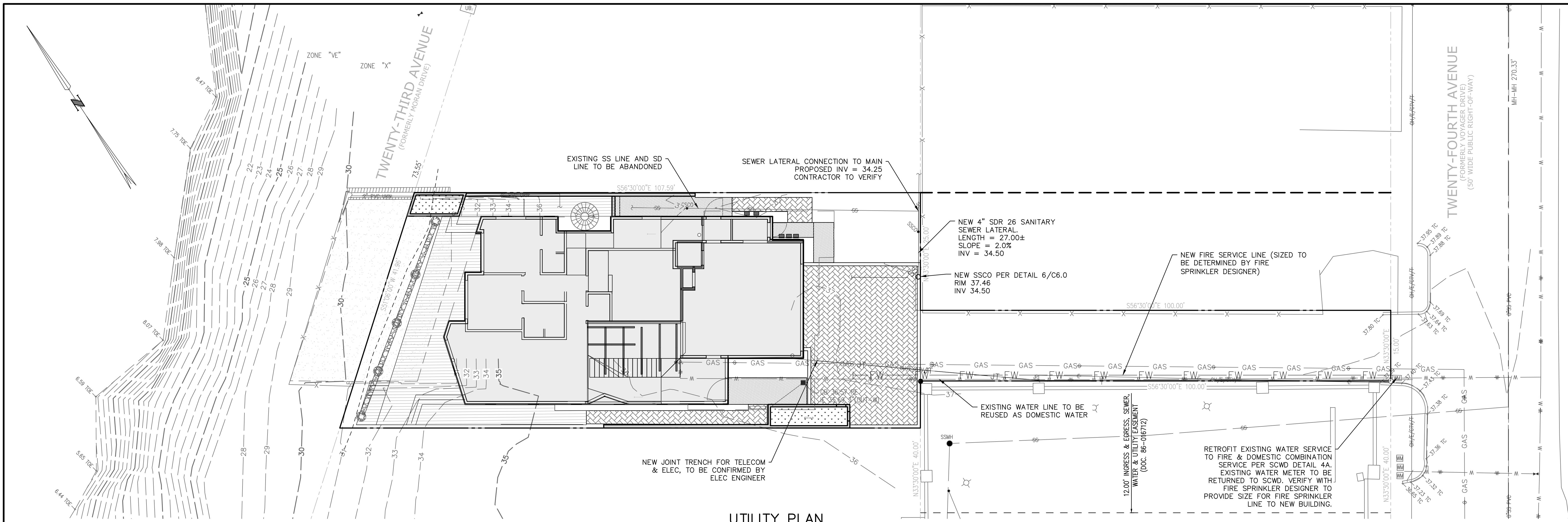


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APN 028-263-16

REVISION			
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<b>GRADING AND DRAINAGE SECTIONS AND PROFILES</b>			
111 24TH AVENUE SITUATE IN SANTA CRUZ COUNTY, CALIFORNIA			
SCALE 1" = 5'	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RD 2-F	C3.2
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10

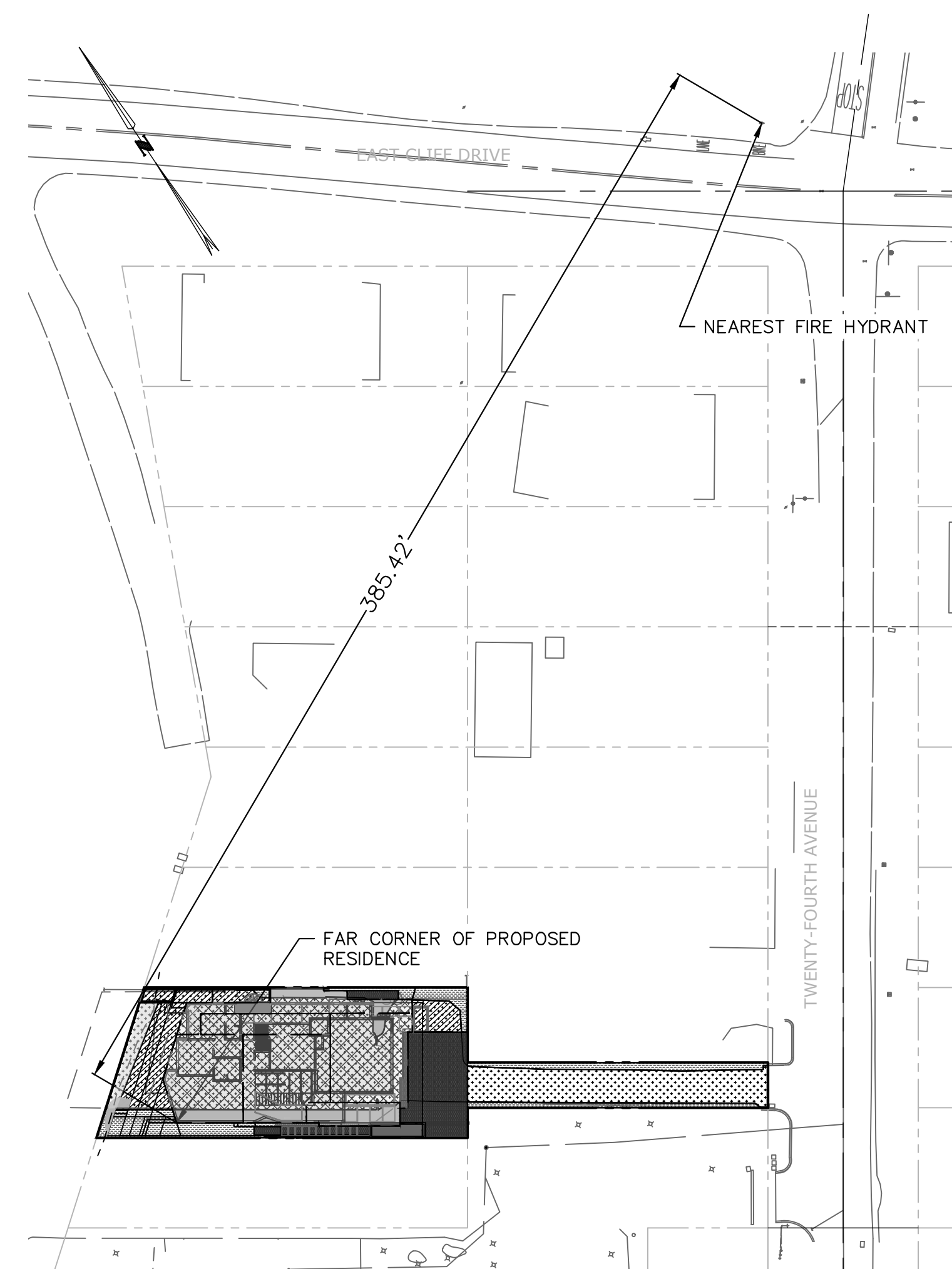
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**UTILITY PLAN**  
SCALE: 1" = 10'

**SANTA CRUZ COUNTY SANITATION DISTRICT NOTES**

- 1) ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
- 2) BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- 3) NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- 4) THE DIRECTOR OF PUBLIC WORKS OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- 5) THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.
- 6) THE CONTRACTOR SHALL NOTIFY THE SANITATION DISTRICT INSPECTOR BEFORE 9:00 A.M. AT LEAST 24 HOURS PRIOR TO THE CONNECTION OF ANY BUILDING SEWER TO THE SEWER LATERAL, OR TO THE ABANDONMENT THEREOF (IN THE CASE OF ABANDONMENTS, NO DEMOLITION PERMITS WILL BE ISSUED UNTIL SAID SEWER LINE HAS BEEN PROPERLY ABANDONED).
- 7) EACH NEW SANITARY SEWER LATERAL NOT IMMEDIATELY CONNECTED TO A BUILDING SHALL BE MARKED WITH A 2"x 4"x 5' REDWOOD STAKE MARKER, TO 12" ABOVE FINISH GRADE. AT THE END OF EACH NEW LATERAL STUB-OUT, AN 'S' SHALL BE PAINTED ON THE MARKER AND THE END OF EACH LATERAL SHALL BE PROPERLY CAPPED. ALL LATERALS INSTALLED IN NEW DEVELOPMENTS SHALL ALSO BE MARKED BY STAMPING AN "S" IN THE CURB JUST ABOVE THE LATERAL.
- 8) INSULATED COPPER WIRE (NO. 10) SHALL BE PLACED ALONG TOP OF ALL GRAVITY AND FORCE MAINS. THE WIRE SHALL RUN BETWEEN MANHOLES, CLEANOUTS, OR OTHER APPROPRIATE FACILITIES, BROUGHT TO THE SURFACE AND BOLTED OR OTHERWISE SECURELY AFFIXED TO THE MANHOLE OR CLEANOUT COVER OR OTHER APPROPRIATE METAL STRUCTURE.
- 9) UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY THE APPROPRIATE UTILITY AGENCY. CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED UTILITY LINES AND POTHoles THOSE AREAS WHERE POTENTIAL CONFLICTS ARE LIKELY OR DATA IS OTHERWISE INCOMPLETE.
- 10) ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- 11) LOCATE, ABANDON, AND MARK THE EXISTING SEWER LATERAL IN ACCORDANCE WITH DISTRICT REQUIREMENTS PRIOR TO DEMOLITION OF THE EXISTING RESIDENCE.
- 12) SANITARY SEWER MATERIAL TO BE SDR 26 MEETING THE REQUIREMENTS OF ASTM D3034 WITH ELASTOMERIC GASKET JOINTS THAT ARE OIL RESISTANT AND CONFORM TO ASTM F477.
- 13) THE EXISTING SEWER LATERAL SHALL BE PROPERLY ABANDONED PER SS-15 (INCLUDING INSPECTION BY SANITATION DISTRICT).
- 14) PRIOR TO BUILDING PERMIT SUBMITTAL, THE APPLICANT/OWNER IS REQUIRED TO VIDEO INSPECT ALL ON-SITE SEWER LATERALS AND MAKE REPAIRS TO ANY DAMAGED OR LEAKING PIPES THAT MIGHT REMAIN IN PLACE AFTER ABANDONMENT OF THE EXISTING LATERAL. UP TO AND INCLUDING THE EXISTING CONNECTION WITH THE ON-SITE PUBLIC SEWER MAIN. THIS INCLUDES ROOT INTRUSION, OPEN JOINTS, CRACKS OR BREAKS, SAGS, DAMAGED OR DEFECTIVE CLEANOUT, INFLOW AND INFILTRATION OF EXTRANEOUS WATER, OLDER PIPE MATERIALS THAT ARE KNOWN TO BE INADEQUATE, INADEQUATE LIFT OR PUMP STATIONS, INADEQUATE ALARM SYSTEMS FOR OVERFLOWS, AND INADEQUATE MAINTENANCE OF LIFT STATIONS. COLOR VIDEO RESULTS (DVD), OF A SUFFICIENT QUALITY TO OBSERVE INTERIOR PIPE CONDITION, JOINTS, SAGS AMONG OTHER ITEMS, SHALL BE MADE AVAILABLE TO THE DISTRICT FOR REVIEW, ALONG WITH THE DISTRICT CERTIFICATION FORM COMPLETED BY PLUMBER. THE DISTRICT SHALL REVIEW RESULTS WITHIN 10 WORKING DAYS OF SUBMITTAL TO THE DISTRICT. REPAIRS, AS REQUIRED BY THE DISTRICT, SHALL BE MADE WITHIN 90 WORKING DAYS OF RECEIPT OF VIDEO RESULT REVIEW. APPLICANT/OWNER SHALL OBTAIN A SEWER REPAIR PERMIT (NO CHARGE) FROM THE DISTRICT AND SHALL HAVE REPAIRS INSPECTED BY THE DISTRICT INSPECTOR PRIOR TO BACKFILLING OF PIPE OR STRUCTURE. (SANITATION DISTRICT CODE SECTION 7.04.375 PRIVATE SANITARY SEWER SYSTEM REPAIR).
- 15) A SEWER MAIN IS LOCATED ON THE PROPERTY, ANY IMPROVEMENTS IN THE EASEMENT WILL BE REMOVED IF THE SANITATION DISTRICT NEEDS TO REPLACE THE SEWER MAIN.
- 16) DESIGN AND CONSTRUCTION STANDARDS: THE PROJECT SEWER DESIGN AND CONNECTION OF THE PROJECT TO THE SANTA CRUZ COUNTY SANITATION DISTRICT SYSTEM WILL BE REQUIRED TO CONFORM TO THE COUNTY OF SANTA CRUZ DESIGN CRITERIA (CDC) 2024 EDITION.



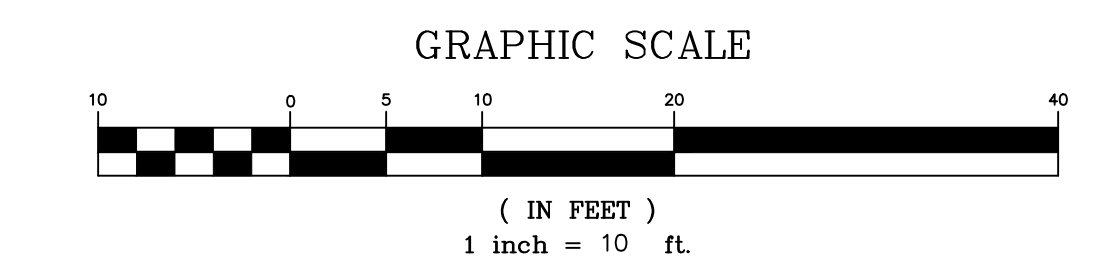
**FIRE PROTECTION PLAN**  
SCALE: 1" = 40'

**CITY OF SANTA CRUZ WATER DEPARTMENT NOTES**

- 1) ALL WORK ON THE WATER SYSTEM MUST BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST VERSION OF CITY OF SANTA CRUZ WATER DEPT (SCWD) STANDARD SPECIFICATIONS.
- 2) A MINIMUM OF 2 WORKING DAYS NOTICE SHALL BE GIVEN TO THE SCWD BEFORE CONSTRUCTION ON ANY PORTION OF THE WATER SYSTEM. OBTAIN ALL APPLICABLE WATER SYSTEM PERMITS AT THE SCWD OFFICE. CALL (831) 420-5210 FOR INFORMATION AND TO SCHEDULE WATER SERVICE, FIRE HYDRANT AND BACKFLOW ASSEMBLY INSPECTIONS.
- 3) MINIMUM SEPARATIONS FROM OTHER PARALLEL AND CROSSING UTILITIES MUST BE MAINTAINED PER CURRENT STANDARD TECHNICAL SPECIFICATIONS.
- 4) UTILITY LOCATIONS ARE APPROXIMATE. VERIFICATION OF ACTUAL UTILITIES AND LOCATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. CALL UNDERGROUND SERVICE ALERT AT LEAST TWO WORKING DAYS BEFORE DIGGING AT (800) 227-2600.
- 5) CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO WORKING DAYS NOTICE TO SCWD FOR INSPECTION OF SERVICES THAT ARE TO BE RETIRED, MODIFIED OR RELOCATED. CONTRACTOR SHALL EXPOSE CORPORATION STOPS FOR SCWD STAFF TO OPERATE. AN ACTIVE WATER METER MAYBE RELOCATED UP TO 8' HORIZONTALLY USING THE PIPE FREEZE METHOD OR BY TEMPORARILY CLOSING THE CORPORATION STOP. RETIRED METER BOXES ARE TO BE REMOVED BY CONTRACTOR AND ALL SIDEWALK & PAVING RESTORED. SERVICE LINES SHALL NOT BE CRIMPED AS A METHOD OF RETIREMENT OR SERVICE LINE MODIFICATION OR RELOCATION.
- 6) APPROVAL BY THE SCWD FOR THE FIRE SERVICE INSTALLATION SHALL BE FOR THE SERVICE LINE LOCATION AND THE CONNECTION TO THE CITY WATER SYSTEM. THE FIRE SERVICE SIZE AND DESIGN APPROVAL ARE THE RESPONSIBILITY OF THE LOCAL FIRE PROTECTION AGENCY.
- 7) TEMPORARY REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLATION(S) PER SCWD STANDARDS ARE REQUIRED FOR ALL CONSTRUCTION WATER USE.

