



Staff Report to the Zoning Administrator

Application Number: **05-0216**

Applicant: John Craycroft
Owner: Don Douglas, etal.
APN: 038-217-07

Agenda Date: 7/15/05
Agenda Item #: 3
Time: After 10:00 a.m.

Project Description: Proposal to demolish an existing 1 story single family dwelling and construct a replacement 2 story single family dwelling.

Location: Property located on the south side of Park Drive approximately 100 feet east of the intersection with Loma Place. (329 Park **Drive**)

Supervisory District: 2nd District (District Supervisor: Ellen Pirie)

Permits Required: Coastal Development Permit

Staff Recommendation:

- Approval of Application 05-0216, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Exhibits

- | | |
|---|------------------------------|
| A. Project plans | E. Assessor's parcel map |
| B. Findings | F. Zoning map |
| C. Conditions | G. Comments & Correspondence |
| D. Categorical Exemption (CEQA determination) | |

Parcel Information

Parcel Size:	3,338 square feet (survey - lot area calculation)
Existing Land Use - Parcel:	Single family dwelling
Existing Land Use - Surrounding:	Single family residential neighborhood
Project Access:	Park Drive (off Seacliff Drive)
Planning Area:	Aptos
Land Use Designation:	R-UM (Urban Medium Density Residential)

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

Zone District: R-1-4 (Single family residential - 4,000 square foot minimum)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Report required at Building Permit stage
Fire Hazard: Not a mapped constraint
Slopes: 2-5%
Env. Sen. Habitat: Not mappedno physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Roads: Existing roads adequate
Parks: Existing park facilities adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Aptos/La Selva Fire Protection District
Drainage District: Zone 6 Flood Control District

Project Setting

The subject property is located on Park Drive in the Seacliff area of the Aptos Planning Area. The parcel is surrounded on all sides by single family residential development with one and two story structures in the surrounding neighborhood. An existing one story residence is located on the subject property.

Zoning & General Plan Consistency

The subject property is a 3,338 square foot lot, located in the R-1-4 (Single family residential - 4,000 square foot minimum) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the project is consistent with the site's (R-UM) Urban Medium Density Residential General Plan designation.

New Single Family Dwelling

The proposed project will involve the demolition of the existing residence and the construction

of a replacement two story single family dwelling on the subject property. Although the subject property is narrower than 35 feet in width at the front of the property, this is considered as an existing condition on an existing developed parcel. Staff recommends that the standard 15 foot front yard setback for the zone district be measured from the edge of the vehicular right of way of Park Drive for the replacement dwelling. Additionally, the stairs and landing will encroach into the required 5 foot yard setback on the east side of the proposed residence. An encroachment up to 3 feet into the side yard setback for unenclosed stairs and/or landings is allowed as an exception to the residential site standards per the County Code.

Local Coastal Program Consistency

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review

The proposed single family dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- **APPROVAL** of Application Number **05-0216**, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

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The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Randall Adams
Santa Cruz County Planning Department
701 Ocean *Street*, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3218
E-mail: randall.adams@co.santa-cruz.ca.us

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-4 (Single family residential - 4,000 square foot **minimum**), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, consistent with the site's (R-UM) Urban Medium Density Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that the proposal does not conflict with any existing easement or development restriction such as public access, utility, or open space easements in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 ~~et~~ seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors shall be natural in appearance and complementary to the site.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, **as** to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road, with existing developed beach access at Beachgate Way and at Seacliff State **Park**. Consequently, the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4 (Single family residential - 4,000 square foot minimum) zone district of the area, as well **as** the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed single family dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all *current* setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-4 (Single family residential - 4,000 square foot minimum) zone district in that the primary use of the property will be one single family dwelling that meets all current site standards for the zone district. Although the existing parcel does not comply with the minimum site frontage or width requirements for new parcels, it is an existing parcel and the required front yard setback for the zone district will be applied from the edge of the vehicular right of way as a result of this existing parcel configuration.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Urban Medium Density Residential (R-UM) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed single family dwelling will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling

will comply with the site standards for the R-1-4 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan ~~has~~ not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding ~~can~~ be made, in that the proposed single family dwelling is to be constructed as a replacement for the existing single family dwelling. The expected level of traffic generated by the proposed project is anticipated remain at one peak trip per day (1 peak trip per dwelling unit), with no net increase in traffic generation as a result of this project.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

Not applicable.

