



## Staff Report to the Zoning Administrator

Application Number: **08-0373**

**Applicant:** Matson Britton Architects  
**Owner:** Trent & Michele West  
**APN:** 043-231-11

**Agenda Date:** March 6, 2009  
**Agenda Item #:** 1  
**Time:** After 10:00 a.m.

**Project Description:** Proposal to demolish an existing 3,656 square foot 4 bedroom, 3 ½ bath single-family residence and to construct a new approximately 6,995 square foot, two-story, 4-bedroom, 4 bath and two half-bath residence, including an attached 611 square foot two-car garage, and a detached 634 square foot 3-car garage with a 609 square foot second floor accessory dwelling unit above. Requires a Coastal Development Permit, a Residential Development Permit, a Level 5 approval for a second dwelling unit over 17 feet in height and a Preliminary Grading Approval.

**Location:** The property is located on Kingsbury Drive approximately 235 feet from the intersection with Rio Del Mar Boulevard at 313 Kingsbury Drive.

**Supervisory District:** Second District (District Supervisor: Ellen Pirie)

**Permits Required:** Coastal Development Permit and Residential Development Permit  
**Technical Reviews:** none

### Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **Denial** of Application 08-0373, based on the attached findings.

### Exhibits

- |   |   |
|---|---|
| A. Project plans                              | F. County Urban Designer memos dated 9/9/08 and 2/17/09 |
| B. Findings                                   | G. Correspondence                                       |
| C. Categorical Exemption (CEQA determination) | H. Letter to applicant dated 10/23/08                   |
| D. Assessor's parcel map                      |   |
| E. Vicinity and Zoning maps                   |   |

### Parcel Information

Parcel Size: 14,157 square feet  
Existing Land Use - Parcel: Residential

County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor, Santa Cruz CA 95060

Existing Land Use - Surrounding: Residential  
Project Access: From driveway off Kingsbury Drive  
Planning Area: Aptos  
Land Use Designation: R-UL (Urban Low Density Residential)  
Zone District: R-1-6 (Single-family residential, minimum 6,000 square foot parcel size)  
Coastal Zone: ☒ Inside ☐ Outside  
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

### Environmental Information

Geologic Hazards: Mapped liquefaction area  
Soils: Not a mapped constraint  
Fire Hazard: Not a mapped constraint  
Slopes: Gently sloped  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: 11 cubic yards of cut; 149 cubic yards of fill  
Tree Removal: No trees proposed to be removed  
Scenic: Yes, mapped scenic area  
Drainage: Drainage plans not submitted; information not available  
Archeology: Not mapped/no physical evidence on site

### Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside  
Water Supply: Soquel Water District  
Sewage Disposal: County Sanitation District  
Fire District: Aptos- La Selva Fire District  
Drainage District: Zone 6

### History

The parcel is developed with an existing 3,656 square foot 4-bedroom 3.5 bath single-family residence that was built in 1964. A small portion of the footprint of the existing home is a 2-story element.

The current project was initiated with planner consultation # 08-0060 on February 20, 2008. Staff direction to the applicant was limited due to the fact that no plans were made available for the consultation.

The current application was submitted on August 12, 2008, without grading or drainage information. On September 12, 2008, the applicant was sent an "incomplete" letter requesting earthwork quantities (grading) and drainage information. On September 16, 2008, the applicant submitted an appeal of the requirement by County staff for grading and drainage calculations. The appeal was adjudicated by Planner IV Don Bussey, on behalf of the Planning Director. In a letter dated November 10, 2008, Mr. Bussey denied the appeal of the completeness determination and found the application incomplete.

During the time that the appeal was being processed, staff determined that the proposed new residence as designed was inconsistent with County Code Chapters 13.11 and 13.20, with regard to

neighborhood compatibility, bulk and massing. The applicant was sent a letter dated October 23, 2008, in which staff explained the intent to bring the project forward with a recommendation for denial. A copy of the letter is attached here as Exhibit H. The applicant requested a 90-day processing extension (to March 16, 2009) in order to meet with County staff and discuss options regarding the project. This request was granted.

The applicant met with County staff, including County Urban Designer Larry Kasparowitz, and also held a meeting for neighbors for discussion of the proposed project. Revised plans were submitted on January 16 and February 5, 2009 for staff review.

### **Project Setting**

The parcel is in an existing developed single-family residential neighborhood in Aptos, across the street from a coastal bluff. The parcel is mapped "Scenic Resources", and thus is subject to review pursuant to the County Design Review Ordinance. Many of the surrounding residences are also two-story homes, though of lesser size and bulk than the proposed residence, and set back farther from the street frontage. The subject parcel consists of two combined parcels. Most of the surrounding parcels are smaller, in the 6,000-9,000 square foot range, and thus developed with smaller homes. The existing home on the property is a 1960s-era contemporary with a small 2-story element. There are distant views to the coastal public beach below.

### **Analysis**

The proposed new residence and detached garage with a second-floor accessory dwelling unit is just below all of the maximum site standards: the Floor Area Ratio (FAR) is .4998 (.50 is the maximum), lot coverage 28.23% (30% is the maximum) and the building height is 27', 4½" (28' is the maximum). The FAR dimensions for the main dwelling (which do not include a 148 square foot covered area that is proposed to be less than 7.5 feet high) fall just below the 7,000 square foot threshold that would require the project to meet the findings required under County Code Section 13.10.325(a), the Large Dwelling Ordinance. The Large Dwelling Ordinance excludes accessory buildings from the area calculations for determining "large dwelling" status. The adjusted floor area for the total proposed new development (including the detached 2-story structure not included in "Large Dwelling" calculations) comes to 7,181 square feet.

In his memo dated 2/17/09 (see Attachment G), Urban Designer Larry Kasparowitz states, "... While indeed these are maximum limits, they are not guaranteed. When pushed to near maximum, they become indicators that a design may not be compatible with neighboring structures that are obviously smaller and lower." The project is on a combined lot that has approximately twice the area of most surrounding parcels. Building to the maximum dimensions allowed by these site standards for this double lot could thus result in a proportionally larger house than would meet the same thresholds on surrounding lots. If the double lot was uncombined and two smaller houses were proposed, the result would be greater density, but with structures that might be more in proportion with the range of existing character and sizes of homes in the vicinity, depending upon the particular design.

The established residential neighborhood contains a range of architectural styles, and the determination that the proposed home would not be compatible with the eclectic variety of surrounding dwellings is based largely on the formality and massive scale of the architectural elements, i.e. the execution of the proposed style. If a similar design were to be carried out in

different proportions and with smaller overall massing, the project would not necessarily appear to be as out of place in the neighborhood. Thus, it is important to make the distinction that the recommendation for denial is not based on a genre of architectural style, but rather upon how a particular execution of a style for a home of a certain size may not fit into a neighborhood on the subject parcel.

The determination of incompatibility with the existing neighborhood is based upon analysis of multiple factors, including size, massing of second-story elements, and placement in relation to the street frontage and surrounding structures. In the general area of the neighborhood there are a few residences on other larger-than-average lots that are of similar size as what the applicant has proposed, as well as homes that are slightly above maximum site standard dimensions for their parcels. However, development on contiguous parcels and within the same block is smaller and presents less massing in proximity to the street frontage. While the detached garage with a second-floor accessory dwelling unit is excluded from "large dwelling" calculations, the placement of the second structure is in part determining the siting of the larger main residence closer to the street in a manner that will make the dwelling more of a singularly massive presence from the pedestrian streetscape. In addition, because the detached structure, like the main dwelling, presents a two-story box-like mass from all elevations, it adds to the impression of being out of character with the extent of development on neighboring lots.

A recommendation for approval would not be supported by the applicable Ordinance sections that address compatible site design and building design. In Chapter 13.11.072(a), it is stated, *"It shall be the objective of new development to enhance or preserve the integrity of existing land use patterns or character where those exist and to be consistent with village plans, community plans and coastal special community plans as they become adopted, and to complement the scale of neighboring development where appropriate to the zoning district context. New development, where appropriate, shall be sited, designed and landscaped so as to be visually compatible and integrated with the character of surrounding areas."* The scale and massing of the proposed new house are not visually compatible with, nor integrated into the character of, existing development in the surrounding neighborhood.

The project is also inconsistent with County Code Chapter 13.20.130.1 (Design Criteria for Coastal Development), where it is stated, *"All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas."* The siting of the proposed new home toward the front of the parcel only emphasizes the manner in which the height, large massing of elements and formality of the proposed home contrasts with neighboring residential development. In addition, the proposed landscaping is not sufficient to mitigate the impression that the proposed residence is out of scale with its surroundings.

The required Development Permit finding (see Attachment B) under County Code Section 18.10.230 cannot be made. Section 18.10.230(a)(5) reads: *"That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood."* As stated above, the proposed residence is just below the maximum allowed for each of the three site standards that address mass and footprint relative to the lot (FAR, lot coverage and height). Maximizing these site standards on a double lot can result in a structure that looks out of place next to smaller lots and homes, even if given additional setback area.

Staff received correspondence (see Attachment H) and phone calls from neighbors who have expressed concerns about the size, style and siting of the proposed new house, based on viewing the project plans and upon their impressions of another project in the neighborhood of similar scale by the same architect. The applicant has made some revisions to the design, primarily by removing a second-floor turret element, that work toward maintaining the private views of abutting neighbors. However, staff has heard numerous requests for story poles, as residents remain concerned about the overall size and height of the proposed new home.