**LEGEND**

- ROOF LINE
- BOUNDARY LINE
- 35- EXISTING MAJOR CONTOUR
- 37- EXISTING MINOR CONTOUR
- [Hatched] PROPOSED WALL
- [Dotted] WOOD DECK
- [Cross-hatched] BIO SWALE
- [Diagonal] SEMI-IMPERVIOUS PAVERS
- [Stippled] IMPERVIOUS WALKWAY
- FW FW FIRE WATER LINE
- JT JT JOINT TRENCH
- SS SS SANITARY SEWER LINE



**DISCLAIMER**

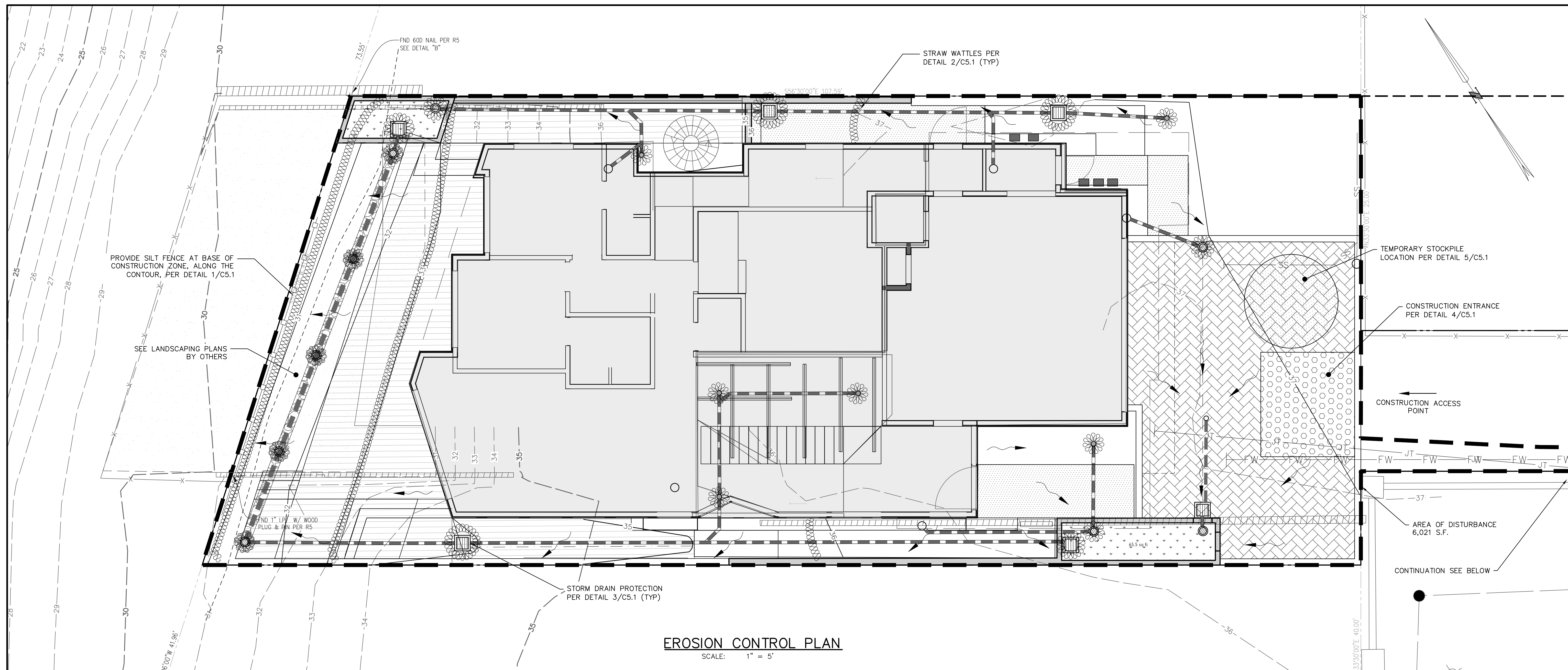
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SCALE AS SHOWN	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RD 2-F	C4.0
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10



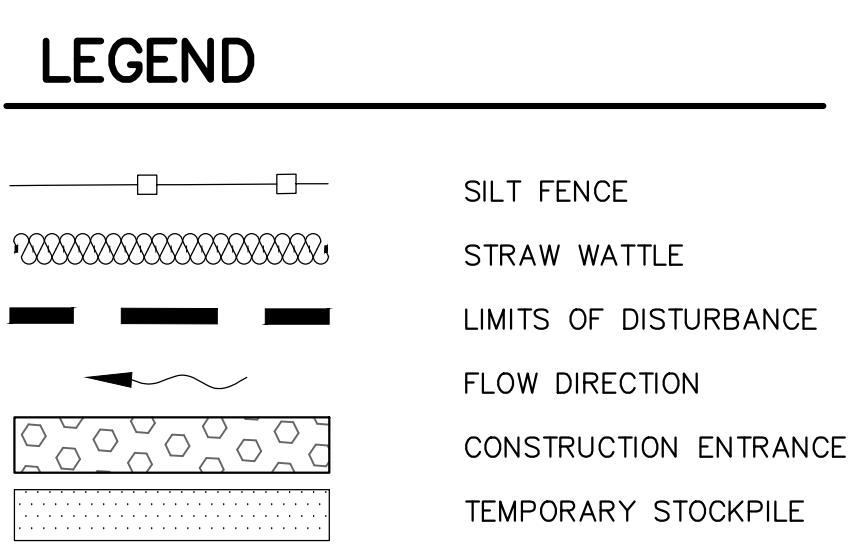
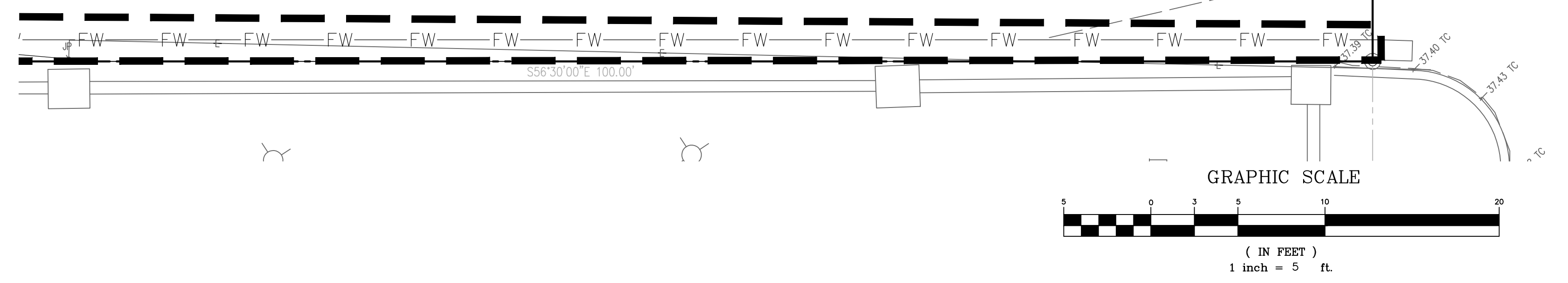
**Exhibit D**  
**Project Plans**  
**Application 251312**



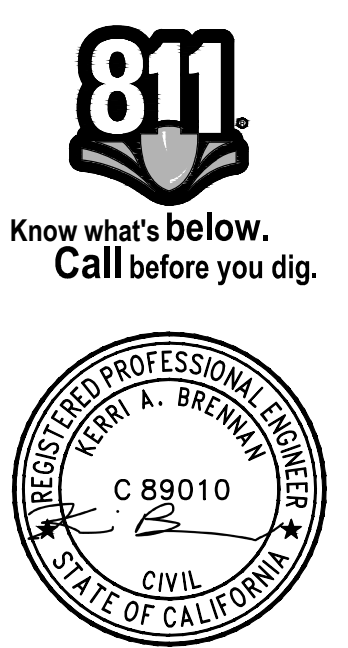
**EROSION CONTROL PLAN**  
SCALE: 1" = 5'

**GENERAL EROSION CONTROL NOTES**

1. THE DEVELOPER/CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND THE SANTA CRUZ COUNTY CONSTRUCTION SITE STORMWATER POLLUTION CONTROL BMP MANUAL. THE MANUAL CAN BE FOUND ON THE COUNTY WEBSITE AT WWW.SSCOPANNING.COM UNDER THE "ENVIRONMENTAL" TAB.
2. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED DURING WINTER SEASON AT A MINIMUM.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. ALL EMPLOYEES AND CONTRACTORS SHALL BE INFORMED ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.
5. UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
6. RUNOFF FROM THE CONSTRUCTION SITE MUST NOT BE ALLOWED TO FLOW OVER ANY FILL SLOPES.
7. RUNOFF SHALL BE DIRECTED TOWARDS THE NEAREST CATCH BASIN WITH TEMPORARY EARTHEN BERMS.
8. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
9. 48 HOUR NOTICE SHALL BE GIVEN TO ENVIRONMENTAL PLANNING AT (831) 454-3168 TO COMMENCING WORK, AND UPON COMPLETION OF GRADING AND EROSION CONTROL. FAILURE TO COMPLY WILL RESULT IN ISSUANCE OF A STOP WORK ORDER.
10. FIBER ROLLS SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF THE DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLLS SHALL BE PLACED AT THE BACK OF A SIDEWALK OR CURB.
11. SILT FENCES SHALL BE USED FOR PERIMETER CONTROL. THEY SHALL BE PLACED BELOW AREAS WHERE SHEET FLOWS DISCHARGE FROM THE SITE. THEY SHOULD ALSO BE USED AS INTERIOR CONTROLS BELOW DISTURBED AREAS WHERE RUNOFF MAY OCCUR IN THE FORM OF SHEET AND RILL EROSION.
12. SILT FENCES SHALL NOT BE USED IN STREAMS, CHANNELS, DRAIN INLETS, OR ANY PLACE WHERE FLOW IS CONCENTRATED.
13. SILT FENCES SHALL NOT BE USED IN LOCATIONS WHERE PONDED WATER MAY CAUSE FLOODING.
14. SILT FENCES SHALL NOT BE USED ON A SLOPE, OR ACROSS ANY CONTOUR LINE. IF NOT INSTALLED AT THE SAME ELEVATION THROUGHOUT, SILT FENCES WILL CREATE EROSION.
15. THE MAXIMUM LENGTH OF SLOPE DRAINING TO ANY POINT ALONG THE SILT FENCE SHOULD BE 200 FEET OR LESS.
16. THE ENDS OF THE SILT FENCE SHALL BE TURNED UPHILL TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
17. ROCK ACCESS AREAS SHALL BE PROVIDED PER PLAN, UNLESS CONSTRUCTION VEHICLES AND EQUIPMENT REMAIN ON PAVED SURFACES AT ALL TIMES DURING CONSTRUCTION. ROCKED CONSTRUCTION AREAS SHALL CONSIST OF 6 INCHES MIN OF CLASS II AGGREGATE BASE OR APPROVED EQUAL.



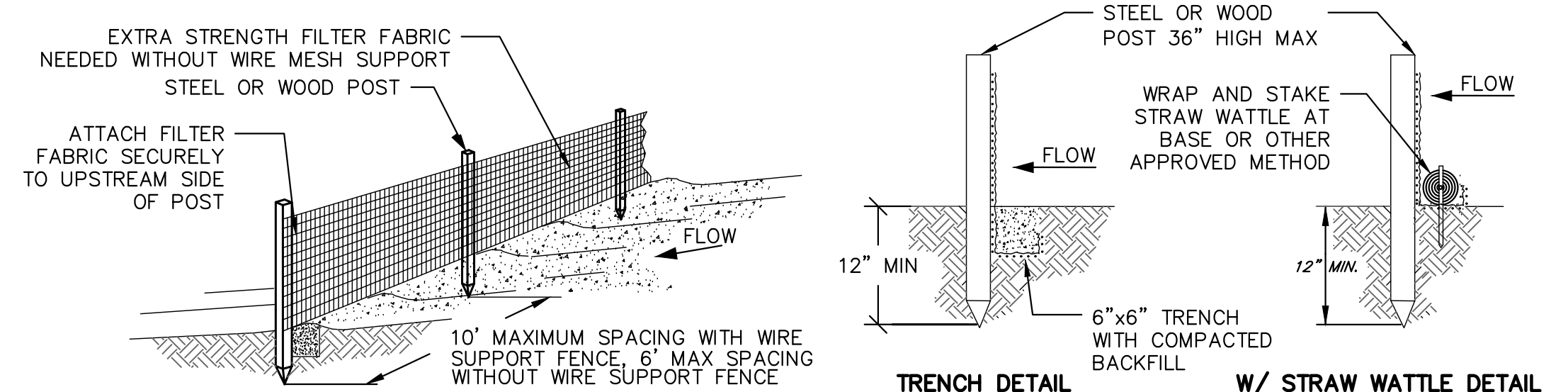
**Exhibit D**  
**Project Plans**  
**Application 251312**



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APN 028-263-16			
REVISED			
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		<b>EROSION CONTROL PLAN</b>  111 24TH AVENUE SUITE IN SANTA CRUZ COUNTY, CALIFORNIA	
SCALE 1" = 5'	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RD 2-F	C5.0
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10