Conditions of Approval

Exhibit A: Project Plans, "Proposed Residence for Don Douglas", prepared by John Craycroft, 4 sheets, dated 2/28/05.

- I. This permit authorizes the demolition of **an** existing single family residence and the construction of a replacement **2** story single family dwelling. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit Final Architectural Plans for review **and** approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. The final plans shall include the following additional information:
 1. Identify finish of exterior materials and color of roof covering for Planning Department approval. **Any** color boards must be in 8.5" x 11" format.
 2. Grading, drainage, and erosion control plans.
 3. For any structure proposed to be within 2 feet of the maximum height limit for the zone district, the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure.
 4. Details showing compliance with fire department requirements.



EXHIBIT C

- C. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
 - D. Submit **3** copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
 - E. Meet all requirements of and pay Zone **6** drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the ~~net~~ increase in impervious area.
 - F. Obtain a final sewer approval for this project from the ~~Santa~~ Cruz County Sanitation District.
 - G. Obtain final water approval for this project from Soquel Creek Water District.
 - H. Meet all requirements and pay any applicable plan check fee of the Aptos/La Selva Fire Protection District.
 - I. Pay the current fees for Parks and Child Care mitigation for 2 bedroom(s). Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
 - J. Pay the current fees for Roadside and Transportation improvements for 1 unit. Currently, these fees are, respectively, \$2,000 and \$2,000 per unit.
 - K. Provide required off-street parking for **3** cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - L. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.

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- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with *this* development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all ~~further~~ site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

Minor variations to ~~this~~ permit which do not affect the overall concept or density ~~may~~ be approved by ~~the~~ Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: ~~This~~ permit expires two years from the effective date unless you obtain the required permits and commence construction.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Don Bussey
~~Deputy~~ Zoning Administrator

Randall Adams
Project Planner

Appeals: Any properly owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the **Zoning** Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 ~~of the~~ Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 05-0216
Assessor Parcel Number: 038-217-07
Project Location: 329 Park Drive, Aptos

Project Description: Proposal to construct a *two* story single family dwelling.

Person or Agency Proposing Project: John Craycroft

Contact Phone Number: (831) 427-3048

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060(c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

- E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a residence within an area designated for residential development.

In addition, none of the conditions described in Section 15300.2 apply to this project.