### **Zoning & General Plan Consistency**

The subject property is a 14,157 square foot lot, located in the R-1-6 (Single-family residential, minimum 5,000 square foot parcel size) zone district, a designation that allows residential uses. The proposed single-family residence is a principal permitted use within the zone district and the project is consistent with the site's (R-UL) Urban Low Density Residential General Plan designation.

The proposed new residence is not consistent with County Code Chapters 13.11.072 (Site Design) and 13.11.073 (Building Design) of the Design Review Ordinance, in regards to visual compatibility with the surrounding neighborhood. The project is also inconsistent with County Code Chapter 13.20.130.1 (Design Criteria for Coastal Development), as discussed above under the "Analysis" section of this staff report.

### **Local Coastal Program Consistency**

The proposed single-family residence is not in conformance with the County's certified Local Coastal Program, in that it has been determined that the structure is not sited and designed to be "*visually compatible and integrated with the character of the surrounding neighborhood*" according to Chapter 13.20.130(b)(1). Developed parcels in the area contain single-family dwellings in a range of sizes, and while some of the surrounding homes are large, few are within the 6,000 + square foot size range, nor do they give the same appearance of overall unrelieved 2-story massing as does the proposed new dwelling. While size and architectural styles vary in the area, the massive and formal design submitted is not consistent with the existing "beach neighborhood" character of the surrounding neighborhood.

The required Coastal Zone finding relating to design criteria, Chapter 13.20.110(c) states: "... c) *That the project is consistent with the Design Criteria and special use standards and conditions of this Chapter pursuant to Section 13.20.130 et seq.*" The finding cannot be made (see Attachment B), given that the proposed new dwelling is not compatible with, or integrated with the character of the surrounding neighborhood.

The project site is located between the shoreline and the first public road but it is not identified as a priority acquisition site in the County's Local Coastal Program, and will not interfere with public access to the beach, ocean, or other nearby body of water.

### **Design Review**

The proposed single-family residence was reviewed by the County Urban Designer for consistency with the requirements of the County Design Review Ordinance (Chapter 13.11) and Design Criteria for Coastal Zone Development (Chapter 13.20. Urban Designer Larry Kasparowitz' memos dated September 9, 2008 and February 17, 2009, were provided to the applicant and are attached to this staff report (Attachment G).

In response to the first memo, a meeting with County staff was requested by the applicant in order to facilitate further discussion of design concerns. This meeting took place on December 12, 2008, and resulted in a re-submittal by the applicant on January 13, 2009. In response to staff comments and recommendations and also in response to neighbor feedback, the applicant made some revisions and supplied additional materials. Project revisions included:

- smaller stone panels
- new molding details and colors to break up the unrelieved two-story massing
- deletion of a second-story turret feature that would impact neighbors' private views
- provision of a preliminary front yard landscaping plan
- provision of photo-simulations

The re-submittal was again given a full review by staff. As discussed in the Urban Designer memo dated February 17, 2009, the project as proposed is still determined to not be in scale with neighboring structures and the overall character of the neighborhood. The street-facing elevation still gives an impression of overwhelming bulk and massing, and all four elevations have high horizontal cornices and other elements that contribute to the overall sense of a box-like form and formality. The revised project still appears out of context with its immediate setting, particularly given its size and siting on the parcel. The proposed landscaping does not sufficiently soften the massing.

#### **Environmental Review**

Because the proposed new residence is being brought forward with a staff recommendation for denial, Environmental review of the proposed project per the requirements of the California Environmental Quality Act (CEQA) has resulted in the determination that the proposed project is exempt per CEQA Guidelines Section 15270: Projects Which Are Disapproved. Should a decision be made to approve the proposed project, a new environmental determination would need to be completed.

#### **Conclusion**

As proposed and conditioned, the project is not consistent with applicable codes and policies of the Zoning Ordinance and General Plan/LCP regarding visual compatibility with the existing neighborhood and compatible site design. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

#### **Staff Recommendation**

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **DENIAL** of Application Number **08-0373**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

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TEL: (213) 475-1111  
FAX: (213) 475-1112

1. EXISTING TOPOGRAPHY, SITE FEATURES, I  
PROPERTY LINE BOUNDARY INFORMATION IS BASED ON  
A SURVEY CONDUCTED BY KIMBERLY DAVIS, INC.  
ON 08/11/00.

2. SEE CIVIL ENGINEERING DRAWINGS BY K.D.  
FOR EXISTING AND PROPOSED ROADS, DRIVEWAYS AND  
DESIGN CONTROL NOTES.

3. SEE CIVIL ENGINEERING DRAWINGS BY K.D.  
FOR EXISTING AND PROPOSED ROADS, DRIVEWAYS AND  
DESIGN CONTROL NOTES.

WEST RESIDENCE  
NEW RESIDENCE  
515 KIMBERLY DRIVE  
ARTOS, CA 90003  
A.P.N. 040-251-11

SITE PLAN / PRELIM.  
LANDSCAPE PLAN

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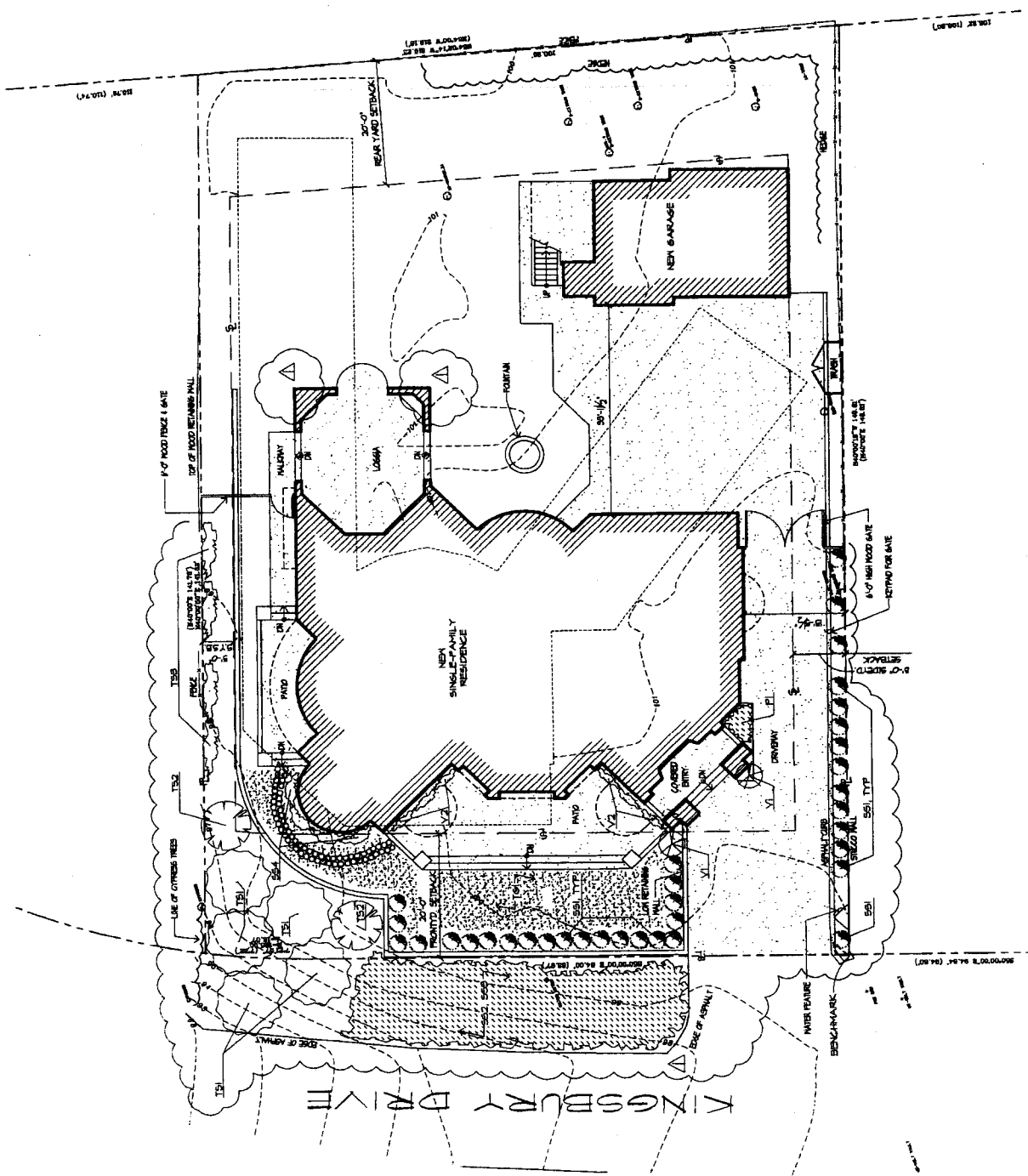
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SITE LEGEND	
—	PROPERTY LINE
—	SETBACK LINE
---	(R) RESIDENCE TO BE DEMOLISHED
---	(R) FENCE
---	LINE OF SECOND FLOOR AND DECKS ABOVE
---	(N) RESIDENCE
---	(N) DRIVEWAY & PATHWAYS

GRADING NOTES	
1. EXISTING TOPOGRAPHY, SITE FEATURES, I PROPERTY LINE BOUNDARY INFORMATION IS BASED ON A SURVEY CONDUCTED BY KIMBERLY DAVIS, INC. ON 08/11/00.	
2. SEE CIVIL ENGINEERING DRAWINGS BY K.D. FOR EXISTING AND PROPOSED ROADS, DRIVEWAYS AND DESIGN CONTROL NOTES.	