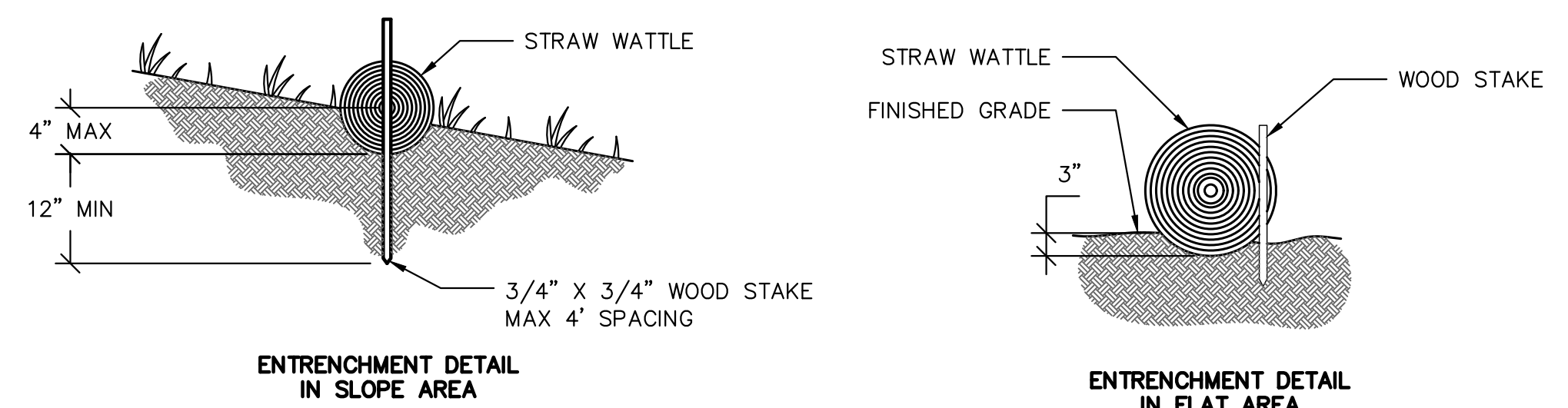
K:\29563 - Vuckovich - 111 24th Ave\Dwg\29563 - Civil Plans.dwg, 12/5/2025 10:57:00 AM



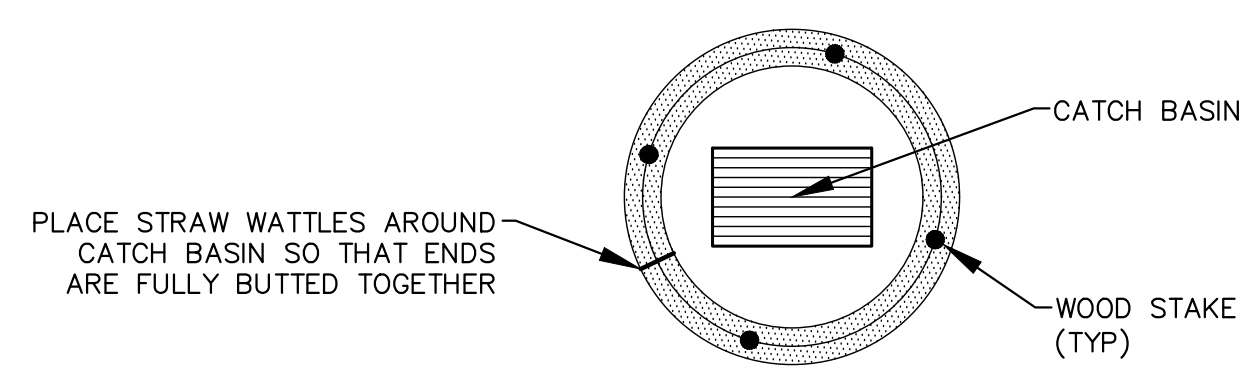
NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

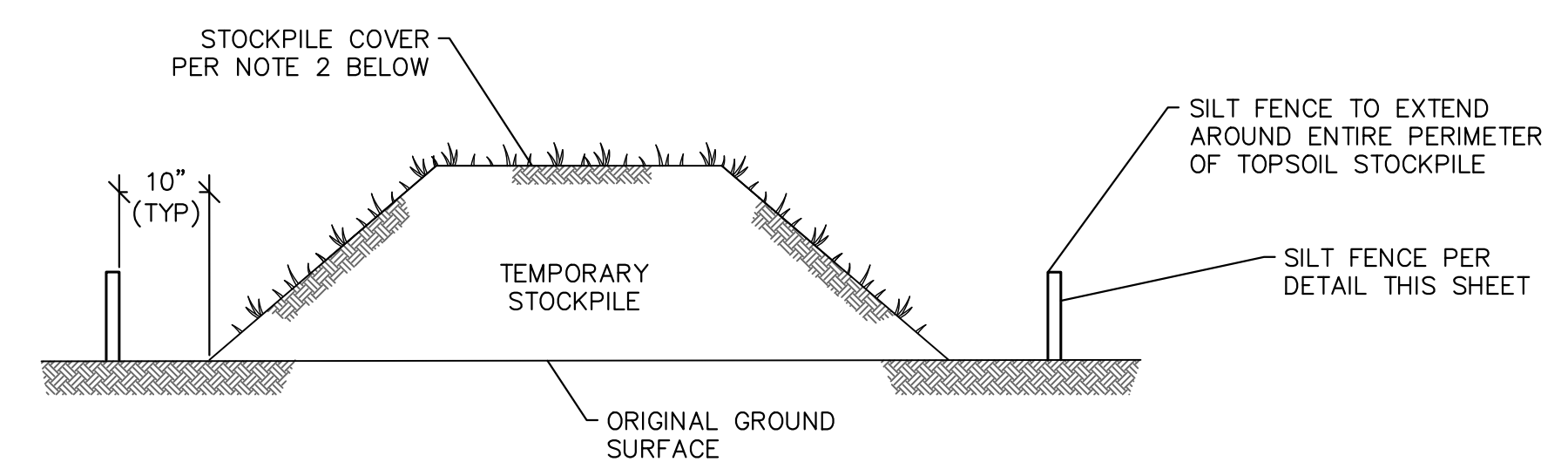
**1**  
**C2.0** **SILT FENCE**  
 SCALE: NTS



**2**  
**C2.0** **STRAW WATTLES**  
 SCALE: NTS



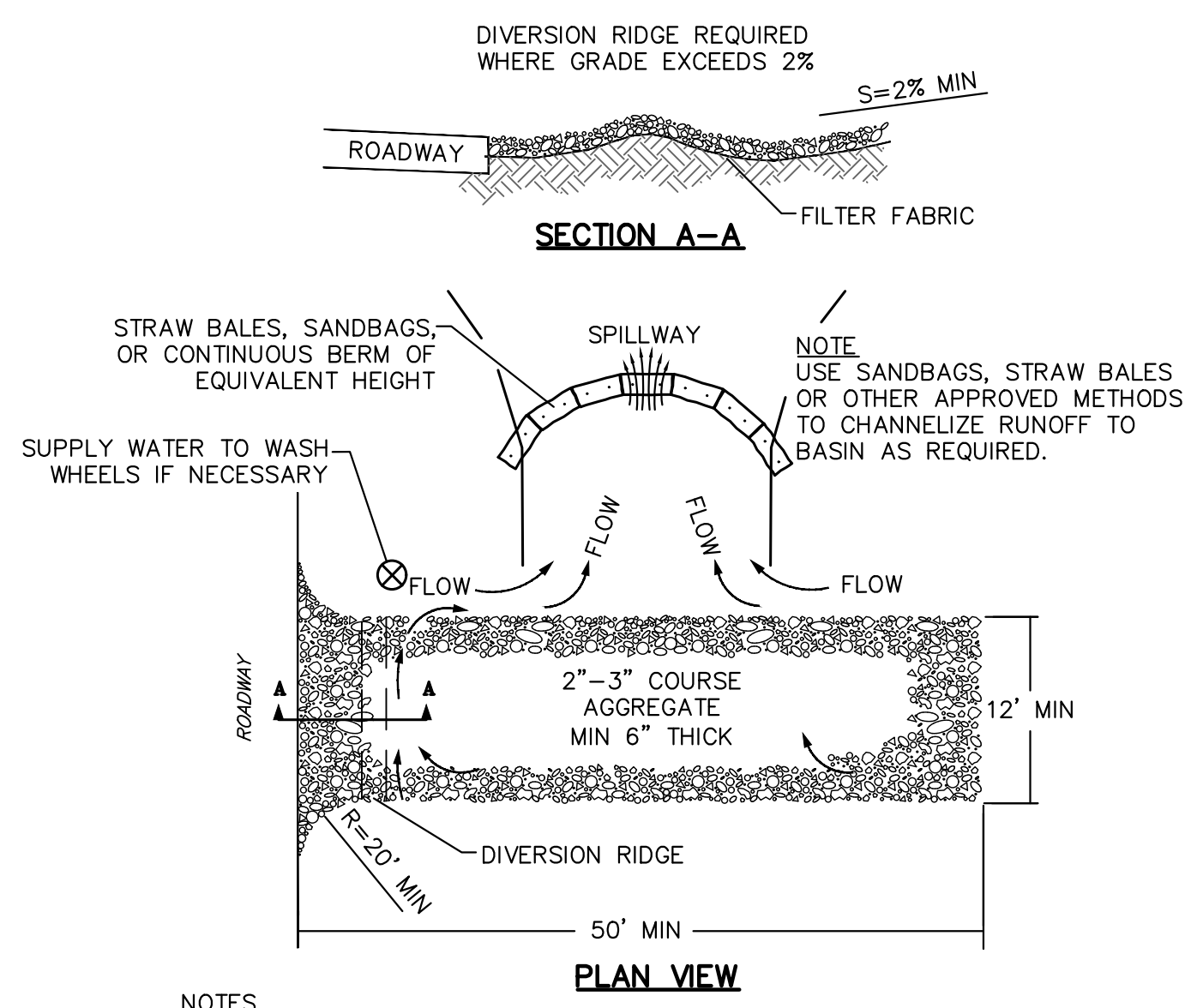
**3**  
**C2.0** **STORM DRAIN PROTECTION**  
 SCALE: NTS



NOTES:

1. REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
2. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAY, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
3. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
4. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
5. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

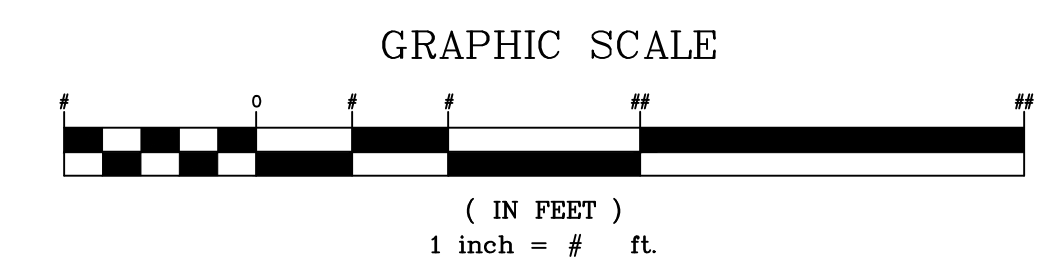
**5**  
**C2.0** **TEMPORARY STOCKPILE**  
 SCALE: NTS



NOTES:

1. PROPERLY GRADE ENTRANCE TO PREVENT RUNOFF FROM CONSTRUCTION SITE. ENTRANCE ELEVATION SHOULD BE LOWER THAN STREET.
2. INSPECT ROUTINELY FOR DAMAGE AND REPAIR AS NEEDED. REQUIRE THAT ALL EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.
3. SERVICE SEDIMENT TRAPPING DEVICES REGULARLY.