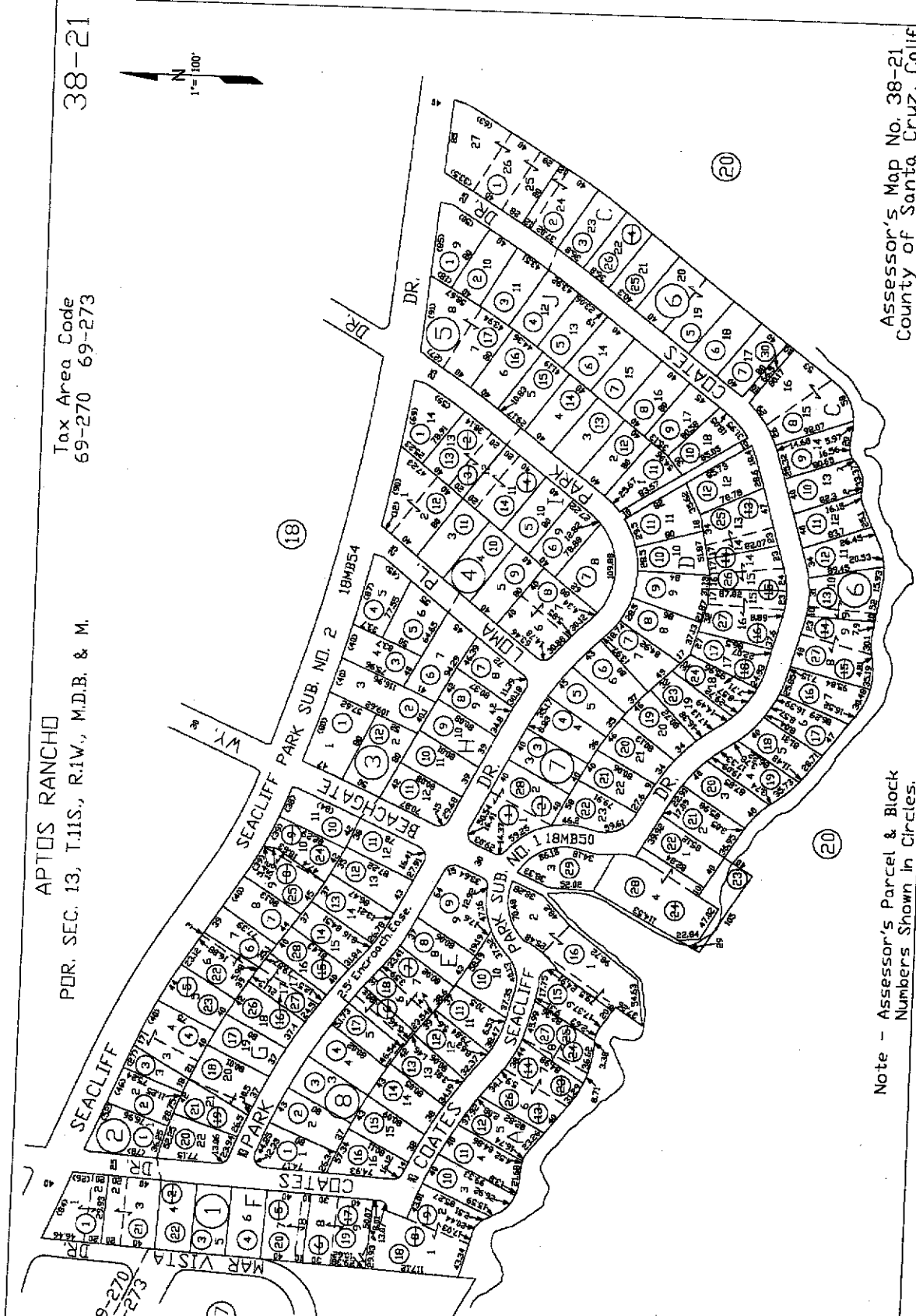
Randall Adams, Project Planner

Date: _____

FOR TAX PURPOSES ONLY
 THE ASSessor MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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Electronically Redrawn 11/14/97 erfp
 Rev. 5/4/98 KSA CAD
 Rev. 12/7/99 CB (Tax Consultation)
 Rev. 4/27/01 mmm (downward page ref.)

EXHIBIT E



Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 38-21
 County of Santa Cruz, Calif
 Nov., 1997