LANDSCAPE LEGEND	
TALL SHRUBS: TS1 Eriogonum affinis (Santa Cruz Island Buckwheat) TS2 Cordyline fraxinifolia (Blue Flossy Blue California Lily) TS3 Ligularia japonica (L. ovalifolia Japanese California Lily) SHORT SHRUBS: SS1 Olea europaea (Olive) SS2 Cordyline fraxinifolia (Blue Flossy Blue California Lily) SS3 Eriogonum affinis (Santa Cruz Island Buckwheat) SS4 Eriogonum affinis (Santa Cruz Island Buckwheat) SS5 Eriogonum affinis (Santa Cruz Island Buckwheat) SS6 Eriogonum affinis (Santa Cruz Island Buckwheat) SS7 Eriogonum affinis (Santa Cruz Island Buckwheat) SS8 Eriogonum affinis (Santa Cruz Island Buckwheat) SS9 Eriogonum affinis (Santa Cruz Island Buckwheat) SS10 Eriogonum affinis (Santa Cruz Island Buckwheat) SS11 Eriogonum affinis (Santa Cruz Island Buckwheat) SS12 Eriogonum affinis (Santa Cruz Island Buckwheat) SS13 Eriogonum affinis (Santa Cruz Island Buckwheat) SS14 Eriogonum affinis (Santa Cruz Island Buckwheat) SS15 Eriogonum affinis (Santa Cruz Island Buckwheat) SS16 Eriogonum affinis 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LANDSCAPE NOTES	
1. ALL SHRUBS AND TREES ARE TO BE 5 GALLONS UNLESS OTHERWISE NOTED.	
2. AN AUTOMATICALLY TYPED IRRIGATION SYSTEM IS TO BE INSTALLED FOR ALL PLANTING COMPONENTS ALL BE USED IF REQUIRED.	



SITE PLAN / PRELIMINARY LANDSCAPE PLAN NORTH  
SCALE: 1/8" = 1'-0"



1/4" = 1'-0"

WEST RESIDENCE  
NEW RESIDENCE  
515 KIMBERLY DRIVE  
ATFOS, CA 95025  
APR. 048-231-11

1/4" = 1'-0"

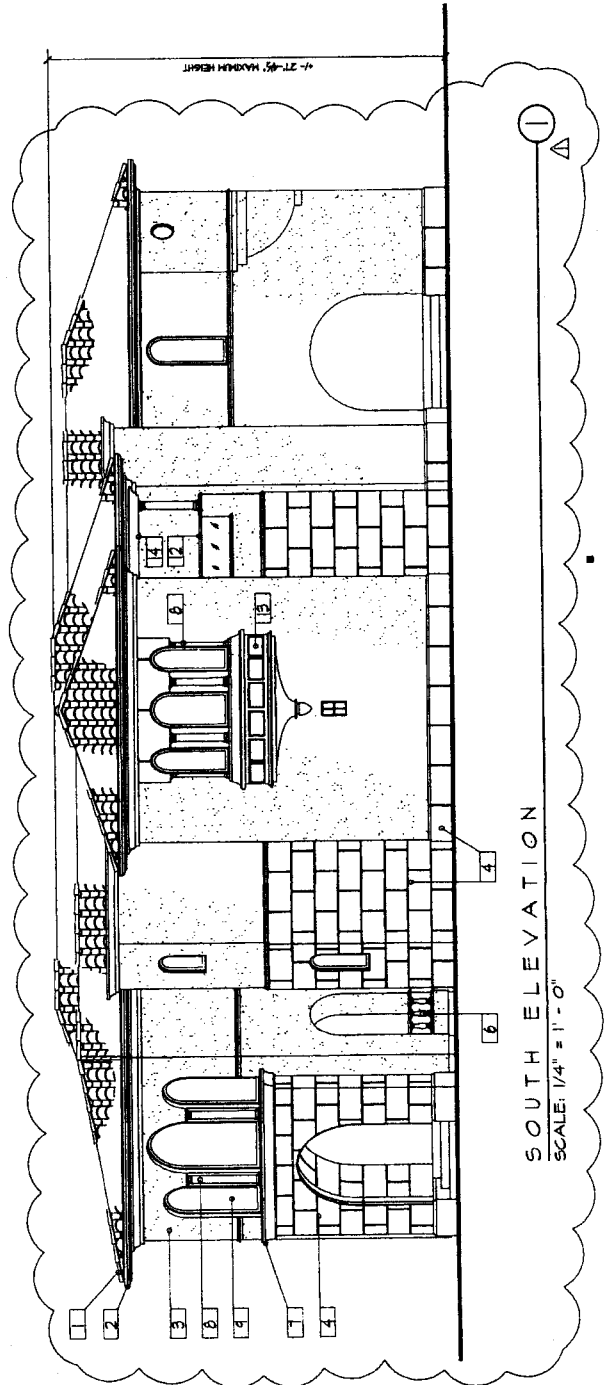
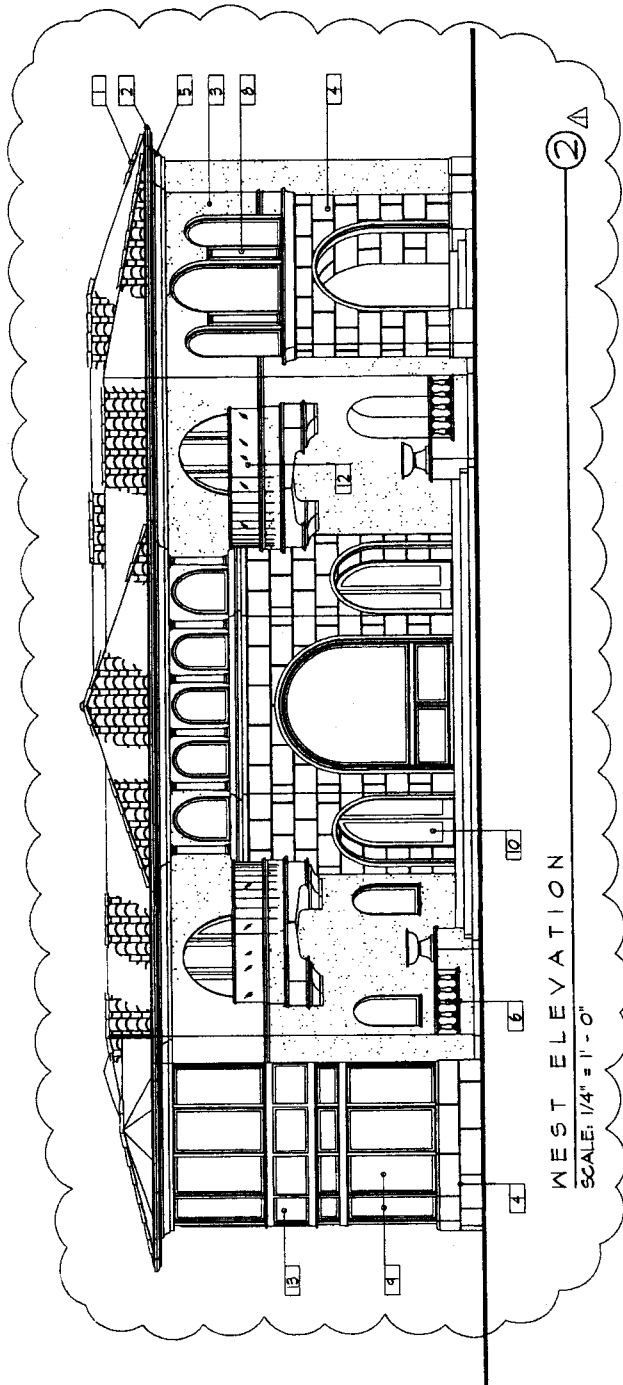
WEST RESIDENCE  
NEW RESIDENCE  
515 KIMBERLY DRIVE  
ATFOS, CA 95025  
APR. 048-231-11

SOUTH AND WEST  
EXTERIOR ELEVATIONS

1/4" = 1'-0"

P6

ELEVATION NOTES	
1	DELO CLAY TILE ROOF IN CUSTOM COLOR BLEND
2	COPPER GUTTERS
3	THREE COAT STUCCO IN INTERIOR COLOR TAN
4	EXTERIOR STONE PANELS COLOR BROWN
5	PAINTED WOOD TRIM COLOR DARK BROWN
6	PRECAST CONCRETE HOLDING BALUSTRADE COLOR BROWN
7	PRECAST CONCRETE HOLDING COLOR BROWN
8	PRECAST CONCRETE COLUMNS
9	WOOD GLAZED WINDOWS IN INTERIOR COLOR TAN
10	WOOD GLAZED DOORS IN CUSTOM BRONZE FINISH
11	WOOD VERTICAL PLANK PANEL EXT. DOOR OR GARAGE DOOR IN DARK BROWN WOOD STAIN
12	CLEAR GLASS HAND RAIL
13	COPPERED WOOD PANEL
14	WOOD ARBOR
15	COPPER GARNET CAP





WATSON  
ARCHITECTS  
1000 S. GARDEN AVENUE  
LOS ANGELES, CALIF. 90007  
(213) 475-1111

PROJECT: WEST RESIDENCE  
DATE: 10/15/08  
DRAWN BY: J. WATSON  
CHECKED BY: J. WATSON  
SCALE: 1/4" = 1' - 0"