**4**  
**C2.0** **CONSTRUCTION ENTRANCE**  
 SCALE: NTS

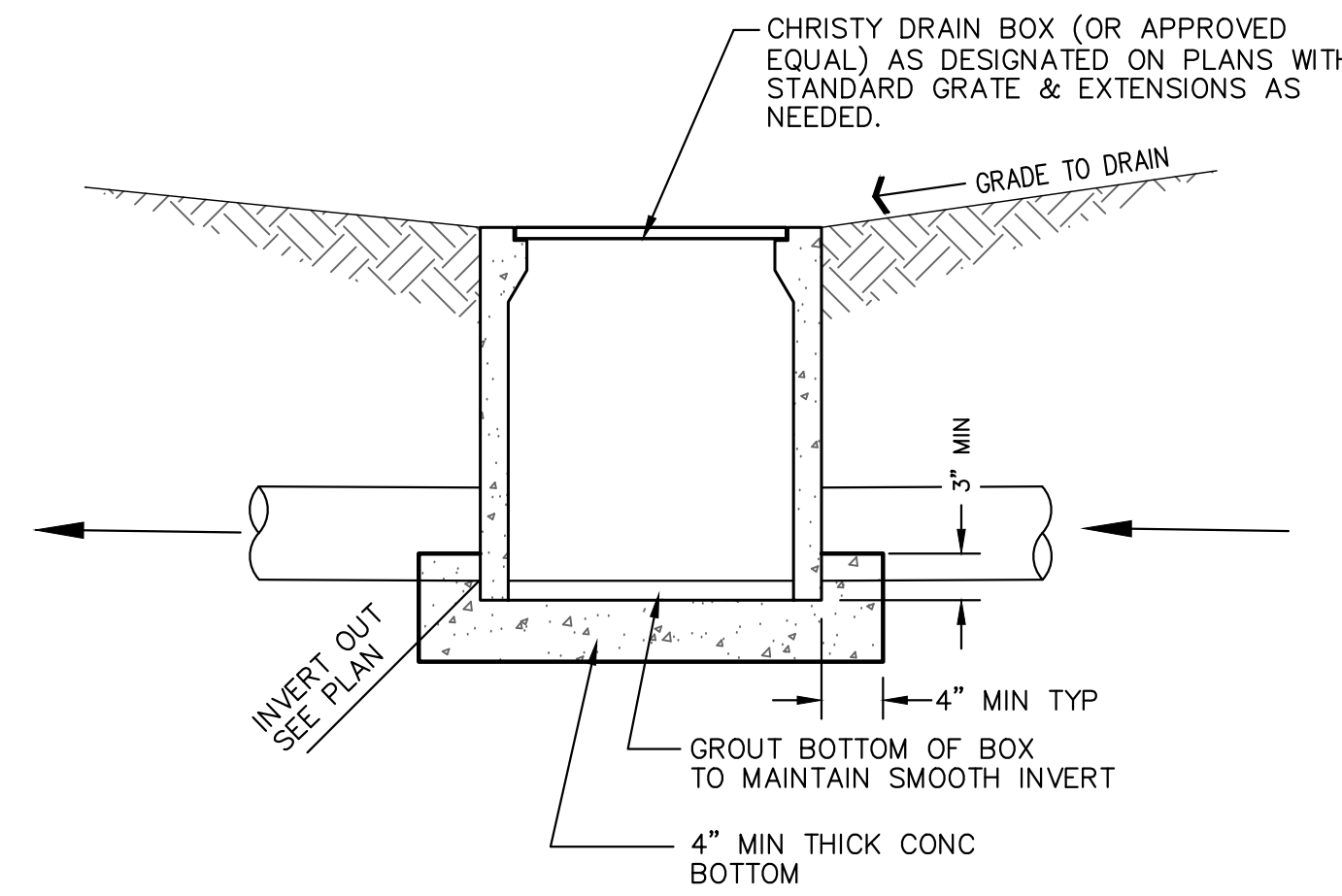


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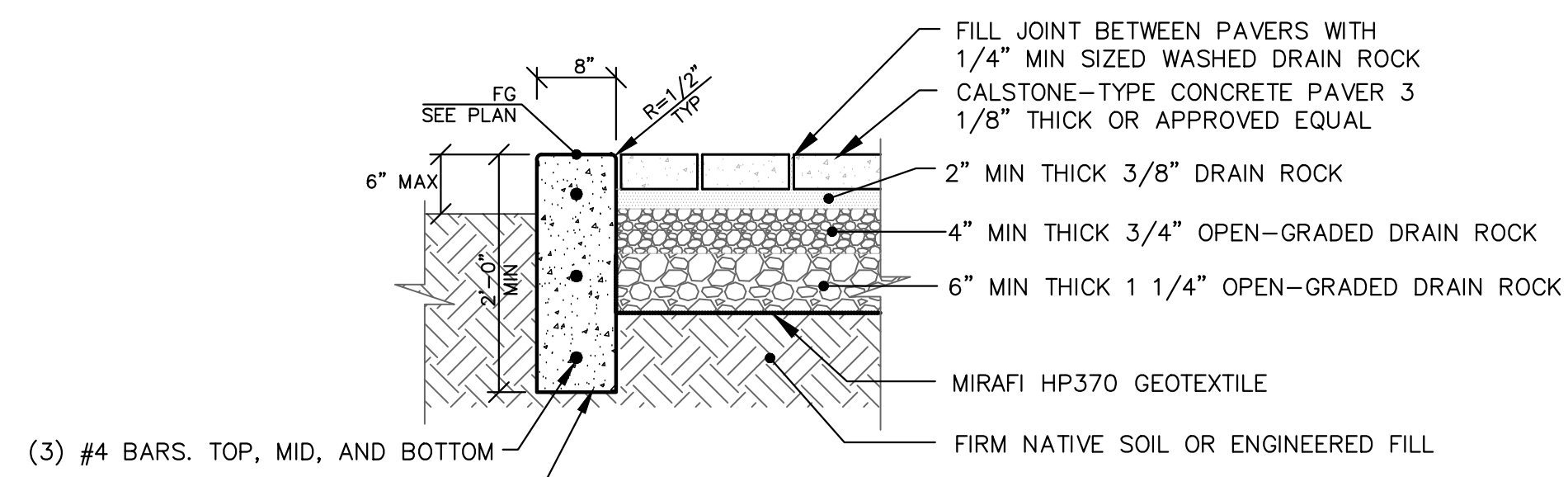


**Exhibit D**  
**Project Plans**  
**Application 251312**

APN 028-263-16			
REVISION			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		EROSION CONTROL DETAILS	
111 24TH AVENUE SITUATE IN SANTA CRUZ COUNTY, CALIFORNIA			
SCALE AS SHOWN	DRAWN JUG	JOB NO. 29563	SHEET
DATE 12/05/2025	CHECKED BRR	INDEX RODEO RD 2-F	C5.1
DESIGN KB	DWG NAME CIVIL PLAN	FILE NO. 29563	OF 10



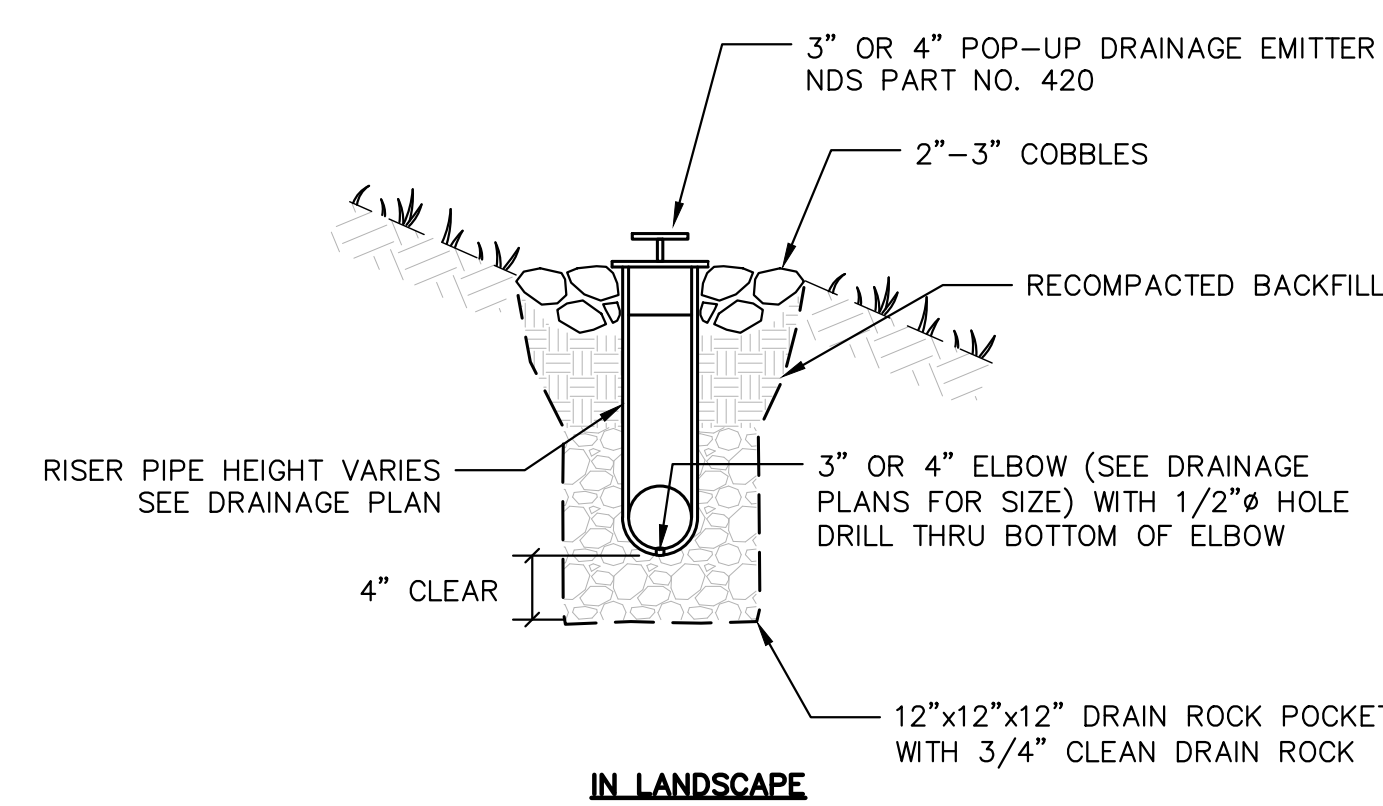
**1**  
**C6.0** **TYPICAL CATCH BASIN DETAIL**  
SCALE: NTS



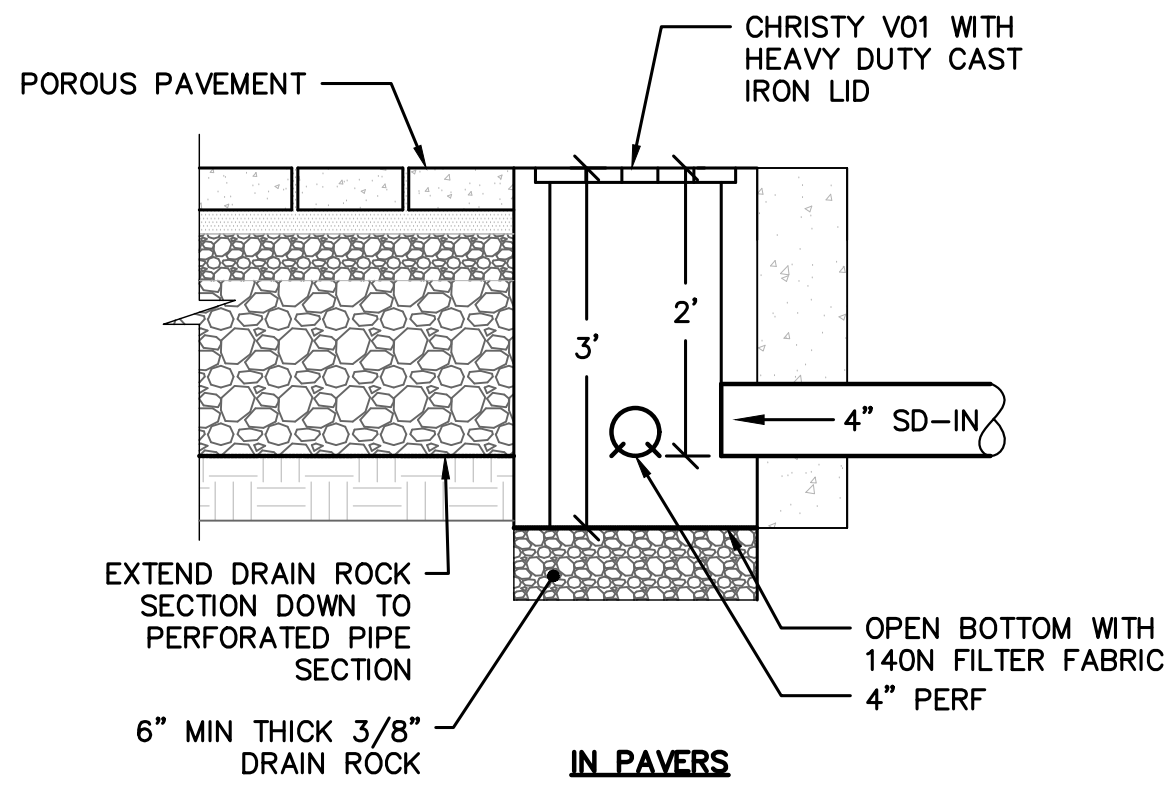
**2**  
**C6.0** **SEMI-IMPERVIOUS PAVER SECTION**  
SCALE: 3/4"=1'-0"

**NOTES:**

- 1 1/2" DRAIN ROCK SHALL BE SPREAD IN 4-IN LIFTS AND COMPACTED. AT LEAST 4 PASSES SHOULD BE MADE PER LIFT. INITIAL PASSES BELOW PIPE SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.
- 3/4" DRAIN ROCK CAN BE SPREAD AND COMPACTED WITH STATIC ROLLER AS ONE 4 IN LIFT. COMPACTED WITH AT LEAST 4 PASSES. INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.
- 3/8" DRAIN ROCK: MOISTEN, SCREED AND LEVEL OVER 3/4" DRAIN ROCK.
- THE CONTRACTOR SHALL SUBMIT OR PROVIDE DRAIN ROCK SAMPLES TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLING THE PAVER.
- FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.
- OPTIONAL- WET SET PAVERS ON TOP OF CUT OFF CURB, FLUSH WITH ADJACENT PAVERS.



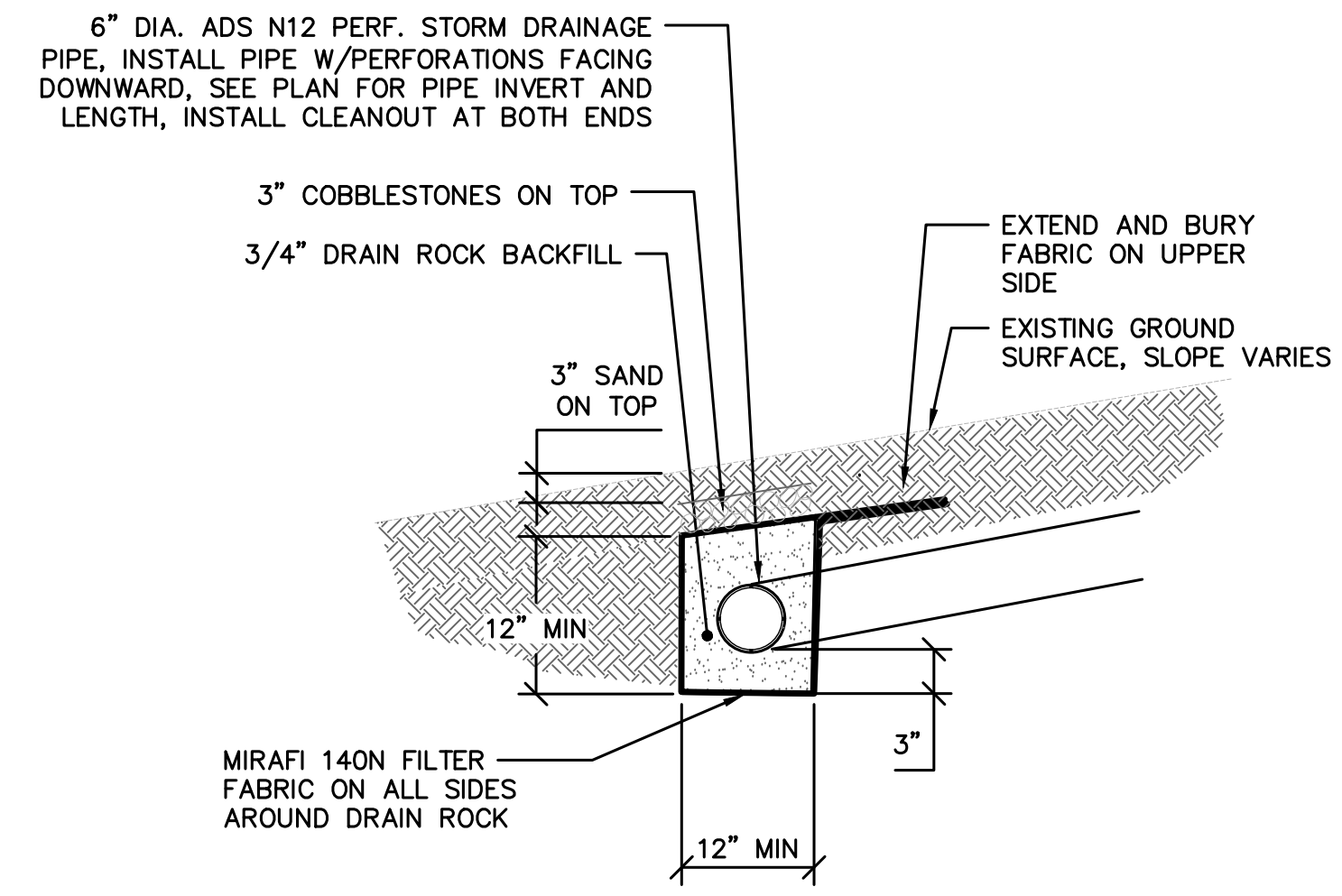
**3**  
**6.0** **BUBBLER BOX DETAIL**  
SCALE: NTS



