



## Staff Report to the Zoning Administrator

Application Number: **251247**

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**Applicant:** Foundry Architecture  
**Owner:** 111 Jennings Drive LLC  
**APN:** 038-191-29  
**Site Address:** 739 Las Olas Drive, Aptos

**Agenda Date:** June 5, 2026  
**Agenda Item #:** 3  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to demolish an existing 1,446-square-foot single-family dwelling and construct a new 3,919 square foot house with a 986 square foot garage and 1,334-square-foot non-habitable storage area on the ground floor. The project includes a request to elevate the structure above the FEMA base flood elevation, with the first floor positioned approximately nine feet above existing grade, resulting in a three-story dwelling with a non-habitable first floor and a maximum height of approximately 33 feet.

**Location:** Project is located at 739 Las Olas Drive, roughly 350 feet west of the Las Olas Drive community gate.

**Permits Required:** Variance, Coastal Development Permit, Site Development Permit

**Supervisory District:** 2nd District (District Supervisor: De Serpa)

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 251247, based on the attached findings and conditions.

### Project Description & Setting

The subject property is a 14,962 square foot lot parcel located approximately 350 feet west of the Las Olas Drive gate at the north end of Seacliff State Beach in Aptos. The site is situated between the Las Olas Drive right-of-way and bluff to the north, and the beach and shoreline to south, with portions of the property extending seaward onto the beach. About 6,500 square feet of the lot consists of sandy beach and riprap revetment, and another 1,900 square feet are encumbered by the Las Olas Drive right of way. The remaining 6,500 square feet are developed with 1,446 square foot single-family dwelling constructed circa 1938 and subsequently remodeled or upgraded at several points since then; most recently the house was remodeled under building permit B-181827. The site has also been authorized for maintenance or repair of the riprap seawall in 1997 and 2002, under Coastal Development Permits 97-0837 and 02-0259.

The proposed project would demolish the entirety of the structure and construct a new 3,919 square

foot single-family dwelling consisting of a 2,286 square foot first floor and a 1,633 square foot second floor. The replacement structure would be sited in roughly the same building envelope as the existing dwelling, located about 35-feet back from the riprap wall at the beach, except for about 1,000 square feet of deck which would be constructed off the rear of the first floor. The dwelling would be elevated to exceed the minimum flood elevation requirement which creates a 1,052 square foot four-car non-habitable garage and 1,317 square feet of additional non-habitable storage on the ground floor.

The proposal includes a request to reduce the front yard setback at Las Olas Drive, a Variance to exceed the 28-foot height limit, a Variance to allow a third story, a Variance to the 50 percent floor area ratio (FAR maximum), a Site Development Permit, and a Coastal Development Permit.

### **Zoning & General Plan Consistency**

The subject property is a 14,962 square foot lot, located in the R-1-8 (single-family residential, 8,000 square foot parcel size) district, a designation which allows residential use. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL, O-R (Urban Low Density Residential, Parks, Recreation, Open Space) General Plan designation. As noted previously in this report, only about 6,500 square feet of the site are developable through conventional standards, and the reduced area itself is subject to flood and wave runup hazards.

### **Flood Hazards**

The project site is mapped in the 'VE' FEMA-designated Special Flood Hazard Area, indicating an area with a 1% or greater chance of flooding and an additional hazard associated with storm waves. The base flood elevation (BFE) established for the site is twenty-five feet above sea level, or about eight feet above existing grade. The proposed project design maintains three feet of freeboard, indicating that the bottom of the first-floor framing members are three feet above BFE, which exceeds the minimum one-foot requirement described in Santa Cruz County Code (SCCC) 16.10.

### **Variance to Height and Stories**

In elevating the structure, the bottom of the first floor of the structure would be constructed eleven feet above existing grade. The first level of the house is proposed with a nine-foot plate height, and the second level incorporates an eight-foot plate height, both conventional plate heights utilized in new construction. The 5/12 pitch roof adds an additional five feet to the structure, resulting in a maximum building height of approximately thirty-three feet above existing grade; the maximum height for the R-1-8 zone district is twenty-eight feet.

The non-habitable storage area on the ground floor is considered a story (as opposed to an underfloor) under the definitions included in SCCC 13.10.700, based on the eight-foot ceiling height and finished floor, and SCCC 13.10.323 limits the maximum number of stories to two.

As detailed in the findings (Exhibit B), the proposed Variances to height and stories are supported in acknowledgment that the site is encumbered by flood and wave action hazards which require mitigation incorporated into the building design. Strict compliance with the height limit would require flattening of the roof pitch or, potentially, elimination of the second floor altogether. The proposed structure better achieves the design principles encouraged elsewhere in County Code, at the expense of a moderately taller building.

Similarly, the project design makes use of a required non-habitable ground floor, and strict compliance with County Code through elimination of the walls to create an open ground floor, or by maintaining unfinished grade, would have no bearing on the height of the structure and a negligible effect on the visual appearance of the proposed structure.

### **Variance to Floor Area Ratio (FAR)**

FAR calculated under County definitions reflects the total covered and enclosed space in a development. SCCC 13.10.510(E) establishes the formula for calculating the maximum floor area allowed for a site: “multiply maximum allowed FAR (percentage) by gross site area (square feet), excluding any coastal bluffs, beaches, and land seaward of the mean high tide line of Monterey Bay.” SCCC 13.10.323 specifies that the maximum FAR for the R-1-8 zone district is fifty percent.

As previously noted, the project site sits at the toe of a bluff and a substantial portion of the project site is comprised of sandy beach area, which is not included in gross site area. After deducting the sandy beach area from the portions of site that have historically been developed for residential use, (about 7,883 square feet of the site) the fifty percent maximum FAR would allow 3,942 square feet of total floor area. The proposed dwelling includes 3,919 square feet of living space, a 1,052 square foot garage, and a 1,317 square foot, ground floor storage area, a total of 6,063 square feet of floor area. After deducting the 225 square feet of garage credit allowed by County Code, the FAR is seventy-six percent and a variance is required for approval.

Staff recommend approval of the requested variance to FAR, based on the circumstances and conditions present at the site, and in acknowledgement that a redesigned project reflecting better compliance with the fifty percent maximum FAR would not necessarily reduce the scale of the structure. Since only covered and enclosed space is included in FAR calculations, eliminating the walls on the ground floor of the structure and halving the size of the garage would result in about 4,194 square feet of floor area (53 percent FAR). Though substantially more conforming with the district standards compared to the present design, the change wouldn't have a significant effect in reducing the overall bulk or mass of the structure.

### **Variance to Setbacks**

The proposed project design includes a reduced front yard setback, measured to the edge of the Las Olas Drive right of way, to about zero feet for the garage and about five feet for the closest-encroaching part of the house. The existing structure maintains a nonconforming front yard setback, as do many homes along Las Olas Drive, so the requested variance would not constitute a granting of special privilege for the project.

The reduced setbacks are further supported, in that the site design is consistent with County policies for hazard mitigation, including the criteria for development in Coastal High Hazard Areas as detailed in SCCC 16.10.070(5), and Policy 6.2.10 of the General Plan, which requires “all developments to be sited and designed to avoid or minimize hazards as determined by the geologic hazards assessment or geologic and engineering investigations.” A setback-compliant project design would result in noncompliance with hazard mitigation policies.

### **Design Review**

The proposed dwelling is evaluated as demonstrating compliance with the various requirements of the County Design Review Ordinance and by reference, with the adopted County Design

Guidelines. The building incorporates a range of materials in building design, from stucco to horizontal wood siding and bronze clad windows and doors. The roofline of the proposed structure maintains simple lines and symmetry from left to right. The rear portions of the second story are inset from the first, with a slightly larger inset for the deck area outside of the family room, which gives the perception of modulation and depth. Each of the windows on the rear façade is a different size, which provides visual interest in the structure. The use of open deck rails on the expansive decks at the rear of the property provide benefit in promoting visual interest in the structure, rather than solid railings and walls that discourage visual interest. The front of the house, though visible only to the residents of Las Olas Drive, utilizes similar design elements of varied window sizing and mixed materials.

Windows at the north and south elevations are fewer and smaller in size compared to the design at the front of the rear of the structure, which reduces privacy impacts to adjacent properties, and which breaks up the mass of the structure. On the north elevation, a utility platform is inset from the wall and screened from view with white oak planking, netting articulation and variation in the materials.

The applicant was asked to provide design changes to reduce the perception of bulk associated with the rear deck. As a result, design changes included railing material design changes, elimination of solid privacy walls, eliminating a wall between the two decks, and installing planters and vegetation to break up the appearance of the wall below the deck.

Overall, the proposed dwelling is consistent with the range of development found throughout the Las Olas neighborhood, and the project will incorporate site and architectural design features to adequately reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

### **Local Coastal Program (LCP) Consistency**

The proposed dwelling is determined to be substantially in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project achieves the design principles adopted in SCCC 13.20, which discourage flat roofs, boxy structures, or development that looms into the public viewshed.

The project site is located between the shoreline and the first public through-road, but the site is not identified as a priority acquisition site in the County's Local Coastal Program, and public access to the beach will not be impeded by the proposed project.

### **Conclusion**

The project design is dictated by the documented hazards and environmental conditions present on site. The requested variances have been evaluated as commensurate with other requests in the vicinity, and the proposed design accomplishes a balance in compliance between the prescribed standards and hazard mitigation policies as required in the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **251247**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Division, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.sccoplanning.com](http://www.sccoplanning.com)**

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### **Exhibits**

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters

# CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Division has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 251247  
Assessor Parcel Number: 038-191-29  
Project Location: 739 Las Olas Drive, Aptos

**Project Description:** Proposal to demolish an existing 1,446-square-foot single-family dwelling and construct a new 3,919 square-foot house with a 986-square-foot garage and 1,334-square-foot non-habitable storage area on the ground floor. The project includes a request to elevate the structure above the FEMA base flood elevation, with the first floor positioned approximately nine feet above existing grade, resulting in a three-story dwelling with a non-habitable first floor and a maximum height of approximately 33 feet.

**Person or Agency Proposing Project: Foundry Architecture**

**Contact Phone Number: (917) 242-2122**

- A. \_\_\_\_\_ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. \_\_\_\_\_ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. \_\_\_\_\_ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. \_\_\_\_\_ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E.   X        **Categorical Exemption**

Specify type: Class 2 - Existing Facilities (Section 15302)

**F.      Reasons why the project is exempt:**

The proposed project will demolish one single-family dwelling and construct a replacement dwelling in the same location, with no change in density or intensity of use of the site.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Evan Ditmars, Project Planner

Date: \_\_\_\_\_

## Coastal Development Permit Findings

- (A) That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-8 (single-family residential, 8,000 square foot parcel size), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL, O-R (Urban Low Density Residential, Parks, Recreation, Open Space) General Plan designation.

- (B) That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- (C) That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

The project has been determined to substantially comply with the Design Criteria for the Coastal Zone. Although physically larger than adjacent development, the architecture of the proposed structure is compatible with, and complementary to, the range of styles found on Las Olas Drive. The building incorporates a range of materials in building design, from stucco to horizontal wood siding and bronze clad windows and doors. The roofline of the proposed structure maintains simple lines and symmetry from left to right. The rear portions of the second story are inset from the first, with a slightly larger inset for the deck area outside of the family room, which gives the perception of modulation and depth. Each of the windows on the rear façade is a different size, which provides visual interest in the structure. The use of open deck rails on the expansive decks at the rear of the property provide benefit in promoting visual interest in the structure, rather than solid railings and walls that discourage visual interest. The front of the house, though visible only to the residents of Las Olas Drive, utilizes similar design elements of varied window sizing and mixed materials.

Windows at the north and south elevations are fewer and smaller in size compared to the design at the front of the rear of the structure, which reduces privacy impacts to adjacent properties, and which breaks up the mass of the structure. On the north elevation, a utility platform is inset from the wall and screened from view with white oak planking, netting articulation and variation in the materials.

- (D) That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available south of the project site at Seacliff State Beach.

- (E) That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed in the R-1-8 (single-family residential, 8,000 square foot parcel size) district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

The proposed dwelling would replace an existing dwelling. The project does not create a new building site or otherwise increase the intensity of use at the parcel. The structure is elevated to exceed the minimum base flood elevation, sufficiently mitigating the known wave-action hazard at the site.

- (F) If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that although the project site is located between the shoreline and the first public road, Las Olas Drive is a private street, and public access is not afforded through the project site. Consequently, the proposed dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

- (G) In the event of any conflicts between or among the required findings, required findings in subsections (E) and (F) of this section shall prevail.

This finding can be made, in that there are no conflicts among the required Coastal Development Permit findings.

## Discretionary Permit Findings

- (a) **Health and Safety.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not be materially injurious to properties or improvements in the vicinity.

The proposed structure is designed to exceed the base flood elevation, improving the safety of occupants of the proposed structure when compared to existing conditions.

- (b) **Zoning Conformance.** The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the dwelling and the conditions under which it would be operated or maintained will in substantial conformance with all pertinent County ordinances and the purpose of the R-1-8 (single-family residential, 8,000 square foot parcel size) zone district as the primary use of the property will be one single family dwelling.

Where the project does not conform with the R-1-8 zoning designation (in building height, number of stories, and floor area ratio), variance approval is recommended. The basis for nonconformance is largely due to the mitigation of flood hazards by elevating the structure. The resulting project appropriately balances hazard mitigation with site and development standards.

- (c) **General Plan Conformance.** The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is in substantial conformance with the use and density requirements specified for the R-UL, O-R (Urban Low Density Residential, Parks, Recreation, Open Space) land use designation in the County General Plan.

The project complies with the General Plan Policies for Public Safety, including Policy 6.4.2 (Development Proposals Protected from Flood Hazard), 6.4.3 (Development on or Adjacent to Coastal Bluffs and Beaches), and Policy 6.4.8 (Elevation of Residential Structures). The project is also consistent with the Built Environment Policy BE-4.2.1, requiring consistency with the Climate Action and Adaptation Plan (CAAP), which identifies a strategy of requiring resilient development to address sea level rise and impacts.

A specific plan has not been adopted for this portion of the County.

- (d) **CEQA Conformance.** The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.

This finding can be made, in that the project has been determined to be exempt from further review under the California Environmental Quality Act, as indicated in the Notice of Exemption for this project.

- (e) **Utilities and Traffic Impacts.** The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling will replace the existing dwelling on a developed lot. A small amount of traffic would be generated during construction, but the resulting project is not anticipated to adversely impact existing roads or intersections in the surrounding area. In addition, all construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure that the project will not overload utilities or otherwise result in an inefficient or wasteful use of energy.

- (f) **Neighborhood Compatibility.** The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood as designated by the General Plan and implementing ordinances.

- (g) **Local Coastal Program Consistency.** For proposed projects located within the coastal zone, the proposed project is consistent with the provisions of the certified Local Coastal Program.

This finding can be made, in that the required Coastal Development Permit findings have been made for this project and the project is consistent with the provisions of the certified Local Coastal Program.

### **Site Development Permit Findings**

- (a) **Siting and Neighborhood Context.** The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.

This finding can be made, in that the proposed dwelling is evaluated as demonstrating compliance with the various requirements of the County Design Review Ordinance and by reference, with the adopted County Design Guidelines. The building incorporates a range of materials in building design, from stucco to horizontal wood siding and bronze cladded windows and doors. The roofline of the proposed structure maintains simple lines and symmetry from left to right. The rear

portions of the second story are inset from the first, with a slightly larger inset for the deck area outside of the family room, which gives the perception of modulation and depth. Each of the windows on the rear façade is a different size, which provides visual interest in the structure. The use of open deck rails on the expansive decks at the rear of the property provide benefit in promoting visual interest in the structure, rather than solid railings and walls that discourage visual interest. The front of the house, though visible only to the residents of Las Olas Drive, utilizes similar design elements of varied window sizing and mixed materials.

Windows at the north and south elevations are fewer and smaller in size compared to the design at the front of the rear of the structure, which reduces privacy impacts to adjacent properties, and which breaks up the mass of the structure. On the north elevation, a utility platform is inset from the wall and screened from view with white oak planking, netting articulation and variation in the materials.

The applicant was asked to provide addition designs to reduce the perception of bulk associated with the rear deck. Design changes implemented as a result of this request included railing material design changes, elimination of solid privacy walls, eliminating a wall between the two decks, and installing planters and vegetation to break up the appearance of the wall below the deck.

Overall, the proposed dwelling is consistent with the range of development found throughout the Las Olas neighborhood, and the project will incorporate site and architectural design features to adequately reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

- (b) Design. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review). If located in the Coastal Zone, the site plan and building design are also in substantial conformance with the policies of the Local Coastal Program and coastal regulations of SCCC 13.20.

This finding can be made, in that the proposed dwelling is in substantial conformance with the requirements of the County Design Review Ordinance. The proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the subject property and reduce the visual impact of the proposed development on surrounding land uses.

The project conforms with the Design Criteria for the Coastal Zone in that the structure is built at the inland portion of the site so that it does not loom into or over the public viewshed at the adjacent beach. The proposed building design, although larger than adjacent structures, is visually compatible with the range of development found along Las Olas Drive and the design incorporates natural colors and materials that will blend with the natural landscape of the site.

## Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification;

The property is located in a mapped flood hazard area (FEMA VE zone), a designation that requires new development to mitigate flood hazards through elevation outside of the base flood elevation. Other structures with the same mapped flood hazard are subject to the same requirement, and other structures in the neighborhood have been approved with similar homes which also exceed height, floor area, or number of stories, including 745 Las Olas Drive and 761 Las Olas Drive.

2. That the granting of such variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity;

This finding can be made, in that the proposed project would result in an approximately 3,900 square foot dwelling, which is consistent with the floor area of development that would be expected on a similarly zoned parcel (R-1-8) found elsewhere in the County. The proposed variances do not facilitate a scale of development which wouldn't be found on other parcels with similar mapped constraints. The five feet of additional height proposed with the project do not significantly increase the amount of looming or shading onto adjacent properties and the project is designed to comply with the required side yard setbacks. Lastly, the requested variances are the result of designing the structure for flood compliance, which improves health, safety, and welfare of persons at the site.

3. That the granting of such variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that other structures with the same mapped flood hazard are subject to the same requirements, and other structures in the neighborhood have been approved with similar exceptions to height, floor area, or number of stories, including 745 Las Olas Drive and 761 Las Olas Drive. Homes along Beach Drive, about 1.5 miles south of the project sites, are regularly approved with variances to height, floor area, setbacks, number of floors, and stories because of required compliance with geological and flood hazards. Any property encumbered with the same hazards could be considered for approval of the same exceptions as the proposed project.

## Conditions of Approval

Exhibit D: Project plans, prepared by Foundry Architecture, dated 3-5-26.

- I. This permit authorizes the construction of a single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to Santa Cruz County Planning one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to Santa Cruz County Planning must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by Santa Cruz County Planning. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with Santa Cruz County Planning. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Santa Cruz County Planning review and approval.
    3. Grading, drainage, and erosion control plans.
    4. The building plans must include a roof plan and a surveyed contour map of

the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
    1. The application submittal shall adhere to the County Design Criteria (CDC). Pre-development runoff patterns and rates shall be maintained, and safe stormwater overflow shall be incorporated into the project design.
  - C. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
  - D. Meet all requirements of the Environmental Planning section of Santa Cruz County Planning.
    1. FEMA guidance requires decks in V-zones (coastal high-hazard areas) to be structurally independent of the main building, elevated on piles or columns above the Base Flood Elevation (BFE), and free of obstruction below the BFE. Any deck, or any part of a deck, that is attached to the house and is not elevated above the BFE must be constructed with breakaway walls and be designed to fail without damaging the main structure. Free of Obstruction Requirements For Buildings Located in Coastal High Hazard Areas in Accordance with the National Flood Insurance Flood Insurance Program, NFIP Technical Bulletin 5, February 2020.
    2. Detailed Structural Plans have not been developed at this stage of the project and will be reviewed at the building permit submittal phase. Final plans must provide appropriate details and measures to confirm compliance with FEMA Free of Obstruction requirements as well as impact force design recommendations of the project geologist and geotechnical engineer. Final impact design recommendations considering the potential for wave action, wave-borne debris, and potential earth debris from northern slopes shall be provided by the project team with other materials for building permit review.
  - E. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
  - F. Submit 3 copies of plan review letters prepared and stamped by the project

Geotechnical Engineer.

- G. Tree removal. Retention of existing trees on site shall be prioritized, if feasible.
    - 1. Replacement trees shall be replanted on site at a ratio of three trees for every one tree removed if replacement trees are non-native, and two to one if replacement trees are native.
    - 2. All trees planted shall be a minimum of 15-gallon size and will require confirmation of planting prior to final inspection.
  - H. Pay the current fees for Parks mitigation. Currently, these fees are \$7.20 per square foot for single family dwellings.
  - I. Pay the current fees Child Care mitigation. Currently, these fees are \$0.85 per square foot for single family dwellings.
  - J. Pay the current fees for Roadside and Transportation improvements. Currently, these fees are \$1000 per new bedroom.
  - K. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 4,000 square feet is \$10 per square foot.
  - L. Provide required off-street parking for four cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
  - M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
  - N. Complete and record a Declaration of Restriction to construct a 1,317 square foot non-habitable ground floor storage. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
  - O. Complete and record a Declaration of Geologic Hazards with the County Recorder. The declaration shall include a description of the hazards on the parcel and the level of geologic and/or geotechnical investigation conducted. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to Santa Cruz County Planning.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.

- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the

defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor’(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

---

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Deputy Zoning Administrator

---

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

## PROJECT INFORMATION

DEMOLISH EXISTING STRUCTURE AND BUILD NEW SINGLE FAMILY RESIDENCE ABOVE THE BFE.

APN:	038-191-29
BUILDING ADDRESS:	739 LAS OLAS DR APOST CA 95003
ZONING:	R-1-8
CONSTRUCTION TYPE:	VB
OCCUPANCY TYPE:	GROUP R-3
SRA:	LRA
SPRINKLERED:	NO
COASTAL ZONE:	YES
INSIDE URBAN SERVICES LINE:	YES
CLIMATE ZONE:	3
LOT SIZE:	14,962 SQFT
NET DEVELOPABLE AREA:	12,106 SQFT
MAX FLOOR AREA RATIO:	50%
MAX FLOOR AREA :	6,053 SQFT
LOT COVERAGE MAX:	40%
LOT COVERAGE SQFT ALLOWED:	8,977 SQFT
PROPOSED LOT COVERAGE:	3,668 SQFT - SEE LOT COVERAGE DIAGRAM SHEET A1.0
EXISTING FLOOR AREA:	
MAIN:	1,006 SQFT
SECONDARY:	440 SQFT
TOTAL:	1,446 SQFT
PROPOSED FLOOR AREA: (NON-CONDITIONED) - SEE FAR DIAGRAM SHEET A1.0	
GARAGE:	1,052 SQFT
PROPOSED FLOOR AREA: (CONDITIONED)	
FIRST FLOOR:	2,286 SQFT
SECOND FLOOR:	1,633 SQFT
SUBTOTAL:	3,919 SQFT
GARAGE CREDIT:	225 SQFT
TOTAL:	3,694 SQFT
MAX NUMBER OF STORIES:	2
PROPOSED:	2
SETBACKS	
FRONT:	20'
SIDE:	5' and 8'
REAR:	15'
MAX HEIGHT:	28'
PROPOSED:	32' 8" +/-
OFF STREET PARKING REQUIREMENTS:	3
PROPOSED:	4
GRADING:	SEE CIVIL SHEET C1.1
FEMA :	ZONE VE

## APPLICABLE CODES & REGS.

2025 California Building Code  
 2025 California Residential Code  
 2025 California Electrical Code  
 2025 California Mechanical Code  
 2025 California Plumbing Code  
 2025 California Fire Code  
 2025 Building Energy Efficiency Standards  
 2025 California Green Building Code

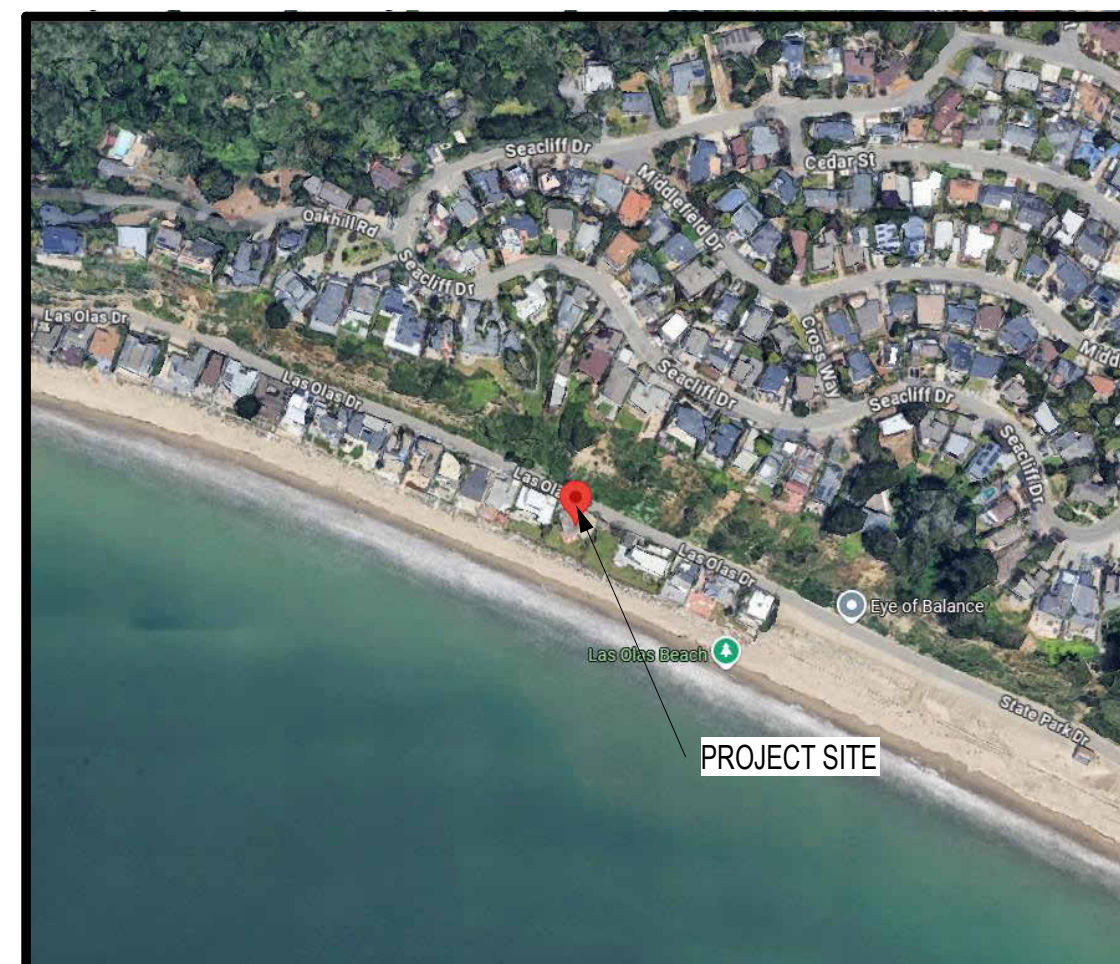
ALL WORK TO CONFORM TO LOCAL CODE AMENDMENTS, APPLICABLE ORDINANCES & FEDERAL REGULATIONS.

## CONDITIONS OF APPROVAL

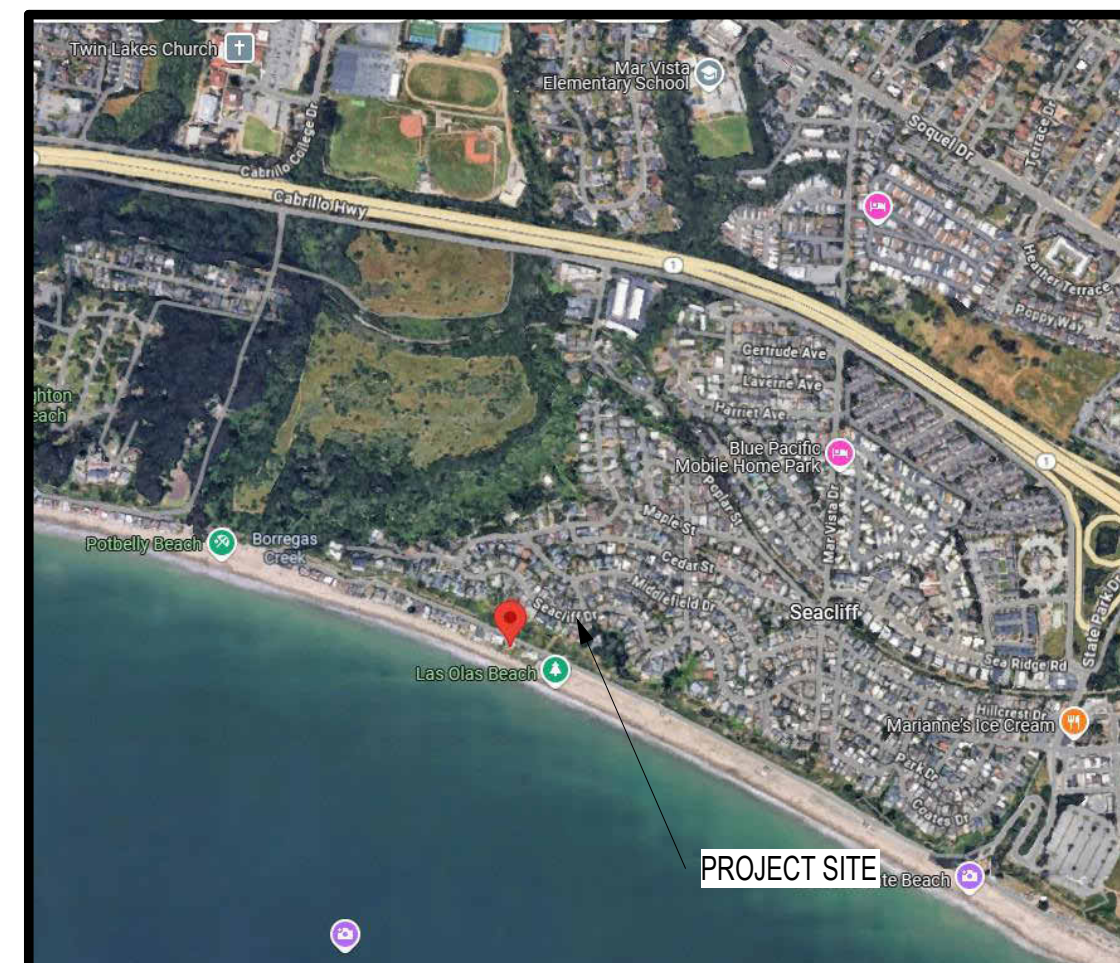
The design and methods of construction to be used are in accordance with accepted standards of practice for meeting the provisions of subsections (H)(5)(c) and (d) of section Santa Cruz County Municipal Code 16.10.070(H)(5).

Subsection (d) states "anchoring of the pile or column foundation and structure attached thereto to prevent flotation, collapse and lateral movement due to the effect of wind and water loads acting simultaneously on all building components. Wind and water loading values shall each have a one percent chance of being equaled or exceeded in any given year (100-year mean recurrence interval)".