ALCA JENSEN

1000 S. GARDEN AVENUE  
LOS ANGELES, CALIF. 90007  
(213) 475-1111

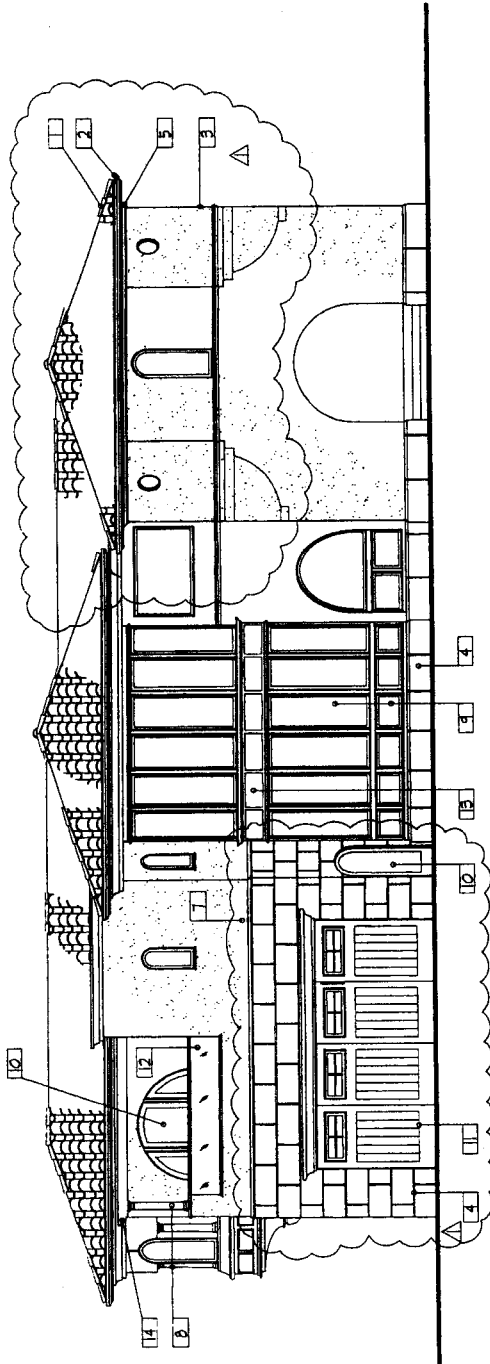
WEST RESIDENCE  
NEW RESIDENCE  
310 KINGSBURY DRIVE  
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(213) 475-1111

NORTH AND EAST  
EXTERIOR ELEVATIONS

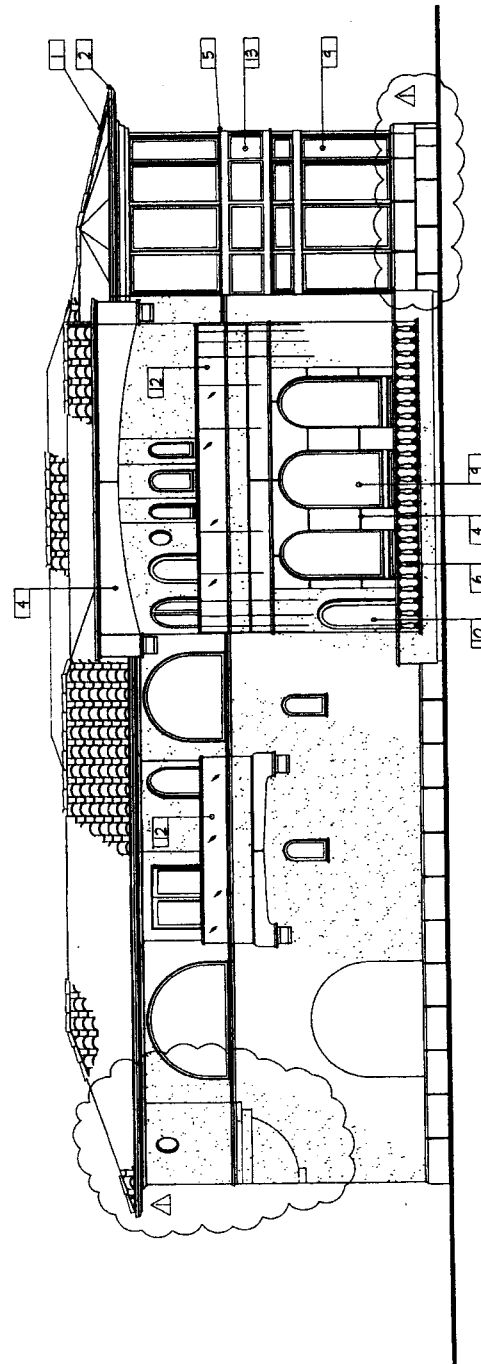
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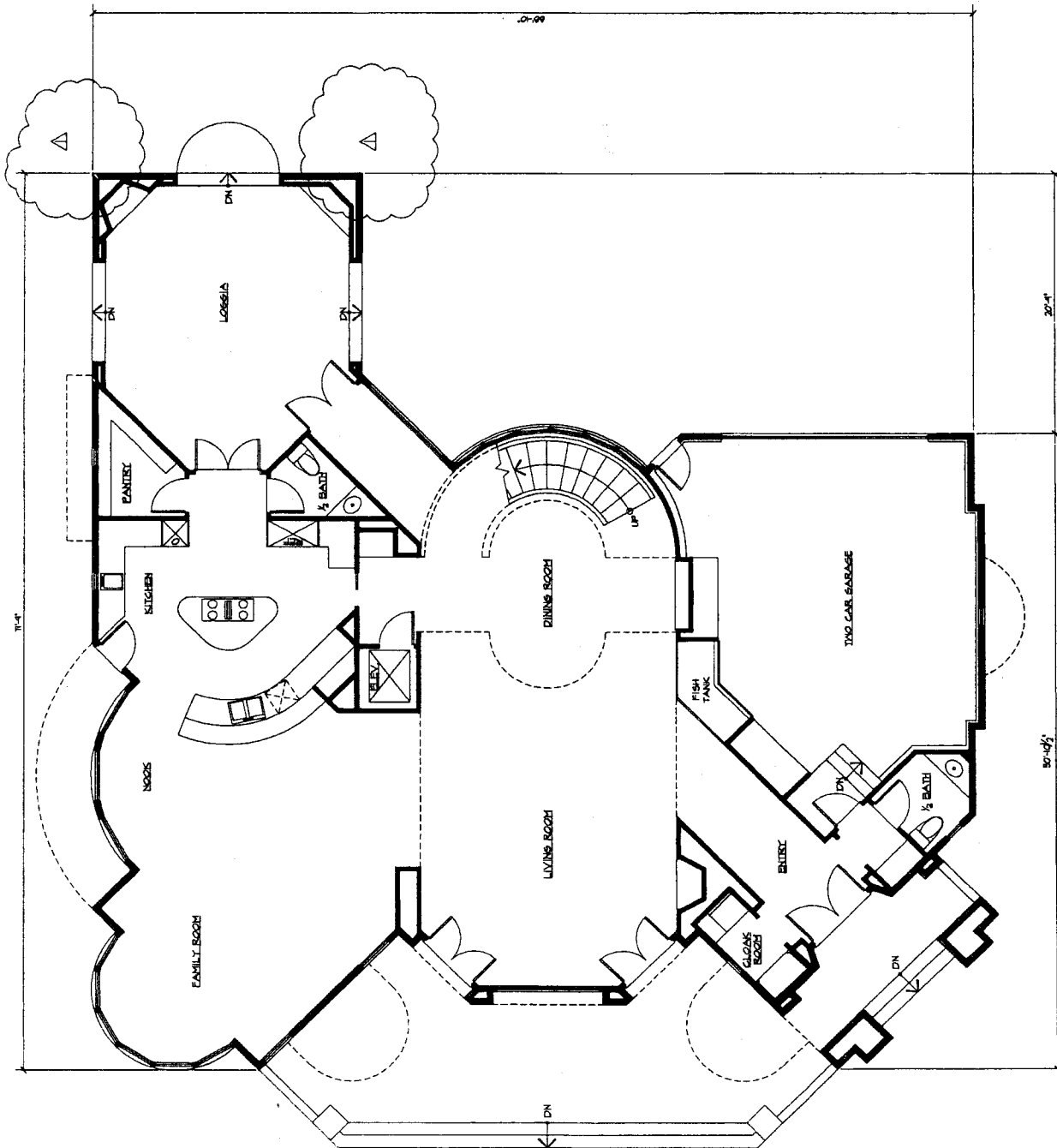
ELEVATION	NOTES
1	DEED CLAY TILE ROOF IN CUSTOM COLOR BLEND
2	COPPER CHIME BELLERS
3	THREE COAT STUCCO IN INTERNAL COLOR, COLOR TAN
4	EXTERIOR STONE PANELS COLOR BROWN
5	PAINTED WOOD TRIM COLOR DARK BROWN
6	PRECAST CONCRETE HOLDING BALUSTRADE COLOR SADDLE COLOR SADDLE
7	PRECAST CONCRETE HOLDING COLOR SADDLE
8	PRECAST CONCRETE COLUMNS
9	WOOD / GLAZED WINDOWS IN CHERRY BRONZE FINISH
10	WOOD / GLAZED DOORS IN CHERRY BRONZE FINISH
11	WOOD VERTICAL PLANK PANEL IN CHERRY BRONZE FINISH IN DARK BROWN WOOD STAIN
12	CLEAR GLASS GUARD RAIL
13	COPPERED WOOD PANEL
14	WOOD ANCHOR
15	COPPER CHIMNEY CAP