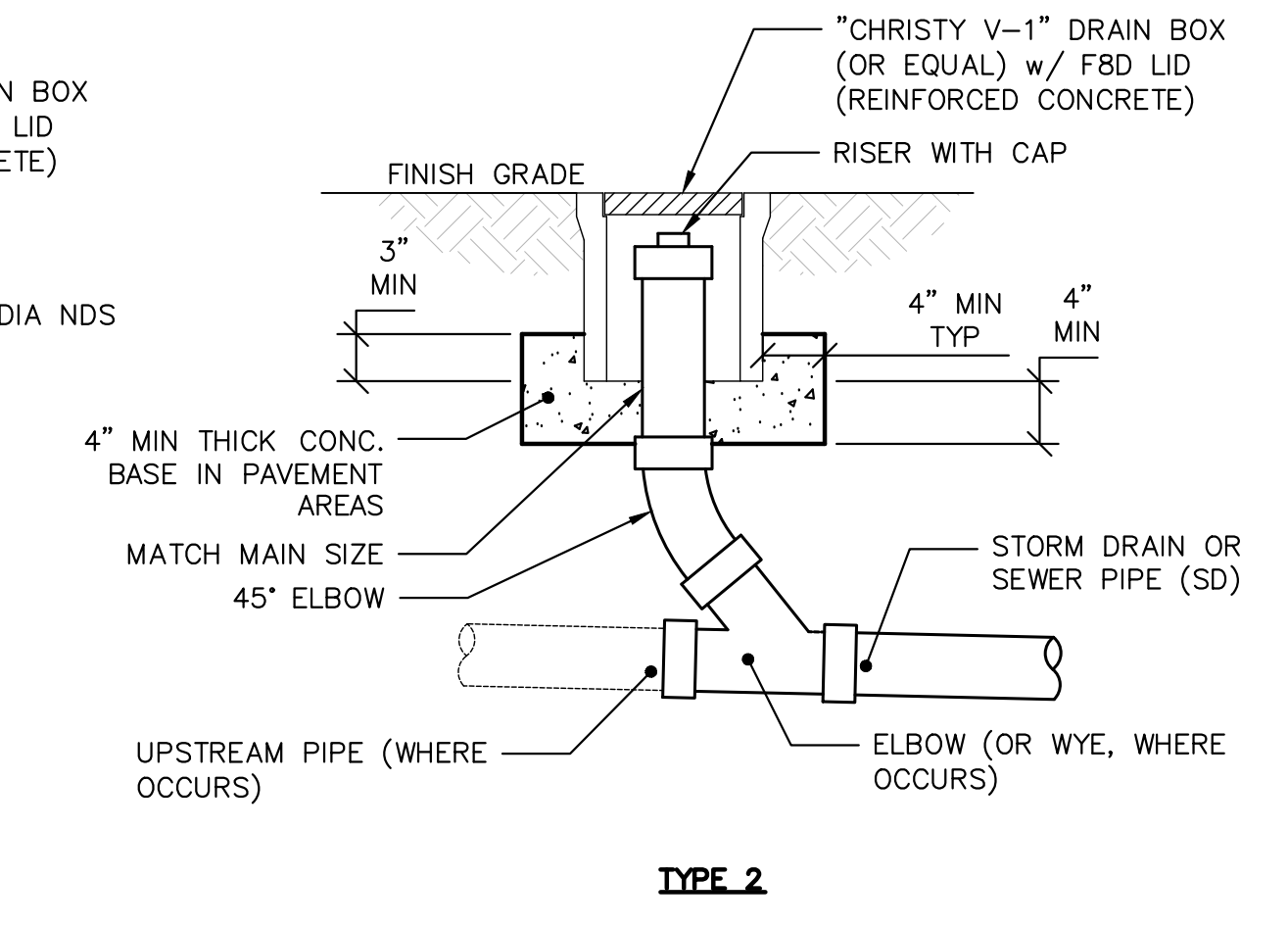
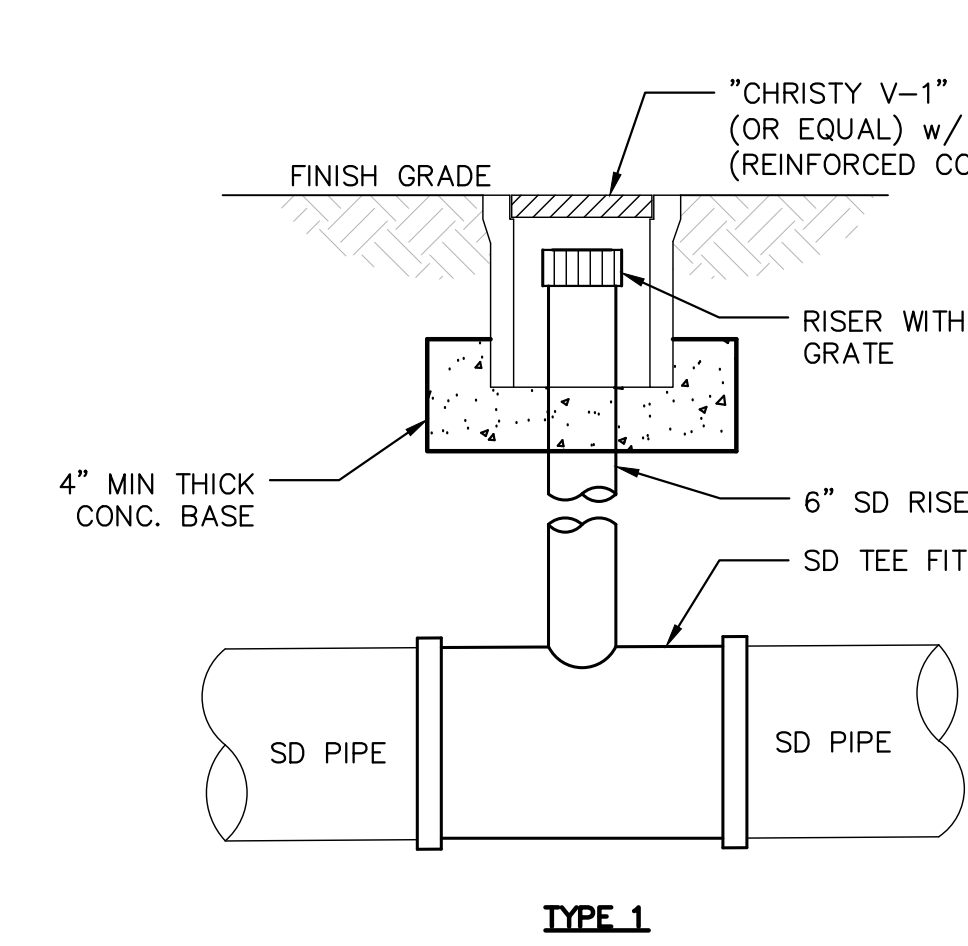
**4**  
**C6.0** **BIOSWALE TYPICAL SECTION**  
SCALE: 1/2" = 1'-0"

**NOTES:**

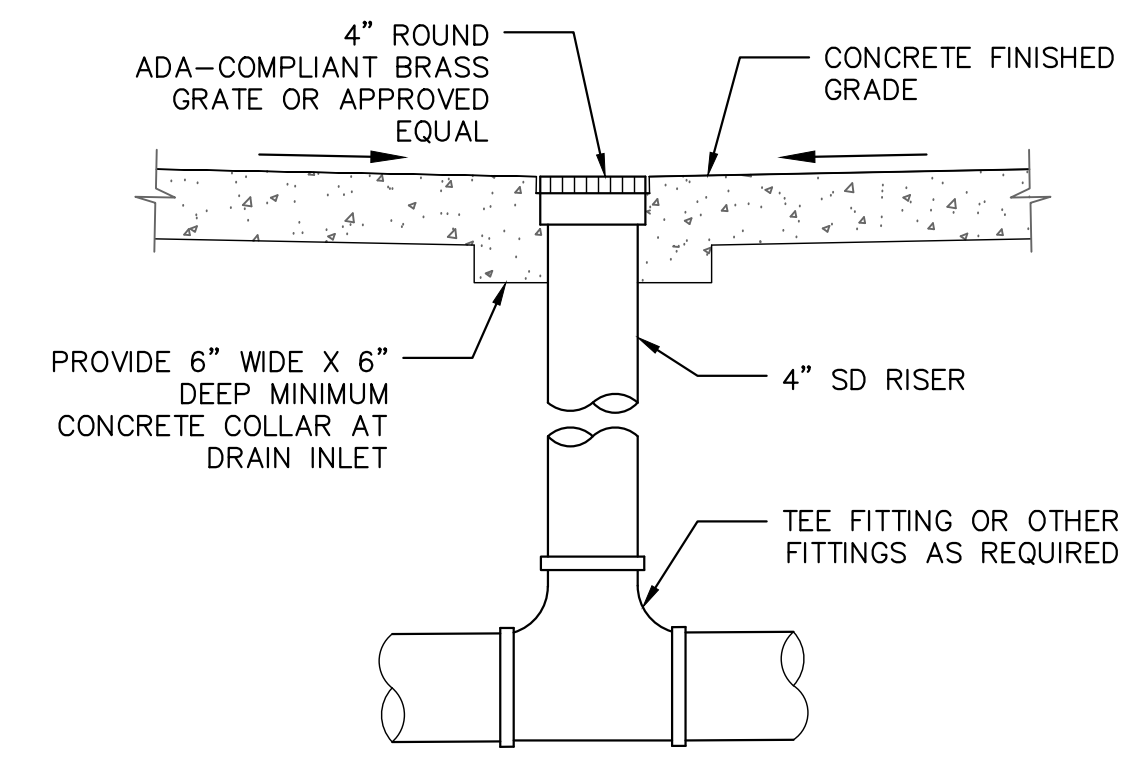
- BIORETENTION SOIL MIX SHALL BE A WELL-BLENDED MIXTURE OF MINERAL AGGREGATE AND COMPOST MEASURED ON A VOLUME BASIS. A MIXTURE OF SAND (60%-70%) MEETING THE SPECIFICATIONS OF ASTM C-33 AND COMPOST (30%-40%).
- BIORETENTION SOIL SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR.
- PLANTING FOR BIORETENTION SHALL BE PER LANDSCAPE PLANS.



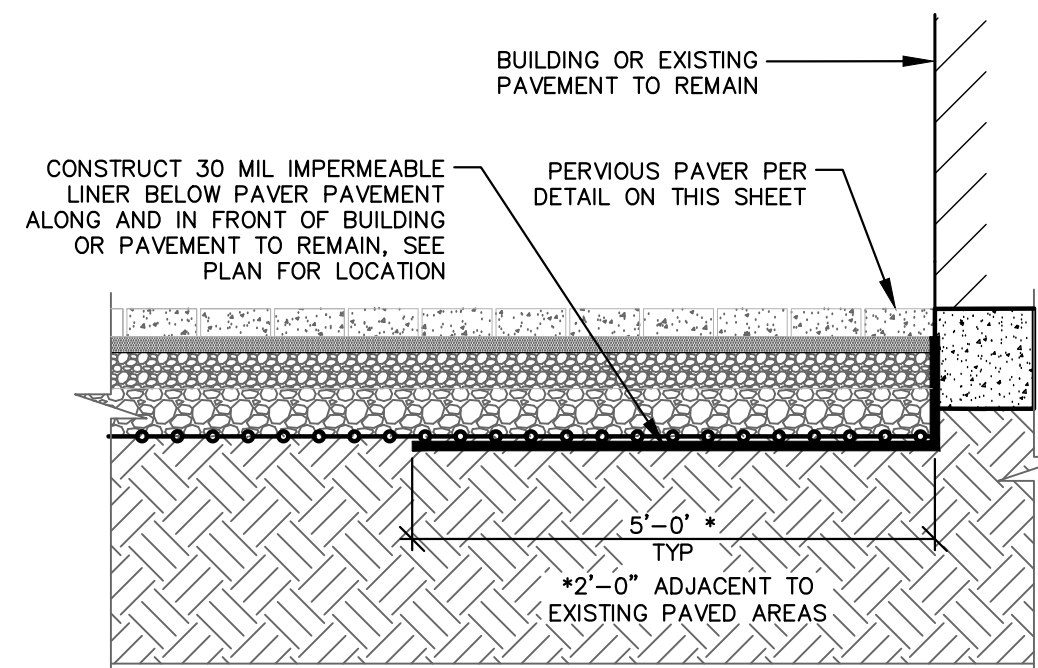
**5**  
**C6.0** **LEVEL SPREADER DETAIL**  
SCALE: 3/4" = 1'-0"



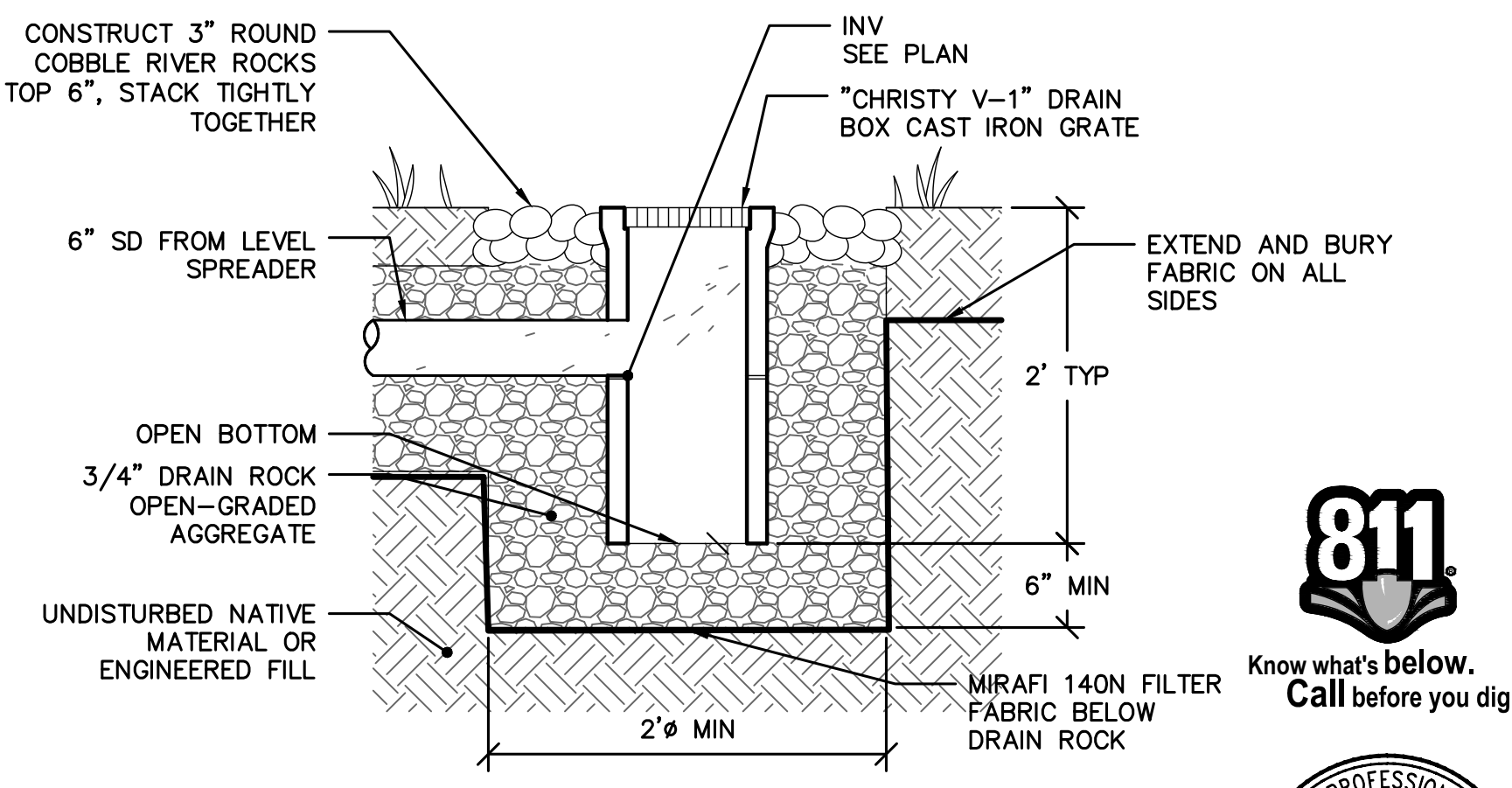
**6**  
**C6.0** **STORM AND SEWER CLEANOUTS**  
SCALE: NTS