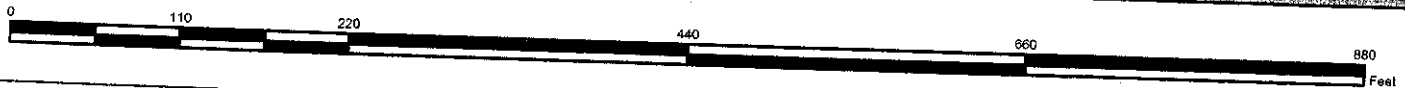
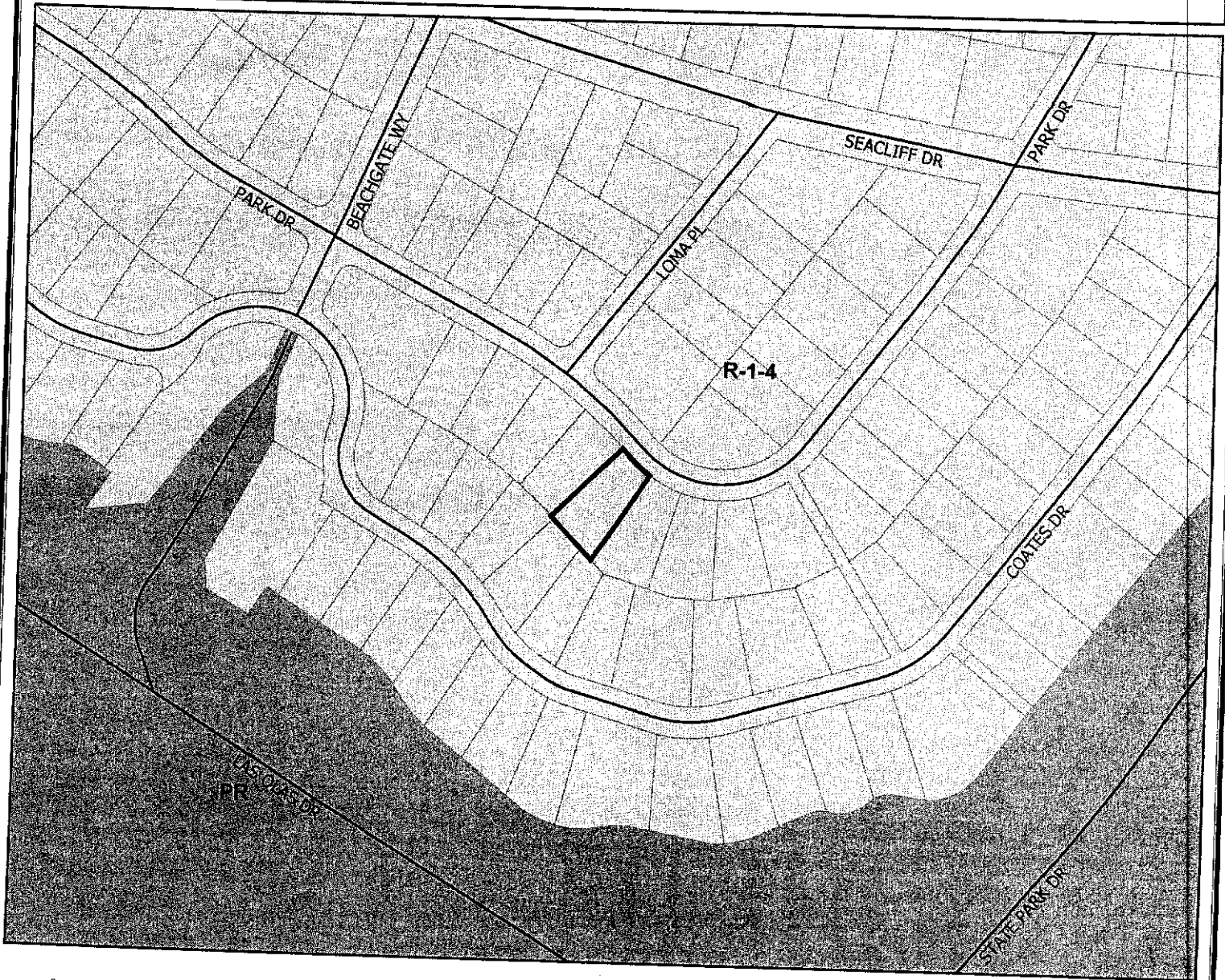
APTOS RANCHO
 POR. SEC. 13, T.11S., R.1W., M.D.B. & M.

Tax Area Code
 69-270 69-273






38-21

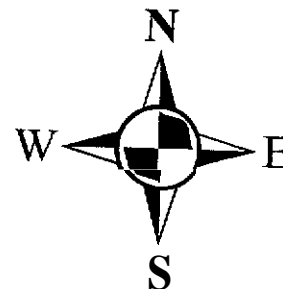


Zoning Map



Legend

-  APN 038-217-07
-  Assessors Parcels
-  Streets
-  PARK (PR)
-  RESIDENTIAL-SINGLE FAMILY (R-1)



Map Created by
County of Santa Cruz
Planning Department
April 2005

EXHIBIT F

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Randall Adams
Application No.: 05-0216
APN: 038-217-07

Date: May 24, 2005
Time: 13:39:33
Page: 1

Environmental Planning Completeness Comments

===== REVIEW ON MAY 2, 2005 BY ROBERT S LOVELAND =====
NO COMMENT

Environmental Planning Miscellaneous Comments

===== REVIEW ON MAY 2, 2005 BY ROBERT S LOVELAND =====

Conditions of Approval :

1. Submit a soils report (3 copies) to the Planning Department for review. The report shall be completed by a California licensed civil engineer. A list of recommended geotechnical engineers has been attached for review.
2. Submit a detailed erosion control plan for review. Identify what type of erosion control practice is to be utilized (straw bale/roll, etc.), show where the practice will be placed and provide construction details for each practice selected.