②  
EAST ELEVATION  
SCALE: 1/4" = 1' - 0"



①  
NORTH ELEVATION  
SCALE: 1/4" = 1' - 0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

PROJECT NORTH





200 S. GARDEN STREET  
LOS ANGELES, CA 90007  
TEL: (213) 475-1111

315 KIMBERLY DRIVE  
ARTOS, CA 93005  
APR. 04-2011

NEW RESIDENCE  
WEST RESIDENCE

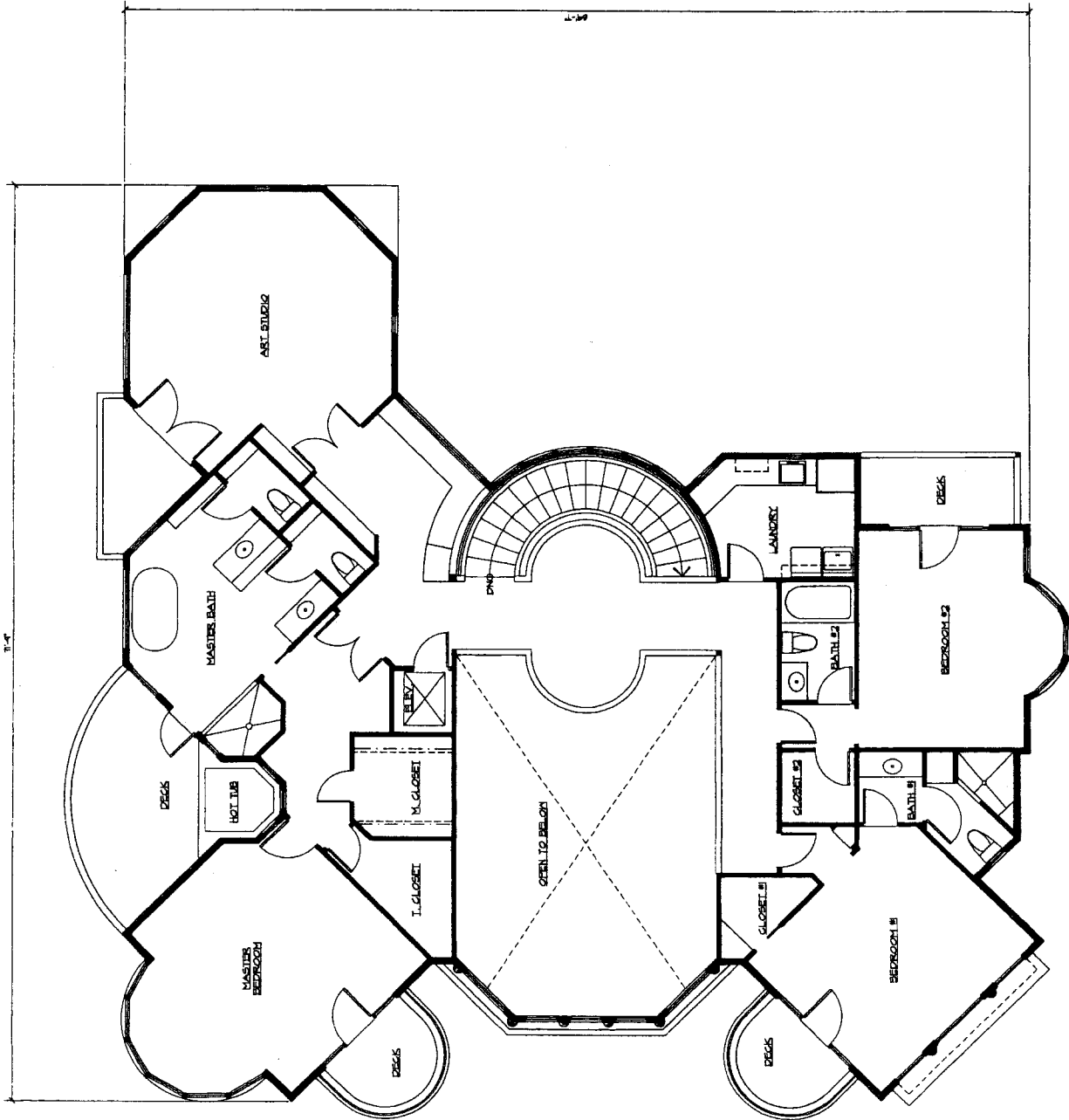
SECOND FLOOR PLAN

WEST RESIDENCE  
NEW RESIDENCE  
315 KIMBERLY DRIVE  
ARTOS, CA 93005  
APR. 04-2011

SECOND FLOOR PLAN

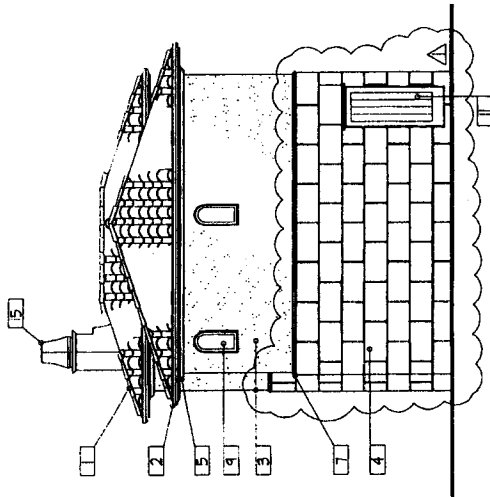
8/12/08  
N.Y.  
WEST-X

P4



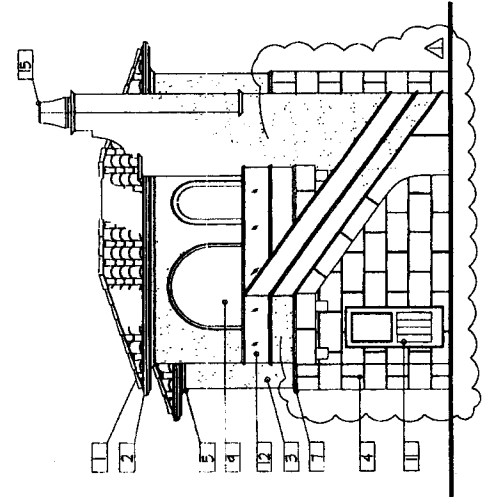
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ELEVATION	NOTES
[ ]	RELAY GUY TIE ROOF N COLOR: COLOR BLEND
[2]	COPPER ORANGE SHITTERS
[3]	THREE GUY STICCO N INTERIAL COLOR: COLOR TAN
[4]	EXTERIOR STAIN PANELS COLOR: BROWN
[5]	PAINTED MOOD TRIM COLOR: DARK BROWN
[6]	PREGAST CONCRETE MOLDING 4 BALUSTRADE, COLOR: SADDLE
[7]	PREGAST CONCRETE MOLDING, COLOR: SADDLE
[8]	PREGAST CONCRETE COLUMNS
[9]	WOOD / CLAD KNOCKOUT FINISH CHESTNUT BRONZE PINK
[10]	WOOD / CLAD DOORS IN CHESTNUT BRONZE PINK
[11]	WOOD VERTICAL FLANK PANELS IN CHESTNUT BRONZE PINK
[12]	WOOD / CLAD WOOD STAIR IN DARK BROWN WOOD STAIN
[13]	CLEAR GLASS SLAND RAIL
[14]	COPPERED MOOD PAINE.
[15]	WOOD ABOARD
[16]	COPPER CHIMNEY CAP

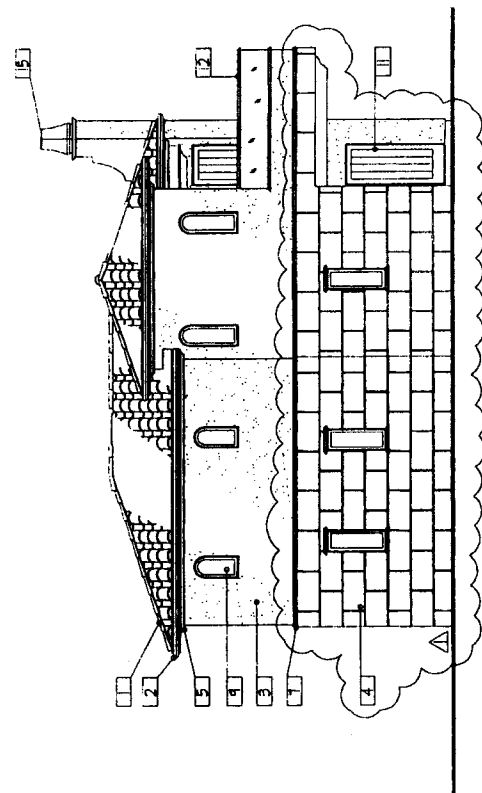


SOUTH ELEVATION

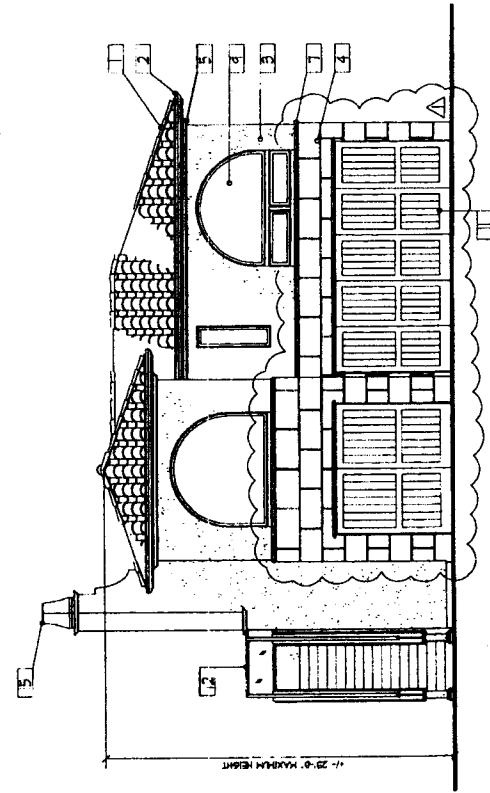
SCALE: 1/4" = 1' - 0"