**7**  
**C6.0** **NDS AREA DRAIN**  
SCALE: NTS



**8**  
**C6.0** **PAVEMENT IMPERMEABLE LINER DETAIL**  
SCALE: 1/2"=1'-0"



**9**  
**C6.0** **LEVEL SPREADER BUBBLER**  
SCALE: N.T.S.

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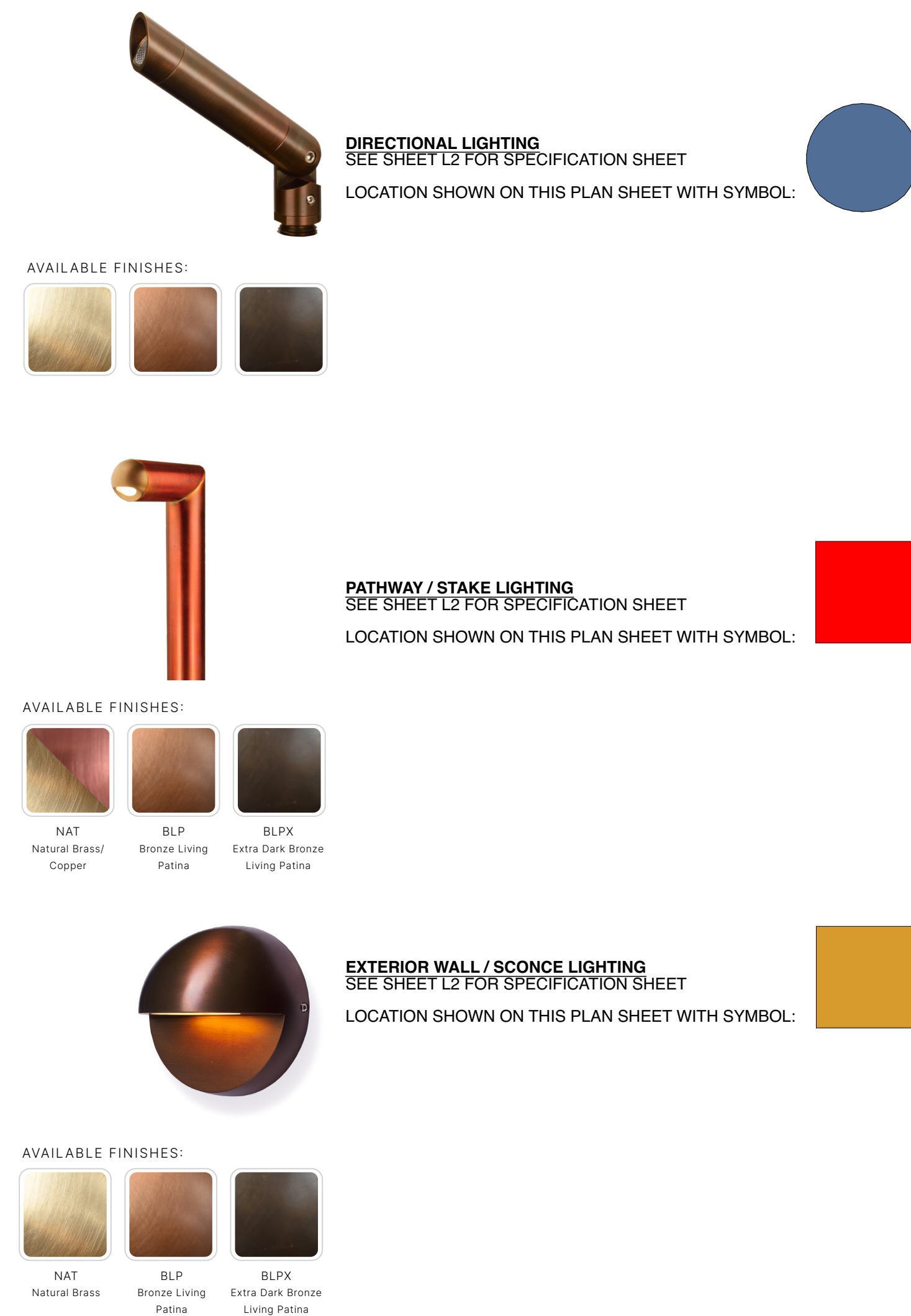
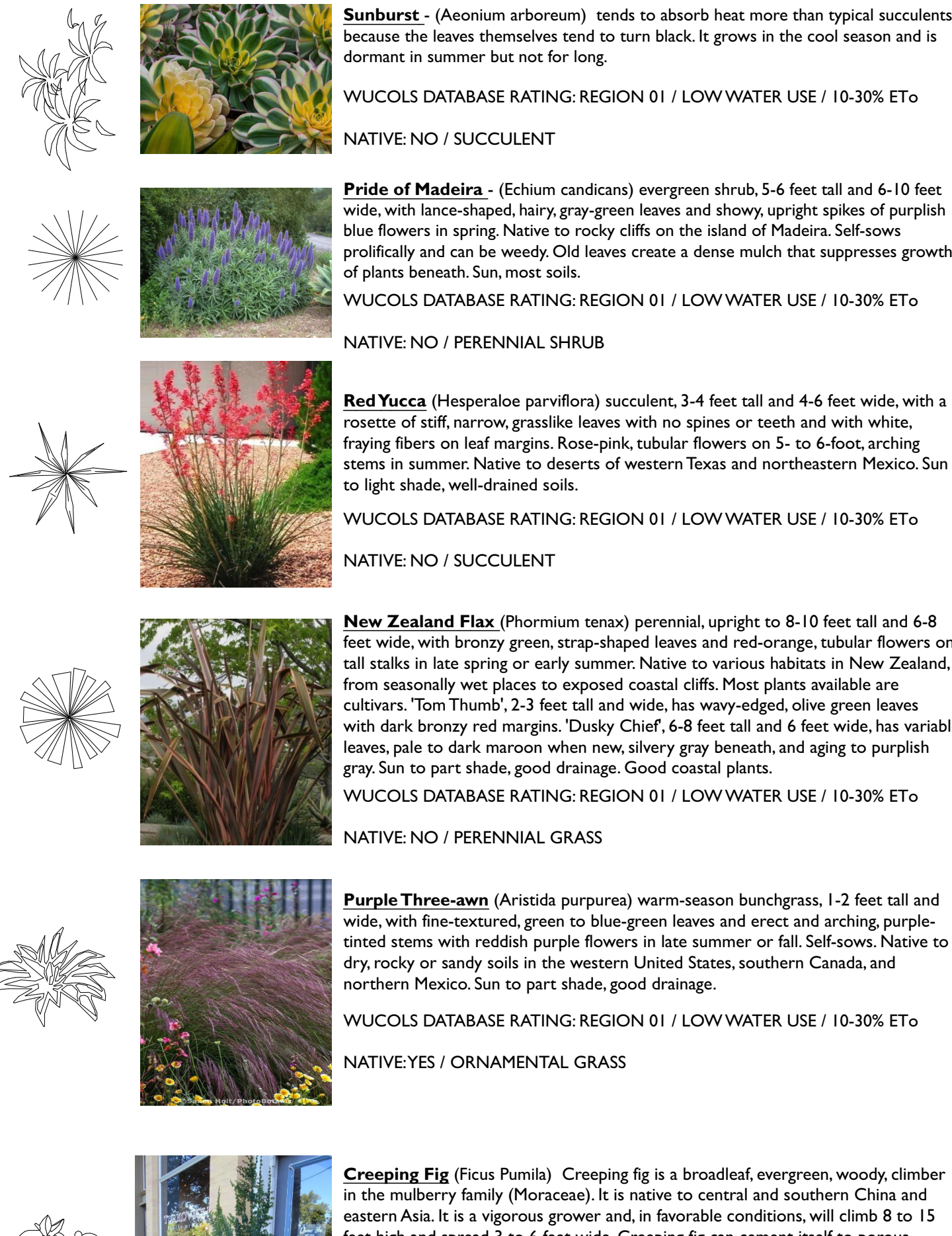
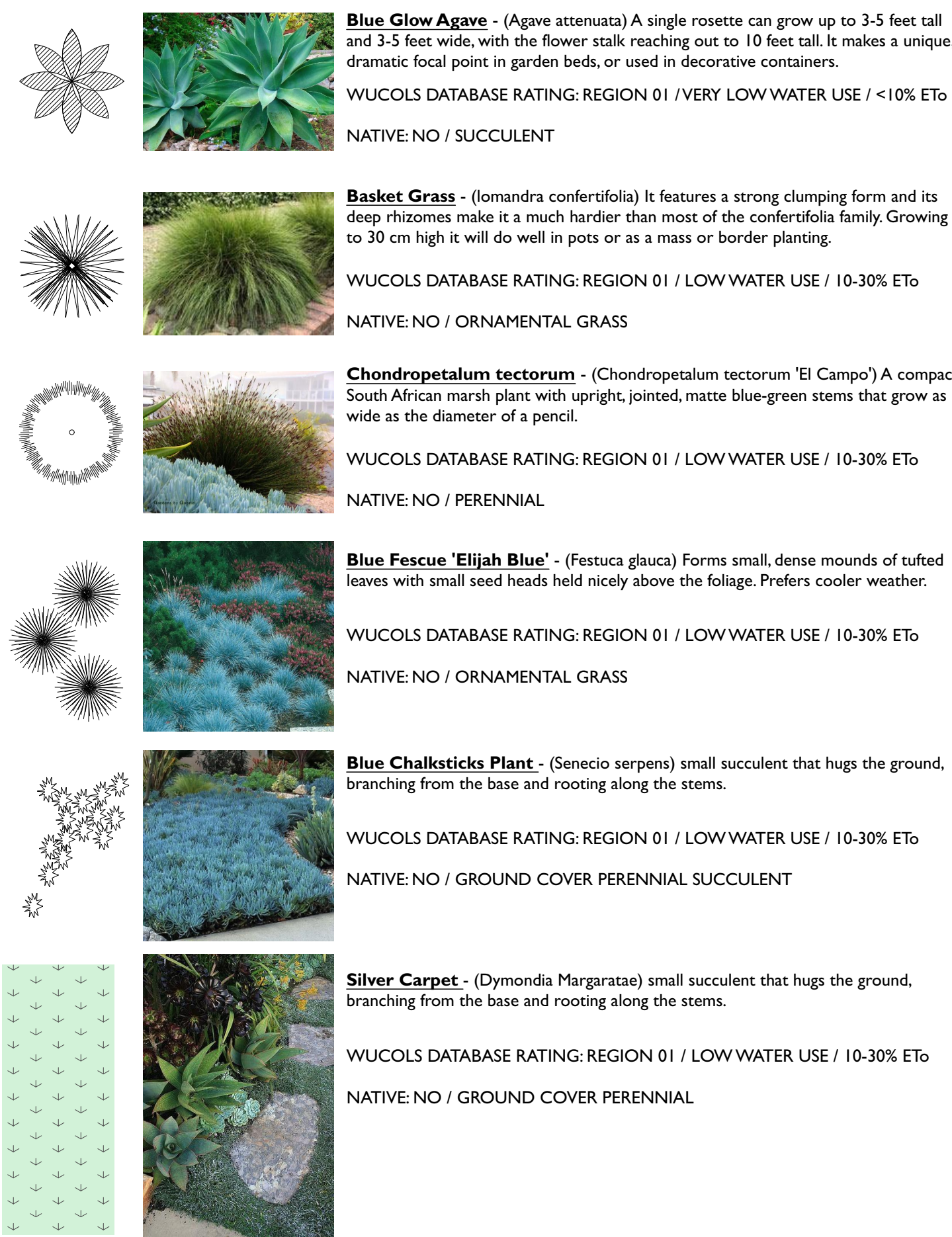


Know what's below.  
Call before you dig.