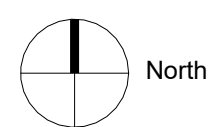
## LOCATION MAP



## VICINITY MAP



1. FROM SAN JOSE - CONTINUE ON CA 17 S TO SEACLIFF. TAKE EXIT 435 FROM CA-1S. FOLLOW STATE PARK DR. TO LAS OLAS DR.



## FIRE NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND THE LOCAL FIRE DISTRICT AMENDMENTS
- BUILDING NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
- THE JOB COPIES OF THE BUILDING, FIRE SYSTEMS PLANS, AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
- A PUBLIC FIRE HYDRANT IS REQUIRED TO BE WITHIN 600' OF ANY PORTION OF THE BUILDING. HYDRANT SHALL BE ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED DRIVABLE ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING.
- ALL PRIVATE ACCESS ROADS, DRIVEWAYS, TURN-AROUND AND BRIDGES ARE THE RESPONSIBILITY OF THE OWNER(S) OF RECORD AND SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT SAFE AND EXPEDIENT PASSAGE AT ALL TIMES.
- BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

## ABBREVIATIONS

<b>A</b>		<b>M</b>	
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
AL	ALUMINUM	MFD	MANUFACTURED
ALT	ALTERNATE	MFR	MANUFACTURER
APPL	APPLIANCE	MECH	MECHANICAL
ARCH	ARCHITECT(URAL)	MIN	MINIMUM
AUTO	AUTOMATIC	MISC	MISCELLANEOUS
AVG	AVERAGE	MLWK	MILLWORK
&	AND	MTD	MOUNTED
<b>B</b>		<b>N</b>	
BLDG	BUILDING	NIC	NOT IN CONTRACT
BD	BOARD	NO	NUMBER
BLKG	BLOCKING	NTS	NOT TO SCALE
<b>C</b>		(N)	NEW/PROPOSED
CPT	CARPET	<b>O</b>	
CEM	CEMENT(ITIOUS)	OVFL	OVERFLOW
CLG	CEILING	OVHD	OVERHEAD
CONC	CONCRETE	OPNG	OPENING(S)
CONST	CONSTRUCTION	<b>P</b>	
CONT	CONTINUOUS(ATION)	PBD	PARTICLE BOARD
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
<b>D</b>		POB	POINT OF BEGINNING
DBL	DOUBLE	PREFIN	PREFINISHED
DEPT	DEPARTMENT	PREFAB	PREFABRICATED
DET	DETAIL	PLAM	PLASTIC LAMINATE
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	<b>R</b>	
DIFF	DIFFUSER	RECES	RECESSED
DIM	DIMENSION	REF	REFER(ENCE)
DISP	DISPENSER	REFL	REFLECTED
DIV	DIVISION	REGS	REGULATIONS
DN	DOWN	RM	ROOM
\$	DOLLAR (US CURRENCY)	REQD	REQUIRED
DR	DOOR	REQD	REQUIRED
DS	DOWNSPOUT	(R)	RELOCATED
DWR	DRAWER	<b>S</b>	
<b>E</b>		SEC	SECURITY
ELEC	ELECTRICAL	SF	SQUARE FEET
ENGR	ENGINEER(ED)	SD	STORM DRAIN
ENTR	ENTRANCE	SIM	SIMILAR
EQ	EQUAL	SST	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
(E)	EXISTING	STL	STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
<b>F</b>		SUSP	SUSPENDED
FAB	FABRICATION	<b>T</b>	
FD	FLOOR DRAIN	TRTD	TREATED
FE	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
FEC	FIRE EXTINGUISHER AND CABINET	TYP	TYPICAL
FHC	FIRE HOSE CABINET	T	TEMPERED GLASS
FIN	FINISH	<b>U</b>	
FR	FIRE RAT(ING)(ED)	UTIL	UTILITY
FRM	FRAME	UNO	UNLESS NOTED OTHERWISE
FRMG	FRAMING	<b>V</b>	
FLR	FLOOR(ING)	VERT	VERTICAL
FURN	FURNITURE	VIF	VERIFY IN FIELD
FWC	FABRIC WALL COVERING	<b>W</b>	
<b>G</b>		W/	WITH
GA	GAUGE	WC	WATER CLOSET
GC	GENERAL CONTRACTOR	WD	WOOD
GFRC	GLASS FIBER REINFORCED CONCRETE	W/O	WITHOUT
GFRG	GLASS FIBER REINFORCED GYPSUM	WT	WEIGHT
GFRP	GLASS FIBER REINFORCED PLASTER		
GL	GLASS		
GYP	GYPSUM		
<b>H</b>			
HD	HEAD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
<b>I</b>			
INFO	INFORMATION		
INSUL	INSULATION		
INT	INTERIOR		
<b>J</b>			
JAN	JANITOR		
<b>L</b>			
LAV	LAVATORY		
LB	POUND		
LT	LIGHT		
LVLG	LEVELING		

## CONTACT INFORMATION

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 paulhanagansurvey.com  
 www.hanagansurvey.com

## DRAWING INDEX

### ARCHITECTURAL

		15% BLDG SUBMITTAL	20% BLDG SUBMITTAL	30% BLDG SUBMITTAL
A0.1	PROJECT INFORMATION	X	X	X
A0.2	RENDERING FROM BEACHSIDE	X	X	X
A0.2A	RENDERING - BIRDS EYE	X	X	X
A0.3	NEIGHBORHOOD CONTEXT	X	X	X
A0.4	SHADOW STUDY	X	X	X
A0.5	PROPOSED PRELIMINARY LANDSCAPE PLAN	X	X	X
A1.0	FAR AND LOT OVERAGE DIAGRAM	X	X	X
A1.1	EXISTING AND PROPOSED SITE PLAN	X	X	X
A2.0	EXISTING FLOOR PLAN - LEVEL 1	X	X	X
A2.1	EXISTING ROOF PLAN	X	X	X
A2.2	PROPOSED FLOOR PLAN - GRADE LEVEL	X	X	X
A2.4	PROPOSED FLOOR PLAN - LEVEL 1	X	X	X
A2.5	PROPOSED FLOOR PLAN - LEVEL 2	X	X	X
A2.6	PROPOSED ROOF PLAN	X	X	X
A3.0	EXISTING ELEVATIONS	X	X	X
A3.1	EXISTING ELEVATIONS	X	X	X
A3.2	PROPOSED ELEVATIONS	X	X	X
A3.3	PROPOSED ELEVATIONS	X	X	X
A5.0	PROPOSED SECTION	X	X	X
A5.1	PROPOSED SECTION	X	X	X
A5.8	PROPOSED CUT SECTION THROUGH 1ST FLOOR	X	X	X
A5.9	PROPOSED CUT SECTION THROUGH 2ND FLOOR	X	X	X
A7.0	WINDOW SCHEDULE	X	X	X
A7.2	DOOR SCHEDULE	X	X	X

### CIVIL

C1.0	COVER SHEET	X	X	X
C1.1	NOTES	X	X	X
C2.0	SITE PLAN	X	X	X
C2.0	GRADING & DRAINAGE PLAN	X	X	X
C3.1	SECTIONS	X	X	X
C4.0	EXISTING & PROPOSED WATERSHED MAPS	X	X	X
C5.0	DETAILS	X	X	X
C5.1	DETAILS	X	X	X
C6.0	EROSION CONTROL PLAN AND DETAILS	X	X	X

### SURVEY

TP-1	TOPOGRAPHIC MAP	X	X	X
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## LAS OLAS

739 Las Olas Dr  
 Aptos, CA 95003

# Foundry.

8070 Soquel Drive, STE 130 Aptos, CA, 95003 Tel 831.239.8578

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
 LAS OLAS

Project APN  
 038-191-29

Description  
 PROJECT INFORMATION

Scale  
 As indicated

# A0.1

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Exhibit D  
 Project Plans  
 Application 251247

LAS OLAS

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

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Aptos CA, 95003



#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
RENDERING FROM BEACHSIDE

Scale

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 Project Plans  
 Application 251247

**A0.2**

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**FOUNDRY.**

8070 Soquel Drive, Ste 130 Aptos, CA 95003  
PH:831.239.8578



#	Issue	Date	Description
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
RENDERING - BIRDS EYE

Scale

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 Project Plans  
 Application 251247

**A0.2A**

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741 LAS OLAS DR.



745 LAS OLAS DR.



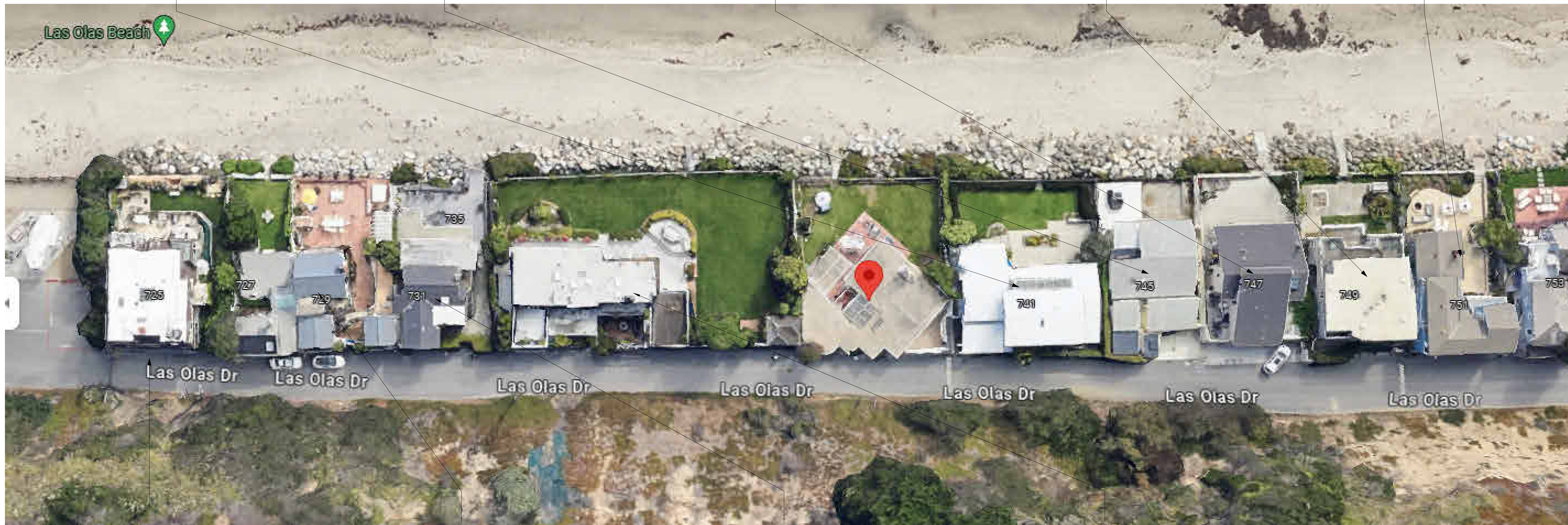
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749 LAS OLAS DR.



751 LAS OLAS DR.



725 LAS OLAS DR.

729 LAS OLAS DR.

731 LAS OLAS DR.

737 LAS OLAS DR.



Exhibit D  
Project Plans  
Application 251247

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

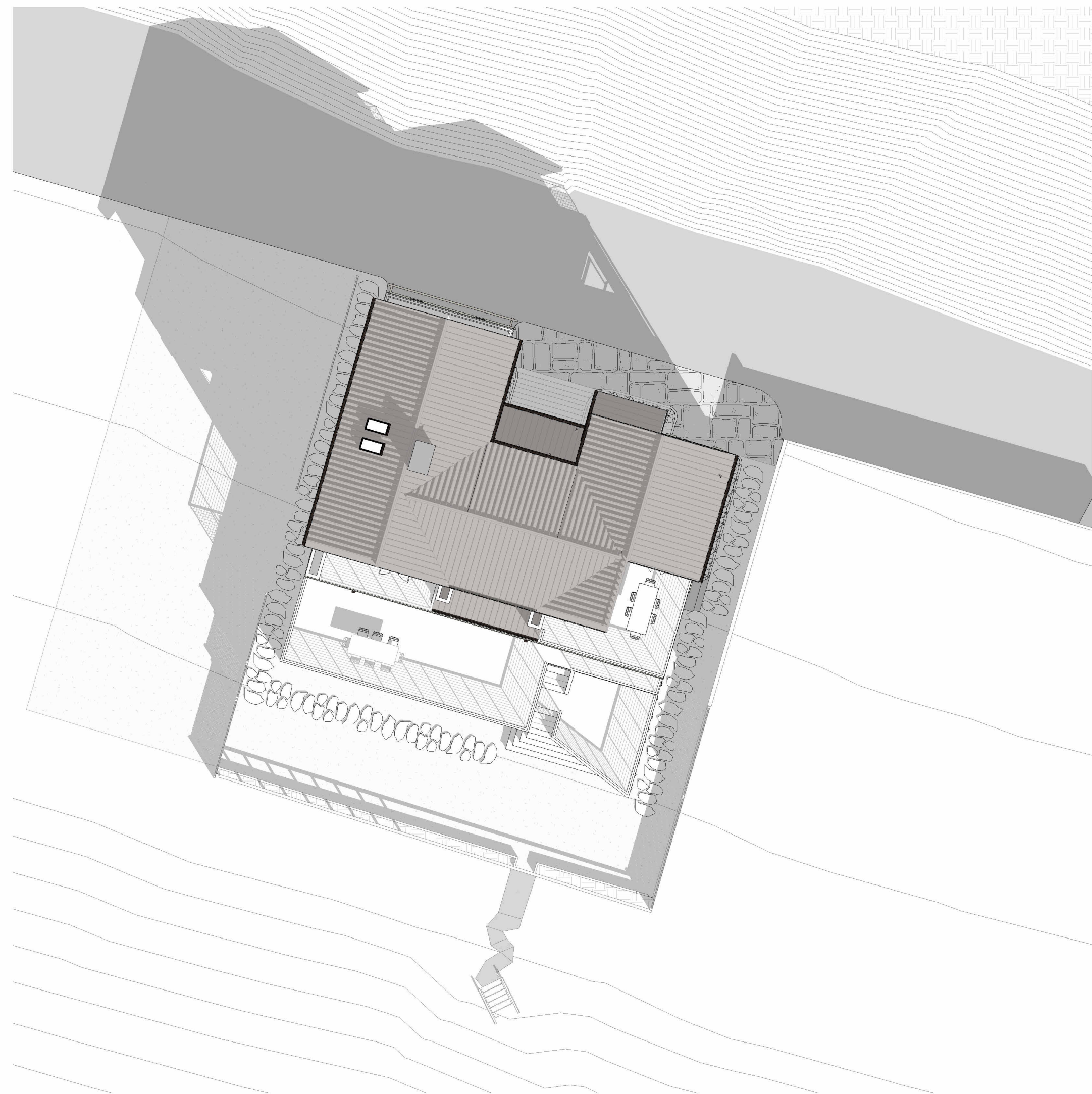
Project APN  
038-191-29

Description  
NEIGHBORHOOD CONTEXT

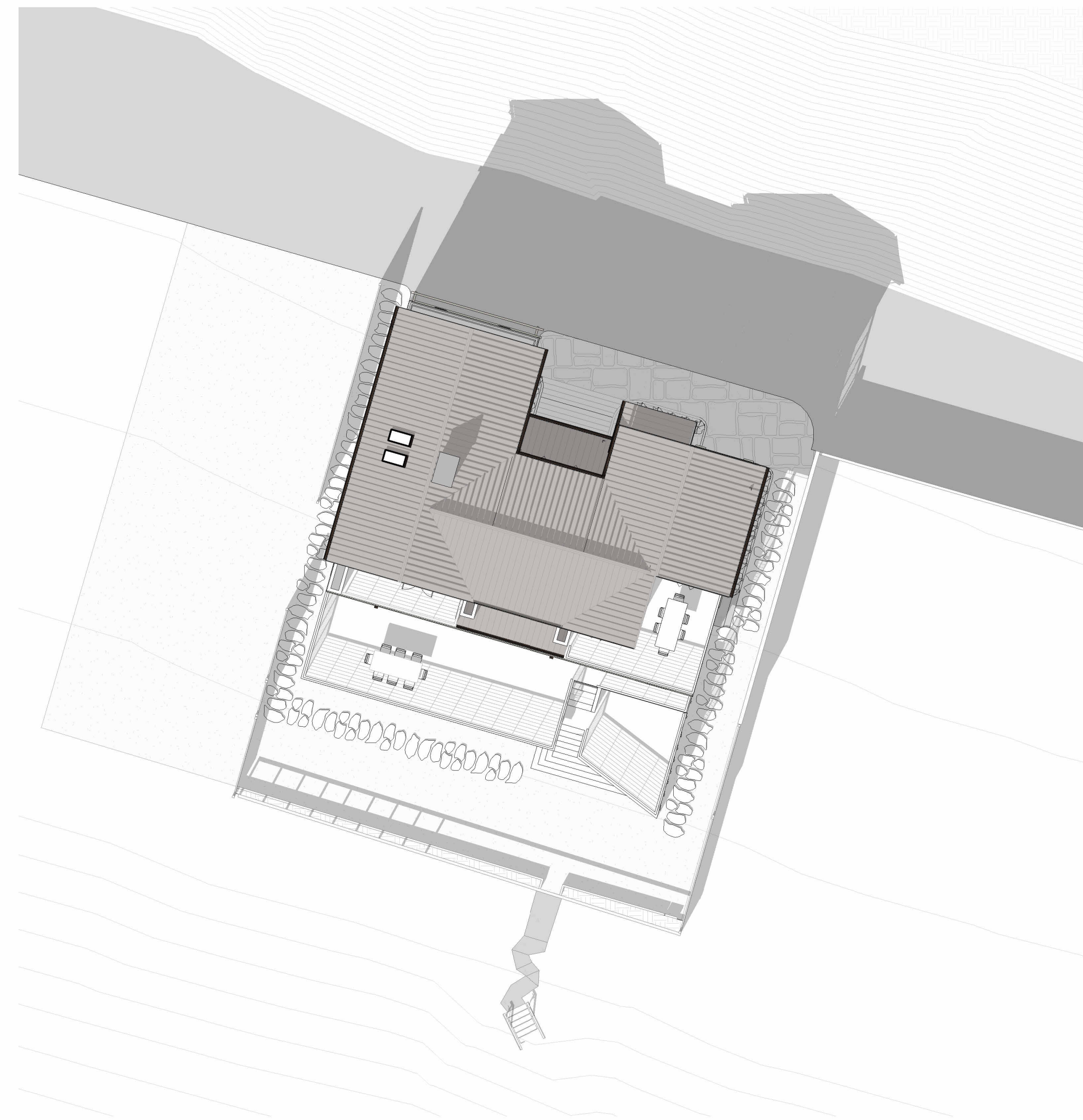
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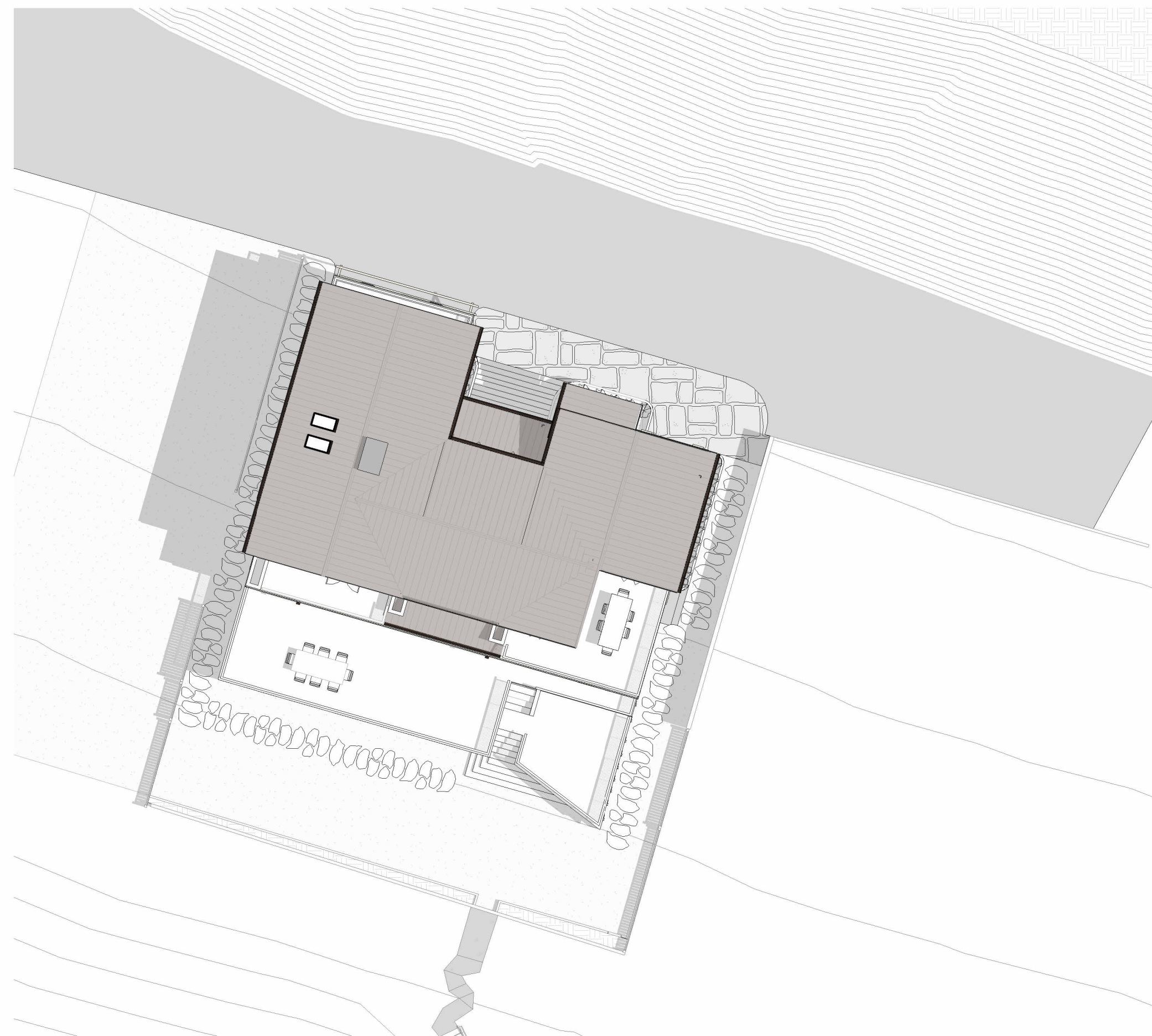
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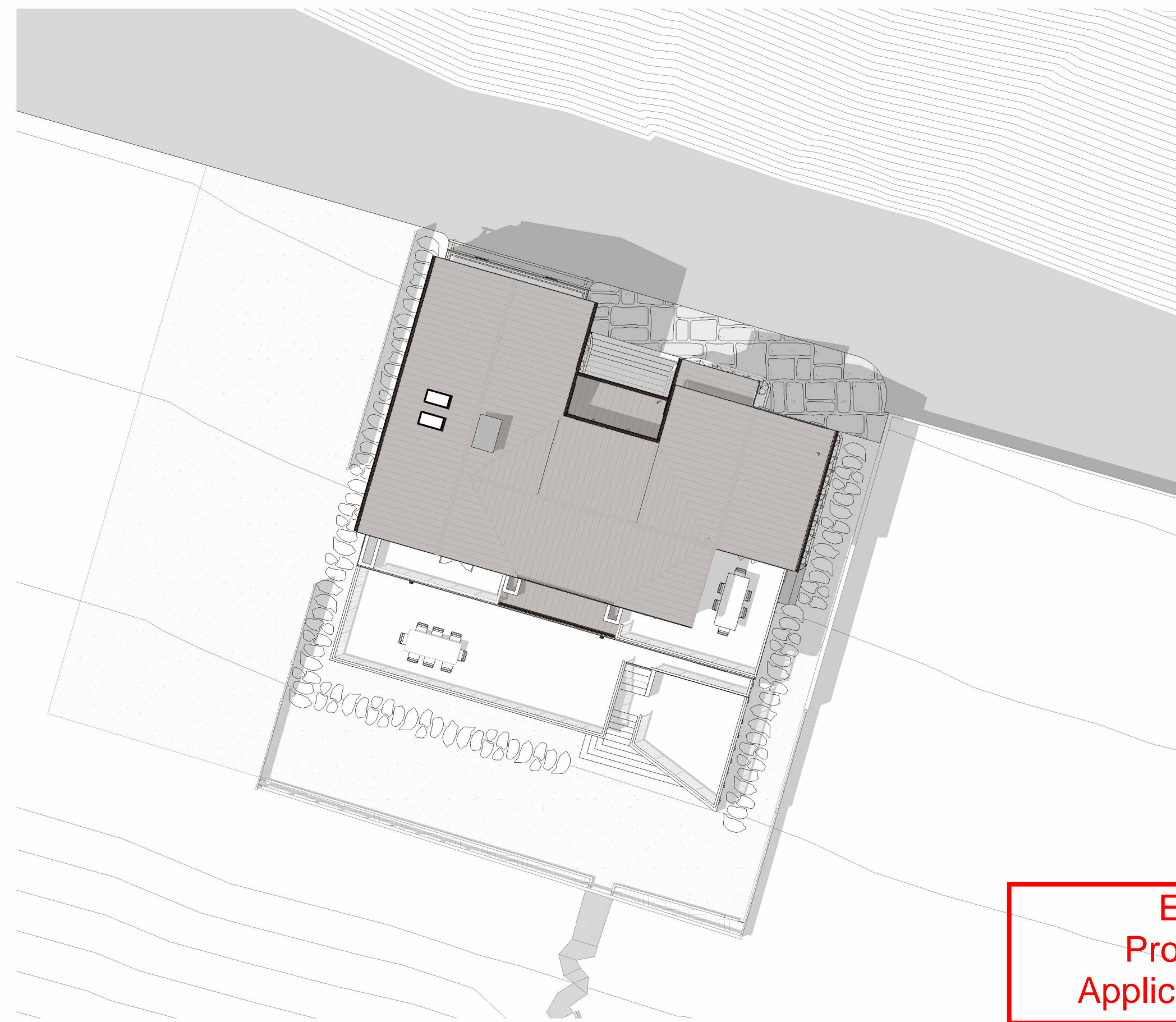
① NEW SHADOW PLAN - DEC 21ST 10AM  
1/16" = 1'-0"



② NEW SHADOW PLAN - DEC 21ST 2 PM  
1/16" = 1'-0"



③ NEW SHADOW PLAN - JUNE 21ST 10 AM  
1/16" = 1'-0"



④ NEW SHADOW PLAN - JUNE 21ST 2 PM  
1/16" = 1'-0"

Exhibit D  
Project Plans  
Application 251247

LAS OLAS

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

8070 Soquel Drive, STE 130 Tel 831.239.8578  
Aptos CA, 95003

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2	3	03/05/26	CDP Resubmittal

Seal/Signature

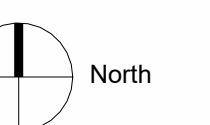


Project Name  
LAS OLAS

Project APN  
038-191-29

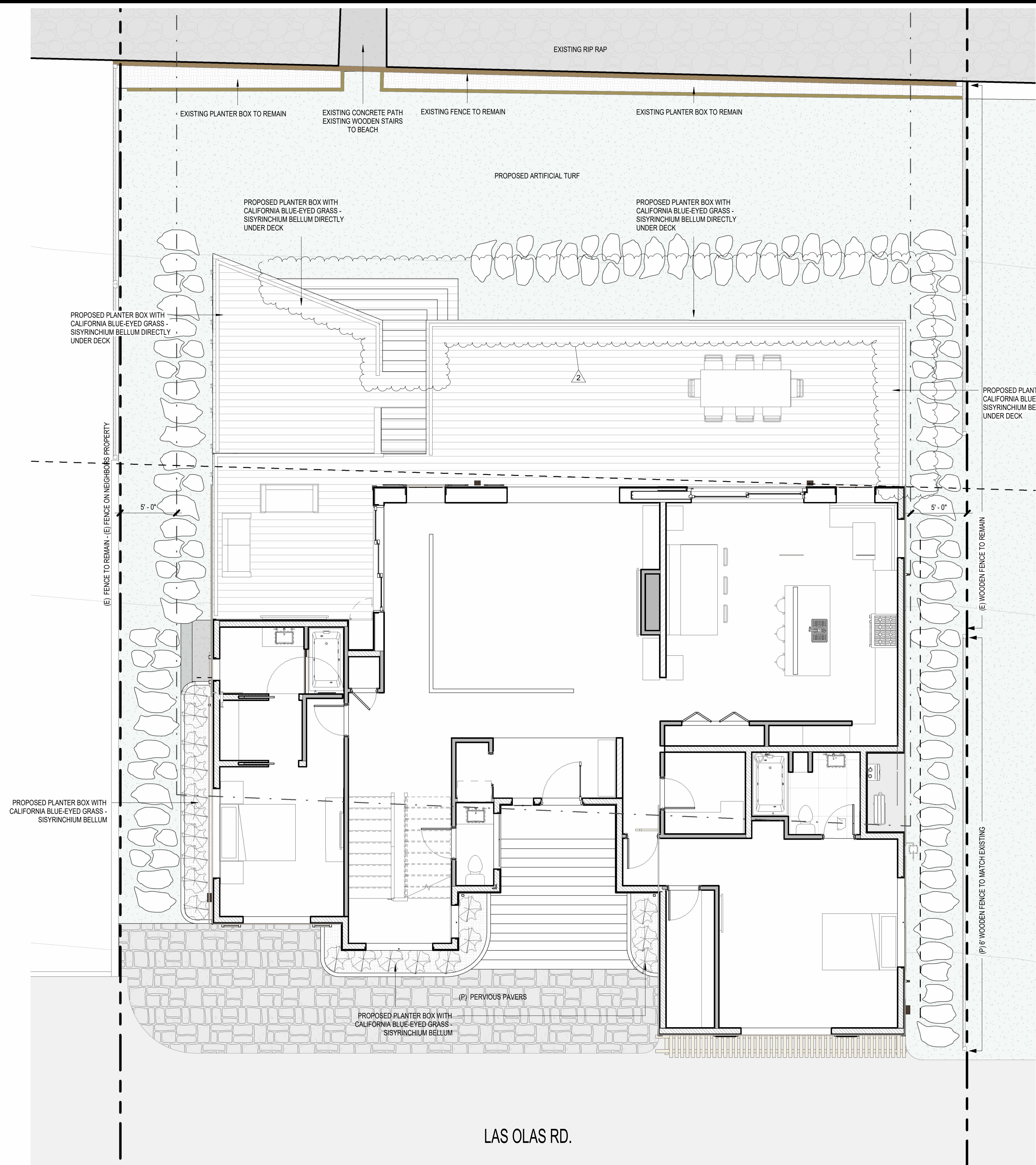
Description  
SHADOW STUDY

Scale  
1/16" = 1'-0"



**A0.4**

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LAS OLAS RD.

PROPOSED PRELIMINARY LANDSCAPE  
 1 PLAN  
 1" = 5'-0"

Exhibit D  
 Project Plans  
 Application 251247

LAS OLAS  
 739 Las Olas Dr  
 Aptos, CA 95003  
**Foundry.**  
 8070 Soquel Drive, STE 130 Tel 831.239.8578  
 Aptos CA, 95003

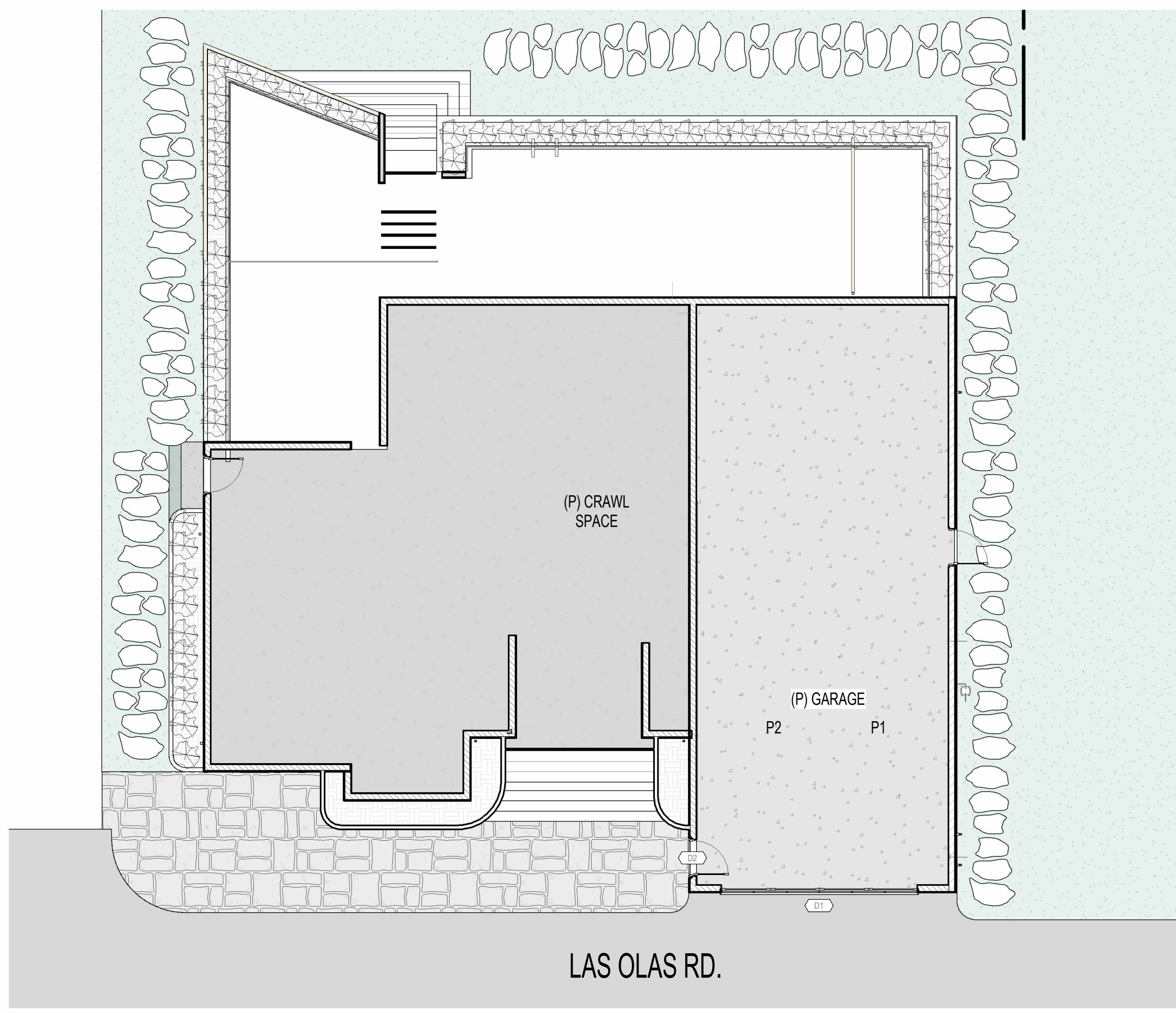
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2	3	03/05/26	CDP Resubmittal



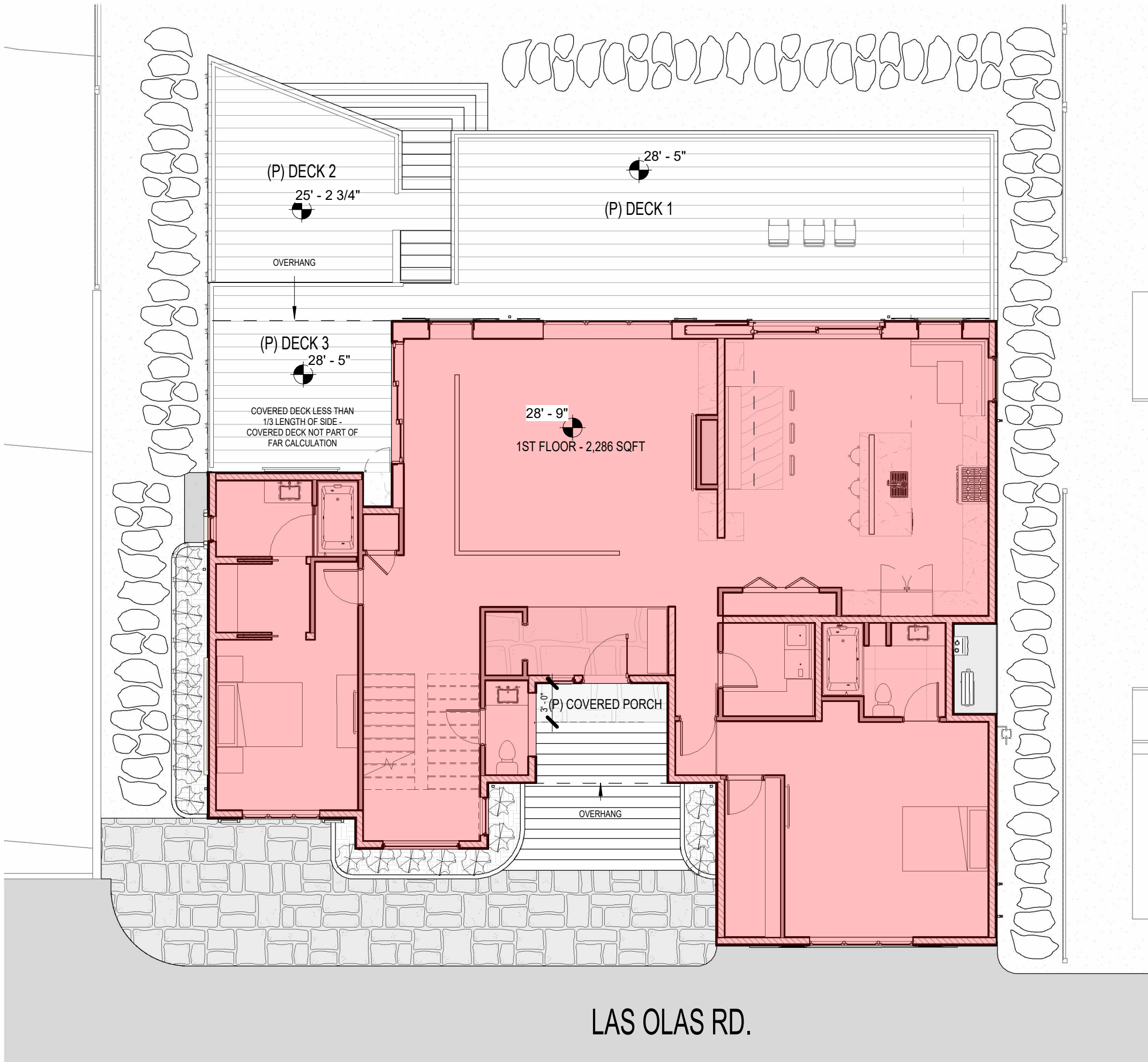
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 LAS OLAS  
 Project APN  
 038-191-29  
 Description  
 PROPOSED PRELIMINARY LANDSCAPE PLAN