①  
NORTH ELEVATION  
SCALE: 1/4" = 1' - 0"



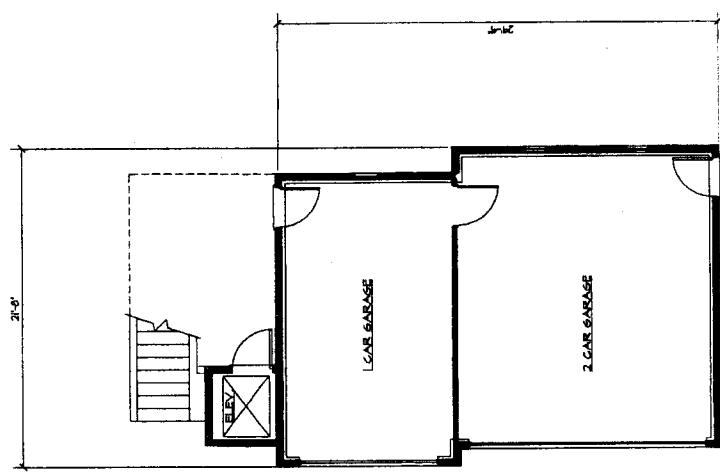
④ EAST ELEVATION  
SCALE: 1/4" = 1' - 0"



WEST ELEVATION

SCALE: 1/4" = 1' - 0"

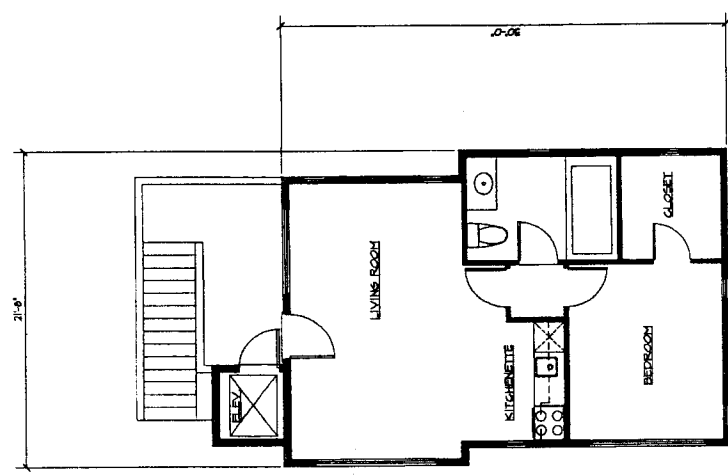
②



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

NORTH



SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

2

1

NORTH

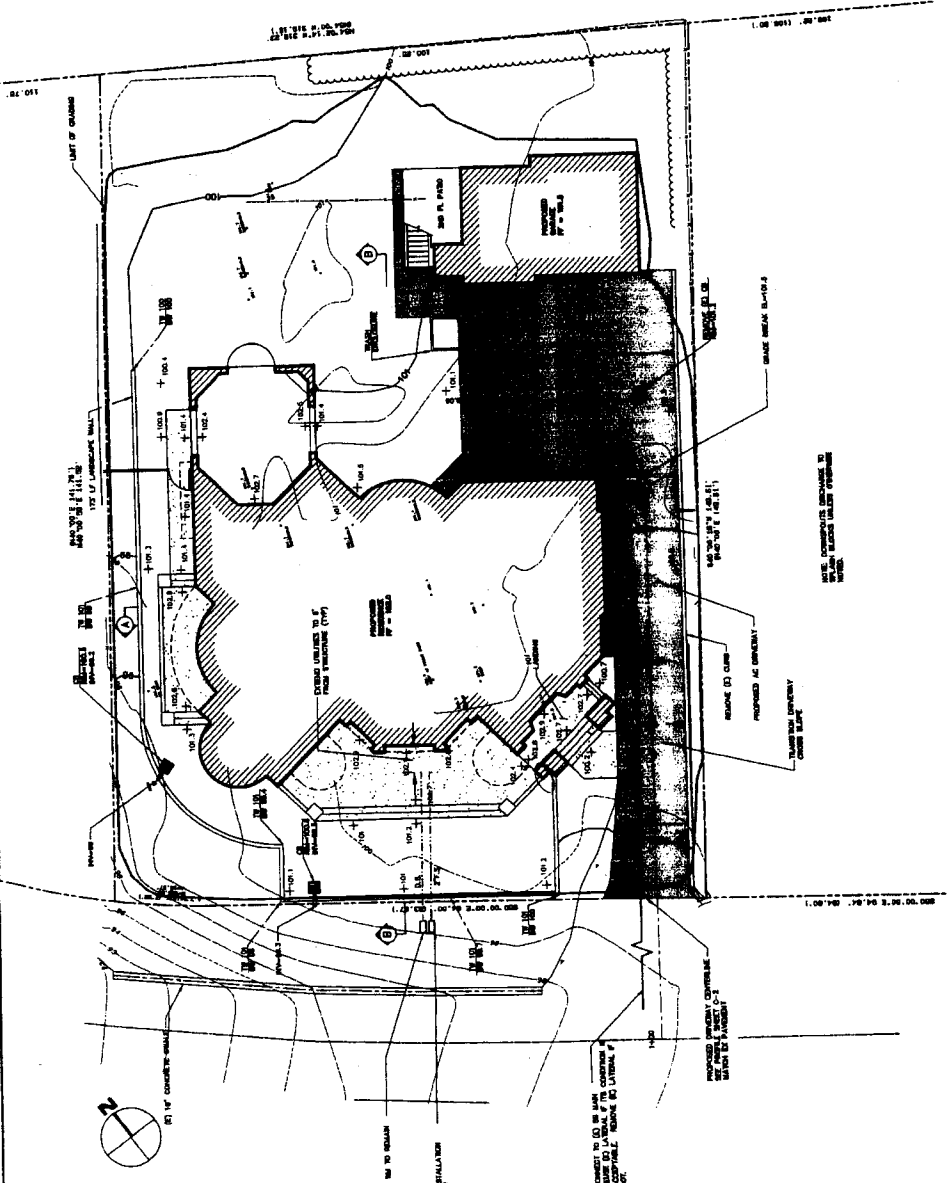
PERCENT OF MAXIMUM DRY DENSITY	LOCATION
95	1. ALL CONCRETE AND ALL MATERIAL IN FINISHED ROAD
95	2. ALL OTHER MATERIALS IN FINISHED ROAD
95	3. ALL OTHER MATERIALS IN FINISHED ROAD
95	4. ALL OTHER MATERIALS IN FINISHED ROAD
95	5. ALL OTHER MATERIALS IN FINISHED ROAD
95	6. ALL OTHER MATERIALS IN FINISHED ROAD
95	7. ALL OTHER MATERIALS IN FINISHED ROAD
95	8. ALL OTHER MATERIALS IN FINISHED ROAD
95	9. ALL OTHER MATERIALS IN FINISHED ROAD
95	10. ALL OTHER MATERIALS IN FINISHED ROAD

TOPOGRAPHIC SURVEY  
THE TOPOGRAPHIC SURVEY AND ELEVATION INFORMATION PROVIDED HEREON WAS OBTAINED FROM A TOPOGRAPHIC SURVEY CONDUCTED BY THE ENGINEER OR HIS OR HER LICENSEE. THE ENGINEER HAS REVIEWED THE SURVEY AND HAS FOUND IT TO BE ACCURATE AND RELIABLE FOR THE PURPOSES OF THIS PROJECT.

STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE SHALL BE DESIGNED TO CARRY THE DESIGN FLOOD FLOW.
2. ALL STORM DRAINAGE SHALL BE DESIGNED TO CARRY THE DESIGN FLOOD FLOW.
3. ALL STORM DRAINAGE SHALL BE DESIGNED TO CARRY THE DESIGN FLOOD FLOW.
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9. ALL STORM DRAINAGE SHALL BE DESIGNED TO CARRY THE DESIGN FLOOD FLOW.
10. ALL STORM DRAINAGE SHALL BE DESIGNED TO CARRY THE DESIGN FLOOD FLOW.

GENERAL NOTES  
1. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.  
2. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.  
3. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.  
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9. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.  
10. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.



LEGEND

- PROPOSED 12\"/>
- PROPOSED 12\"/>
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PLAN



ABBREVIATIONS	DESCRIPTION
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE
CL	CLIMATE

EARTHWORK AND GRADING

1. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
2. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
3. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
4. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
5. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
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8. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
9. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.
10. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT AND PROPER SURVEY OF THE PROJECT AREA.