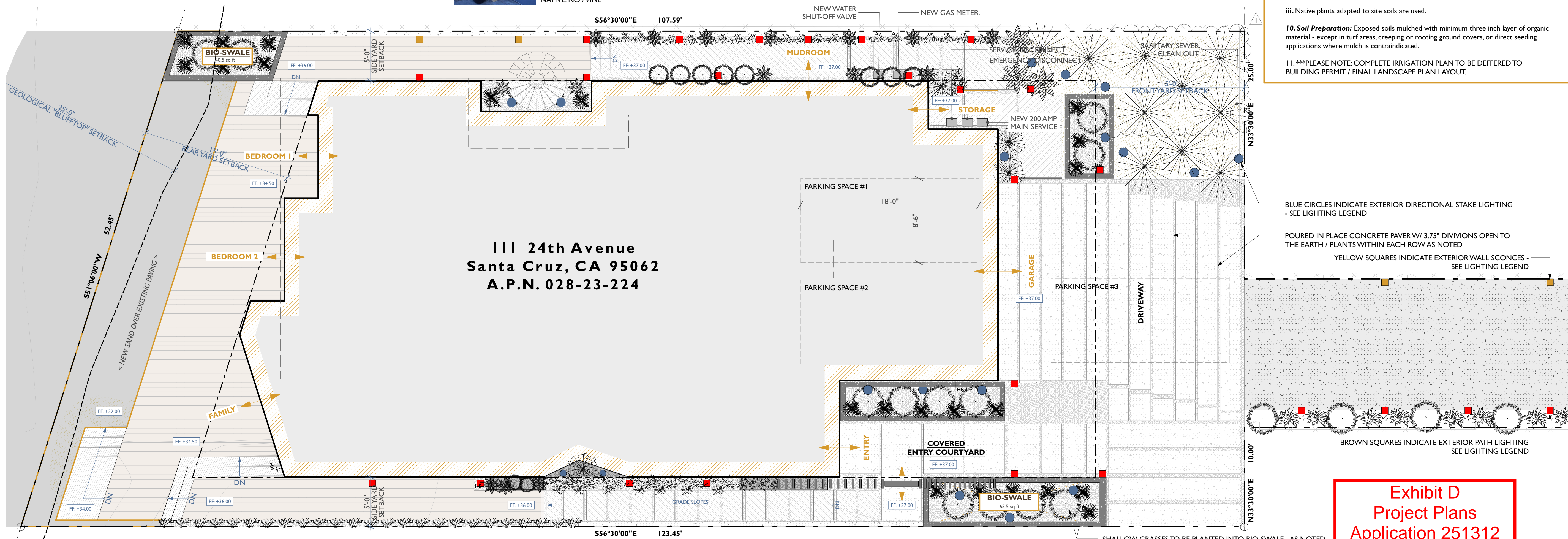
APN 028-263-16	REVISED		DATE	DRAWN	JOB NO.	SHEET
			12/05/2025	JUG	29563	C6.0
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560			<b>CIVIL PLAN DETAILS</b> 111 24TH AVENUE SUITE 100 SANTA CRUZ COUNTY, CALIFORNIA			INDEX RODEO RD 2-F FILE NO. 29563 OF 10
SCALE AS SHOWN	DWG NAME CIVIL PLAN	DESIGN KB	CHECKED BRR	DATE	INDEX	OF 10

**Exhibit D**  
**Project Plans**  
**Application 251312**



**GENERAL NOTES - LANDSCAPE / WATER EFFICIENT LANDSCAPE ORDINANCE (WELO)**

- Please note that there are two (2) separate areas to be installed for storm water treatment (as noted/shown on plan).
- Plants:** All planting areas are divided into two (2) separate hydrozones as noted in this plan: 'Low' & 'Very Low' water use. (Please note that all specified plantings are per the Landscape Coefficient Method & WUCOLS III)
- Plants:** At least 75% of the Landscape area is low to very low water use (average plant factor of 0.3 or lower) Up to 25% Landscape area may be medium use (average plant factor 0.6) on separate valves / hydrozone.
- Plants:** Landscape maintained free of invasive plantings / per WUCOLS or similar. Please note that no invasive plantings are proposed within planting schedule, located on this sheet.
- Turf Limits:** Combined area of turf and water features does not exceed 25% of Landscaped area. Average WUCOLS plant factor of this area does not exceed 0.6, as per above. Please note that there is no turf or water features specified in plan
- Turf Limits:** No turf or high water use plants on any slope greater than 25% or any area less than 10' wide.
- Irrigation:** Please note that the WELO checklist states that a permanent irrigation system is not required; hand watering is acceptable unless project-specific circumstances require automated application.
- Irrigation:** If an irrigation system is utilized, the following measures must be implemented:
  - Irrigation system and irrigation schedule do not exceed plant factors.
  - Irrigation schedule programmed into controller; written copy in possession of owner. Revised irrigation schedule provided to owner for long term use after plants are established.
  - Overhead spray irrigation events scheduled between 5pm and 10am unless contraindicated.
  - Sprinkler heads and emission devices have matched application rates, correct distribution.
  - Overhead sprinklers at least 24" from any hardscape (unless a microemitter). Irrigation system avoids overspray will not allow water to flow onto hardscapes or adj. property.
  - If water pressure at the meter is greater than 80psi, a pressure regulator is installed.
  - Check valves installed as necessary to prevent low-head drainage.
  - Compliant backflow prevention device and accessible manual shutoff installed at point of connection.
  - n/a
  - Water features and recirculating pools and spas are to be covered when not in use.
- Soil Preparation:** Organic amendment incorporated at a rate of 6cy per 1000sf in top 6" of soil, except where:
  - Existing soil has greater than 6% organic matter in top 6"
  - amendment is contraindicated by specifications for summer-dry species.
  - Native plants adapted to site soils are used.
- Soil Preparation:** Exposed soils mulched with minimum three inch layer of organic material - except in turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated.
- \*\*\*PLEASE NOTE: COMPLETE IRRIGATION PLAN TO BE DEFERRED TO BUILDING PERMIT / FINAL LANDSCAPE PLAN LAYOUT.



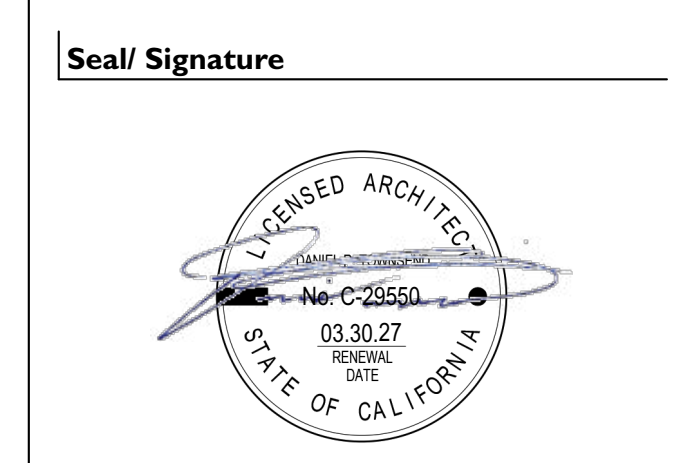
**Exhibit D  
Project Plans  
Application 251312**

**VUCKOVICH  
RESIDENCE**  
111 24th AVENUE  
SANTA CRUZ, CA 95062



**Project Submittal Record**

Revision	Date	Issue Description
	05/29/2025	COASTAL DEVELOPER PERMIT SUBMITTAL
	12/5/2025	COASTAL DEVELOPER PERMIT RESUBMITTAL



**Project Name**  
VUCKOVICH RESIDENCE

**Accessor's Parcel Number**  
APN #: 028-232-24

**Sheet Title**  
PRELIMINARY LANDSCAPE PLAN

**Scale**  
As Indicated

**LI**  
COASTAL DEVELOPMENT PERMIT



### Water Efficient Landscape Ordinance Exemption Form and Checklist

Name: Stan & Melissa Vuckovich APN: 028-23-224
Site Address: 111 24th Avenue, Santa Cruz Ca 95062
Phone: 408.497.8300 Email: vuckovichstan@gmail.com

This Water Efficient Landscape Checklist may be submitted in lieu of a landscape plan for 1-2 unit residential development or any landscape where at least 30 percent of the estimated total water use is provided by graywater, captured rainwater or recycled water.

Landscapes within the Soquel Creek Water District or the City of Santa Cruz Water Department Service Area are regulated by those agencies with respect to water efficiency.

Part A - Exemptions. The following landscapes are exempt from the County's WELO ordinance. If your landscape is one of these, please check the box and sign below:

- Landscapes irrigated for an establishment period of 2-5 years, after which time the irrigation system is removed.
Area dedicated to edible plants within a family or community garden.
Agricultural crop, feedlot, paddock or pasture.
Area installed for stormwater treatment.
Residential landscape of 500 square feet or less.
Landscape irrigated entirely by graywater, captured rainwater or recycled water.
Registered historical site with a period landscape style.
Ecological restoration project.
Plants cultivated for scientific research or public exhibit in botanical institutions.

If an exemption box is checked above, the owner or agent signature below acknowledges that the landscape will be maintained in compliance with the checked box, subject to inspection by the County, unless a new checklist is filed by the owner and accepted by the County.

#### Part B - Landscape Checklist.

This checklist establishes landscape requirements for: 1-2 unit residential development; residential reconstruction, additions and accessory structures; and for any landscape where at least 30 percent of the estimated total water use is provided by graywater, captured rainwater or recycled water.

Table with 2 columns: Component, Performance Standards. Rows include Plants, Turf Limits, and Irrigation.

Table with 2 columns: Turf Limits, Irrigation, Soil Preparation. Contains detailed technical specifications for each category.

I understand that my installed landscape requires inspection by an independent, third-party inspector, and that my building permit will not receive final inspection and clearance until landscape installation is verified to comply with this checklist.

ADDITIONAL INFORMATION. The Water Efficient Landscaping page provides information and resources about low water use plants, landscape design and irrigation. Includes a signature of Courtney Christiansen dated 4/19/2025.

## AURORALIGHT

### MERIDIAN PTA008105

The Meridian is an ideal solution for uniform spacing and light levels in the absence of a structure. Its small aperture shields against glare while allowing for forward projection with even illumination side to side.

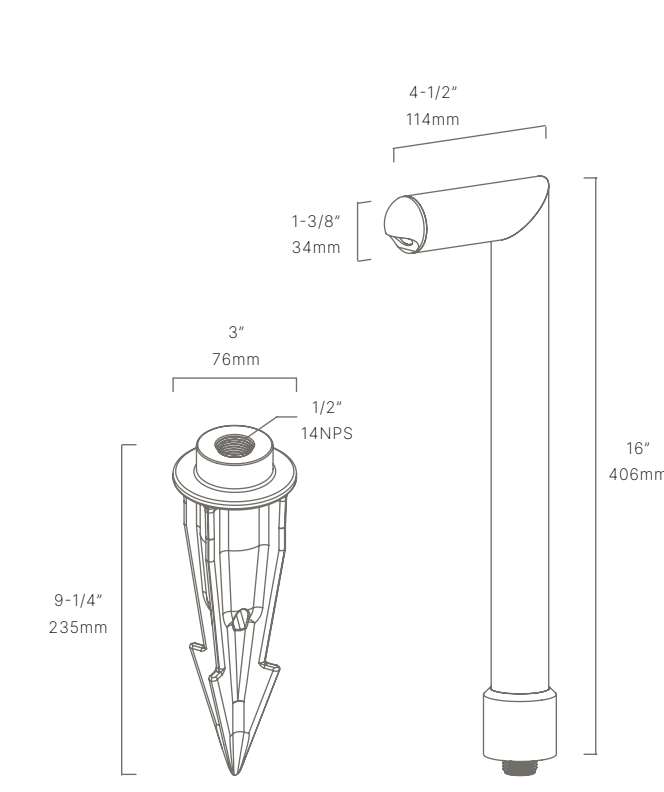
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Table with 2 columns: Fixture Dimensions, Light Source, Color Temperatures, Wattages, CRI (RA), Voltage, Delivered Lumens, Dimmable, Driver, Transformer, Mount, Ground Stake, Optics, Finish, Material, Wire Length, Location, Certifications.

PROJECT: TYPE:
SKU #: TYPE:



AVAILABLE FINISHES: NAT Natural Brass Copper, BLP Bronze Living Patina, BLPX Extra Dark Bronze Living Patina.



P: 760.931.2910
O: 2742 Loker Ave. W Carlsbad CA 92010
W: www.auroralight.com

## AURORALIGHT

### CASCADE STW637104

The Cascade is a surface-mounted LED wall light that offers excellent illumination of walls and walkways in a stylish design featuring a precision-machined acrylic optic with a prismatic design for uniform distribution.

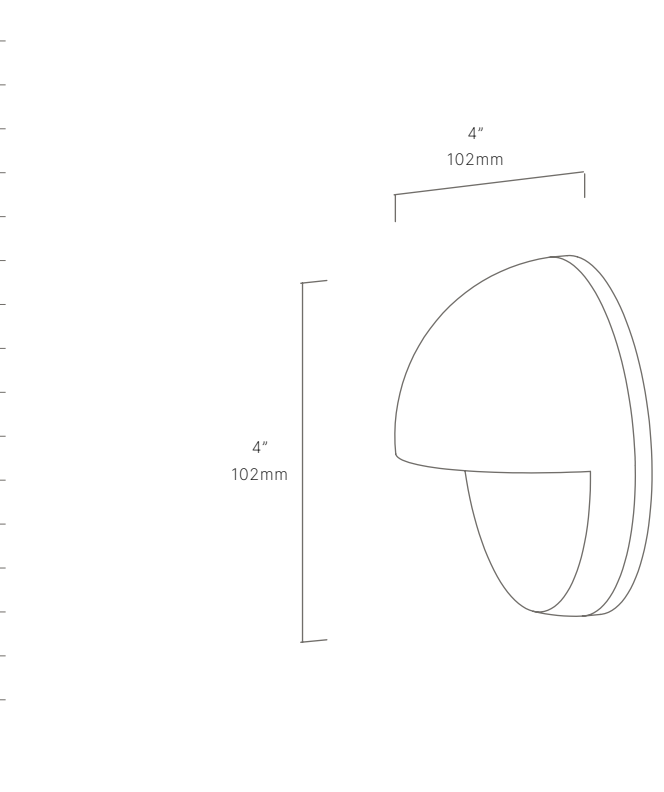
CONFIGURATOR: STW637104. Includes options for LED, FINISH, and configuration (1) = Most common configuration.

Table with 2 columns: Fixture Dimensions, Light Source, Color Temperatures, Wattages, CRI (RA), Voltage, Delivered Lumens, Dimmable, Driver, Transformer, Mount, Finish, Material, Wire Length, Location, Certifications.

PROJECT: TYPE:
SKU #: TYPE:



AVAILABLE FINISHES: NAT Natural Brass, BLP Bronze Living Patina, BLPX Extra Dark Bronze Living Patina, NI Nickel PVD.



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O: 2742 Loker Ave. W Carlsbad CA 92010
W: www.auroralight.com



### LANDSCAPE PLAN INSTALLATION CERTIFICATE

Owner: Stan & Melissa Vuckovich APN: 02823224
Project Address: 111 24th Avenue Santa Cruz Ca 95062
Application #:
Date of Final Inspection:

The landscape components below were inspected and comply fully with Santa Cruz County Code Chapter 13.13.

Table with 3 columns: Landscape Component, Requirement, Inspector Initials or "NA". Rows include Maximum Applied Water Allowance (MAWA), Turf Limits, Soil Prep, and Irrigation.

Table with 2 columns: Component, Requirement. Rows include Swing joints or other riser protection components, Irrigation Efficiency, Plants, Soil Cover, Water Features, and Irrigation Compliance.

Inspector statement. The representations on this form are accurate. The installed landscape complies with the approved landscape plan and Santa Cruz County Code Chapter 13.13.

License number: Please provide wet-signed stamp if available. Inspector signature, Print name, Date.

## AURORALIGHT

### CABRILLO DIR080125

The Cabrillo is a stealth lighting tool that gives the designer new options when an inconspicuous light source is desired or required.