Scale  
 1" = 5'-0"

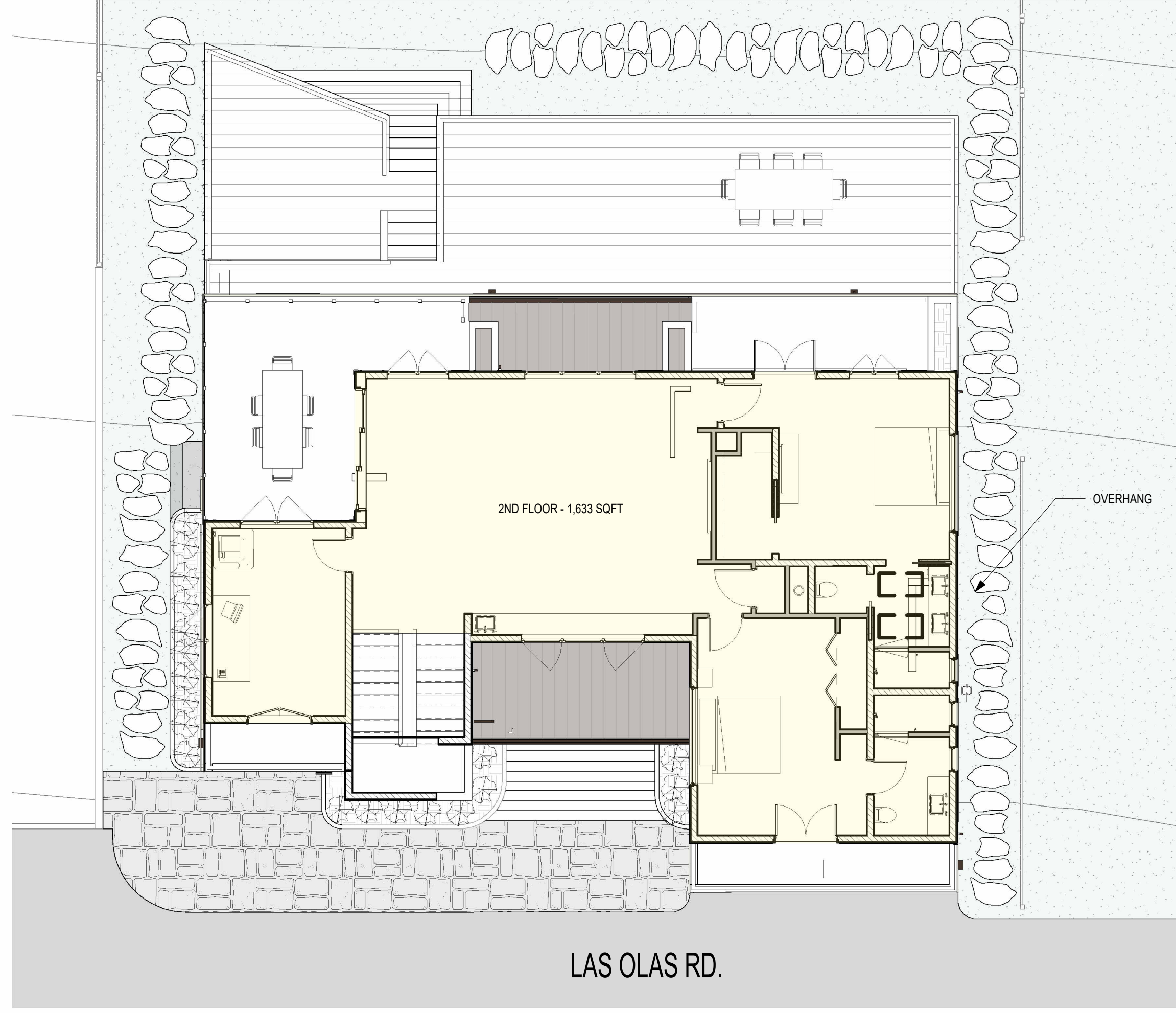
North  
**A0.5**  
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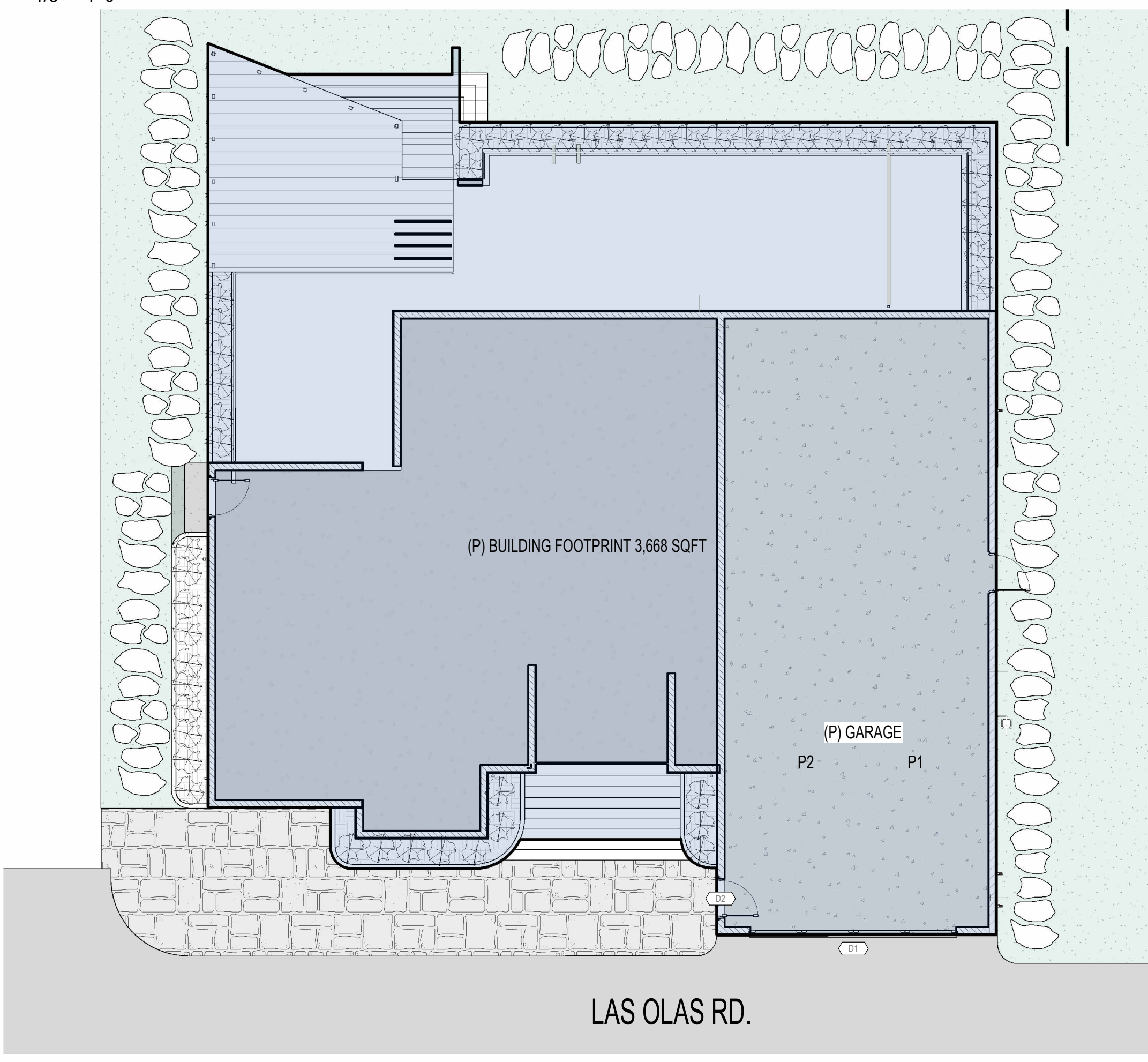
① (P) FLOOR PLAN - GRADE LEVEL - FAR DIAGRAM  
1/8" = 1'-0"



② (P) FLOOR PLAN - LEVEL 1 - FAR DIAGRAM  
1/8" = 1'-0"



③ (P) FLOOR PLAN - LEVEL 2 - FAR DIAGRAM  
1/8" = 1'-0"



④ (P) BUILDING FOOTPRINT - LOT COVERAGE DIAGRAM  
1/8" = 1'-0"

**FAR DIAGRAM LEGEND**

1ST FLOOR	2,286 SQFT
2ND FLOOR	1,633 SQFT
<b>TOTAL</b>	<b>3,919 SQFT</b>

**LOT COVERAGE LEGEND**

BUILDING FOOTPRINT	3,668 SQFT
--------------------	------------

**LAS OLAS**

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Aptos, CA 95003

**Foundry.**

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Aptos CA, 95003 Tel 831.239.8578

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
FAR AND LOT OVERAGE DIAGRAM

Scale  
As indicated

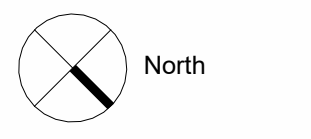
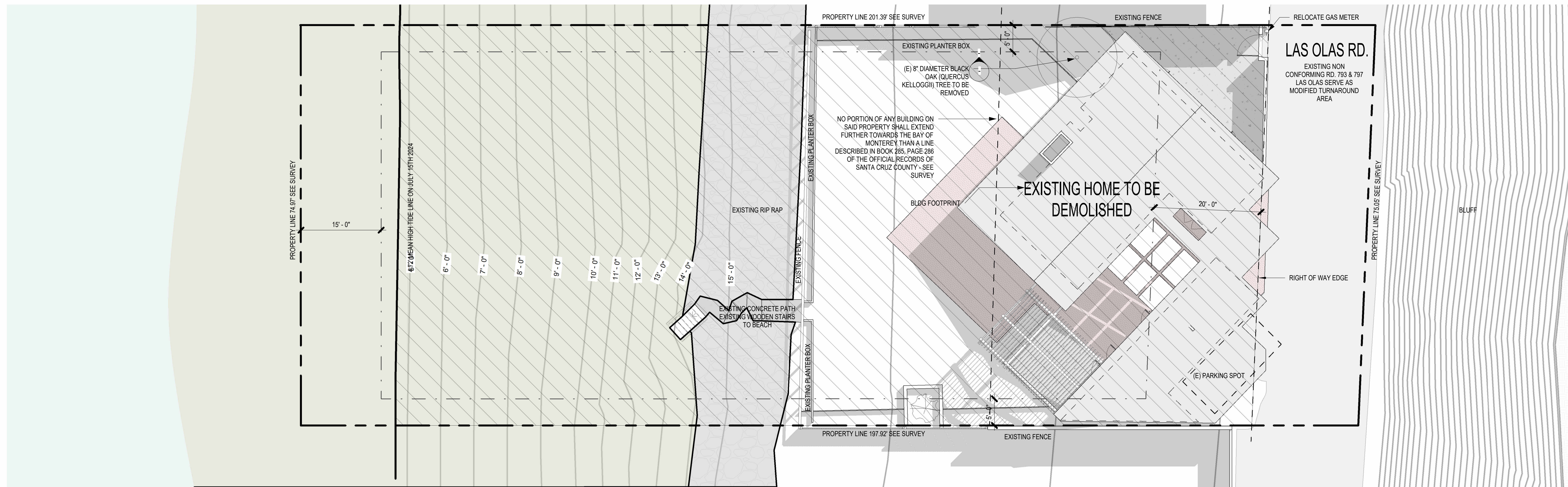


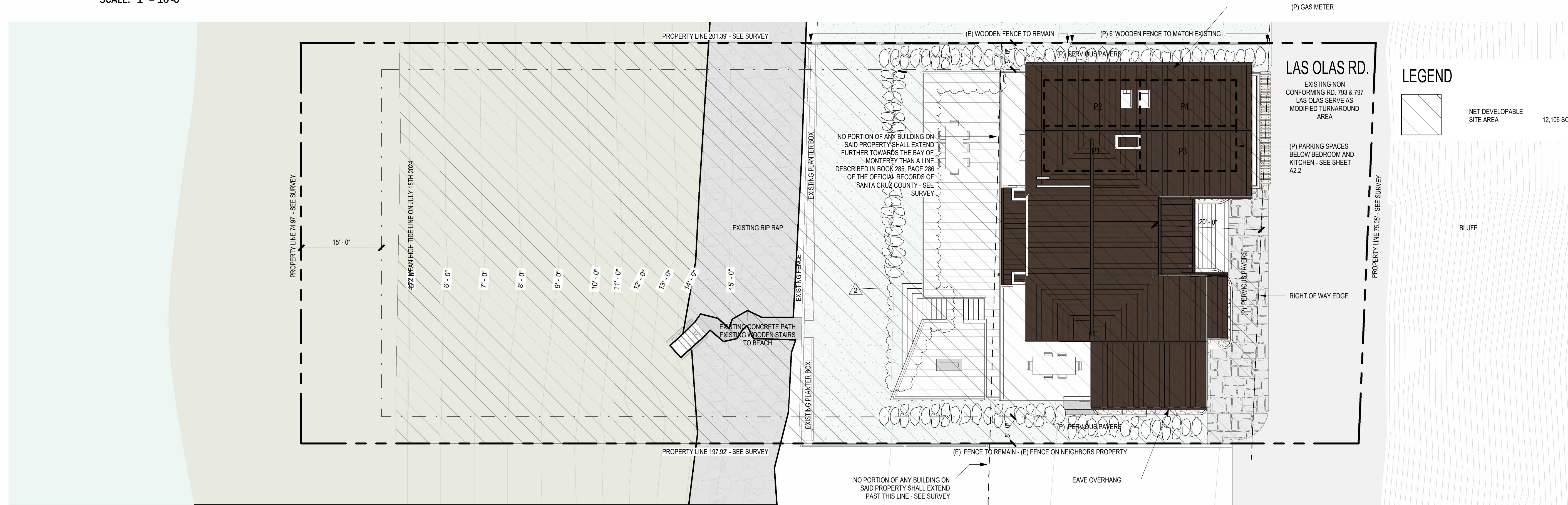
Exhibit D  
Project Plans  
Application 251247

**A1.0**

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**1 APPROX TOP OF BLUFF**  
SCALE: 1" = 10'-0"



**2 PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

Exhibit D  
Project Plans  
Application 251247

**LAS OLAS**  
739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**  
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Aptos CA, 95003 Tel 831.239.8578

#	Issue	Date	Issue Description
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**Project Name**  
LAS OLAS

**Project APN**  
038-191-29

**Description**  
EXISTING AND PROPOSED SITE PLAN

**Scale**  
As indicated

**A1.1**

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**SHEET NOTES**

---

**KEYNOTES**

---

- LEGEND**
- (N) 2X4 PARTITION
  - (N) 2X6 PARTITION
  - (N) 2X8 PARTITION
  - (N) DOUBLE 2 X 4 PARTITION
  - DETAIL/ SECTION/ ELEVATION NUMBER
  - SHEET NUMBER
  - WALL TAG - SEE PARTITION SCHEDULE

**Exhibit D**  
**Project Plans**  
**Application 251247**

**LAS OLAS**

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Aptos, CA 95003

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**Project Name**  
LAS OLAS

**Project APN**  
038-191-29

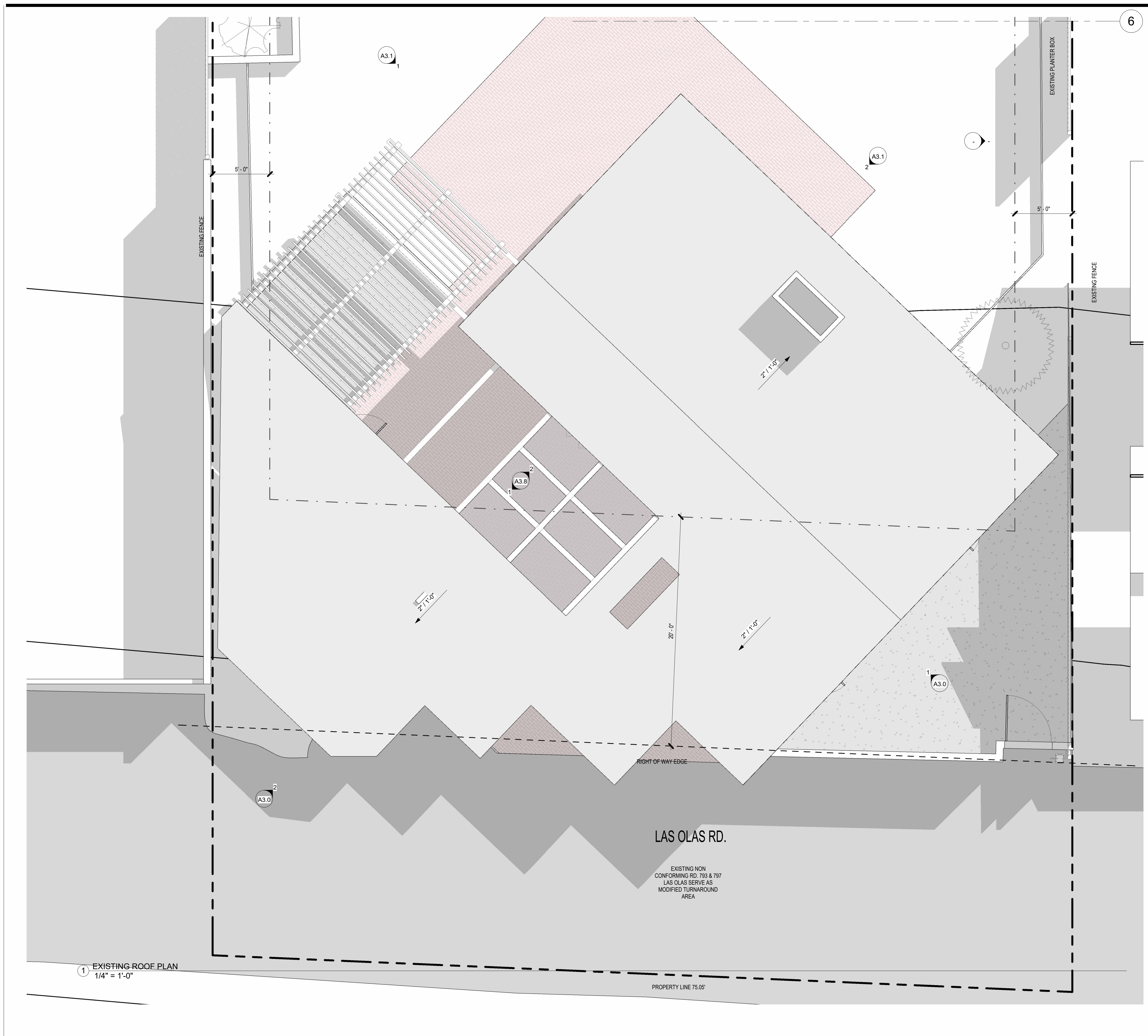
**Description**  
EXISTING FLOOR PLAN - LEVEL 1

**Scale**  
As indicated

**A2.0**

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① (E) GRADE - SEE SURVEY  
1/4" = 1'-0"



**LEGEND**

	(N) 2X4 PARTITION
	(N) 2X6 PARTITION
	(N) 2X8 PARTITION
	(N) DOUBLE 2 X 4 PARTITION
	DETAIL/ SECTION/ ELEVATION NUMBER
	SHEET NUMBER
	WALL TAG - SEE PARTITION SCHEDULE

Exhibit D  
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 Application 251247

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**Project Name**  
 LAS OLAS

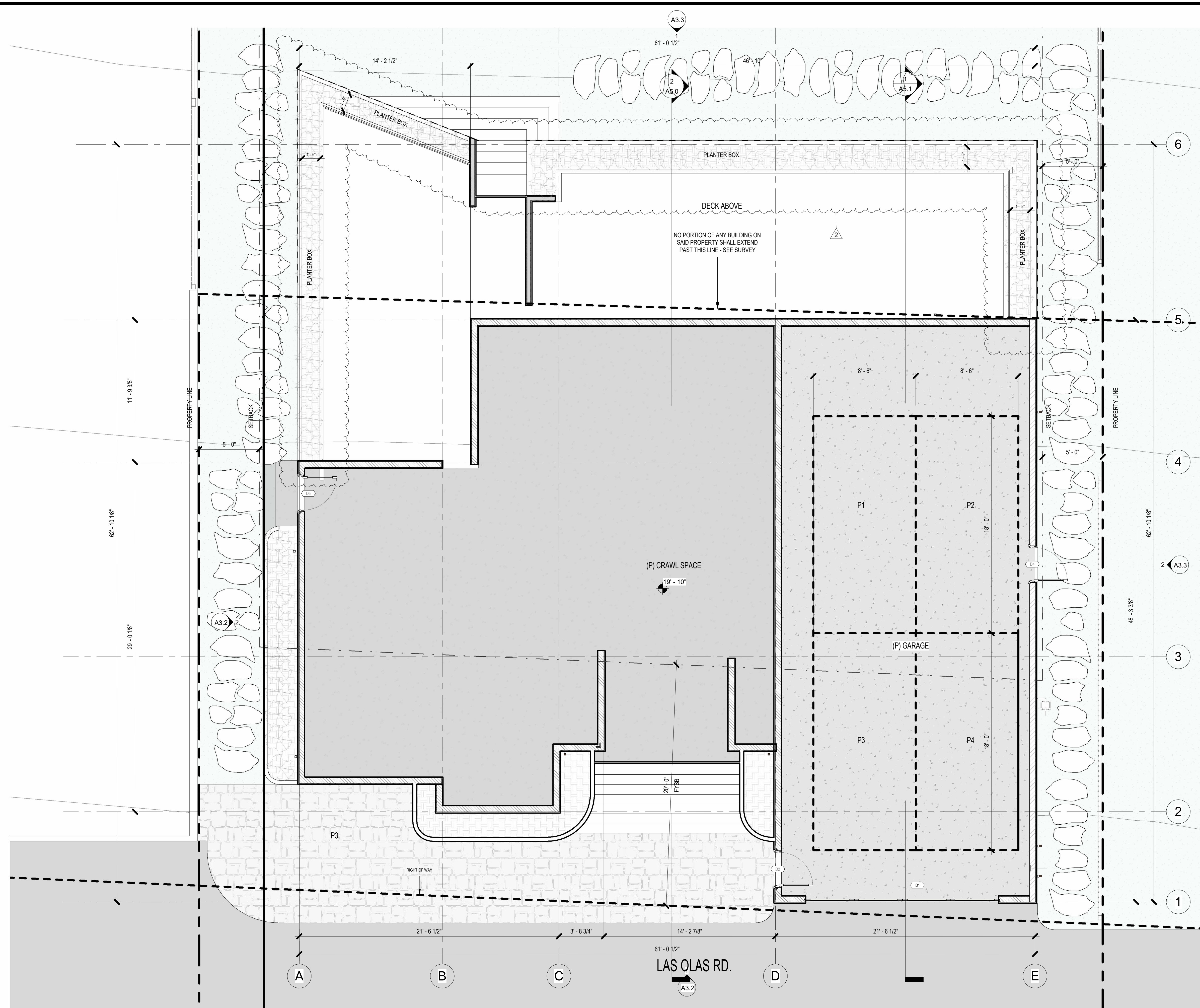
**Project APN**  
 038-191-29

**Description**  
 EXISTING ROOF PLAN

**Scale**  
 As indicated

**A2.1**

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1 (P) FLOOR PLAN - GRADE LEVEL  
1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251247

**SHEET NOTES**

**KEYNOTES**

**LEGEND**

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- DETAIL/ SECTION/  
ELEVATION NUMBER
- SHEET NUMBER
- WALL TAG - SEE PARTITION SCHEDULE

**LAS OLAS**

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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

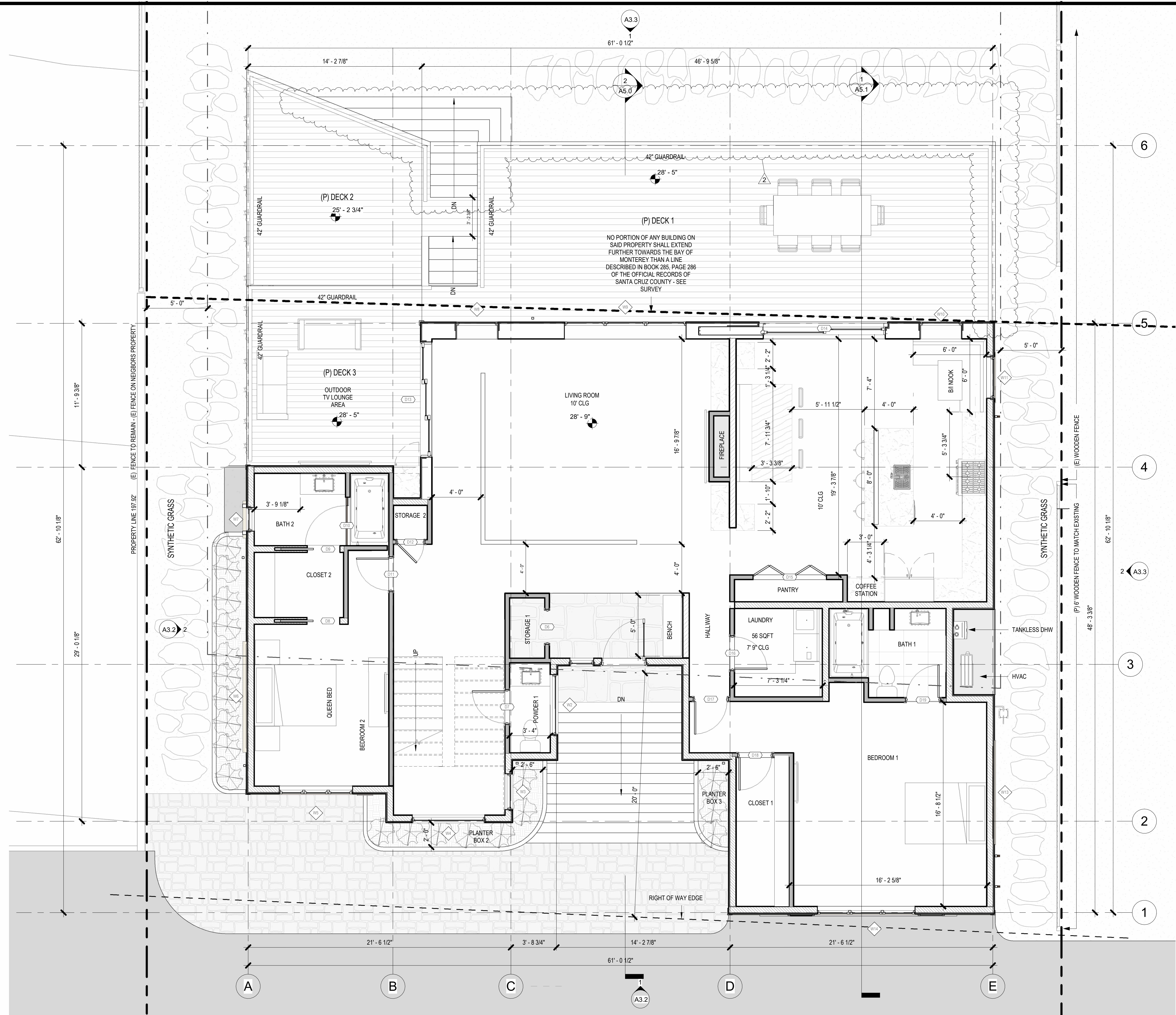
Description  
PROPOSED FLOOR PLAN - GRADE LEVEL

Scale  
As indicated



**A2.2**

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1 (P) FLOOR PLAN - LEVEL 1  
1/4" = 1'-0"

**Exhibit D**  
**Project Plans**  
**Application 251247**

**SHEET NOTES**

**KEYNOTES**

**LEGEND**

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- DETAIL/ SECTION/ ELEVATION NUMBER
- SHEET NUMBER
- WALL TAG - SEE PARTITION SCHEDULE

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Seal/Signature



Project Name  
LAS OLAS

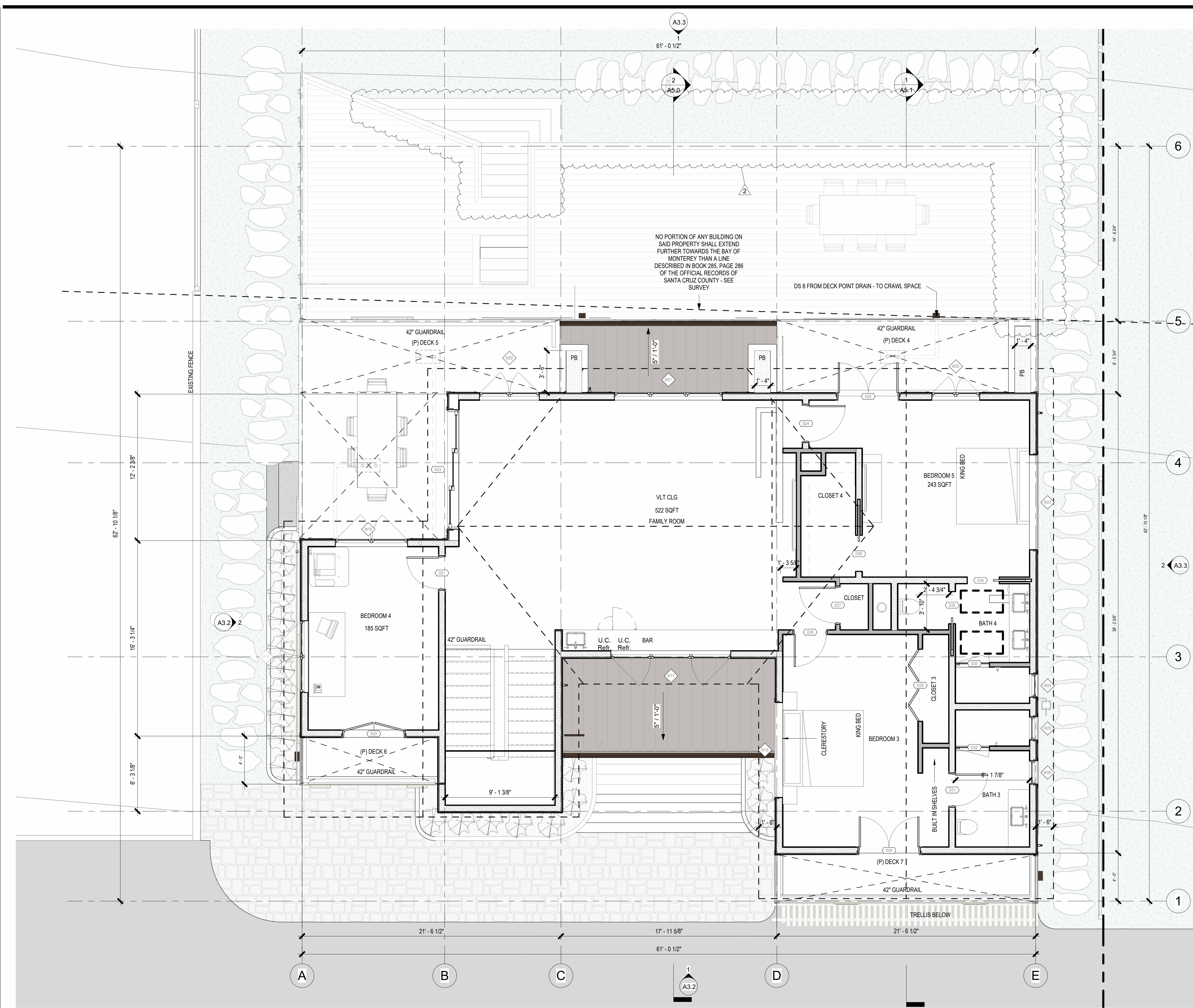
Project APN  
038-191-29

Description  
PROPOSED FLOOR PLAN - LEVEL 1

Scale  
As indicated

**A2.4**

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1 (P) SUBFLOOR - 2ND FLOOR  
1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251247

**SHEET NOTES**

NO PORTION OF ANY BUILDING ON SAID PROPERTY SHALL EXTEND FURTHER TOWARDS THE BAY OF MONTEREY THAN A LINE DESCRIBED IN BOOK 285, PAGE 286 OF THE OFFICIAL RECORDS OF SANTA CRUZ COUNTY - SEE SURVEY

DS 8 FROM DECK POINT DRAIN - TO CRAWL SPACE

VT CLG 522 SQFT FAMILY ROOM

**KEYNOTES**

LEGEND

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- XXXX - DETAIL/ SECTION/ ELEVATION NUMBER
- Ref - SHEET NUMBER
- xx - WALL TAG - SEE PARTITION SCHEDULE