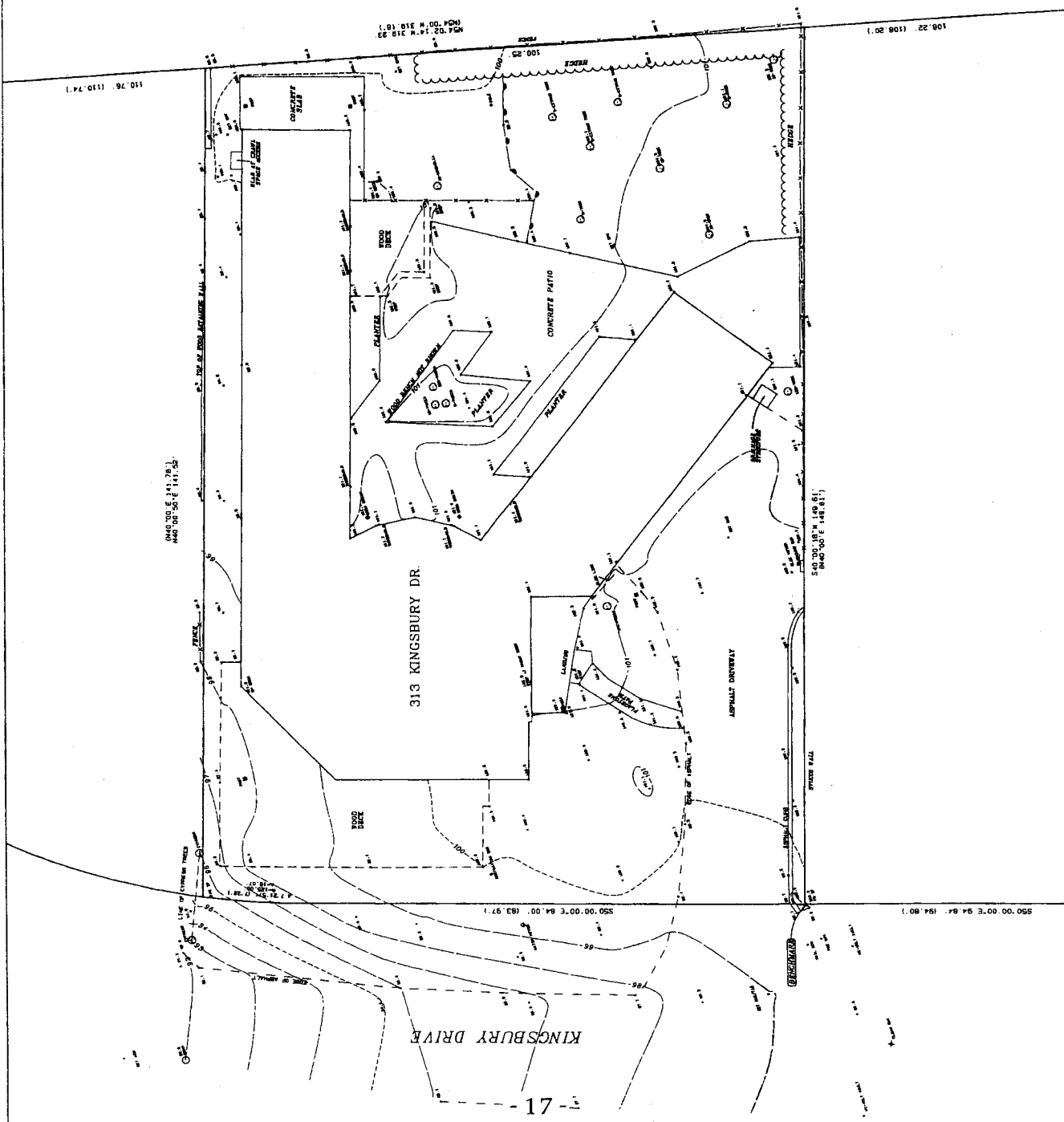
APPROXIMATE EARTHWORK QUANTITIES

DESCRIPTION	UNIT	QUANTITY
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	
CL	CLIMATE	





**MEMBER**  
**CLSA**  
CALIFORNIA LAND  
SUSSEX ASSOCIATION  
AMERICAN COMMISSION OF  
MANAGEMENT AND IMPROVING

[illegible]

## Coastal Development Permit Findings

The following findings **cannot** be made for the project as proposed:

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding cannot be made, in that the proposed residence and detached two-story accessory structure are not compatible with the surrounding neighborhood, largely due to their unrelieved two-story massing and bulk. While surrounding lots are developed with single-family residences in a variety of sizes and styles, the proposed new residence will appear more massive and formal than surrounding dwellings, and thus out of character and not visually compatible with the existing surrounding neighborhood. The siting of the dwelling on the parcel contributes to the lack of compatibility in that the two-story residence is proposed be placed right up to the Kingsbury Drive front setback line, thus exacerbating the sense of large massing from the street view that is out of scale with surrounding development.

5. That the proposed development is in conformity with the certified local coastal program.

This finding cannot be made, in that the proposed development is not sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood, as required by County Code Section 13.20.130. While residential uses are allowed uses in the R-1-6 (Single-family residential, minimum 6,000 square foot parcel size) zone district, as well as the General Plan and Local Coastal Program Urban Low Residential land use designation, the project as proposed is not consistent with the existing range of sizes and styles. It is larger, more massive in form and more imposing toward the streetscape than the structures in the immediate area.

While the detached garage with a second-floor accessory dwelling unit is excluded from "large dwelling" calculations, the placement of the second structure is in part determining the siting of the larger main residence closer to the street in a manner that will make the dwelling more of a singularly massive presence from the pedestrian street view. In addition, because the detached structure, like the main dwelling, presents a two-story box-like mass from all elevations, it adds to the impression of being out of character with the extent of development on neighboring lots.

## Development Permit Findings

The following findings **cannot** be made for the project as proposed:

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding cannot be made, in that the proposed development is not consistent with County Code Chapters 13.11.072 (Site Design) and 13.11.073 (Building Design) of the Design Review Ordinance, in regards to visual compatibility with the surrounding neighborhood. Chapter 13.11.072 requires that new development complement the existing bulk, mass and scale of neighborhood development, and the proposed new residence and two-story detached garage and accessory dwelling unit are not consistent with Chapter 13.11.072 requirements that there should be a compatible relationship with the streetscape and with existing structures in the vicinity. The large two-story massing right up to the front setback line would look out of place with the existing pedestrian streetscape because both placement and size would make the proposed residence seem out of scale with its neighbors.

The project is also inconsistent with County Code Chapter 13.20.130.1 (Design Criteria for Coastal Development), where it is stated, "*All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas.*", because the siting of the proposed new home toward the front of the parcel only emphasizes the manner in which the height, large massing of elements and formality of the proposed home contrasts with neighboring residential development. In addition, the proposed landscaping is not sufficient to mitigate the impression that the proposed residence is out of scale with its surroundings.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding cannot be made, in that the proposed residential use is not consistent with General Plan Policy 8.1.2 that requires new development to conform to the Design Review Ordinance Chapter 13.11. While the proposed project is in conformity with the use and density requirements specified for the Urban Low Density Residential (R-UL) land use designation in the County General Plan, it is incompatible with the existing neighborhood because of the massing and bulk.

A specific plan has not been adopted for this portion of the County.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding cannot be made, in that the proposed development is not compatible with the surrounding neighborhood because of its unrelieved 2-story massing and bulk. While surrounding lots are developed with single-family residences in a variety of sizes and styles, the proposed new residence will appear more massive and formal than surrounding dwellings, and thus out of character and not visually compatible with the surrounding neighborhood. The siting of the dwelling on the

parcel contributes to the incompatibility in that the 2-story residence is proposed be placed right up to the Kingsbury Drive front setback line, thus exacerbating the sense of large massing from the street that is out of scale with surrounding development. The landscaping proposed for the front of the parcel does not sufficiently soften the impact of the massing and bulk.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding cannot be made, in that the proposed single-family residence and detached garage/second dwelling unit will not be of an appropriate scale and design that will enhance the aesthetic qualities of the surrounding properties, and will appear more bulky and massive than other development in the vicinity.

Chapter 13.11.072(a) states, *"It shall be the objective of new development to enhance or preserve the integrity of existing land use patterns or character where those exist and to be consistent with village plans, community plans and coastal special community plans as they become adopted, and to complement the scale of neighboring development where appropriate to the zoning district context. New development, where appropriate, shall be sited, designed and landscaped so as to be visually compatible and integrated with the character of surrounding areas."* The scale and massing of the proposed new house are not visually compatible with, nor integrated into the character of, existing development in the surrounding neighborhood. The street-facing elevation gives an impression of overwhelming bulk and massing, and all four elevations have high horizontal cornices and other elements that contribute to an overall sense of box-like size and formality that will appear out of context with the existing neighborhood. The project is on a combined lot that has approximately twice the area of most surrounding parcels, and thus building to the maximum FAR and lot coverage for this double lot can thus result in a proportionally larger house than would meet the same thresholds on surrounding lots. Even with additional setback area, the house would appear massive compared to those on nearby single-width parcels.

Chapter 13.11.073(b) states, *"It shall be an objective of building design to address the present and future neighborhood, community, and zoning district context."* Chapter 13.11.073(1)(i) states, *"Building design shall relate to adjacent development and the surrounding area."* As stated above, the size, bulk, height and horizontal massing of the proposed project does not easily relate to the existing beach community neighborhood context.