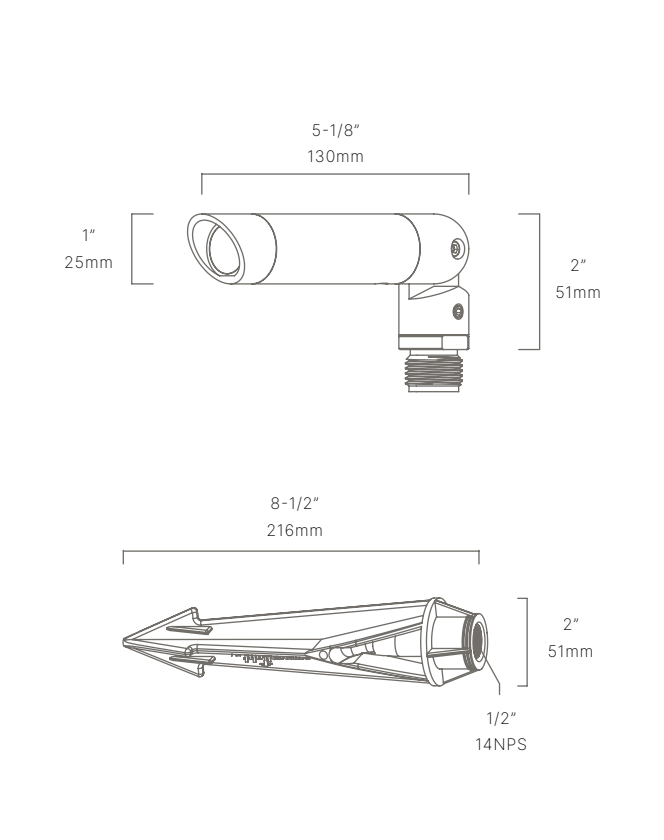
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PROJECT: TYPE:
SKU #: TYPE:



AVAILABLE FINISHES: NAT Natural Brass, BLP Bronze Living Patina, BLPX Extra Dark Bronze Living Patina, NI Nickel PVD.



P: 760.931.2910
O: 2742 Loker Ave. W Carlsbad CA 92010
W: www.auroralight.com

## VUCKOVICH RESIDENCE

111 24th AVENUE
SANTA CRUZ, CA 95062
fuse architects + builders
512 Capitola Ave + Capitola + California + 95010
fusearchitecture.com 831.479.9295

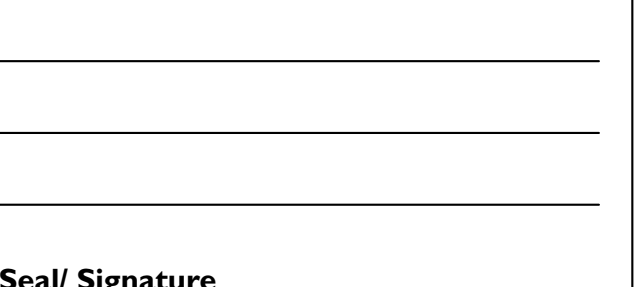


Table with 3 columns: Revision, Date, Issue Description. Rows include 05/29/2025 COASTAL DEVELOPER PERMIT SUBMITTAL and 12/5/2025 COASTAL DEVELOPER PERMIT RESUBMITTAL.

Seal/Signature

Project Name: VUCKOVICH RESIDENCE
Accession's Parcel Number: APN #: 028-232-24

Sheet Title: PRELIMINARY LANDSCAPE / WELO & LIGHTING SPECIFICATIONS Scale: As Indicated



Project Name: VUCKOVICH RESIDENCE
Accession's Parcel Number: APN #: 028-232-24

Sheet Title: PRELIMINARY LANDSCAPE / WELO & LIGHTING SPECIFICATIONS Scale: As Indicated

Coastal Development Permit

L2

COASTAL DEVELOPMENT PERMIT

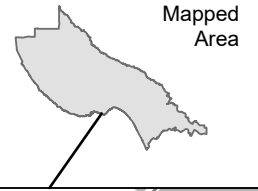
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Exhibit D
Project Plans
Application 251312



Santa Cruz County Planning Department

# Parcel Location Map

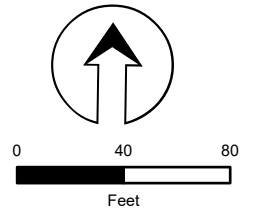


**Parcel: 02823224**

 Subject Parcel

Map printed: 5 May, 2026

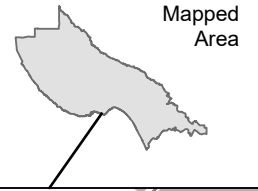
**Exhibit E  
Maps  
Application 251312**





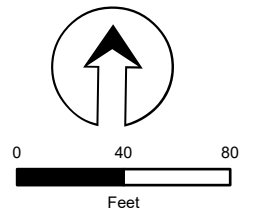
Santa Cruz County Planning Department

# Parcel General Plan Map



 Subject Parcel

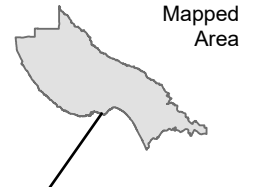
**Exhibit E  
Maps  
Application 251312**





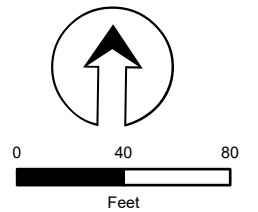
Santa Cruz County Planning Department

# Parcel Zoning Map



 Subject Parcel

**Exhibit E  
Maps  
Application 251312**



Application #: 251312  
APN: 028-232-24  
Owner: Stan and Melissa Vukovich

## Parcel Information

### Services Information

Urban/Rural Services Line:  Inside  Outside  
Water Supply: City of Santa Cruz Water  
Sewage Disposal: County Sanitation  
Fire District: Central Fire Protection District  
Drainage District: Flood Control Zone 5

### Parcel Information

Parcel Size: 7,276 square feet  
Existing Land Use - Parcel: Single-family residential  
Existing Land Use - Surrounding: Single-family residential, Open Space (Beach)  
Project Access: Public, via 24<sup>th</sup> Avenue  
Planning Area: Live Oak  
Land Use Designation: R-UM (Urban Medium Density Residential)  
Zone District: R-1-4-PP (Single-family residential, 4000 square foot site area, Pleasure Point Combining District)  
Coastal Zone:  Inside  Outside  
Appealable to Calif. Coastal Comm.:  Yes  No

**Technical Reviews:** Combined Geologic and Geotechnical Report REV251111

### Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Fire Hazard: Not a mapped constraint  
Slopes: Less than 10 percent  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: 155 cubic yards cut, 110 cubic yards of fill  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Archeology: Not mapped/no physical evidence on site



## County of Santa Cruz

### Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580 Public Works (831) 454-2160  
cdi.santacruzcountyca.gov

4 September 2025

Jerrod Nicholls  
512 Capitola Avenue  
Capitola, CA 95010

Subject: Review of the Geologic Investigation dated 7 March 2025; and the Plan Review for Proposed Development dated 7 July 2025 by Easton Geology, Inc., Job No. C24008

Review of the Geotechnical Investigation dated 7 March 2025; and the Geotechnical Plan Review Letter dated 15 July 2025 by Haro, Kasunich & Associates, Inc., Project No. SC12428.1 and -.2 respectively

Project Site: 111 24<sup>th</sup> Avenue  
APN 028-232-24  
Application No. REV251111 (related to 251312)

Dear Applicant(s):

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports, and the following items shall be required:

1. Proposed bioswale and other drainage improvements shall be located landward of the required 25-foot development setback from the bluff top. Final drainage plans submitted for building permit approval should be reviewed by the project geologist and geotechnical engineer in conformance with Item 3 below. As part of this plan review, the project geologist and geotechnical engineer must confirm the proposed drainage design does not represent an unfavorable alteration of drainage conditions which could significantly increase erosion or instability risk of the local bluff or provide mitigative recommendations. [SCCC 16.10.070 (H)]
2. All project design and construction shall comply with the recommendations of the reports.[SCCC 16.10.070]
3. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. [SCCC 16.10.070]
4. After plans are prepared that are acceptable to all reviewing agencies, please request that both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG-300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms. Please note that the plan review forms must reference the final plan set by the last revision date. [SCCC 16.10.070]

Exhibit G  
REV251111 Acceptance Letter  
Application 251312

5. A Declaration of Geologic Hazards shall be recorded prior to issuance of building permit(s) for the proposed project. The declaration form along with instructions for recording will be provided upon submittal of the building permit application. [SCCC 16.10.070]

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports.

Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website:

<https://cdi.santacruzcountyca.gov/UPC/EnvironmentalPermitsTechnicalReviews/GeologyandSoils/AssistanceandForms.aspx>

After building permit issuance the engineering geologist and geotechnical engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.

Please contact Rick Parks at (831) 454-3168/email: [Rick.Parks@santacruzcountyca.gov](mailto:Rick.Parks@santacruzcountyca.gov) or Craig Stewart at (831) 454-3175/email: [Craig.Stewart@santacruzcountyca.gov](mailto:Craig.Stewart@santacruzcountyca.gov) if we can be of any further assistance.

Sincerely,



Rick Parks GE 2603  
Civil Engineer  
County of Santa Cruz  
CDI - Planning Division

A handwritten signature in black ink, appearing to read "Craig Stewart".



Craig Stewart CEG 2779  
County Geologist  
County of Santa Cruz  
CDI - Planning Division

Cc: Environmental Planning, Attn: Jessica DeGrassi  
Easton Geology, Inc., Attn: Greg Easton CEG  
Haro Kasunich & Associates, Inc., Attn: Moses Cuprill PE  
Owner: Stan Vuckovich

Attachments: Notice to Permit Holders

Exhibit G  
REV251111 Acceptance Letter  
Application 251312

**NOTICE TO PERMIT HOLDERS WHEN GEOLOGIC AND GEOTECHNICAL REPORTS  
HAVE BEEN PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your engineering geologist and geotechnical engineer to be involved during construction. [SCCC 12.10.217 (E)]

1. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the geologic and geotechnical reports.

If the *Final Inspection Form(s) (PLG-305)* identifies any portions of the project that were not observed by the geotechnical engineer and/or engineering geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The geotechnical engineer and/or engineering geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.

## Evan Ditmars

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**From:** John Christensen <jbchristensen@comcast.net>  
**Sent:** Monday, February 2, 2026 2:59 PM  
**To:** Evan Ditmars  
**Subject:** 111 24th Avenue.

**\*\*\*\*CAUTION:**This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email.\*\*\*\*

To Whom It May Concern,

I am writing to express my strong support for the proposed project at 111 24th Avenue.

I know the homeowners well and have enjoyed their friendship and positive contributions to our community on 24th Avenue. We very much look forward to having them remain in the neighborhood for the long run. They have previously completed a remodeling project on our street, and the result was exceptional. That work was completed professionally and thoughtfully, and it clearly added value and appeal to our street.

I have reviewed the proposed plans and believe the new home's beautiful modern design will enhance the overall neighborhood aesthetic while replacing a dated property on 24th Avenue. The project will also resolve challenges associated with a tricky lot and an unpopular easement, improving the functionality of the site and the surrounding area.

Based on my past experience with the homeowners, I have a high level of confidence in their ability to deliver another successful project. I understand they are working with the same builder and a renowned architect, and that they have the resources and commitment to execute the project at a very high standard. I believe this project will increase the value of surrounding properties and be a positive addition to both our street and the broader community.

For these reasons, I fully support the proposed project and respectfully encourage approval of the permit.

Sincerely,  
John Christensen

160 24th Ave.  
Santa Cruz, CA 95062

408 858-8899 cell

Exhibit H  
Public Correspondence  
Application 251312

**SUNIL BHOJWANI  
124 23<sup>RD</sup> AVE  
SANTA CRUZ, CA 95062  
831 566 1116  
SUNILB101@GMAIL.COM**

**5/2/2026**

**ATTN: EVAN DITMARS  
SANTA CRUZ COUNTY PLANNING DEPT.,  
701 OCEAN ST  
SANTA CRUZ CA 95060**

**REF: PROPOSED DWELLING 111 24<sup>TH</sup> AVE SC**

**DEAR MR DITMARS,**

**ONE OF MY NEIGHBORS ON 23<sup>RD</sup> AVE SHARED THE  
PRELIMINARY DESIGN FOR THE VUCKOVICH RESIDENCE ON  
24<sup>TH</sup> AVE.**

**I WAS ALSO TOLD THAT THE DEVELOPER IS PLANNING TO  
BUILD UP THE LOT BY FOUR FEET AND PLACE THE 30FT TALL  
HOUSE 4300 SQUARE FOOT ON TOP.**

**IF THIS IS TRUE, I ASK YOU HOW THIS FITS WITH THE PLEASURE  
POINT DESIGN STANDARDS?**

“The Pleasure Point home design guidelines, established through the [Pleasure Point Community Plan](#), are a set of specialized standards designed to preserve the neighborhood's eclectic, coastal character by regulating the bulk, scale, and street presence of residential buildings. These rules primarily apply to R-1 and RM zoned parcels within the designated Pleasure Point Community Design (-PP) Combining District. [\[1, 2, 3\]](#)”

### **Key Residential Design Standards**

- **Second Story Stepbacks:** New homes or additions are required to have additional setbacks for the second story—specifically, a minimum 10-foot

**Exhibit H  
Public Correspondence  
Application 251312**

side yard setback—to reduce the "looming" effect on neighbors and the street.

- **Building Envelope & Height:** On narrow lots (less than 30 feet wide), the maximum height for outer side walls is capped at 22 feet, with a total peak roof height of 28 feet at the center.”

**WE LIVE ON A STREET COMPRISED OF 1900-2500 SQ FT HOMES. THEY ARE ALL BUILT BACK INTO THE GRADE. NONE OF OUR HOMES SIT ABOVE GRADE. ADDITIONALLY ,WHILST THIS PROPOSED HOME HAS A 24<sup>TH</sup> AVE ADDRESS, IT ORIENTS ITSELF, (AS OUR HOMES DO), TO TAKE IN THE SOUTHWEST FACING VIEW. SO, YOU WILL SEE THIS HULKING MONSTROSITY AS YOU DRIVE DOWN EAST CLIFF.**

**IN MY OPINION YOU ARE NOT CONSIDERING THE “BULK, SCALE AND STREET PRESENCE” OF THIS HOME. THE DESIGN SIMPLY DOES NOT FIT THE STREET.**

**IT HAS NOT ESCAPED MY ATTENTION THAT FUSE IS THE ARCHITECT AND THAT DEMATTEI IS THE BUILDER. THEY SEEM TO BE INVOLVED WITH MOST IF NOT ALL OF THE NEW MCMANSIONS IN OUR COMMUNITY. HOWEVER, THEY SHOULD NOT BE GIVEN CARTE BLANCHE.**

**I ASK YOU, RESPECTFULLY, TO RECONSIDER THE SIZE, HEIGHT AND RE-GRADING PROPOSED BY THE APPLICANT.**

**THANK YOU.**

**SINCERELY**

**SUNIL BHOJWANI**

**Exhibit H  
Public Correspondence  
Application 251312**