**LAS OLAS**

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

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Tel 831.239.8578

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2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

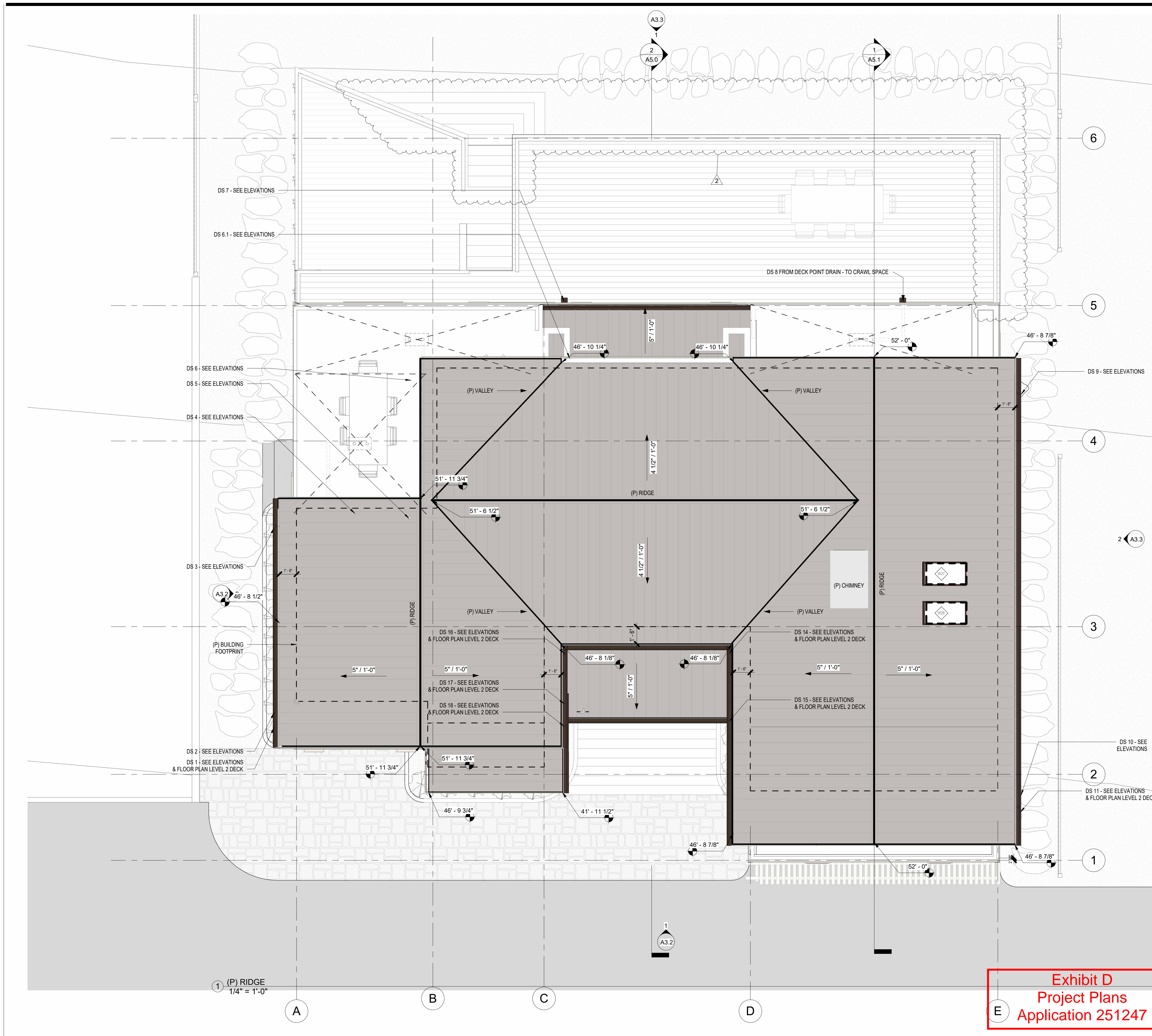
Project APN  
038-191-29

Description  
PROPOSED FLOOR PLAN - LEVEL 2

Scale  
As indicated

**A2.5**

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**SHEET NOTES**

DS 7 - SEE ELEVATIONS  
 DS 6.1 - SEE ELEVATIONS  
 DS 6 - SEE ELEVATIONS  
 DS 5 - SEE ELEVATIONS  
 DS 4 - SEE ELEVATIONS  
 DS 3 - SEE ELEVATIONS  
 DS 2 - SEE ELEVATIONS  
 DS 1 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 8 FROM DECK POINT DRAIN - TO CRAWL SPACE  
 DS 9 - SEE ELEVATIONS  
 DS 10 - SEE ELEVATIONS  
 DS 11 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 12 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 13 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 14 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 15 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 16 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 17 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 18 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK

**KEYNOTES**

DS 19 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 20 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 21 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 22 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 23 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 24 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 25 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 26 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 27 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 28 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 29 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 30 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 31 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 32 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 33 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 34 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
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 DS 36 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
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 DS 79 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 80 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 81 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 82 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
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 DS 85 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 86 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
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 DS 90 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 91 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 92 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 93 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
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 DS 95 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 96 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 97 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 98 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 99 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK  
 DS 100 - SEE ELEVATIONS & FLOOR PLAN LEVEL 2 DECK

**LEGEND**

- (N) 2X4 PARTITION
- (N) 2X6 PARTITION
- (N) 2X8 PARTITION
- (N) DOUBLE 2 X 4 PARTITION
- DETAIL/ SECTION/ ELEVATION NUMBER
- SHEET NUMBER
- WALL TAG - SEE PARTITION SCHEDULE

**LAS OLAS**

739 Las Olas Dr  
 Aptos, CA 95003

**Foundry.**

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#	Issue	Date	Issue Description
0	1	06/05/25	CDP Submittal
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Seal/Signature



Project Name  
 LAS OLAS

Project APN  
 038-191-29

Description  
 PROPOSED ROOF PLAN

Scale  
 As indicated



**A2.6**

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**Exhibit D**  
**Project Plans**  
**Application 251247**

SHEET NOTES

LAS OLAS

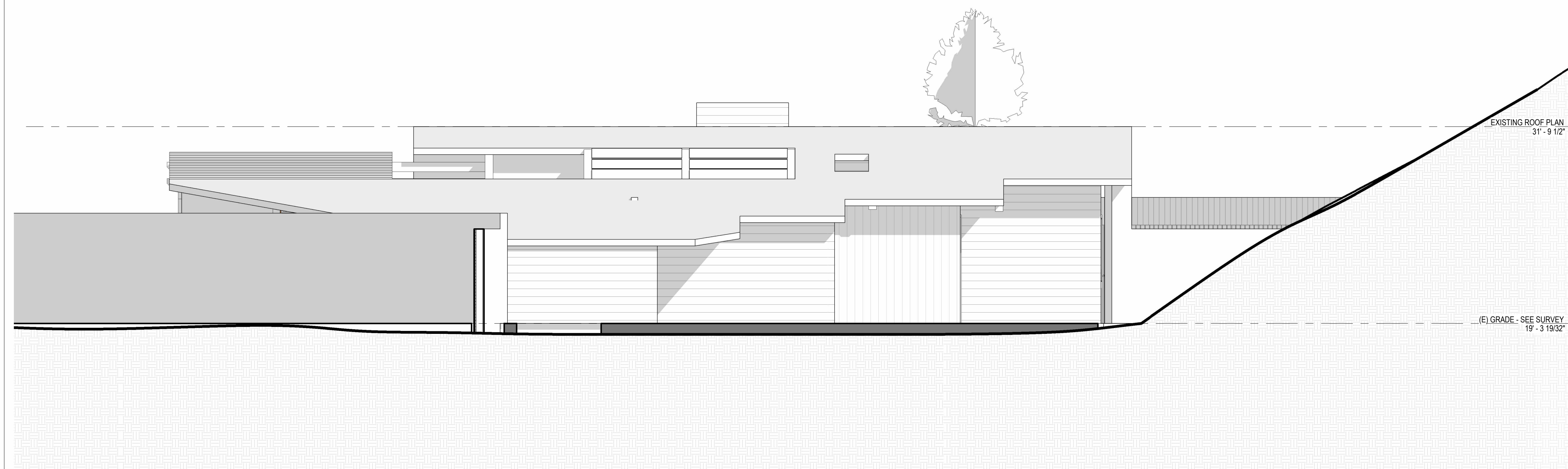
739 Las Olas Dr  
Aptos, CA 95003

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① EXISTING NORTHWEST ELEVATION  
1/4" = 1'-0"



② EXISTING NORTHEAST ELEVATION  
1/4" = 1'-0"

KEYNOTES

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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
EXISTING ELEVATIONS

Scale  
1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251247

**A3.0**

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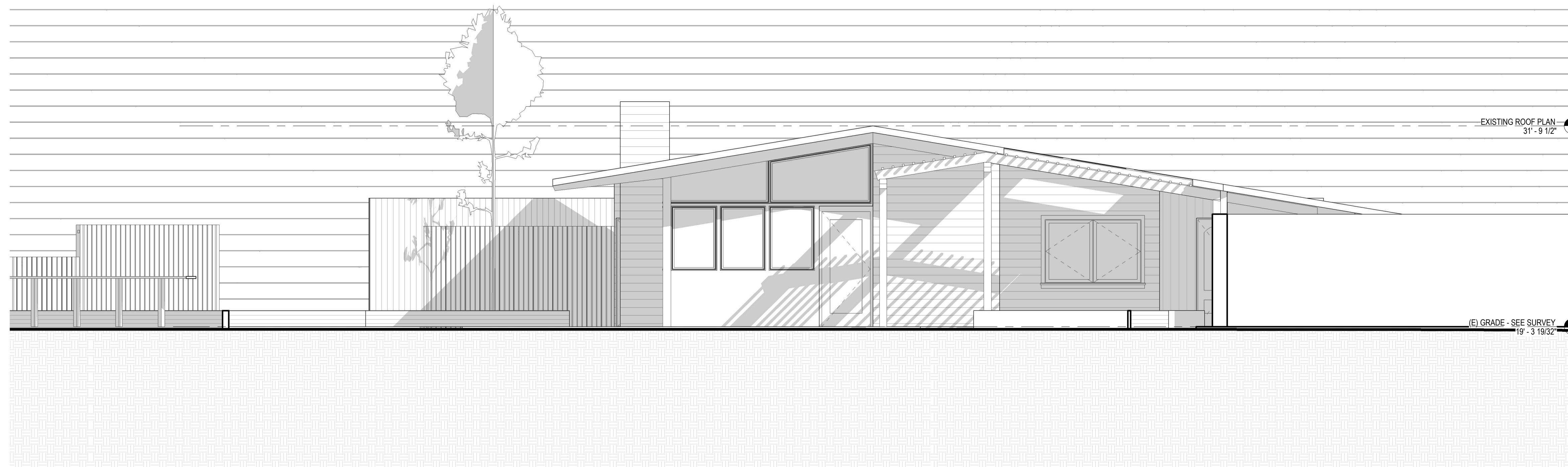
SHEET NOTES

LAS OLAS

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Aptos, CA 95003

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① EXISTING SOUTHEAST ELEVATION  
1/4" = 1'-0"



② EXISTING SOUTHWEST ELEVATION  
1/4" = 1'-0"

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal

KEYNOTES

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
EXISTING ELEVATIONS

Scale  
1/4" = 1'-0"

Exhibit D  
Project Plans  
Application 251247

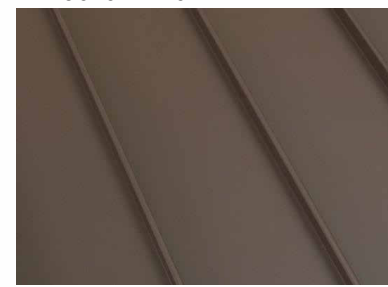
**A3.1**

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# MATERIALS PALETTE

ROOF: 12" STANDING SEAM PANELS

COLOR: BRONZE



HORIZONTAL SIDING:

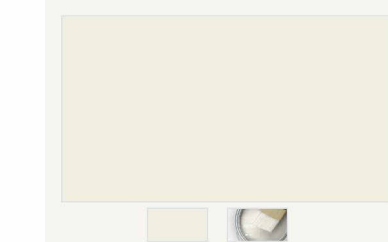
COLOR: BEHR IVORY MIST

STUCCO:

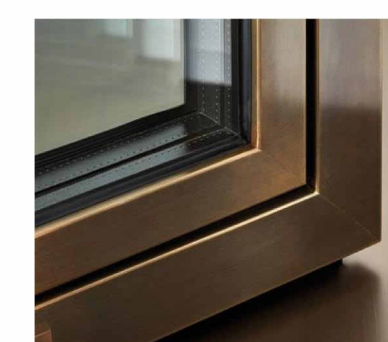
COLOR: BEHR IVORY MIST

GUTTERS, FASCIA, BELLY BAND, SHUTTERS AND TRIM:

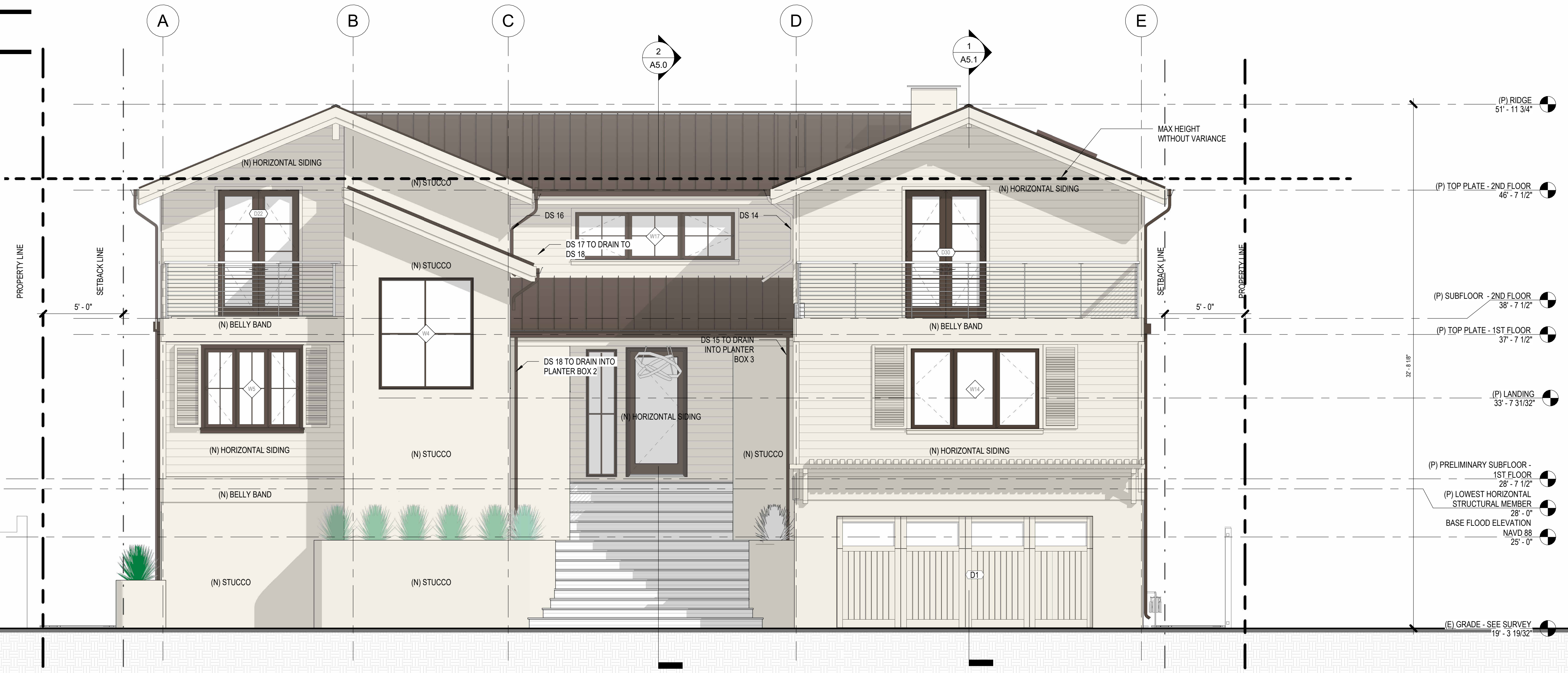
COLOR: BEHR IVORY MIST



WINDOW AND DOOR CLADDING COLOR: BRONZE



PRIVATE SCREENING: WHITE OAK WITH POLYURETHANE



1 (P) NORTHEAST ELEVATION  
1/4" = 1'-0"

6

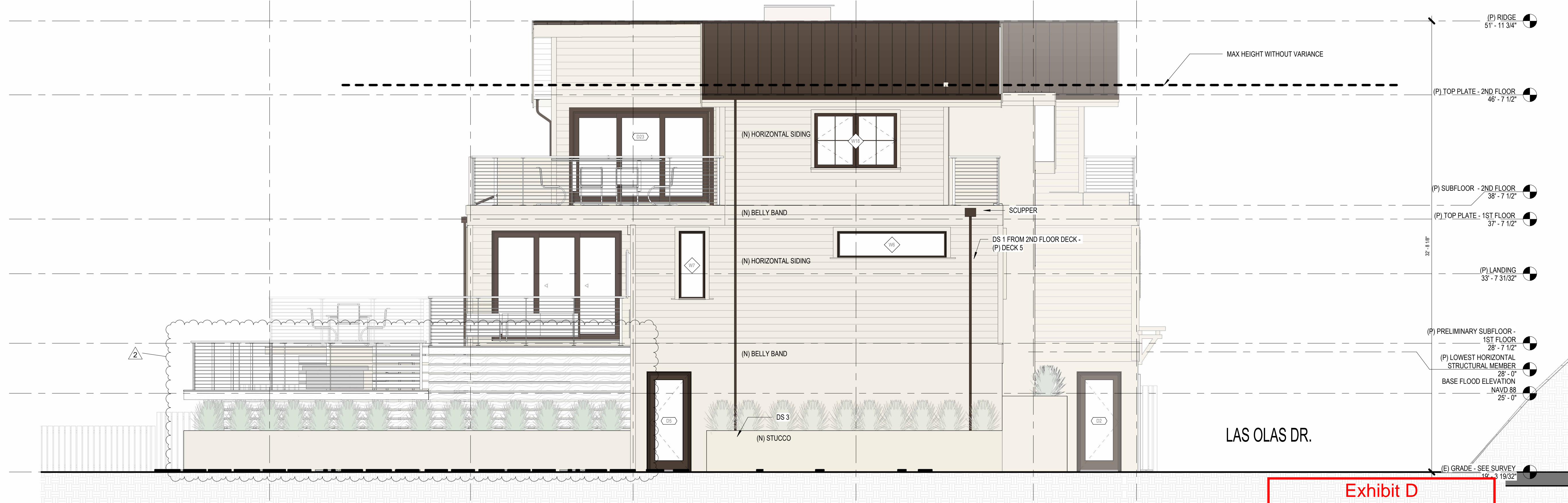
5

4

3

2

1



2 (P) SOUTHEAST ELEVATION  
1/4" = 1'-0"

6

5

4

3

2

1

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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED ELEVATIONS

Scale  
As indicated

# A3.2

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# MATERIALS PALETTE

ROOF: 12" STANDING SEAM PANELS

COLOR: BRONZE



HORIZONTAL SIDING:

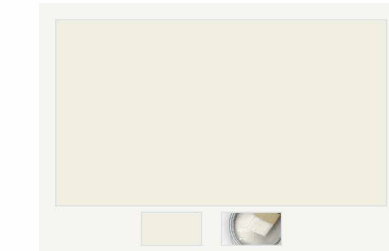
COLOR: BEHR IVORY MIST

STUCCO:

COLOR: BEHR IVORY MIST

GUTTERS, FASCIA, BELLY BAND, SHUTTERS AND TRIM:

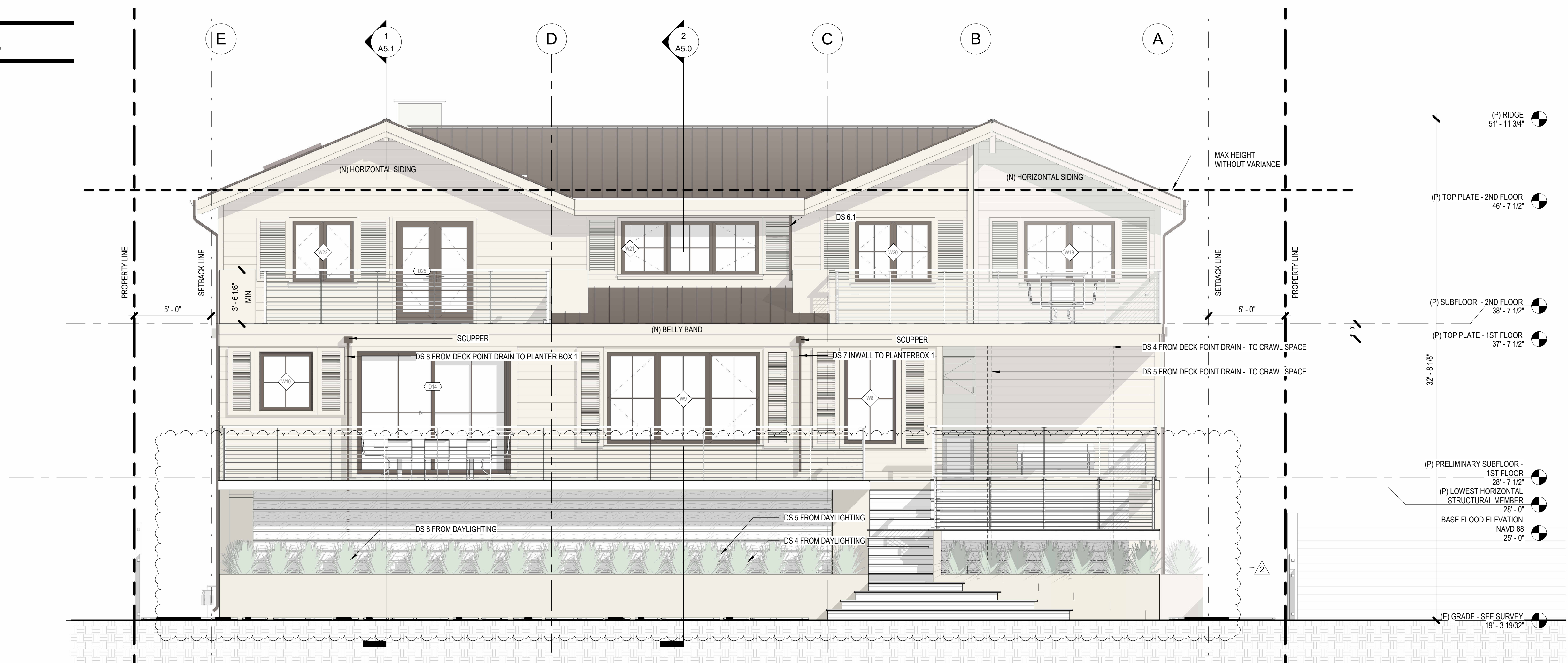
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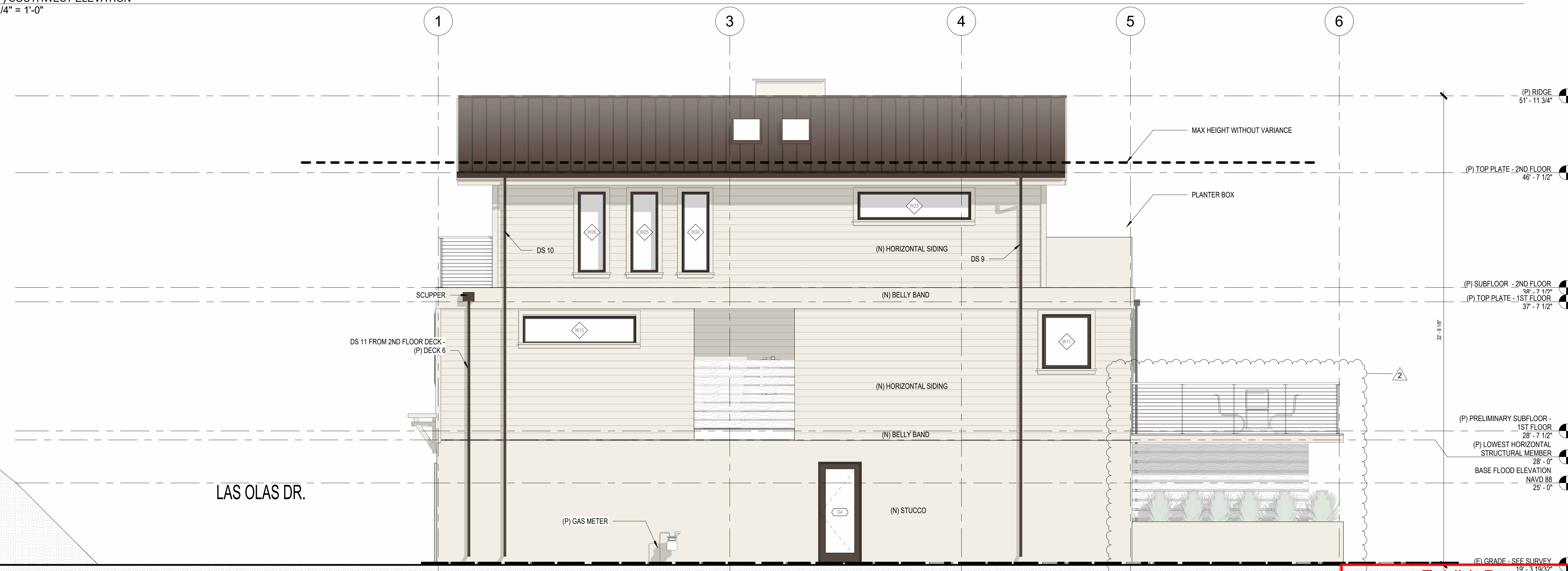
WINDOW AND DOOR CLADDING COLOR: BRONZE



PRIVATE SCREENING: WHITE OAK WITH POLYURTHANE



1 (P) SOUTHWEST ELEVATION  
1/4" = 1'-0"



2 (P) NORTHWEST ELEVATION  
1/4" = 1'-0"

LAS OLAS

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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED ELEVATIONS

Scale  
As indicated

Exhibit D  
Project Plans  
Application 251247

**A3.3**

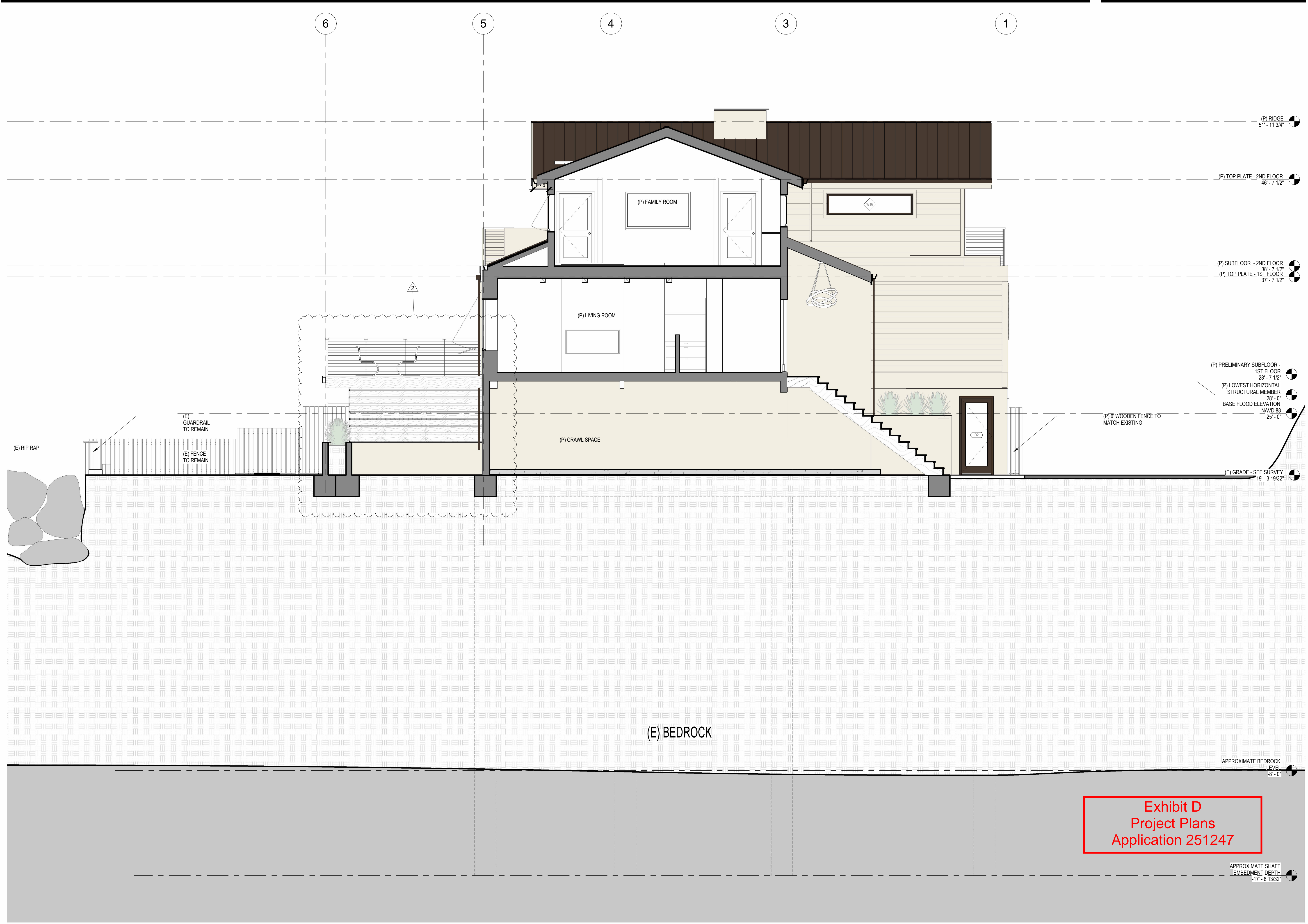
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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED SECTION

Scale  
1/4" = 1'-0"

**Exhibit D**  
**Project Plans**  
**Application 251247**

2 Section 9  
1/4" = 1'-0"

**A5.0**

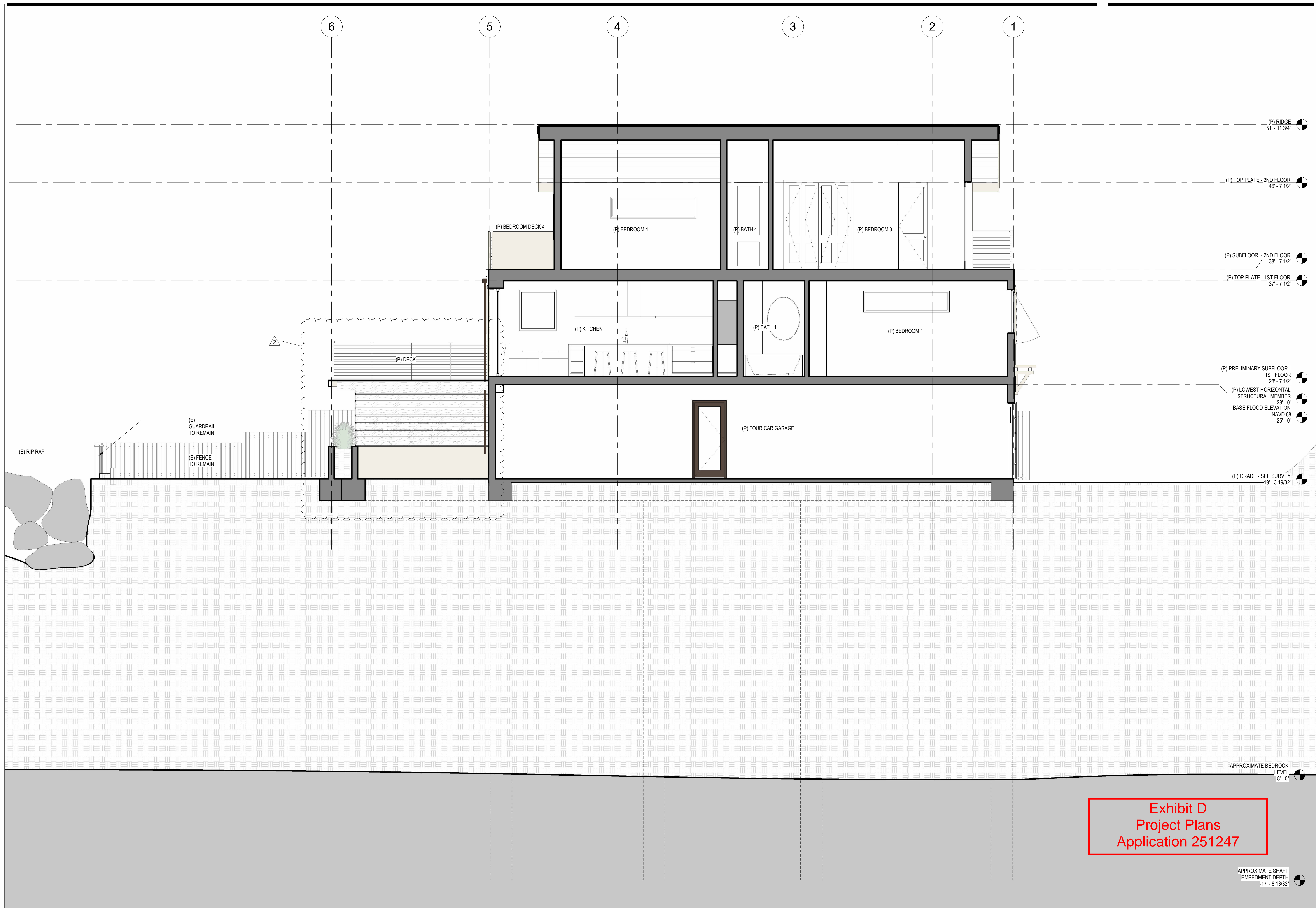
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Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED SECTION

Scale  
1/4" = 1'-0"