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON MAY 4, 2005 BY CARISA REGALADO =====

Plans accepted as submitted. Discretionary stage application review is complete for this division. (Additional note in Miscellaneous Comments.)

If needed, further drainage plan guidance may be obtained from the County of Santa Cruz Planning website: <http://sccounty01.co.santa-cruz.ca.us/planning/brochures/drain.htm>

Please call or visit the Dept. of Public Works, Stormwater Management Division, from 8:00 am to 12:00 pm if you have any questions.

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON MAY 4, 2005 BY CARISA REGALADO =====

Maintain existing drainage patterns as shown on the plans and do not adversely affect adjacent and/or downstream structures and properties (by flooding, erosion, etc.).

Dpw Driveway/Encroachment Completeness Comments

===== REVIEW ON APRIL 26, 2005 BY RUTH L ZADESKY =====

Show driveway plan view and centerline profile.

Show existing ground and driveway elevations on profile.

Show existing roadside improvements, ie. curb and gutter or valley gutter or . . ."

EXHIBIT (

Project Planner: Randall Adams
Application No.: 05-0216
APN: 038-217-07

Date: May 24, 2005
Time: 13:39:33
Page: 2

Dpw Driveway/Encroachment Miscellaneous Comments

===== REVIEW ON APRIL 26, 2005 BY RUTH L ZADESKY =====

Driveway to conform to County Design Criteria Standards.

Encroachment permit required for all off-site work in the County road right-of-way.

Dpw Road Engineering Completeness Comments

===== REVIEW ON MAY 6, 2005 BY TIM N NYUGEN =====

1. The driveway must meet County of Santa Cruz standards. Please provide the following information for the driveway: The structural section, a centerline profile, and a typical cross section.

2. Show on plans if there is existing curb, gutter, and sidewalk.

Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON MAY 6, 2005 BY TIM N NYUGEN =====

NO COMMENT

Aptos-La Selva Beach Fire Prot Dist Completeness C

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON APRIL 27, 2005 BY ERIN K STOW =====

DEPARTMENT NAME: Aptos/La Selva Fire Dept. APPROVED

All Fire Department building requirements and fees will be addressed in the Building Permit phase.

Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

Aptos-La Selva Beach Fire Prot Dist Miscellaneous

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON APRIL 27, 2005 BY ERIN K STOW =====

NO COMMENT

EXHIBIT G

15

Gary Ifland & Assoc., Inc.

SURVEYING | MAPPING | GPS

1100 Water Street, Suite C
Santa Cruz, CA 95062
Tel 831.426.7941 Fax 831.426.6266

Lot Closure

ti

Bob Eriksen
APN 038-277-07

Project: G05048

Parcel name: APN 038-217-07

North: 4839.1533 East : 5558.8455
Line Course: S 32-57-35 W Length: 85.49
North: 4767.4227 East : 5512.3347
Line Course: N 44-23-00 W Length: 49.00
North: 4802.4418 East : 5478.0614
Line Course: N 44-01-00 E Length: 80.55
North: 4860.3684 East : 5534.0330
Line Course: S 46-24-00 E Length: 13.97
North: 4850.7344 East : 5544.1497
Curve Length: 18.74 Radius: 100.00
Delta: 10-44-09 Tangent: 9.40
Chord: 18.71 Course: S 51-46-04 E
Course In: ii 43-36-00 E Course Out: S 32-51-51 W
RP North: 4923.1516 East : 5613.1116
End North: 4839.1556 East : 5558.8467

Perimeter: 247.75 Area: 3,338 sq.ft. 0.08 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.0026 Course: N 27-49-06 E
Error North: 0.00227 East : 0.00120
Precision 1: 95,288.46