**A5.1**

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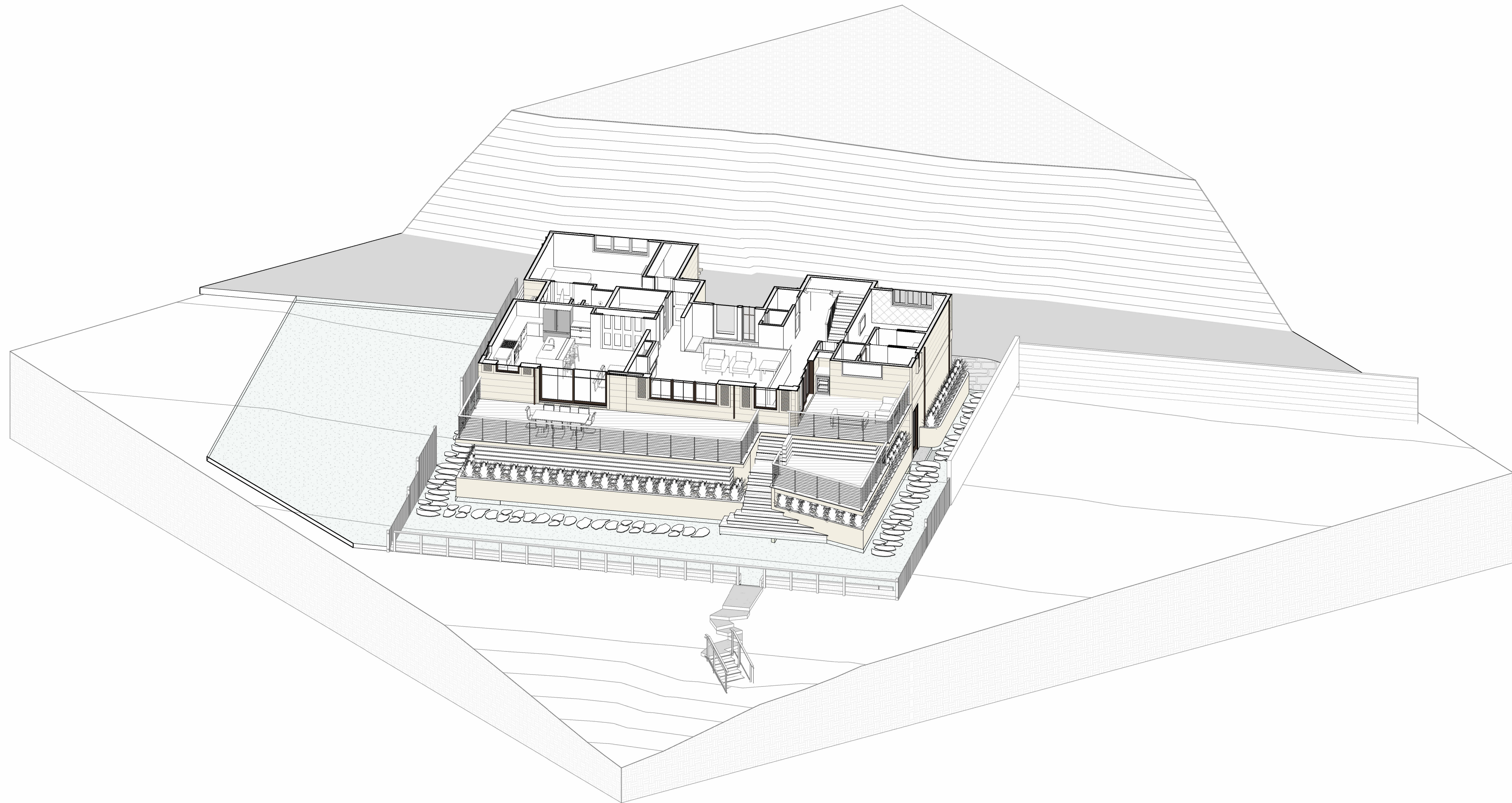
1 Section 11  
1/4" = 1'-0"

LAS OLAS

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

8070 Soquel Drive, STE 130    Tel 831.239.8578  
Aptos CA, 95003



1 PROPOSED PERSPECTIVE 1ST FLOOR

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED CUT SECTION THROUGH 1ST FLOOR

Scale

Exhibit D  
 Project Plans  
 Application 251247

**A5.8**

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LAS OLAS

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

8070 Soquel Drive, STE 130      Tel 831.239.8578  
Aptos CA, 95003



① PROPOSED PERSPECTIVE 2ND FLOOR

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
PROPOSED CUT SECTION THROUGH 2ND FLOOR

Scale

Exhibit D  
Project Plans  
Application 251247

**A5.9**

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**WINDOW SCHEDULE**

Mark	Location	Rough Width	Rough Height	Sill Height	Head Height	Manufacturer	Frame Material / Color	Glazing	Operation	Egress	Comments
W1	Entrance	2'-0"	8'-0"	0'-0"	7'-11 1/2"	TBD	Bronze	Tempered Low-e	Fixed		
W2	Powder 1	5'-0"	2'-0"	6'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W3	Stairwell	3'-0"	7'-0"	0'-7"	7'-6 1/2"	TBD	Bronze	Tempered Low-e	Fixed		
W4	Stairwell	6'-0"	7'-0"	0'-6 1/2"	7'-6"	TBD	Bronze	Tempered Low-e			
W5	Bedroom 2	6'-0"	5'-0"	3'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Casement/Fixed/Casement		
W6	Bedroom 2	8'-0"	2'-0"	6'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W7	Bath 2	2'-0"	5'-0"	3'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W8	Living Room	3'-6"	6'-0"	2'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W9	Living Room	10'-0"	6'-0"	2'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Casement/Fixed/Casement		
W10	Kitchen	3'-6"	3'-10"	4'-2 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W11	Kitchen	3'-6"	3'-10"	4'-2 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W13	Bedroom 2	8'-0"	2'-0"	6'-0 1/2"	8'-0"	TBD	Bronze	Tempered Low-e	Fixed		
W14	Bedroom 2	8'-0 1/2"	5'-0 1/2"	3'-0"	8'-0"	TBD	Bronze	Tempered Low-e			
W16	Bedroom 3	8'-0"	2'-0"	4'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Fixed		
W17	Family Room	10'-0"	3'-0"	3'-8"	6'-7 1/2"	TBD	Bronze	Tempered Low-e	Casement/Fixed/Casement		
W18	Bedroom 4	6'-0"	4'-0"	2'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W19	Bedroom 4	6'-0"	4'-0"	2'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W20	Family Room	5'-0"	4'-0"	2'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W21	Family Room	9'-0"	3'-6"	3'-2 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casement/Fixed/Casement		
W22	Bedroom 5	4'-0"	4'-0"	2'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W23	Bedroom 5	8'-0"	2'-0"	4'-8 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Fixed		
W24	Bath 4	2'-0"	5'-8"	1'-0 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W25	Bath 3	2'-0"	5'-8"	1'-0 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W26	Bath 3	2'-0"	5'-8"	1'-0 1/2"	6'-8"	TBD	Bronze	Tempered Low-e	Casment		
W27	Bath 4	2'-0 1/2"	4'-0"			TBD	Bronze	Tempered Low-e	Vent		
W28	Bath 4	2'-0 1/2"	4'-0"			TBD	Bronze	Tempered Low-e	Vent		

#	Issue	Date	Issue Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
WINDOW SCHEDULE

Scale

Exhibit D  
Project Plans  
Application 251247

**A7.0**

**DOOR SCHEDULE**

**SHEET NOTES**

LAS OLAS

739 Las Olas Dr  
Aptos, CA 95003

**Foundry.**

8070 Soquel Drive, STE 130      Tel 831.239.8578  
Aptos CA, 95003

**DOOR SCHEDULE**

Assembly Number	Location - Door	Door			Function	Door		Frame				Assembly Rating	Remarks	
		Dimensions				Finish	Side Light Width	Material	Finish	Details				
		Width	Height	Thickness						Head	Jamb			Sill
D1	Garage	16'-0"	7'-0"	0'-2"	Exterior	White								
D2	Garage	3'-0"	7'-2"	0'-1 3/4"	Exterior	Bronze								
D3	Entrance	3'-7 7/16"	7'-11 1/2"	0'-1 3/4"	Exterior	Bronze								
D4	Crawl Space	3'-0"	7'-2"	0'-1 3/4"	Exterior	Bronze								
D5	Crawl Space	3'-0"	7'-2"	0'-1 3/4"	Exterior	Bronze								
D6	Storage 1	2'-8"	8'-0"	0'-1 3/8"	Interior									
D7	Powder 1	2'-8"	6'-8"	0'-1 3/8"	Interior									
D8	Bedroom 2	2'-8"	8'-0"	0'-1 1/2"	Interior									
D9	Closet 2	2'-8"	8'-0"	0'-1 1/2"	Interior									
D10	Bath 2	3'-2 29/32"	3'-11 3/4"	0'-0 1/2"	Interior									
D11	Bedroom 2	2'-8"	8'-0"	0'-1 3/8"	Interior									
D12	Storage 2	2'-2"	8'-0"	0'-1 3/8"	Interior									
D13	Deck 2	9'-5"	7'-11 1/2"	0'-2 1/4"	Exterior	Bronze								
D14	Kitchen	15'-3 9/32"	8'-1 7/8"	0'-2 1/4"	Exterior	Bronze							Length includes the pocket.	
D15	Pantry	6'-0"	6'-8"	0'-1 1/2"	Interior									
D16	Laundry	2'-8"	6'-8"	0'-1 3/8"	Interior									
D17	Bedroom 1	2'-8"	6'-8"	0'-1 3/8"	Interior									
D18	Closet 1	2'-8"	6'-8"	0'-1 3/8"	Interior									
D19	Bath 1	2'-8"	6'-8"	0'-1 3/8"	Interior									
D21	Bath 4	2'-8"	8'-0"	0'-1 3/8"	Interior									
D22	Bedroom 4	5'-0"	8'-0"	0'-1 3/8"	Exterior									
D23	Family Room	9'-11"	6'-8"	0'-2 1/4"	Exterior									
D24	Bedroom 5	3'-0"	6'-8"	0'-1 3/8"	Interior									
D25	Bedroom 5	5'-0"	6'-8"	0'-1 3/8"	Exterior	Bronze								
D26	Closet 4	3'-0"	8'-0"	0'-1 1/2"	Interior									
D27	Closet	3'-0"	6'-8"	0'-1 3/8"	Interior									
D28	Bedroom 3	2'-8"	8'-0"	0'-1 3/8"	Interior									
D29	Bedroom 3	6'-0"	8'-0"	0'-1 1/2"	Interior									
D30	Bedroom 3	5'-0"	8'-0"	0'-1 3/8"	Exterior	Bronze								
D31	Bath 3	2'-8"	8'-0"	0'-1 3/8"	Interior									
D32	Bath 3	2'-5 5/8"	3'-11 3/4"	0'-0 1/2"	Interior									
D33	Bath 4	2'-5 5/8"	3'-11 3/4"	0'-0 1/2"	Interior									
D34	Bath 4	2'-8"	8'-0"	0'-1 1/2"	Interior									
D35	Bath 4	2'-8"	8'-0"	0'-1 1/2"	Interior									
D37		2'-5 5/8"	2'-11 1/2"	0'-0 1/2"	Interior									
D38		2'-5 5/8"	2'-11 1/2"	0'-0 1/2"	Interior									
D39		3'-2 29/32"	1'-8 1/2"	0'-0 1/2"	Interior									

VERIFY ALL DOOR SIZES AND ROUGH OPENING SIZES PRIOR TO ORDER

**KEYNOTES**

#	Issue	Date	Description
0	1	06/05/25	CDP Submittal
1	2	10/15/25	CDP Resubmittal
2	3	03/05/26	CDP Resubmittal

Seal/Signature



Project Name  
LAS OLAS

Project APN  
038-191-29

Description  
DOOR SCHEDULE

Scale

Exhibit D  
Project Plans  
Application 251247

**A7.2**

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**ABBREVIATIONS**

AB	AGGREGATE BASE	JB	JUNCTION BOX
AC	AIR CONDITIONER UNIT	JT	JOINT TRENCH
AD	AREA DRAIN	L	LANDING
ADU	ACCESSORY DWELLING UNIT	LF	LINEAR FOOT
APN	ASSESSORS PARCEL NUMBER	LIP	LIP OF GUTTER
ARV	AIR-RELEASE VALVE	LOG	LIMIT OF GRADING
BF	BASEMENT FLOOR	LP	LOW POINT
BFP	BACKFLOW PREVENTER	MH	MANHOLE
BO	BLOW-OFF VALVE	MIN	MINIMUM
BRW	FG AT BOTTOM OF RETAINING WALL	N	NORTH
BSW	BACK OF SIDEWALK	NE	NORTHEAST
BVC	BEGIN VERTICAL CURVE	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	NW	NORTHWEST
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OCEW	ON CENTER, EACH WAY
CBC	CALIFORNIA BUILDING CODE	OH	OVERHEAD
CI	CURB INLET	PCC	PORTLAND CEMENT CONCRETE
CIP	CAST IRON PIPE	POC	POINT OF CONNECTION
CL	CENTERLINE	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PRC	POINT OF REVERSE CURVE
CO	CLEANOUT	PS	PLANTING STRIP
CONC	CONCRETE	PSE	PUBLIC SERVICE EASEMENT
COTG	CLEANOUT TO GRADE	PIV	POST-INDICATOR VALVE
DIP	DUCTILE IRON PIPE	PV	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE PIPE
DTL	DETAIL	R	RADIUS
DW	DOMESTIC WATER LINE	RC	RELATIVE COMPACTION
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
DWY	DRIVEWAY	ROW	RIGHT-OF-WAY
E	EAST, ELECTRICAL	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
EG	EXISTING GROUND	RSB	REAR SETBACK
EP	EDGE OF PAVEMENT	RW	RECYCLED WATER
(E)	EXISTING	S	SOUTH, SLOPE
EQ	EQUAL	SD	STORM DRAIN
EX.	EXISTING	SE	SOUTHEAST
FC	FACE OF CURB	SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FG	FINISH GRADE	SHT	SHEET
FF	FINISH FLOOR	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSB	SIDE SETBACK
FL	FLOWLINE	SSE	SANITARY SEWER EASEMENT
FNC	FENCE	SSMH	SANITARY SEWER MANHOLE
FO	FIBER OPTIC	STA	STATION
FS	FINISHED SURFACE	STD	STANDARD
FSB	FRONT SETBACK	SW	SIDEWALK, SOUTHWEST
FT	FOOT/FEET	SWE	SIDEWALK EASEMENT
FW	FIRE WATER	T	TELEPHONE
G	GAS	TC	TOP OF CURB
GB	GRADE BREAK	TH	THRESHOLD
GF	GARAGE FLOOR	TRAN	TRANSFORMER
HT	HEIGHT	TRW	FG AT TOP OF RETAINING WALL
HDPE	HIGH-DENSITY POLYETHYLENE	TW	TOP OF WALL
HP	HIGH POINT	USA	UNDERGROUND SERVICE ALERT
INT	INTERSECTION	W	WEST, WATER
INV	INVERT	WM	WATER METER
IRR	IRRIGATION	WV	WATER VALVE

**LEGEND**

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	PERFORATED PIPE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	TREE PROTECTION FENCING		
	FIBER ROLLS		

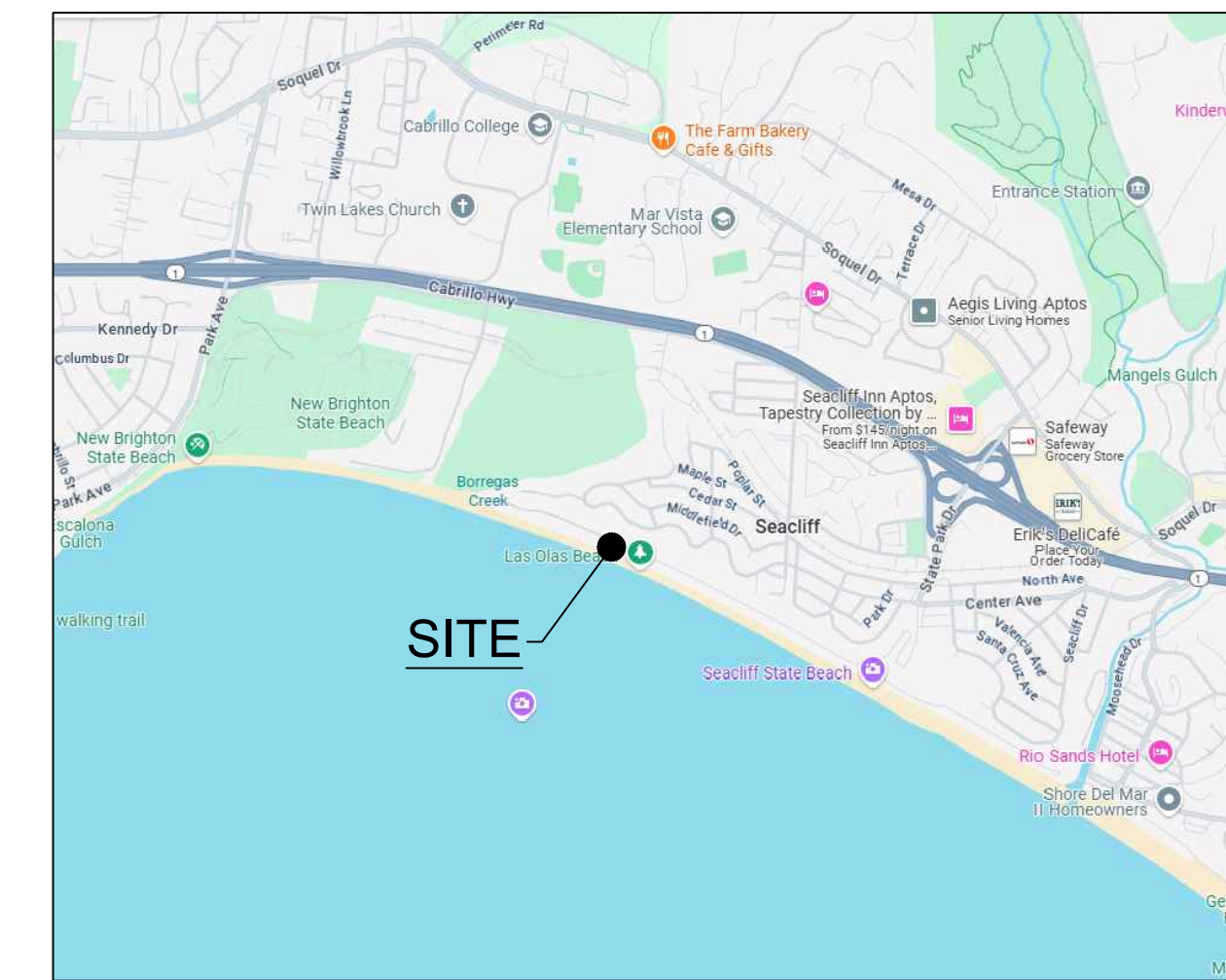
# IMPROVEMENT PLANS

## FOR

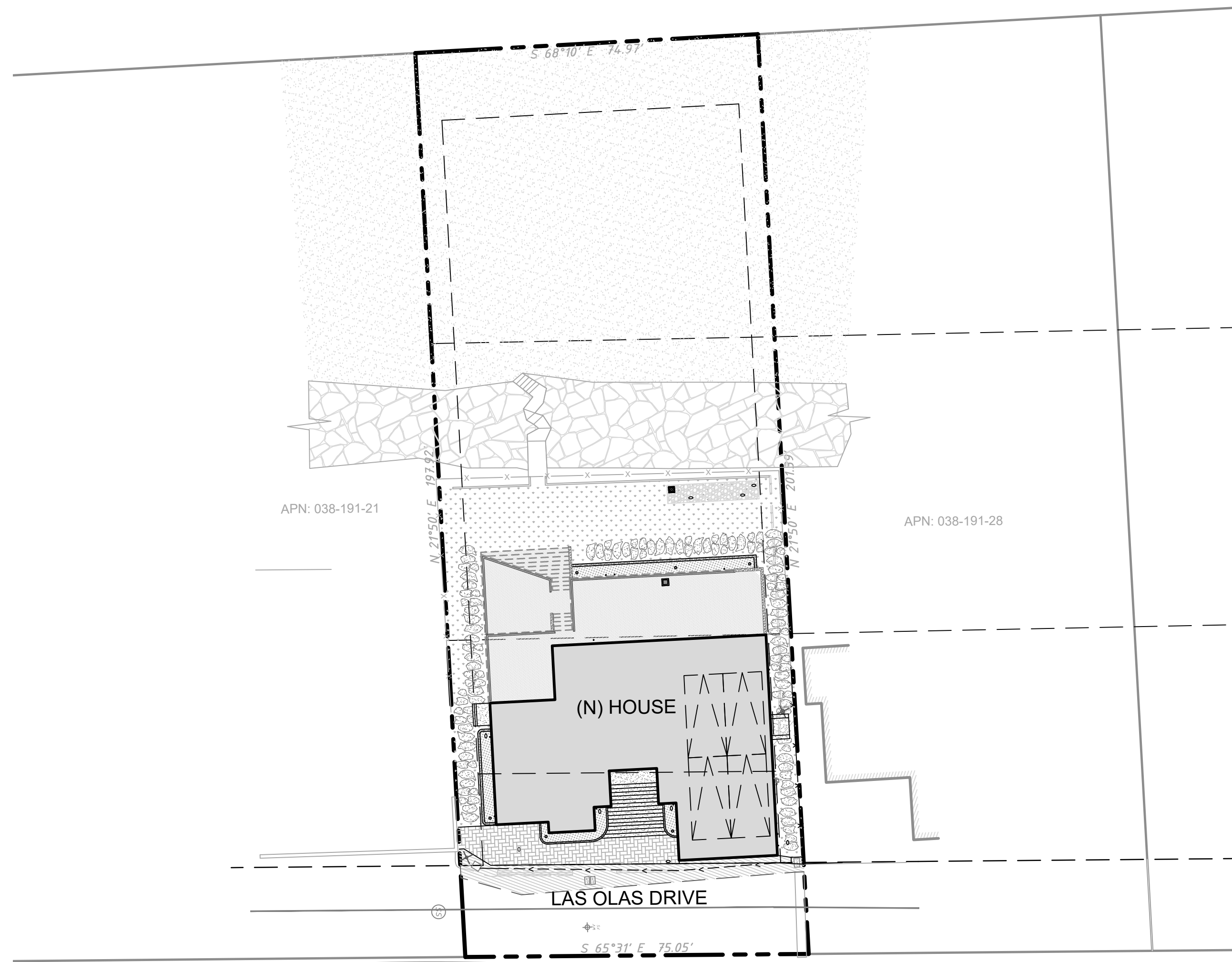
# OPHEIM RESIDENCE

### 739 LAS OLAS DR

### APTOS, SANTA CRUZ COUNTY, CALIFORNIA



VICINITY MAP  
N.T.S.



**SURVEY**

SURVEY FOR THIS PROJECT PROVIDED BY HANAGAN LAND SURVEYING, JOB NO. 24060, DATED 7-15-2024.

**BENCHMARK**

SANTA CRUZ COUNTY BENCHMARK 474, LOCATED ON A CONCRETE PAD WITH A FIRE HYDRANT AT THE ENTRANCE GATE TO THE LAS OLAS HOA.

BENCHMARK ELEVATION = 18.66' NAVD 88

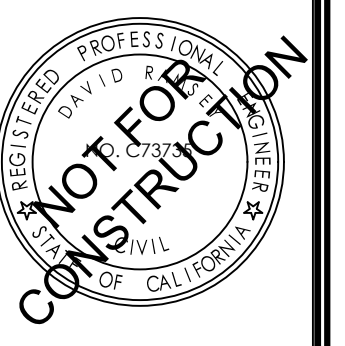
**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS MAP HAS BEEN ESTABLISHED BETWEEN FOUND MONUMENTS ON THE NORTHERN LINE OF LAS OLAS DRIVE, PER RECORD OF SURVEY MAP 110-M-24, RECORDED IN THE COUNTY OF SANTA CRUZ.

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	NOTES
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SECTIONS
C4.0	EXISTING & PROPOSED WATERSHED MAPS
C5.0-C5.1	DETAILS
C6.0	EROSION CONTROL PLAN & DETAILS

**RAMSEY**  
CIVIL ENGINEERING INC.  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES  
2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com



DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29

PLAN TYPE  
RESIDENTIAL

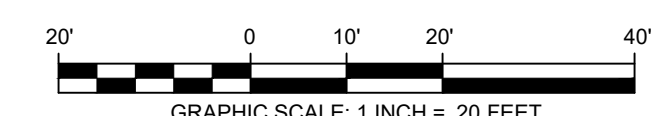
COVER SHEET  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

DATE	DESCRIPTION	REVISION BLOCK
02/25/2026	CHANGES PER GEOTECHNICAL	
1	NUMBER	
MG	BY	

DRAWN BY: GS/MG  
DESIGNED BY: DMR  
DATE: 02/03/2026  
SCALE: AS NOTED  
PROJECT NO: 25-006  
SHEET:

**C1.0**

**Exhibit D**  
**Project Plans**  
**Application 251247**



**FIRE PROTECTION NOTES**

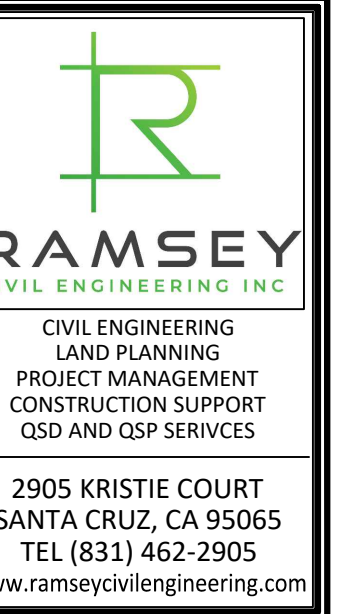
1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THESE PLANS IS SCHEMATIC ONLY AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THIS DRAWING SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL FROM RAMSEY CIVIL ENGINEERING, INC.
2. THE PROPOSED BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE CURRENT EDITION OF NFPA 13D, ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY NFPA 13, 24, AND THE LOCAL FIRE MARSHAL. THE SHOP DRAWINGS SHALL ALSO COMPLY WITH ALL OTHER NFPA REQUIREMENTS IN ADDITION TO LOCAL AND STATE REGULATIONS AND CODES.
4. THE FIRE SPRINKLER DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE REVIEWING AGENCY FOR APPROVAL. CUT SHEETS SHALL INCLUDE, BUT NOT LIMITED TO PIPING, VALVES, GAUGES, AND SPRINKLER HEADS.
5. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO START OF WORK.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF SHOP DRAWINGS TO ALL PLANS AND SPECIFICATIONS IN ADDITION TO CITY OR AGENCY STANDARD DETAILS AND SPECIFICATIONS.
7. GENERAL CONTRACTOR AND UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS IN ADDITION TO SPACE CONSTRAINTS, REQUIRED PAD AREAS, AND CLEARANCES FROM OTHER UTILITIES, TREES, OR PERMANENT STRUCTURES.
8. PROVISIONS SHALL BE MADE IN THE SHOP DRAWINGS FOR MONITORING ALL VALVES AS REQUIRED BY THE LOCAL FIRE MARSHAL. SHOP DRAWINGS PREPARED BY THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE ELECTRICAL DESIGNER FOR INSTALLATION OF ALL ALARM SYSTEMS AS REQUIRED BY THE LOCAL FIRE MARSHAL.
9. CONTRACTOR SHALL OBTAIN A PERMIT FROM THE LOCAL FIRE MARSHAL PRIOR TO INSTALLATION.

**SANTA CRUZ COUNTY GENERAL NOTES**

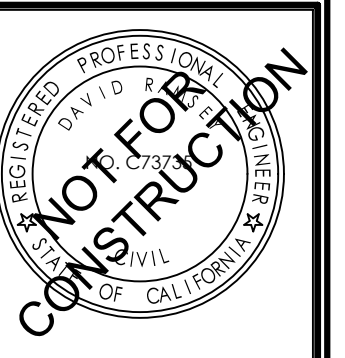
1. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
2. UNLESS OTHERWISE AGREED UPON WITH THE COUNTY OF SANTA CRUZ, WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
3. A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
4. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
5. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
6. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
7. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
8. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.
9. UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
10. CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
11. PRIOR TO CONSIDERATION FOR FORMAL COUNTY ACCEPTANCE OF THE IMPROVEMENTS, AS-BUILT PLANS WILL BE PREPARED BY COUNTY STAFF. ANY CHANGES FROM THE IMPROVEMENT PLANS NOT PREVIOUSLY APPROVED BY THE DEPARTMENT OF PUBLIC WORKS WILL REQUIRE NEGOTIATION AND ADJUSTMENT TO THE SATISFACTION OF THE COUNTY.
12. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
13. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
14. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
15. THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
17. CIVIL ENGINEER OF RECORD, SHALL INSPECT THE DRAINAGE IMPROVEMENTS ON THE PARCEL AND PROVIDE PUBLIC WORKS WITH A LETTER CONFIRMING THAT THE WORK WAS COMPLETED PER THE PLANS. AS-BUILT PLANS, STAMPED BY THE CIVIL ENGINEER, MUST BE PROVIDED IN LIEU OF SAID LETTER.

**RAMSEY CIVIL ENGINEERING NOTES:**

1. SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY HANAGAN LAND SURVEYING, DATED 7-15-2024.
2. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT BY CMAG ENGINEERING, INC., DATED 5/5/2025, PROJECT NO. 24-128-SC, AND ANY SUBSEQUENT ADDENDUM LETTERS. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT.
3. REFER TO ABOVE REFERENCED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OVEREXCAVATION AND RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
4. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022.
5. NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
6. EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
8. ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO DRAIN.
9. ALL COMPACTION TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
10. THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD INVESTIGATION PRIOR TO CONSTRUCTION TO VERIFY UTILITY LOCATIONS. CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. IF AT ANYTIME THE CONTRACTOR IS UNSURE OF UTILITY LOCATIONS, A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR ONSITE UTILITIES, OR CONTACT U.S.A (OR 811) FOR OFFSITE UTILITIES.
11. ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, INCLUDING, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
12. ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
13. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
14. CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
15. ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A REGULATIONS.
16. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
17. NO ADDITIONAL IMPERVIOUS OR SEMI-PERVIOUS SURFACE AREA COVERAGE BEYOND THE LIMITS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED WITHOUT UPDATED MITIGATIONS AND PRIOR APPROVAL OF THE COUNTY OF SANTA CRUZ.
18. RAMSEY CIVIL ENGINEERING PERFORMED AN UPSTREAM AND DOWNSTREAM SITE ASSESSMENT FOR STORMWATER RUNOFF ON 5/23/2025. THERE ARE NO KNOWN DRAINAGE ISSUES THAT CURRENTLY EXIST. THERE WILL BE NO SIGNIFICANT IMPACT TO DOWNSTREAM PROPERTIES DUE TO THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com



DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29

PLAN TYPE  
RESIDENTIAL

NOTES  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

NO.	DATE	DESCRIPTION	BY	MG
1	02/25/2026	CHANGES PER GEOTECHNICAL		

DRAWN BY: GS/MG  
DESIGNED BY: DMR  
DATE: 02/03/2026  
SCALE: AS NOTED  
PROJECT NO: 25-006  
SHEET:

**C1.1**

**ESTIMATED EARTHWORK QUANTITIES**

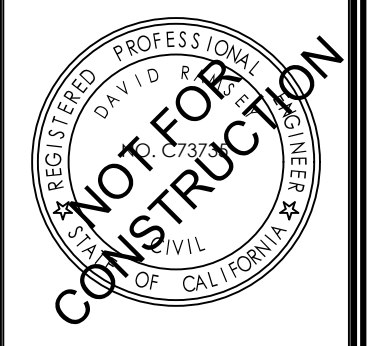
BUILDING SUBGRADE	SITE GRADING	SITE TOTAL
85 CUBIC YARDS EXCAVATION	145 CUBIC YARDS EXCAVATION	230 CUBIC YARDS EXCAVATION
97 CUBIC YARDS EMBANKMENT	90 CUBIC YARDS EMBANKMENT	187 CUBIC YARDS EMBANKMENT
12 CUBIC YARDS NET EMBANKMENT	55 CUBIC YARDS NET EXCAVATION	43 CUBIC YARDS NET EXCAVATION

- NOTES**
1. ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
  2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
  3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.
  4. EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL SITE.
  5. SITE GRADING ASSUMES AC, CONCRETE, AND PERMEABLE DRIVEWAY SECTIONS ARE ALL CUT MATERIAL.

**Exhibit D**  
**Project Plans**  
**Application 251247**







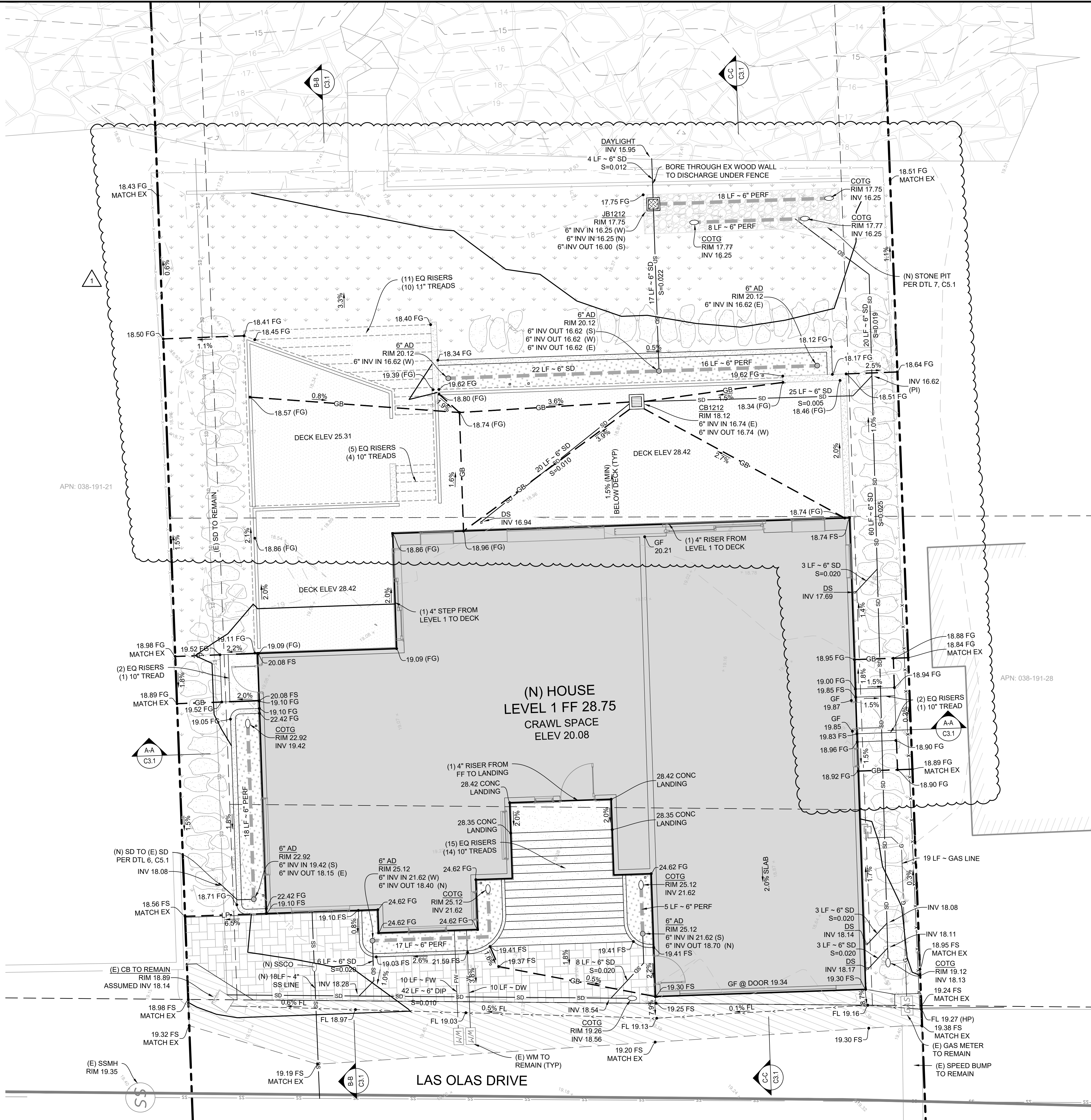
DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29  
PLAN TYPE  
RESIDENTIAL

GRADING & DRAINAGE PLAN  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

NO.	DATE	DESCRIPTION	REVISION BLOCK
1	02/25/2026	CHANGES PER GEOTECHNICAL	

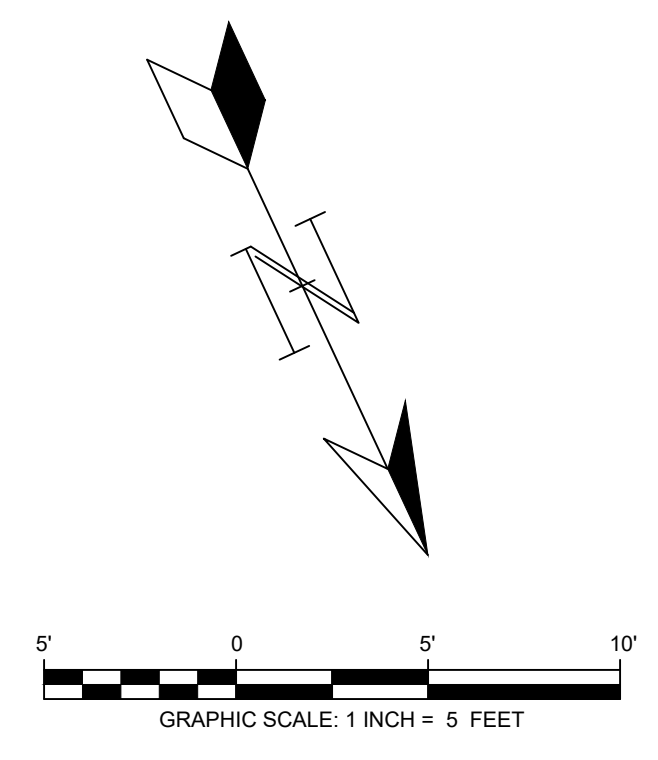
DRAWN BY: GS/MG  
DESIGNED BY: DMR  
DATE: 02/03/2026  
SCALE: AS NOTED  
PROJECT NO.: 25-006  
SHEET: C3.0



**NOTES:**  
1. STORM DRAIN PIPES DESIGNATED AS "SD" SHALL BE SDR-35 P.V.C. OR APPROVED ALTERNATE, HDPE STORM DRAIN PIPE WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, MEETING AASHTO M252, TYPE S, AASHTO M294, TYPE S, OR ASTM F2306 SPECIFICATIONS, WITH WATER-TIGHT INTEGRATED BELL JOINTS PER ASTM D3212 OR APPROVED ALTERNATE WITH CLASS 1 BACKFILL. NO OTHER PIPE MATERIALS MAY BE USED UNLESS APPROVED BY THE ENGINEER.

**HATCH LEGEND**

- PROPOSED STRUCTURE (SEE ARCH DRAWINGS)
- CONCRETE  
4" PCC W/ #4 BARS @ 24" O.C.E.W  
OVER 4" CLASS II AB @95% R.C.
- ASPHALT  
3" AC/OVER 9" CLASS II AB @95% R.C.
- DECK (SEE ARCH DRAWINGS)
- SYNTHETIC TURF (SEE LS PLANS)
- PERMEABLE PAVERS (SEE DTL 8, SHT C5.1)
- FLOW-THROUGH PLANTER (SEE DTL 5, C5.0)
- (E) RIP-RAP
- (E) BEACH SAND



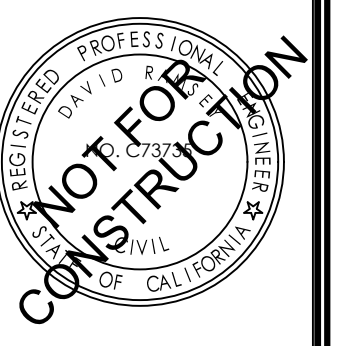
**Exhibit D**  
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XX.XX (FG) - IDENTIFIED FINISH GRADE ELEVATION BELOW GROUND

APN: 038-191-21

APN: 038-191-28

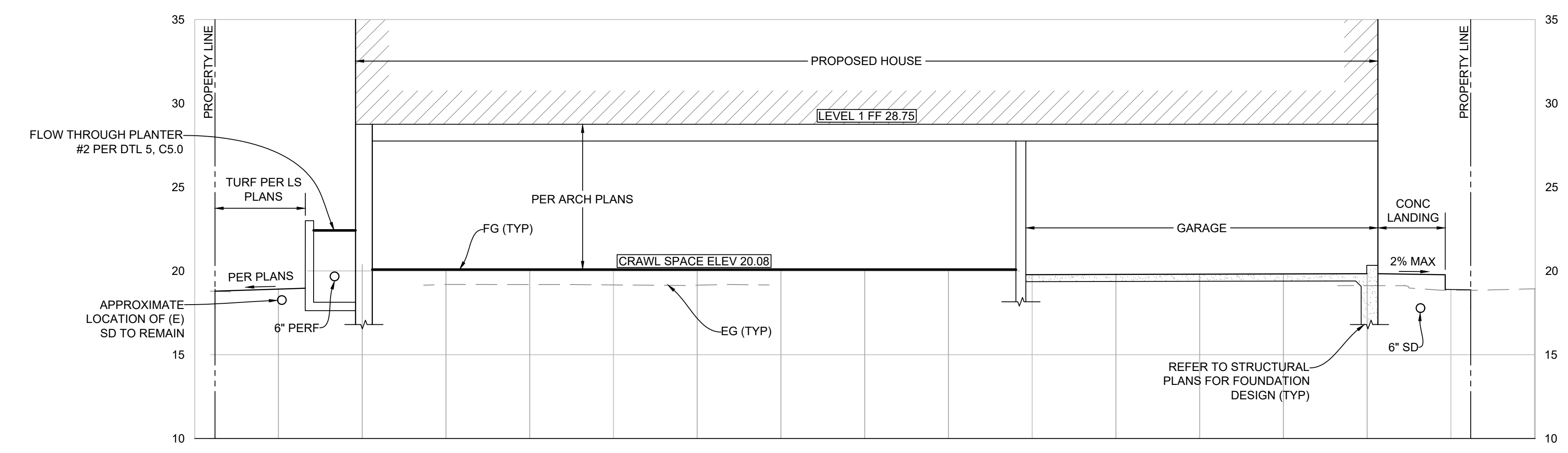


DAVID RAMSEY DATE  
RCE# 73735

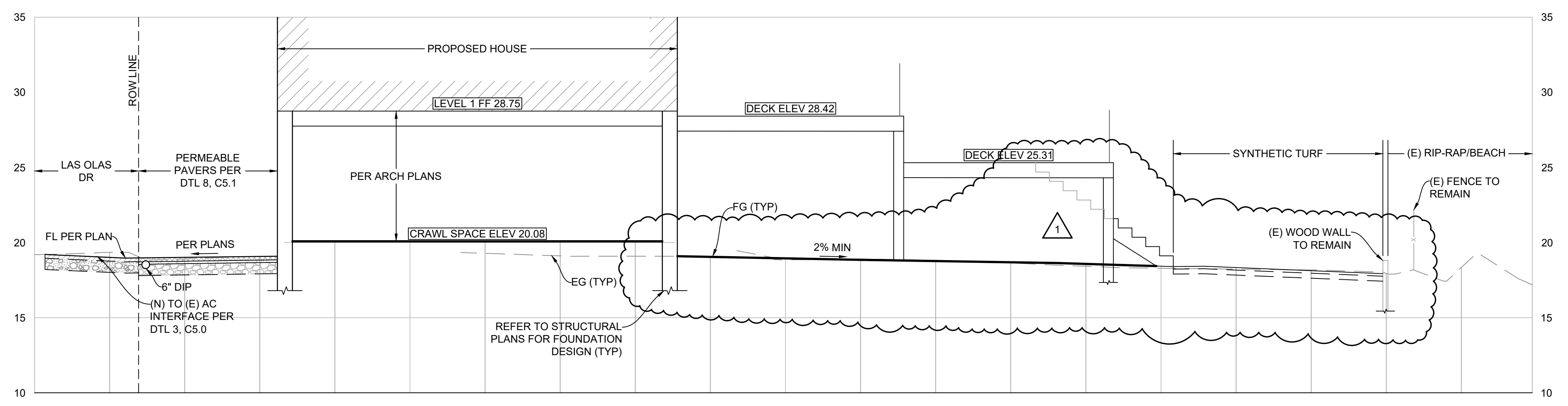
APN# 038-191-29

PLAN TYPE  
RESIDENTIAL

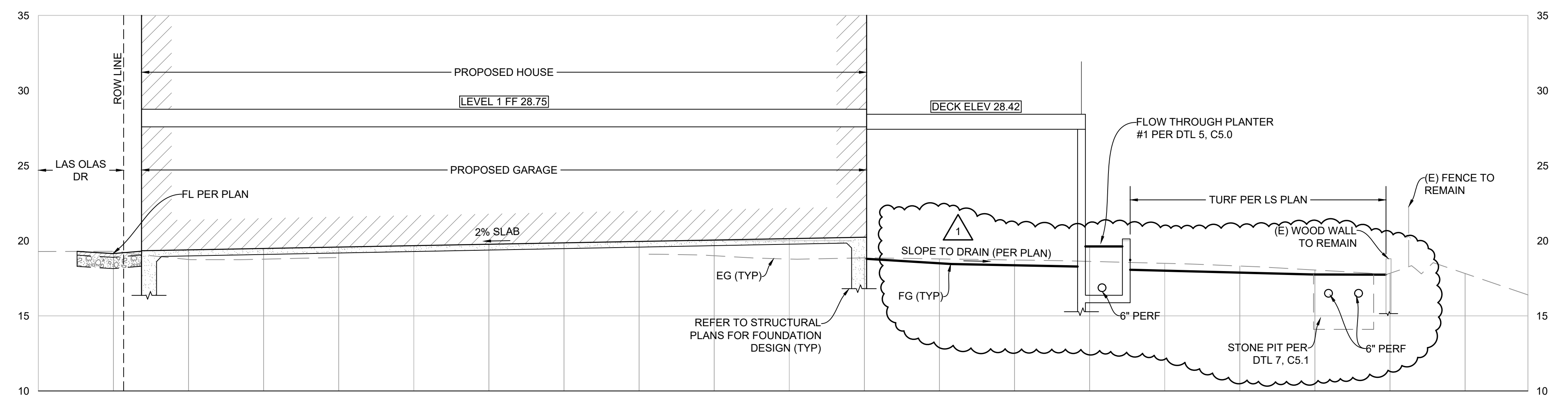
SECTIONS  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003



**SECTION A-A**  
1"=5' (H)  
1"=5' (V)

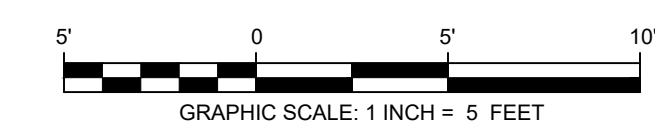


**SECTION B-B**  
1"=5' (H)  
1"=5' (V)



**SECTION C-C**  
1"=5' (H)  
1"=5' (V)

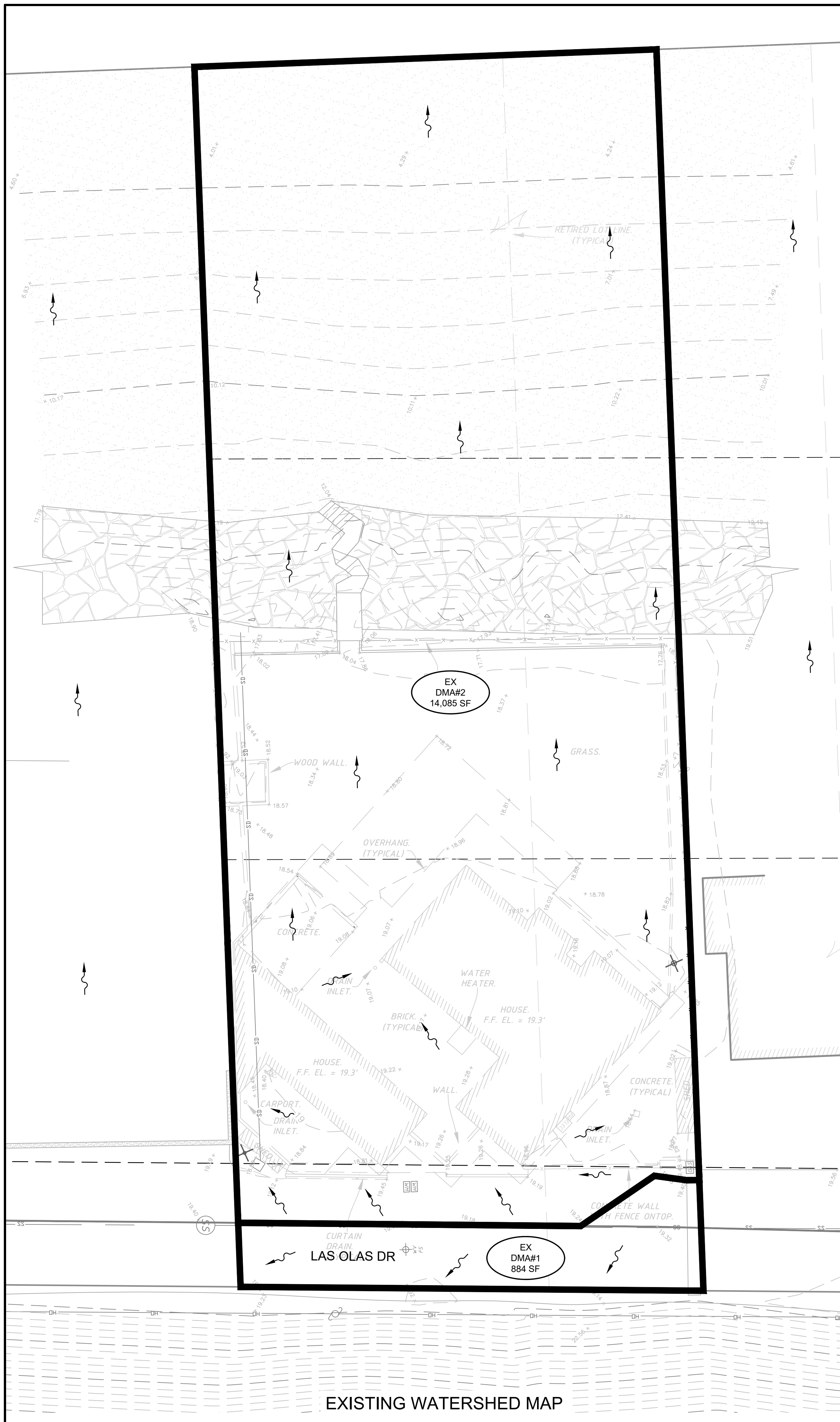
**Exhibit D**  
**Project Plans**  
**Application 251247**



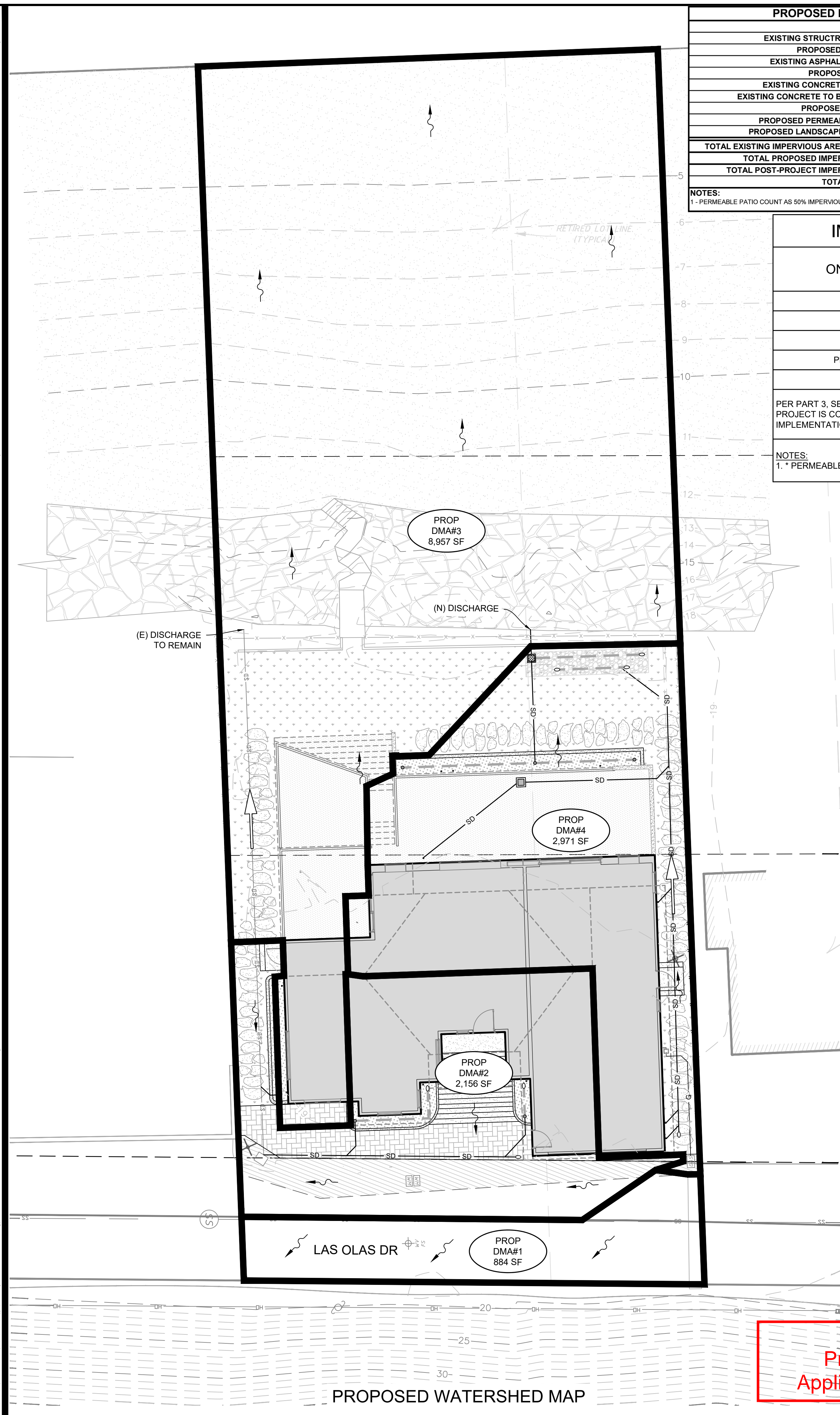
NUMBER	MG	BY	DESCRIPTION	DATE
1			CHANGES PER GEOTECHNICAL	02/25/2026

REVISION BLOCK

DRAWN BY:	GS/MG
DESIGNED BY:	DMR
DATE:	02/03/2026
SCALE:	AS NOTED
PROJECT NO.:	25-006
SHEET:	C3.1



EXISTING WATERSHED MAP



PROPOSED WATERSHED MAP

**PROPOSED DMA AREA SUMMARY (AREAS SHOWN IN SF)**

	DMA-1	DMA-2	DMA-3	DMA-4	TOTAL
EXISTING STRUCTURE TO REMAIN	0	0	0	0	0
PROPOSED STRUCTURE	0	819	270	1,195	2,284
EXISTING ASPHALT TO REMAIN	884	298	0	0	1,182
PROPOSED ASPHALT	0	360	0	21	381
EXISTING CONCRETE TO REMAIN	0	0	0	0	0
EXISTING CONCRETE TO BE REPLACED	0	0	0	0	0
PROPOSED CONCRETE	0	166	0	0	166
PROPOSED PERMEABLE PAVERS	0	265	42	0	307
PROPOSED LANDSCAPE (PERVIOUS)	0	248	8,645	1,755	8,893
<b>TOTAL EXISTING IMPERVIOUS AREA TO REMAIN</b>	<b>884</b>	<b>298</b>	<b>0</b>	<b>0</b>	<b>1,182</b>
<b>TOTAL PROPOSED IMPERVIOUS AREA</b>	<b>0</b>	<b>1,478</b>	<b>291</b>	<b>1,216</b>	<b>1,769</b>
<b>TOTAL POST-PROJECT IMPERVIOUS AREA</b>	<b>884</b>	<b>1,776</b>	<b>291</b>	<b>1,216</b>	<b>2,951</b>
<b>TOTAL DMA AREA</b>	<b>884</b>	<b>2,156</b>	<b>8,957</b>	<b>2,971</b>	<b>14,968</b>

NOTES:  
1. PERMEABLE PATIO COUNT AS 50% IMPERVIOUS IN TOTAL IMPERVIOUS AREA CALCULATION

**IMPERVIOUS AREA BREAKDOWN**

ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	2,924	2,284
CONCRETE	1,039	166
ASPHALT	1,420	381
PERMEABLE PAVERS	0	*154 (307)
<b>TOTAL</b>	<b>5,383</b>	<b>2,985</b>

PER PART 3, SECTION C.1.a OF THE SANTA CRUZ COUNTY DESIGN CRITERIA THIS PROJECT IS CONSIDERED A MEDIUM PROJECT (500SF-5,000SF) AND REQUIRES IMPLEMENTATION OF BMP'S

NOTES:  
1. \* PERMEABLE PATIO COUNT AS 50% IMPERVIOUS

- LEGEND**
- DMA BOUNDARY
  - PIPE FLOW DIRECTION
  - SURFACE FLOW DIRECTION

NOTES:  
RUNOFF FROM ADJACENT PARCELS DRAINS TO THE SOUTH (VERIFIED BY FIELD INSPECTION)

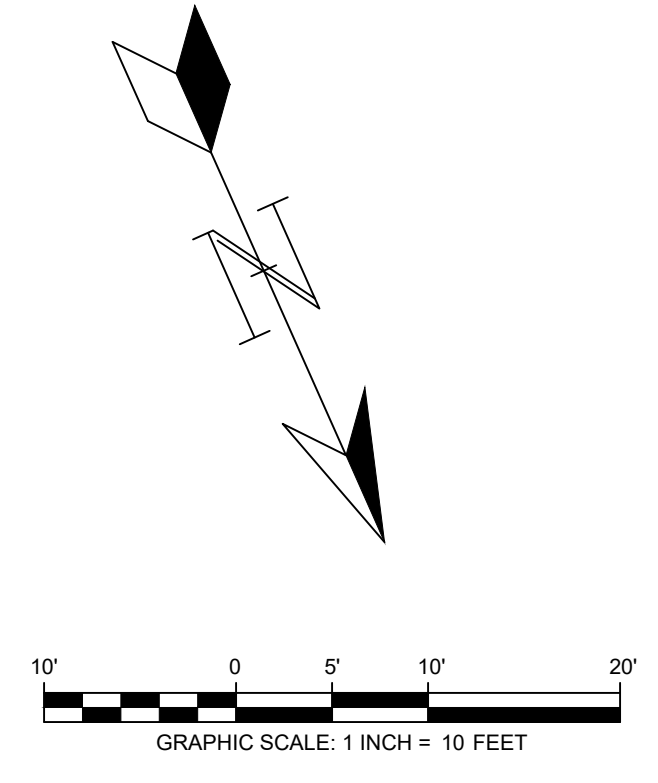
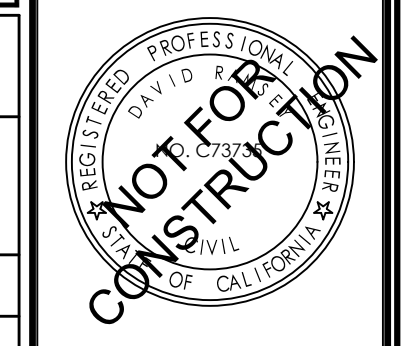


Exhibit D  
Project Plans  
Application 251247



**RAMSEY CIVIL ENGINEERING INC.**  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramsycivilengineering.com



DAVID RAMSEY DATE  
RCE# 73735

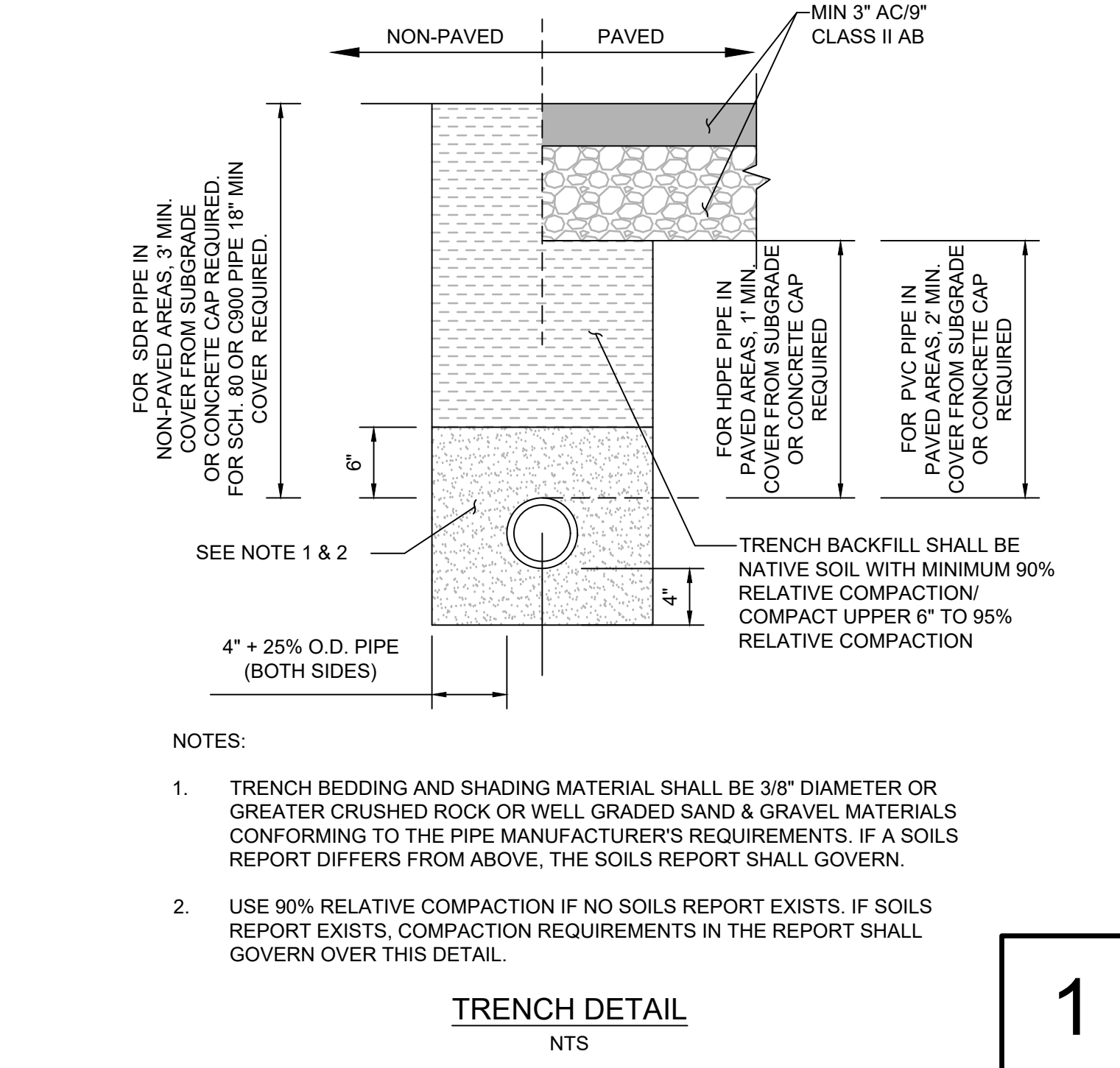
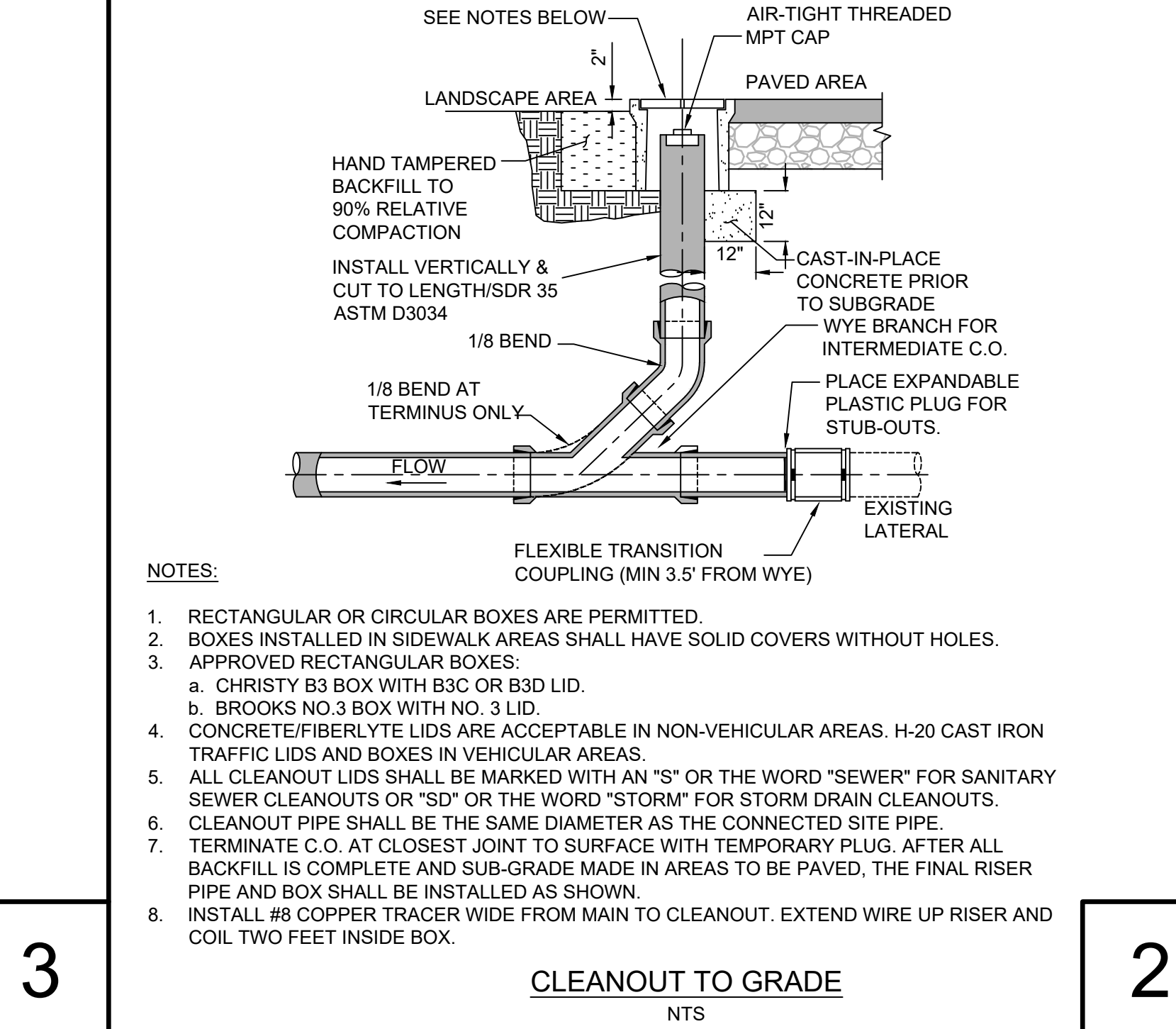
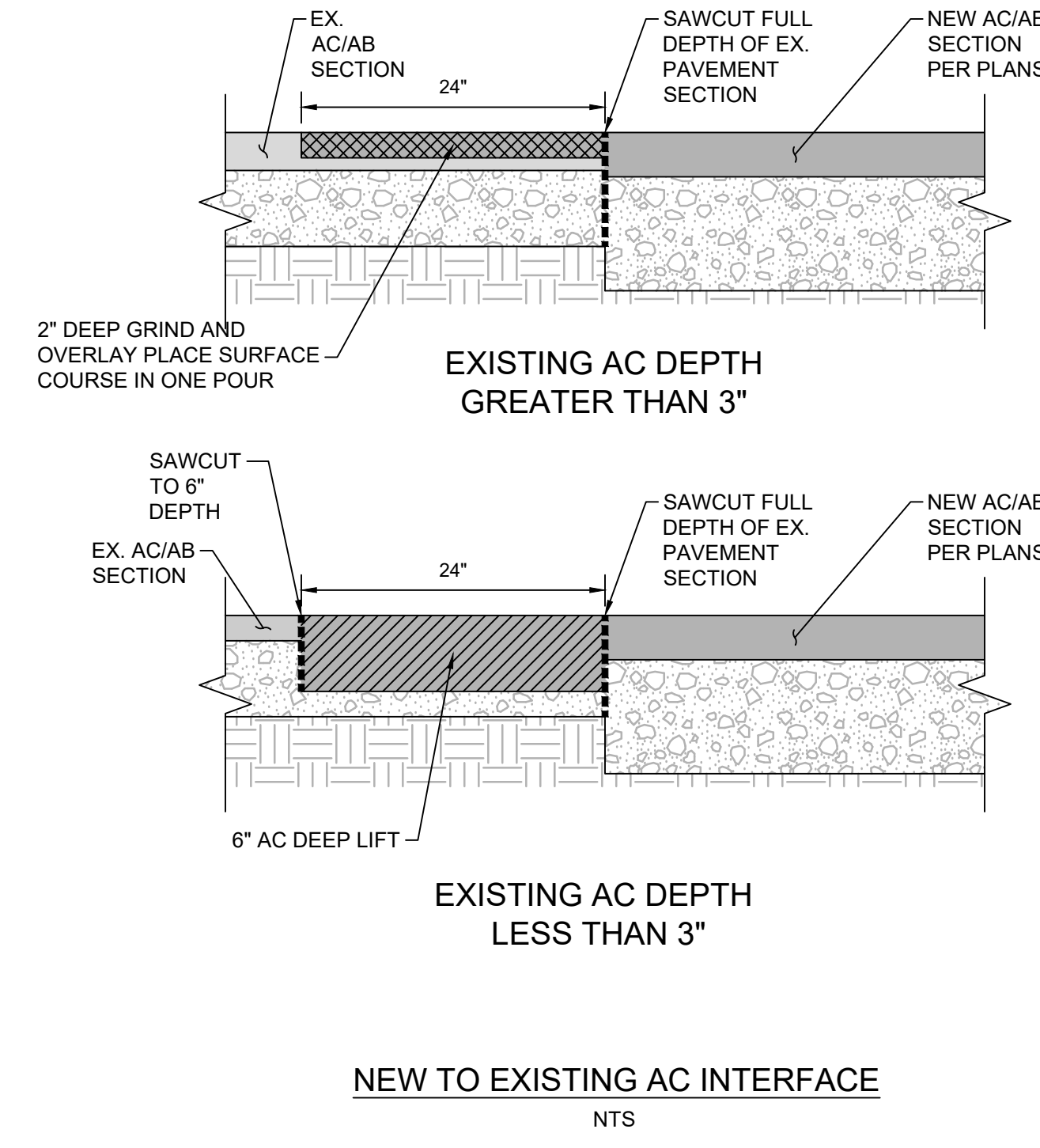
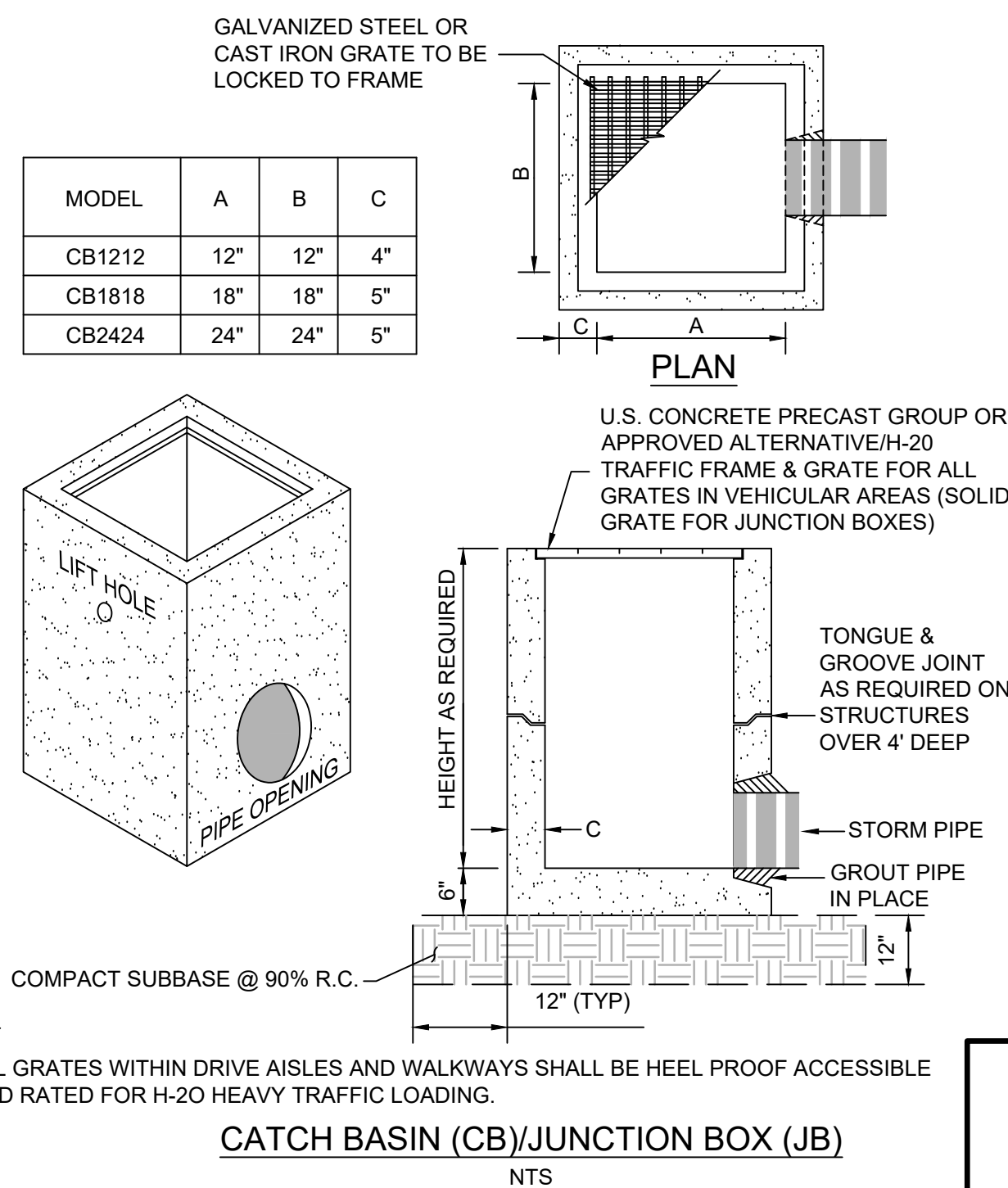
APN# 038-191-29

PLAN TYPE  
RESIDENTIAL

EXISTING & PROPOSED WATERSHED MAPS  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

DATE	DESCRIPTION	REVISION BLOCK
02/25/2026	CHANGES PER GEOTECHNICAL	
	MG BY	
	NUMBER	

DRAWN BY:	GS/MG
DESIGNED BY:	DMR
DATE:	02/03/2026
SCALE:	AS NOTED
PROJECT NO.:	25-006
SHEET:	C4.0



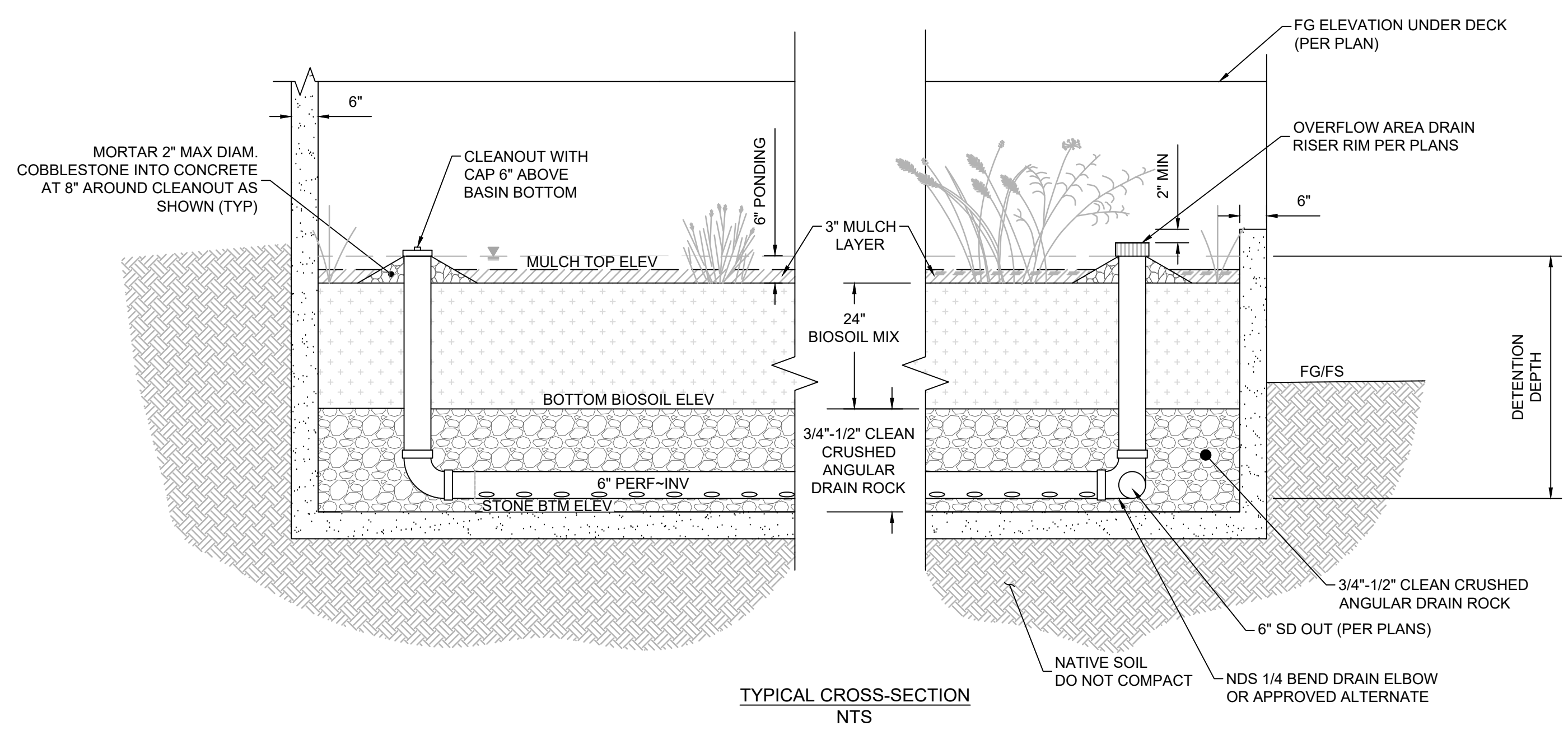
**RAMSEY CIVIL ENGINEERING INC.**  
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PROJECT MANAGEMENT  
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QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

REGISTERED PROFESSIONAL ENGINEER  
NOT FOR CONSTRUCTION

DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29  
PLAN TYPE  
RESIDENTIAL



**BIORETENTION NOTES**

- SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.

**GENERAL**

- TO AVOID CLOGGING, FILTER FABRIC SHALL NOT BE USED IN OR AROUND THE UNDER DRAIN OR BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK. MULCH MUST BE AGED, STABILIZED, NON-FLOATING MULCH.

**SOIL REQUIREMENTS**

- BIORETENTION SOIL SHALL BE A WELL-BLENDED MIXTURE OF MINERAL AGGREGATE AND COMPOST, MEASURED ON A VOLUME BASIS. BIORETENTION SOIL SHALL CONSIST OF TWO PARTS COMPOST (APPROXIMATELY 35 TO 40 PERCENT) BY VOLUME AND THREE PARTS MINERAL AGGREGATE (APPROXIMATELY 60 TO 65 PERCENT), BY VOLUME. THE MIXTURE SHALL BE WELL BLENDED TO PRODUCE A HOMOGENEOUS MIX. PLANTING SOILS SHALL MEET THE BIOTREATMENT SOIL MIX SPECIFICATIONS APPROPRIATE FOR THE JURISDICTION. A MINIMUM INFILTRATION RATE OF 5 IN/HR AND A MAXIMUM INFILTRATION RATE OF 10 IN/HR ARE REQUIRED.

**VEGETATION**

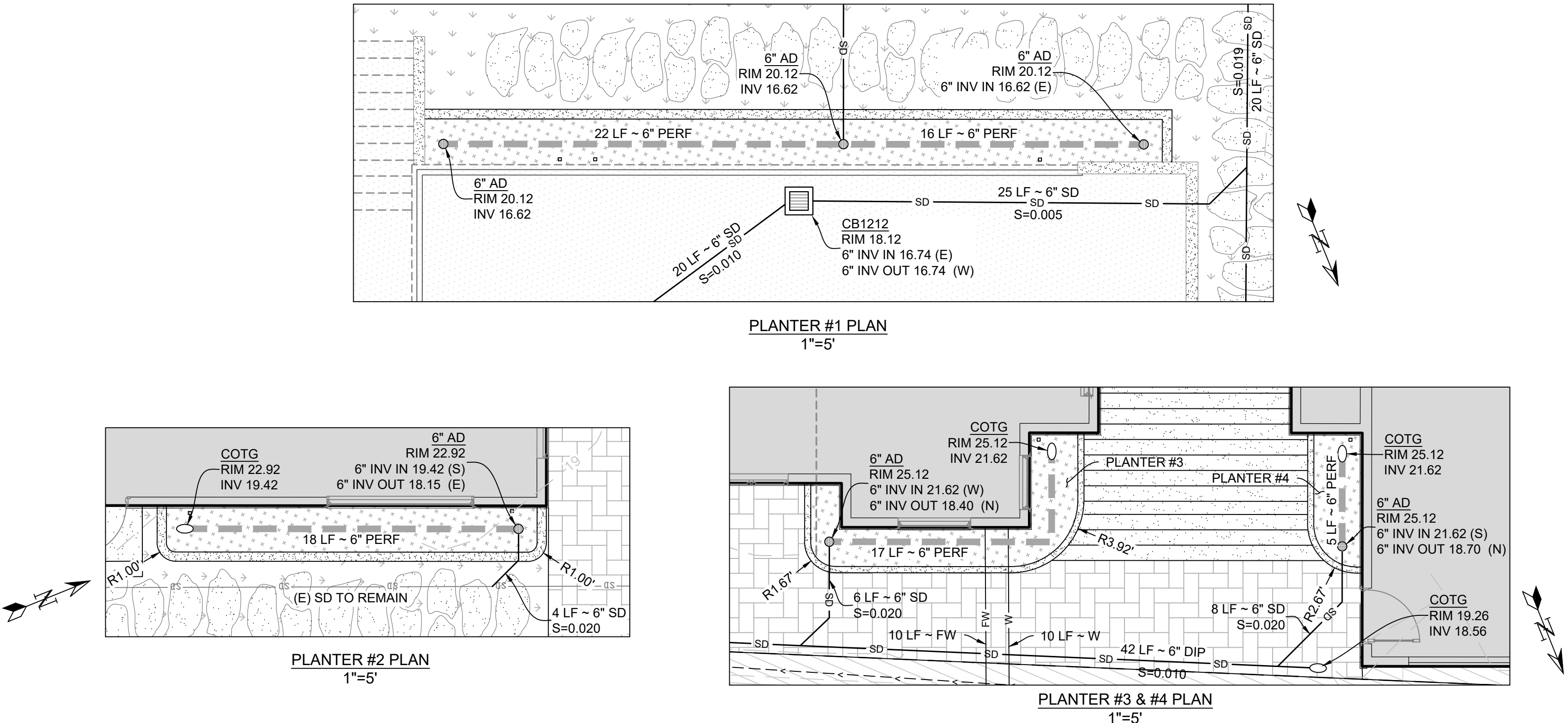
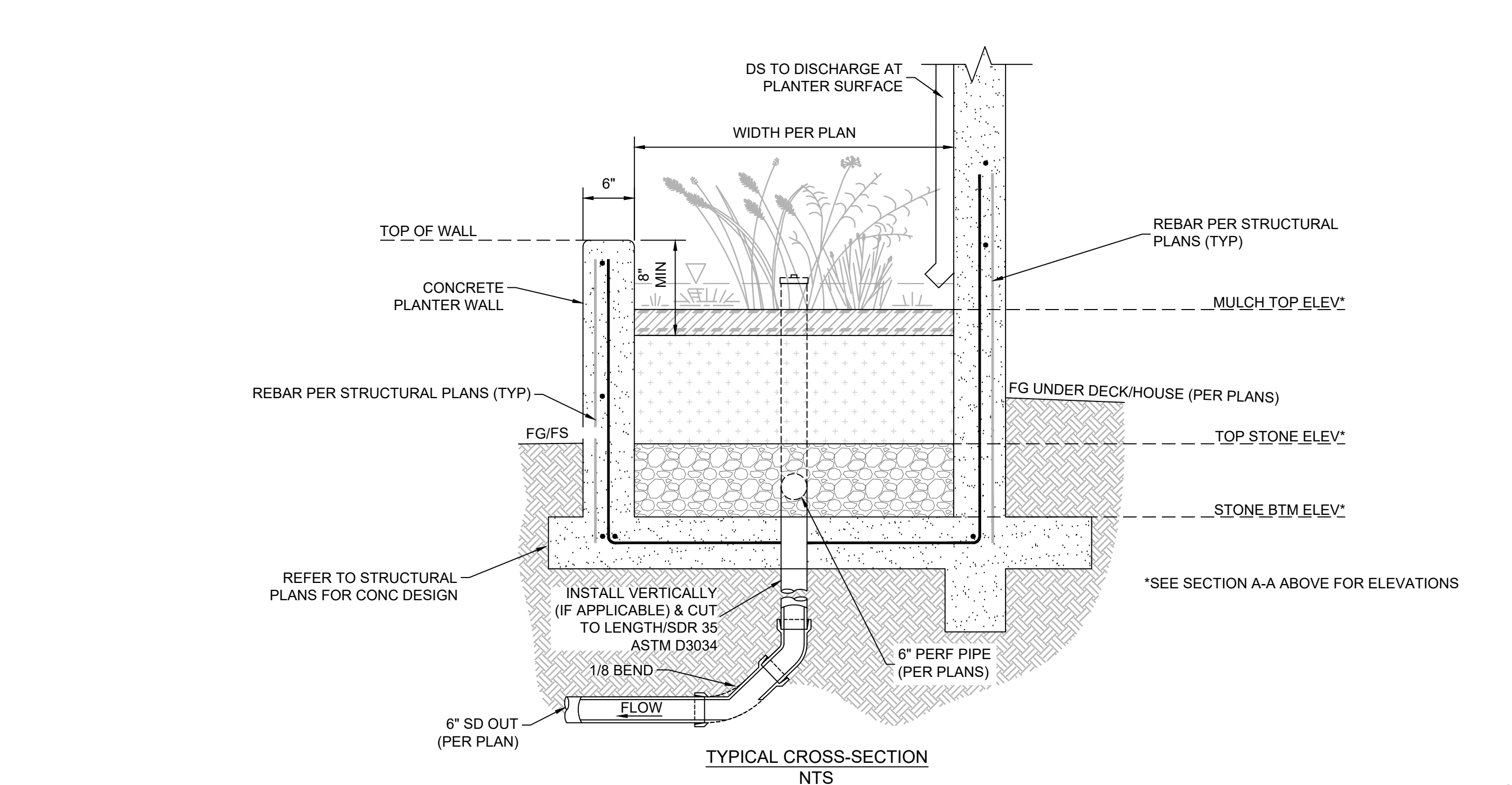
- PLANT SPECIES SELECTED SHALL BE SUITABLE FOR BIORETENTION AREA LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION.
- VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT FACILITIES.
- PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.

**CONSTRUCTION REQUIREMENTS**

- BIORETENTION AREAS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF; DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED BIORETENTION AREAS.

**MAINTENANCE**

- CONDUCT BIENNIAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE AND REPLACE DEAD OR DYING PLANTS.
- MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.
- AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.
- BEFORE THE WET SEASON BEGINS, VERIFY THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.
- PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.



**FLOW THROUGH PLANTER SUMMARY**

PLANTER #	BSM TOP ELEV	COTG/OVER FLOW RIM ELEV	MULCH TOP ELEV	BSM BTM ELEV	PROVIDED DETENTION STONE DEPTH (FT)	6" PERF INV	STONE BTM ELEV
1	19.62	20.12	19.87	17.62	1.00	16.62	16.45
2	22.42	22.92	22.67	20.42	1.00	19.42	19.25
3	24.62	25.12	24.87	22.62	1.00	21.62	21.45
4	24.62	25.12	24.87	22.62	1.00	21.62	21.45

**Exhibit D**  
**Project Plans**  
**Application 251247**

**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

DATE: 02/25/2026

CHANGES PER GEOTECHNICAL DESCRIPTION REVISION BLOCK

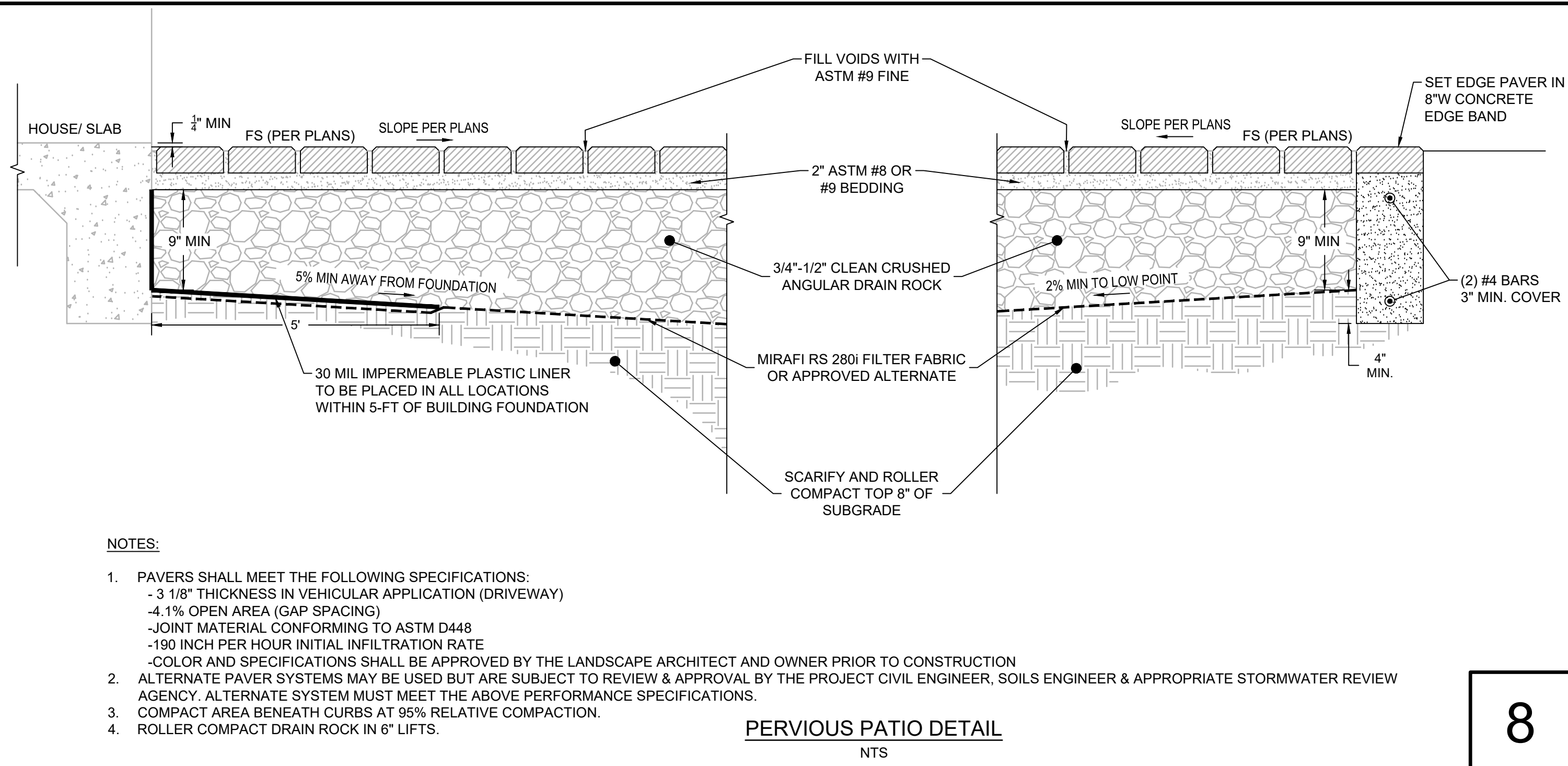
1 MG BY

1 NUMBER

DATE

DESIGNED BY: DMR  
DATE: 02/03/2026  
SCALE: AS NOTED  
PROJECT NO: 25-006  
SHEET:

5 **C5.0**

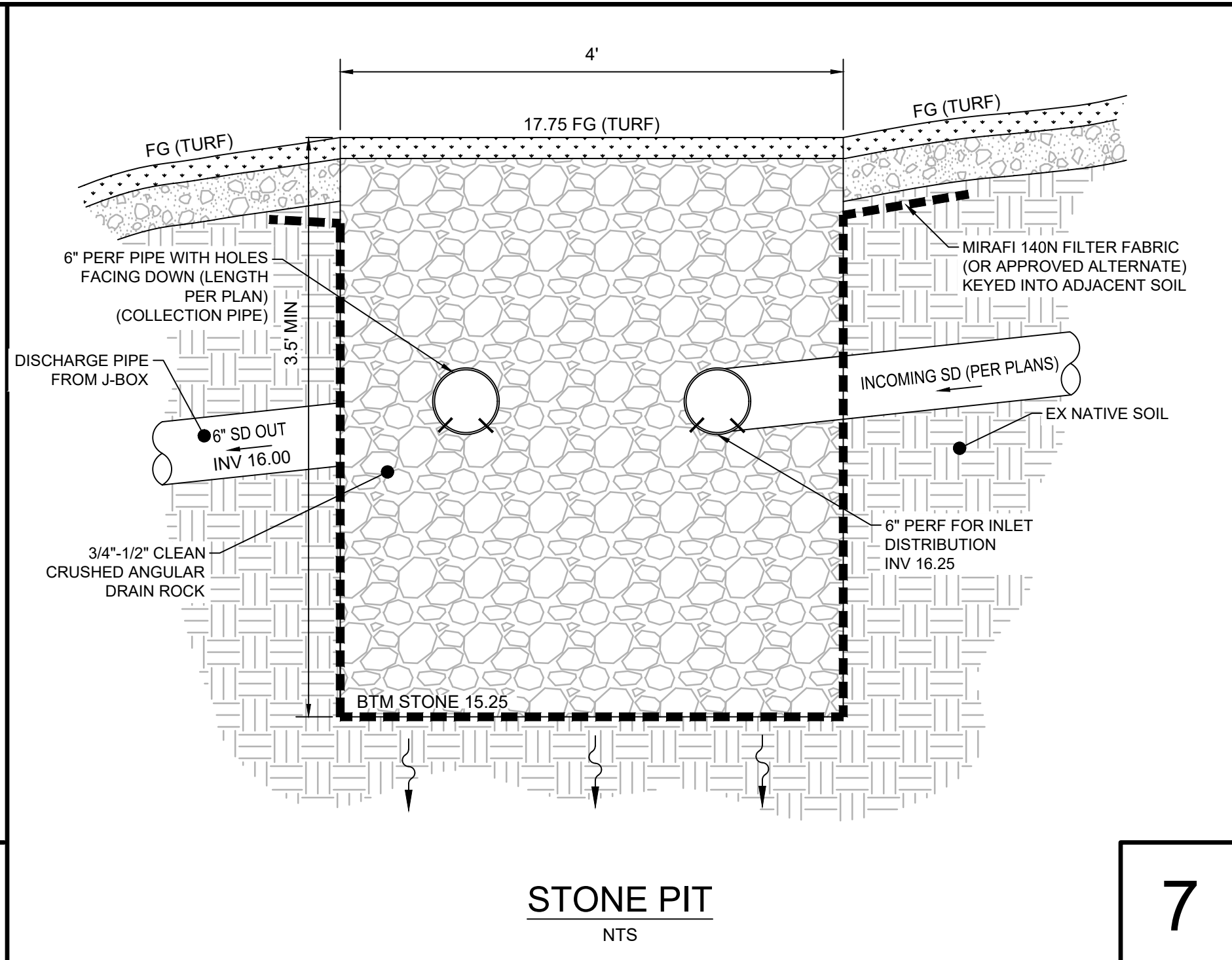


NOTES:

- PAVERS SHALL MEET THE FOLLOWING SPECIFICATIONS:
  - 3 1/8" THICKNESS IN VEHICULAR APPLICATION (DRIVEWAY)
  - 4.1% OPEN AREA (GAP SPACING)
  - JOINT MATERIAL CONFORMING TO ASTM D448
  - 190 INCH PER HOUR INITIAL INFILTRATION RATE
  - COLOR AND SPECIFICATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION
- ALTERNATE PAVER SYSTEMS MAY BE USED BUT ARE SUBJECT TO REVIEW & APPROVAL BY THE PROJECT CIVIL ENGINEER, SOILS ENGINEER & APPROPRIATE STORMWATER REVIEW AGENCY. ALTERNATE SYSTEM MUST MEET THE ABOVE PERFORMANCE SPECIFICATIONS.
- COMPACT AREA BENEATH CURBS AT 95% RELATIVE COMPACTION.
- ROLLER COMPACT DRAIN ROCK IN 6" LIFTS.

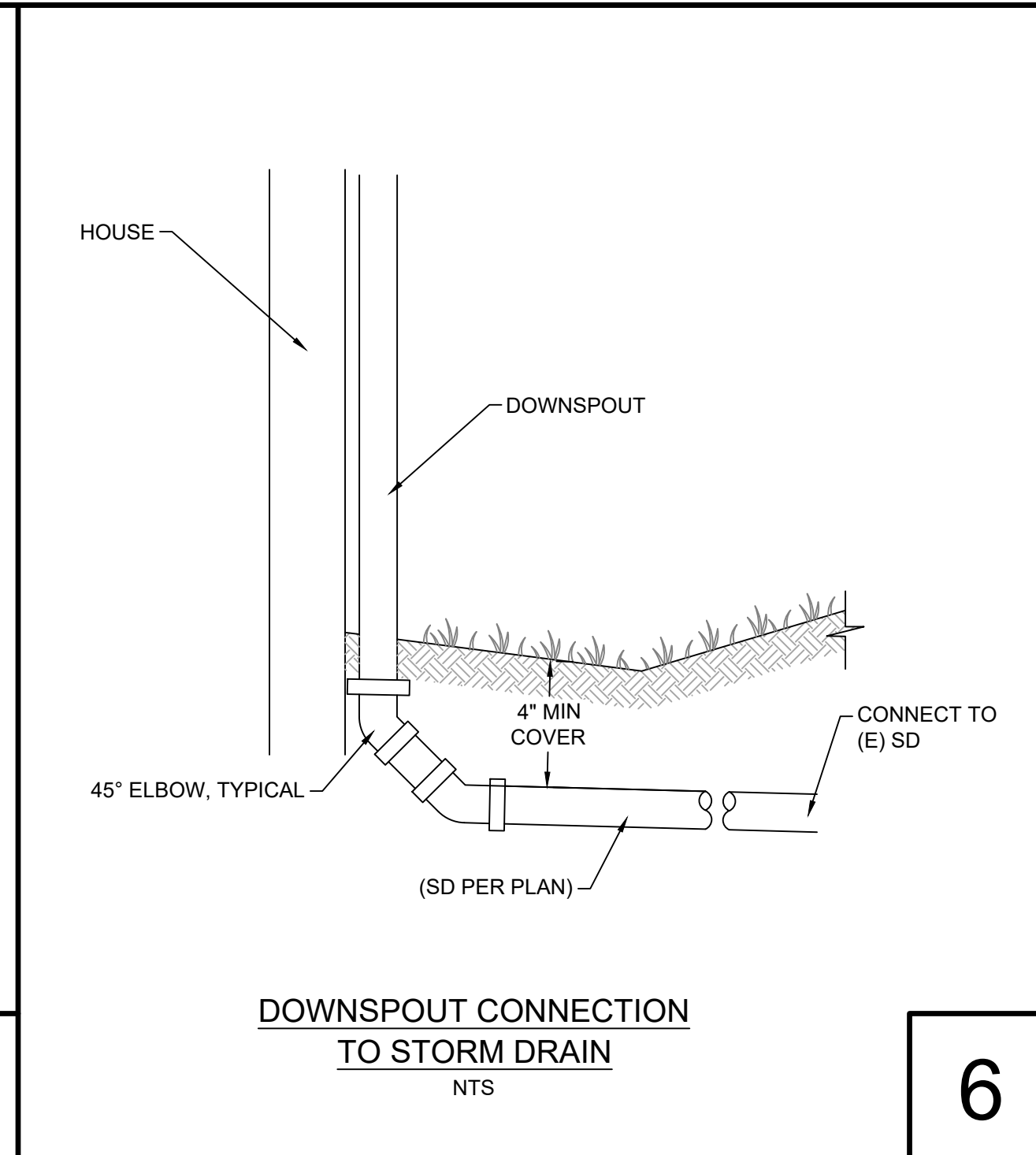
PERVIOUS PATIO DETAIL  
NTS

8



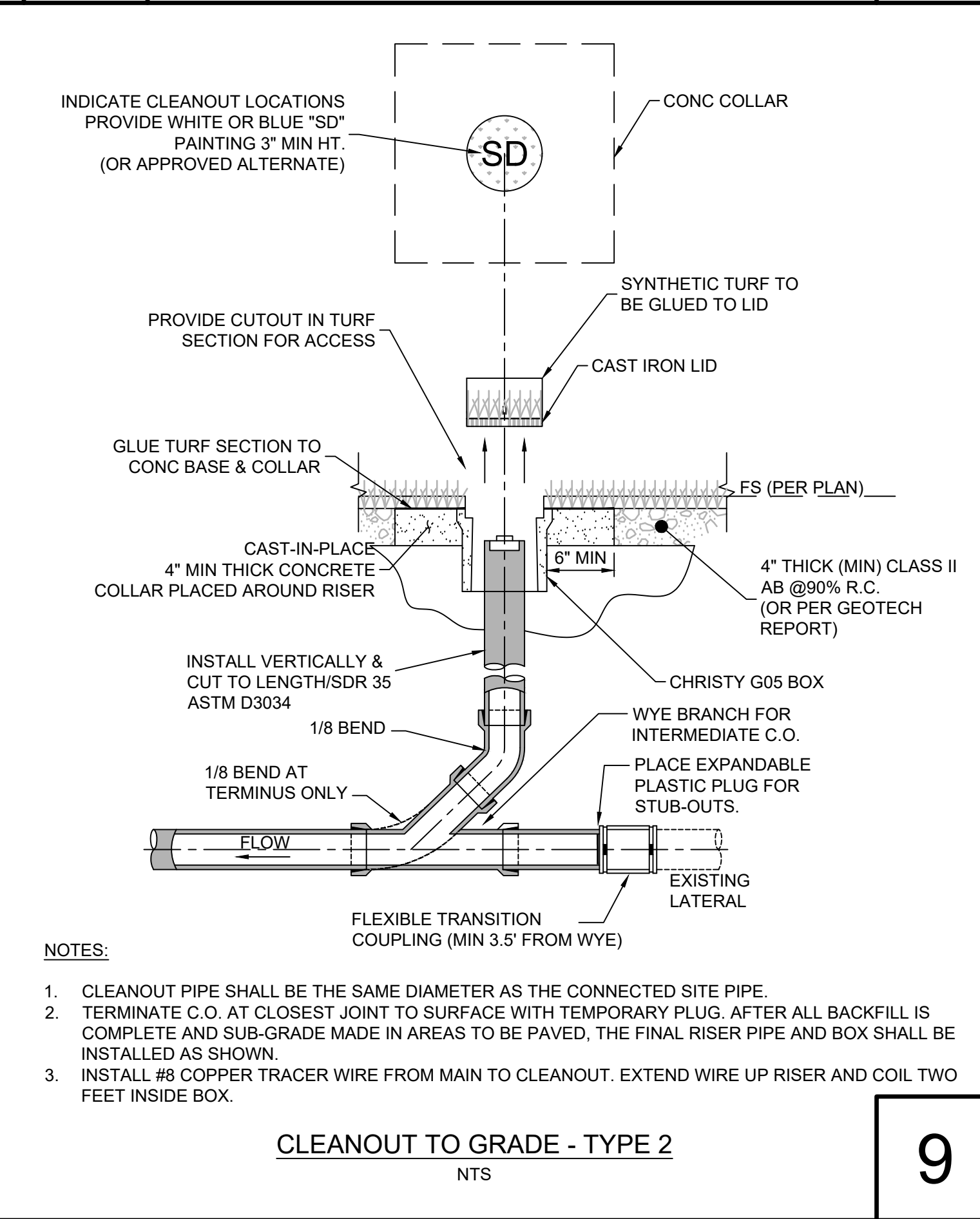
STONE PIT  
NTS

7



DOWNSPOUT CONNECTION  
TO STORM DRAIN  
NTS

6



NOTES:

- CLEANOUT PIPE SHALL BE THE SAME DIAMETER AS THE CONNECTED SITE PIPE.
- TERMINATE C.O. AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED, THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.
- INSTALL #8 COPPER TRACER WIRE FROM MAIN TO CLEANOUT. EXTEND WIRE UP RISER AND COIL TWO FEET INSIDE BOX.

CLEANOUT TO GRADE - TYPE 2  
NTS

9

**RAMSEY**  
CIVIL ENGINEERING INC.  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES  
2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramsycivilengineering.com

REGISTERED PROFESSIONAL ENGINEER  
NOT FOR CONSTRUCTION  
DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29  
PLAN TYPE  
RESIDENTIAL

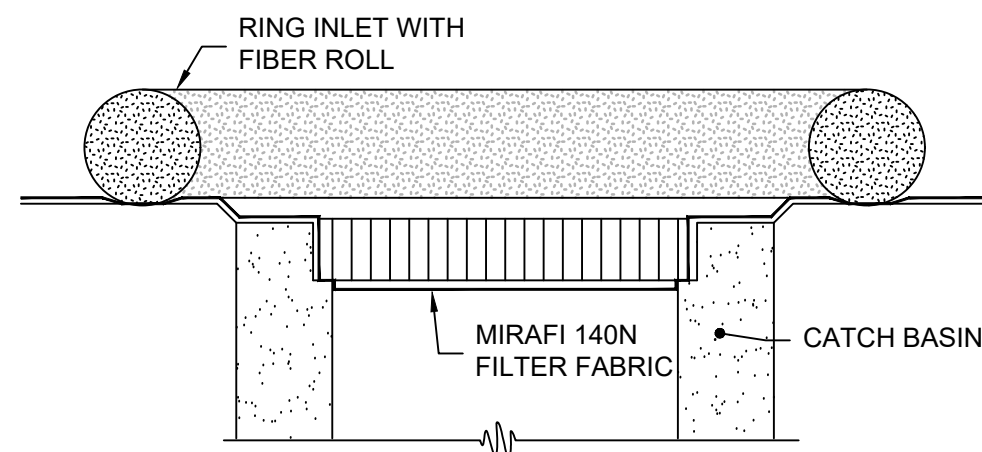
DETAILS  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

REVISION	DATE	DESCRIPTION
1	02/25/2026	CHANGES PER GEOTECHNICAL

DRAWN BY: GS/MG  
DESIGNED BY: DMR  
DATE: 02/03/2026  
SCALE: AS NOTED  
PROJECT NO: 25-006  
SHEET:

Exhibit D  
Project Plans  
Application 251247

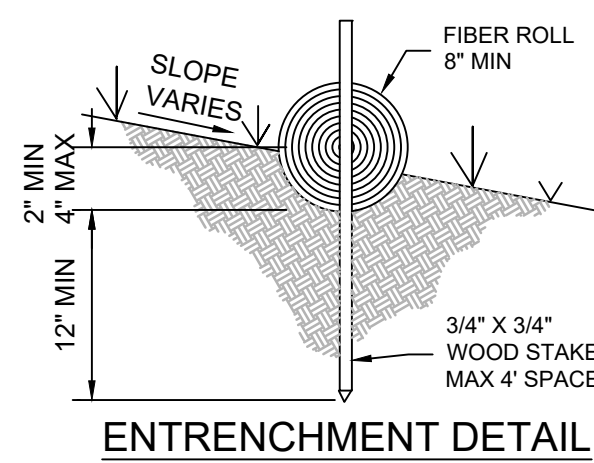
C5.1



**INSPECTION AND MAINTENANCE:**

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

**CATCH BASIN PROTECTION**  
NTS

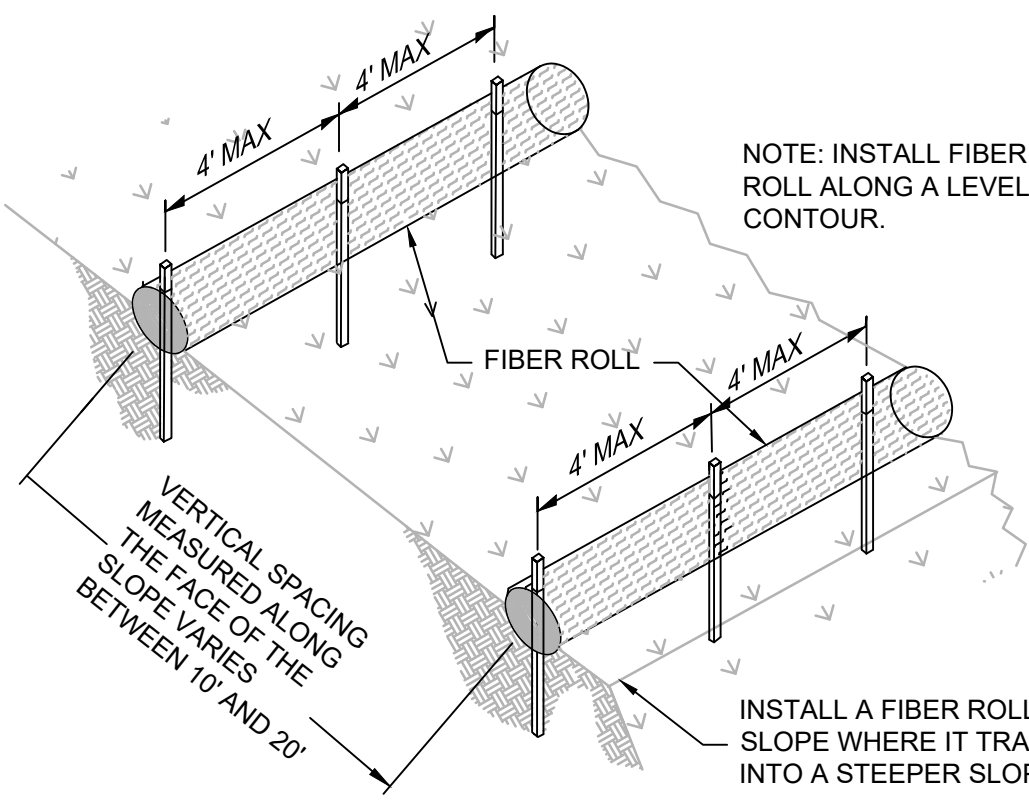


**FIBER ROLLS CONSTRUCTION SPECIFICATIONS**

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

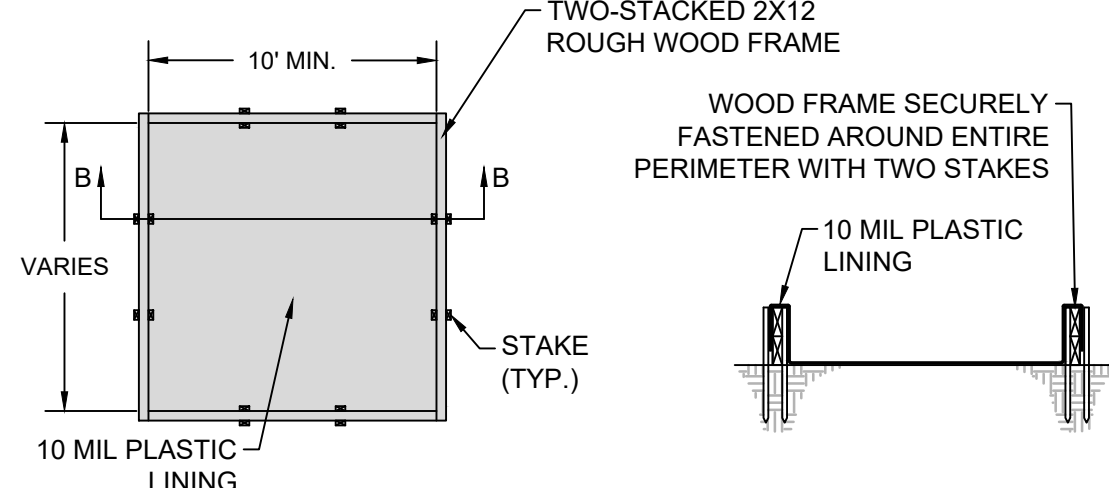
**INSTALLATION AND MAINTENANCE**

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



**TYPICAL INSTALLATION**

**FIBER ROLLS**  
NTS



**OPTION #1 ABOVE GRADE (WOOD PLANKS)**

NOTE: ACTUAL LAYOUT DETERMINED IN THE FIELD. ALTERNATIVE WASHOUTS AVAILABLE, CONFIRM WITH ENGINEER PRIOR TO INSTALLATION

**INSPECTION AND MAINTENANCE**

1. THE CONTRACTORS WATER POLLUTION CONTROL (WPCM) MANAGER SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
2. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED AS DIRECTED BY THE ENGINEER.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED FOR DAMAGE (I.E. TEARS IN POLYETHYLENE LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

**CONCRETE WASHOUT**  
NTS



**EROSION CONTROL NOTES**

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

**STORMWATER O&M PLAN**

1. REFER TO THE RECORDED STORMWATER MAINTENANCE AGREEMENT (SCC FIG. SWM-25A) FOR ADDITIONAL SITE/PROJECT INFORMATION AND REQUIREMENTS, AS WELL AS RESPONSIBLE PARTY AGREEMENT.
2. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP
3. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS, REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
4. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
5. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
  - 5.1. ROOF DOWNSPOUTS:
    - 5.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED OF.
  - 5.2. GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRIAN SLAB AREAS:
    - 5.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
    - 5.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
      - 5.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
      - 5.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
      - 5.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW, REMOVE AS NECESSARY.
      - 5.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

**SOURCE CONTROL MEASURES**

BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:

- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
- LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
- OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
- UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.

**Exhibit D**  
**Project Plans**  
**Application 251247**



**RAMSEY**  
CIVIL ENGINEERING INC.  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
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2905 KRISTIE COURT  
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TEL (831) 462-2905  
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REGISTERED PROFESSIONAL ENGINEER  
NOT FOR CONSTRUCTION  
DAVID RAMSEY DATE  
RCE# 73735

APN# 038-191-29  
PLAN TYPE  
RESIDENTIAL

EROSION CONTROL PLAN AND DETAILS  
**OPHEIM RESIDENCE**  
739 LAS OLAS DRIVE, APTOS, CA, 95003

NO.	DATE	DESCRIPTION	BY	MG
1	02/25/2026	CHANGES PER GEOTECHNICAL		

DRAWN BY:	GS/MG
DESIGNED BY:	DMR
DATE:	02/03/2026
SCALE:	AS NOTED
PROJECT NO.:	25-006
SHEET:	

**C6.0**

Disclaimer: This map is prepared from the best available information and is not a warranty, representation, or endorsement of any kind. It is the responsibility of the user to verify the accuracy of the information shown on this map. The user shall be held harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this map. The user shall hold the surveyor harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this map. The user shall hold the surveyor harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this map. The user shall hold the surveyor harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this map.

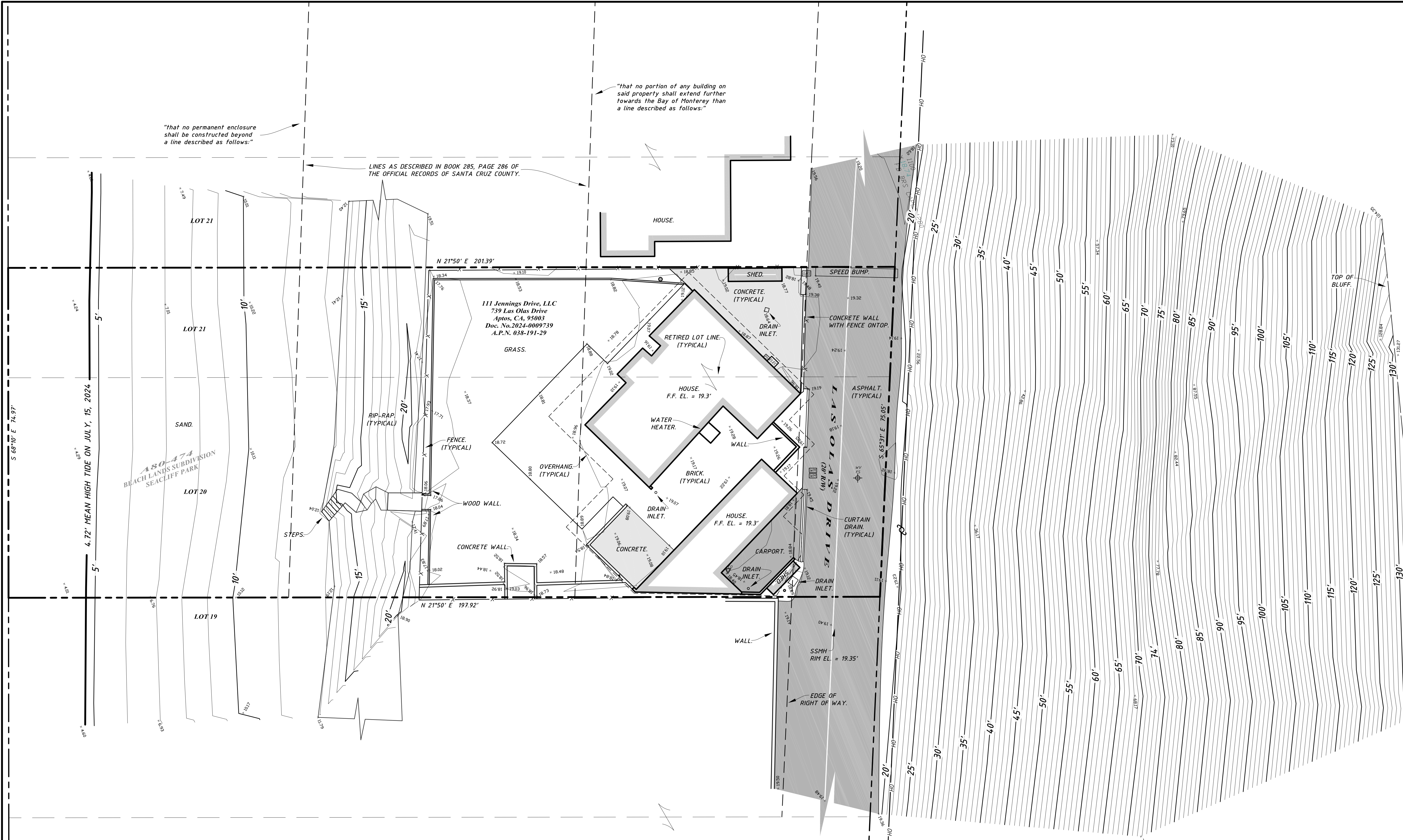
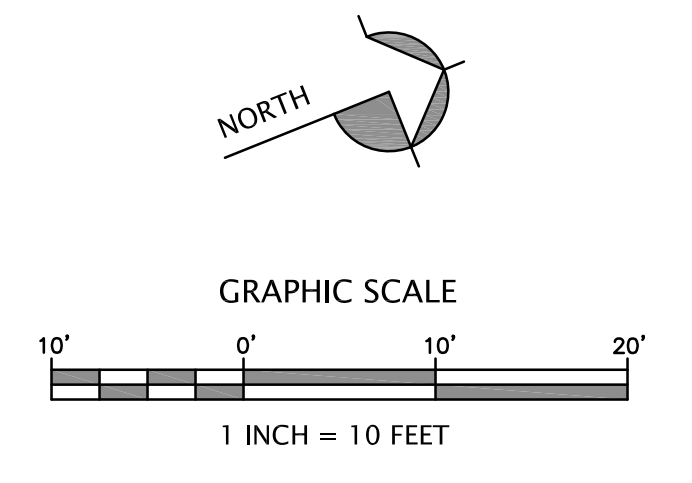
**Basis of Elevation**  
 Santa Cruz County Benchmark 474, located on a concrete pad with a fire hydrant at the entrance gate to the Las Olas HOA.  
 Benchmark Elevation = 18.66' NAVD 88.  
 The contour interval is 1 foot.

**Basis of Bearings**  
 The basis of bearings for this map has been established between found monuments on the northern line of Las Olas Drive, per record of survey map 110-M-24, recorded in the County of Santa Cruz.

**Legend**

	Electric Box		Gas Meter
	Water Meter		Telephone Box
	Water Valve		Clean out
	Utility Pole		Sanitary Sewer Manhole

**Exhibit D  
 Project Plans  
 Application 251247**

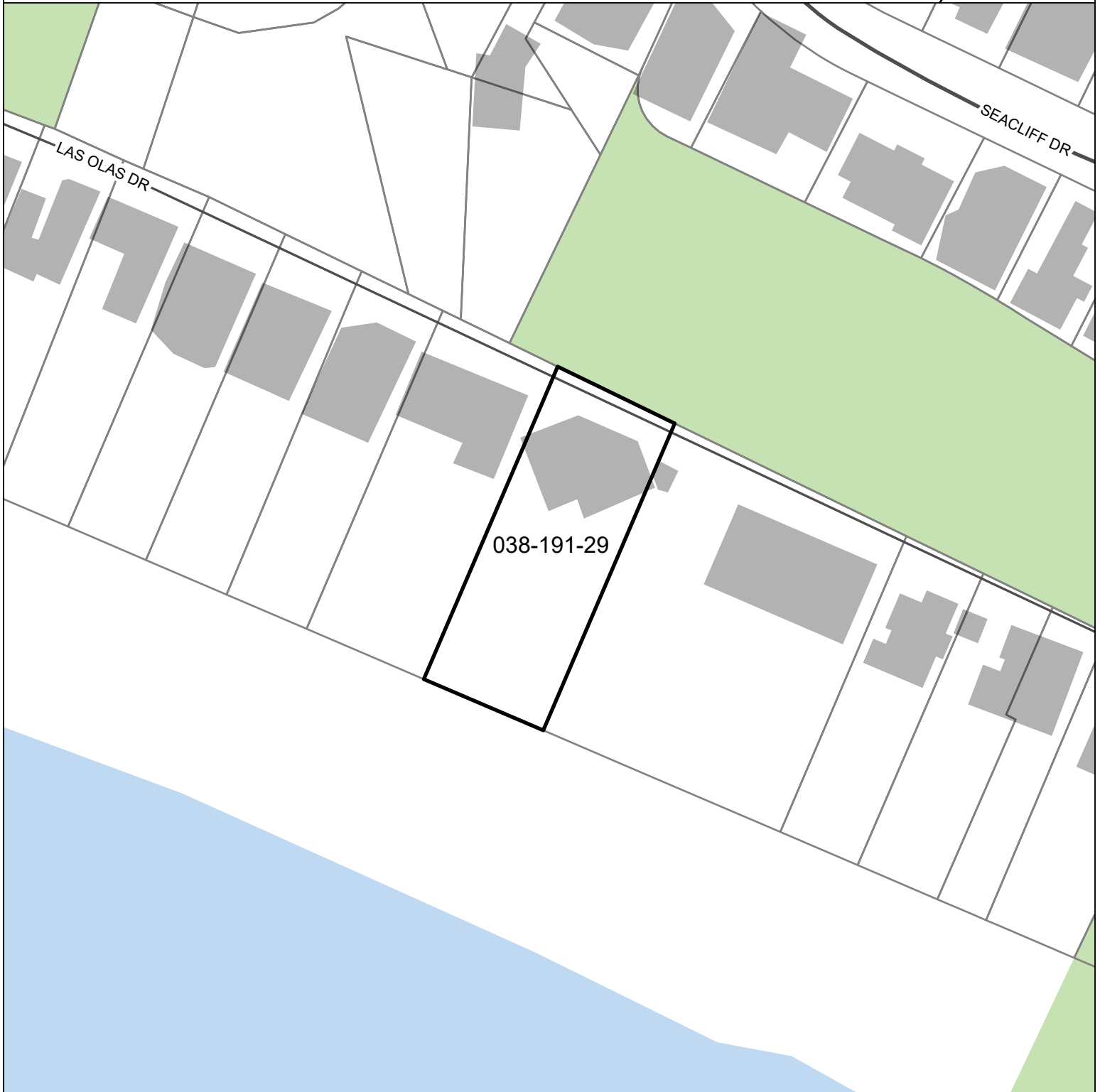


	REVISION APPROVED <i>Paul Hanagan</i> Paul Hanagan LS 7797
HANAGAN LAND SURVEYING  <b>111 Jennings Drive, LLC</b> Topographic Map, The Lands Of: 739 Las Olas Drive, Aptos, CA, 95003	HANAGAN LAND SURVEYING 305-C SOQUEL AVE., SANTA CRUZ, CA 95062 PHONE (831) 469-3428
Santa Cruz County A.P.N. 038-191-29 DATE 7-15-2024 SCALE 1" = 10'	DESIGN DRAWN J. Kaneg
SHEET <b>SU-1</b> OF 1 SHEETS 24060 JOB NO.	



Santa Cruz County Planning Department

# Parcel Location Map



038-191-29

**Parcel: 03819129**

 Subject Parcel

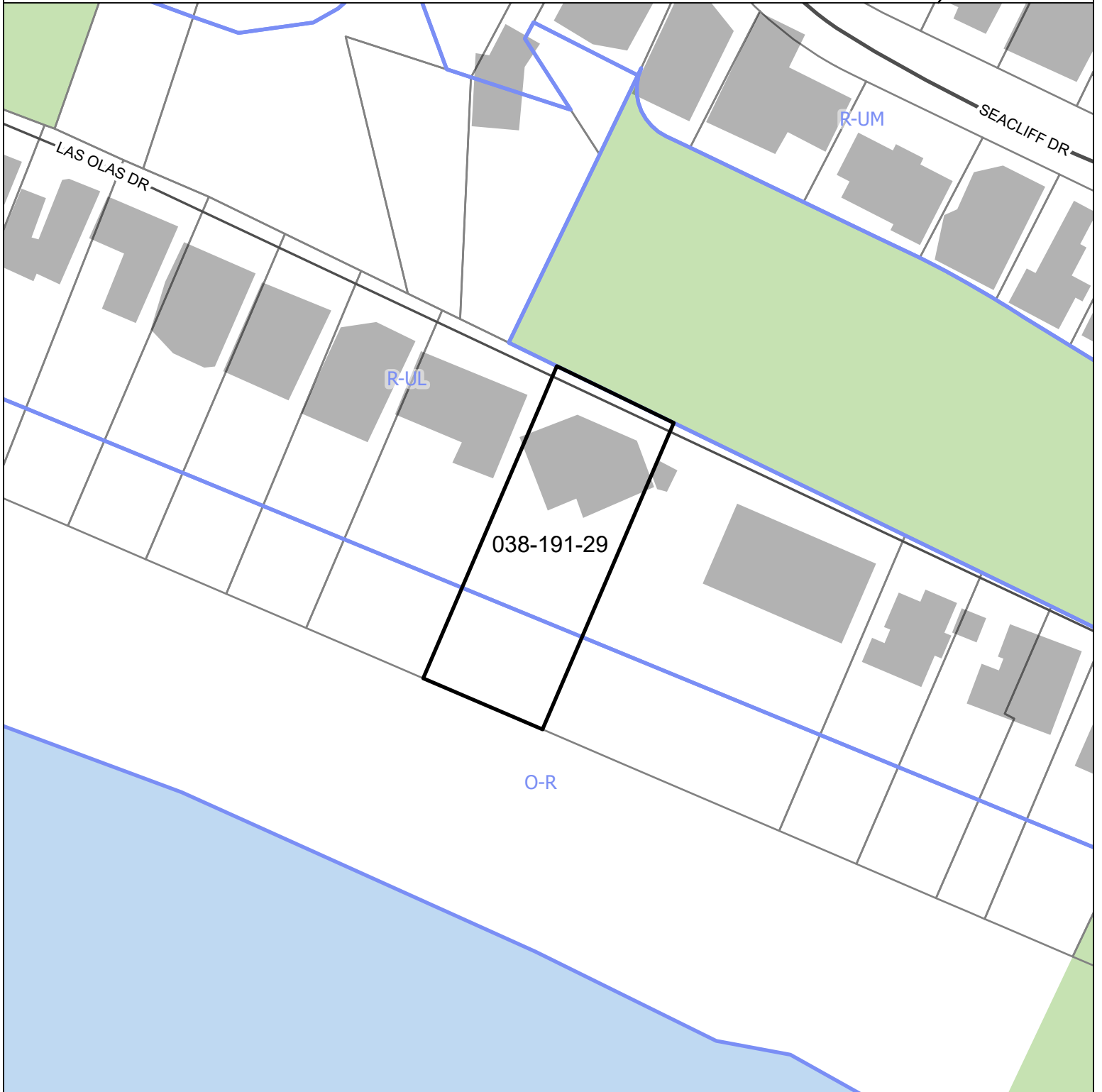
Map printed: 28 May. 2026

**Exhibit E  
Maps  
Application 251247**



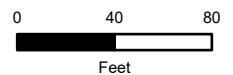


# Parcel General Plan Map



 Subject Parcel

**Exhibit E  
Maps  
Application 251247**



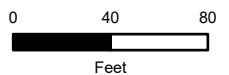
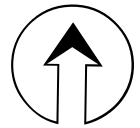


# Parcel Zoning Map



 Subject Parcel

**Exhibit E  
Maps  
Application 251247**



## Parcel Information

### Services Information

Urban/Rural Services Line:  Inside  Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: Santa Cruz County Sanitation  
Fire District: Central Fire Protection District  
Drainage District: Flood Control Zone 6

### Parcel Information

Parcel Size: 14,962 square feet  
Existing Land Use - Parcel: Residential, Open Space  
Existing Land Use - Surrounding: Residential, Open Space  
Project Access: Private via Las Olas Drive  
Planning Area: Aptos  
Land Use Designation: R-UL, O-R (Urban Low Density Residential, Parks, Recreation, Open Space)  
Zone District: R-1-8 (single-family residential, 8,000 square foot parcel size)  
Coastal Zone:  Inside  Outside  
Appealable to Calif. Coastal Comm.:  Yes  No

**Technical Reviews:** Combined Geologic and Geotechnical Report REV251098

### Environmental Information

Geologic Hazards: Mapped special flood hazard area (SFHA), FEMA zone VE  
Fire Hazard: Not a mapped constraint  
Slopes: N/A  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: 43 cubic yards net excavation (230 cut, 187 fill)  
Tree Removal: 8" dbh black oak at north side of site proposed for removal  
Scenic: Mapped scenic resource  
Archeology: Not mapped/no physical evidence on site



## County of Santa Cruz

### Department of Community Development and Infrastructure

701 Ocean Street, Fourth Floor, Santa Cruz, CA 95060  
Planning (831) 454-2580 Public Works (831) 454-2160  
cdi.santacruzcountyca.gov

23 March 2026

Foundry Architecture  
Attn: Eric Iverson  
8070 Soquel Drive #130  
Santa Cruz, CA 95003

Subject: Review of the Geological Investigation report dated 21 April 2025 by Pacific Crest Engineering, Inc. - Project No. 25013

Review of the Response to County Comments report dated 5 February 2026; the Addendum to Geotechnical Report dated 14 December 2025; and the Geotechnical Investigation report dated 5 May 2025 by CMAG Engineering, Inc.  
Project No. 24-128-SC

Project Site: 739 Las Olas Drive  
APN 038-191-29  
Application No. REV251098 (related to 251247)

The purpose of this letter is to inform you that the Planning Division has accepted the subject reports for the discretionary review of Application 251247/REV251098, and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the subject reports. Project plans should reflect the recommendations of the accepted reports, including but not limited to the recommended geologic development envelope for critical structures and grading in areas of loose trench backfill. [SCCC 16.10.070]
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. [SCCC 16.10.070]
3. After plans are prepared that are acceptable to all reviewing agencies, please request that both your project geologist and project geotechnical engineer submit a completed Consultant Plan Review Form (PLG-300) to Environmental Planning. The authors of the geology and geotechnical reports shall sign and stamp their completed forms.

**Exhibit G**  
**REV251098 Acceptance Letter**  
**Application 251247**

Please note that the plan review forms must reference the final plan set by the last revision date. The project geologist shall confirm that all battery facilities are located within their recommended development envelope for fault rupture hazard. [SCCC 16.10.070]

4. The project structural engineer shall certify that the project is designed to mitigate the projected horizontal and vertical displacements outlined by the project geotechnical engineers in their report dated 17 December 2025, consistent with the County's Guidelines for Geotechnical Investigation Reports. [16.10.060 (C)]
5. A Declaration of Geologic Hazards shall be recorded prior to issuance of building permit(s) for the proposed project. The declaration form will be prepared and provided along with instructions for recording upon building permit submittal and acceptance of any updates to reports, if necessary. [SCCC 16.10.070]

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the subject reports. If additional ground improvement or other measures are determined necessary to mitigate potential hazards, supplemental geotechnical recommendations and review will be required.

Please note that this review has been performed during the discretionary permit phase of the project. The 2025 California Building Code became effective 1 January 2026. The geotechnical report submitted for the building permit application will require an update to the California Building Code current at the date of application.

Electronic copies of all forms required to be completed by the Engineering Geologist and/or Geotechnical Engineer may be found on our website:  
<https://cdi.santacruzcountyca.gov/UPC/EnvironmentalPermitsTechnicalReviews/GeologyandSoils/AssistanceandForms.aspx>

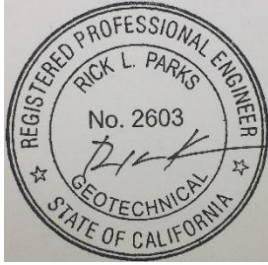
After building permit issuance the engineering geologist and geotechnical engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the reports is limited to their technical content only. Compliance with other resource protection requirements set forth in Chapter 16 of the Santa Cruz County Code, as well as other planning related regulations governing zoning, fire safety, septic or sewer are subject to approval by other agencies.


Please contact Rick Parks at email: [Rick.Parks@santacruzcountyca.gov](mailto:Rick.Parks@santacruzcountyca.gov) or Craig Stewart at email: [Craig.Stewart@santacruzcountyca.gov](mailto:Craig.Stewart@santacruzcountyca.gov) if we can be of any further assistance.

**Exhibit G**  
**REV251098 Acceptance Letter**  
**Application 251247**

Sincerely,



Rick Parks GE 2603  
Civil Engineer  
County of Santa Cruz  
CDI - Planning Division

  
Craig Stewart CEG 2779  
County Geologist  
County of Santa Cruz  
CDI - Planning Division



Cc: Environmental Planning, Attn: Jessica deGrassi  
Planning, Attn: Evan Ditmars  
Eric Zinn, CEG  
Adrian Garner, GE  
Vivian Gunnerengen  
Jon Bol

Attachments: Notice to Permit Holders

**Exhibit G**  
**REV251098 Acceptance Letter**  
**Application 251247**

**NOTICE TO PERMIT HOLDERS WHEN SOILS AND GEOLOGY REPORTS HAVE BEEN PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer and engineering geologist to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils and geology reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer and/or geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer and/or geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.

Exhibit G  
REV251098 Acceptance Letter  
Application 251247