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 08-0373

Assessor Parcel Number: 043-231-11

Project Location: 313 Kingsbury Drive

**Project Description:** proposal to demolish an existing 3,656 square foot single-family residence and construct a new 6,995 square foot 2-story residence with an attached 611 square foot garage and a detached 634 square foot garage with a 609 square foot accessory structure

**Person or Agency Proposing Project:** Matson Britton Architects

**Contact Phone Number:** 831-425-0544

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: CEQA Section 15270: Projects Which are Disapproved

F. **Reasons why the project is exempt:**

The proposed project is not consistent with County Code and is recommended for denial.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Alice Daly, Project Planner

Date: \_\_\_\_\_

43-23

Tax Area Code  
69-273

POR. APTOS RANCHO

S.E. 1/4 SEC. 18 &

SEC. 19, T.11S., R.1E., M.D.B. & M.

FOR TAX PURPOSES ONLY

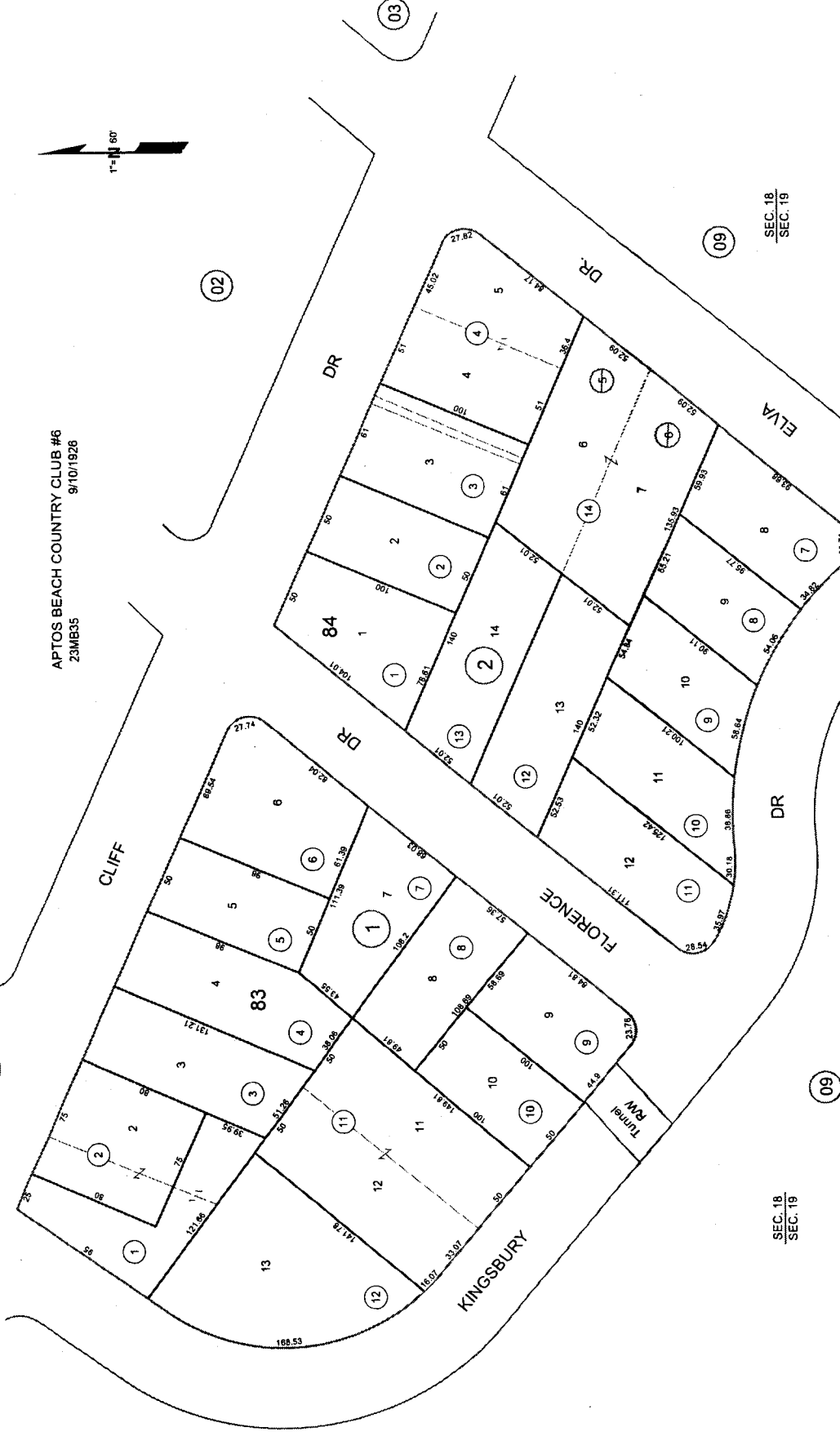
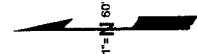
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY  
LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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BK 42  
28

APTOS BEACH COUNTRY CLUB #6  
23MB35  
9/10/1928

64MB63  
6/21/1977



SEC. 18  
SEC. 19

SEC. 18  
SEC. 19

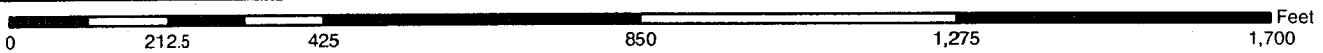
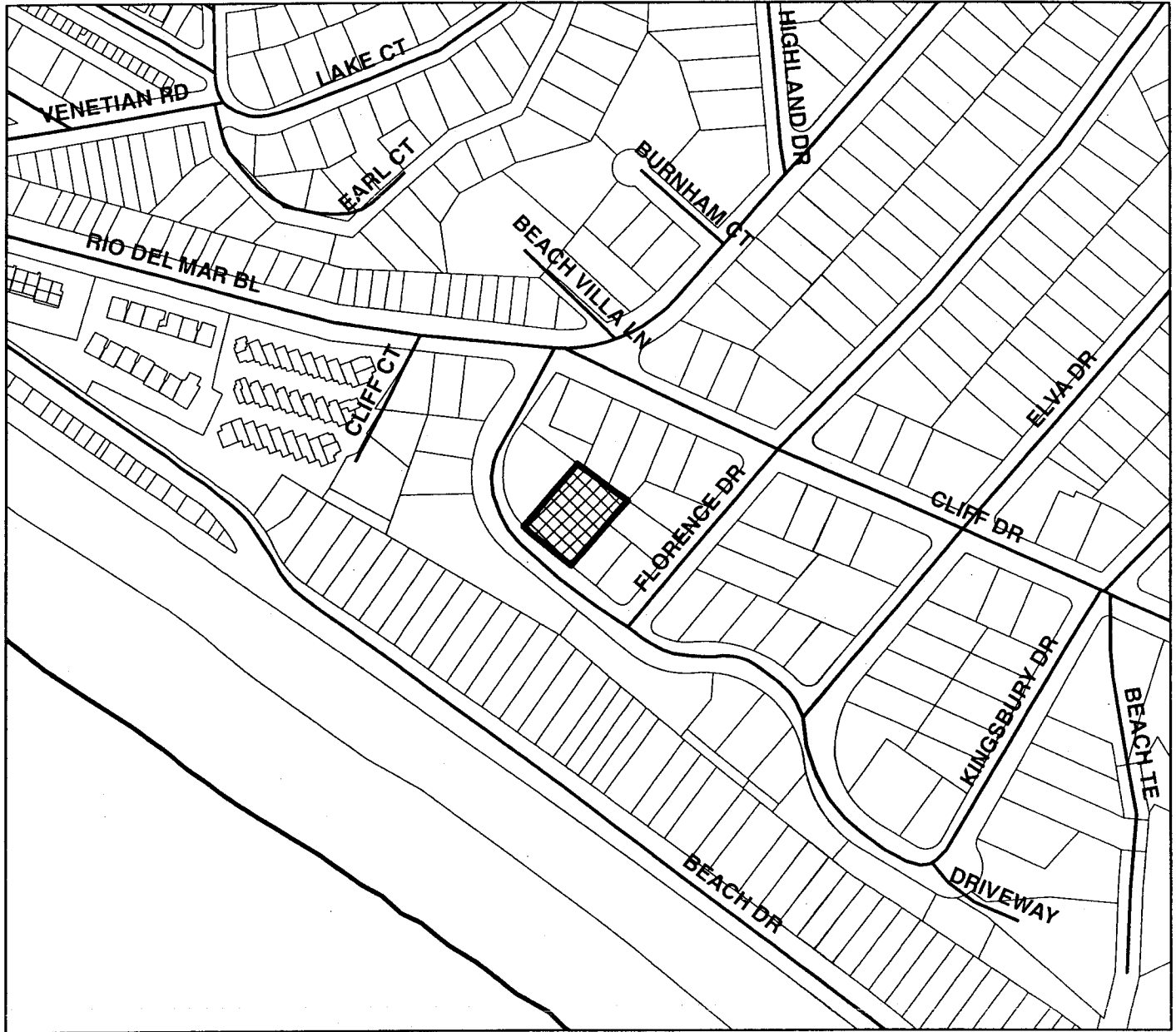
Assessor's Map No. 43-23  
County of Santa Cruz, Calif.  
Oct., 2001

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

Electronically Redrawn 10/22/01 mm  
Rev 1/17/07 CB (Change Map Scale)  
Rev 1/17/07 CB (Change Map Scale)



# Location Map



## LEGEND



APN: 043-231-11



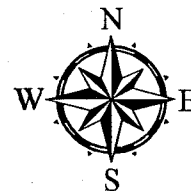
Assessors Parcels



Streets



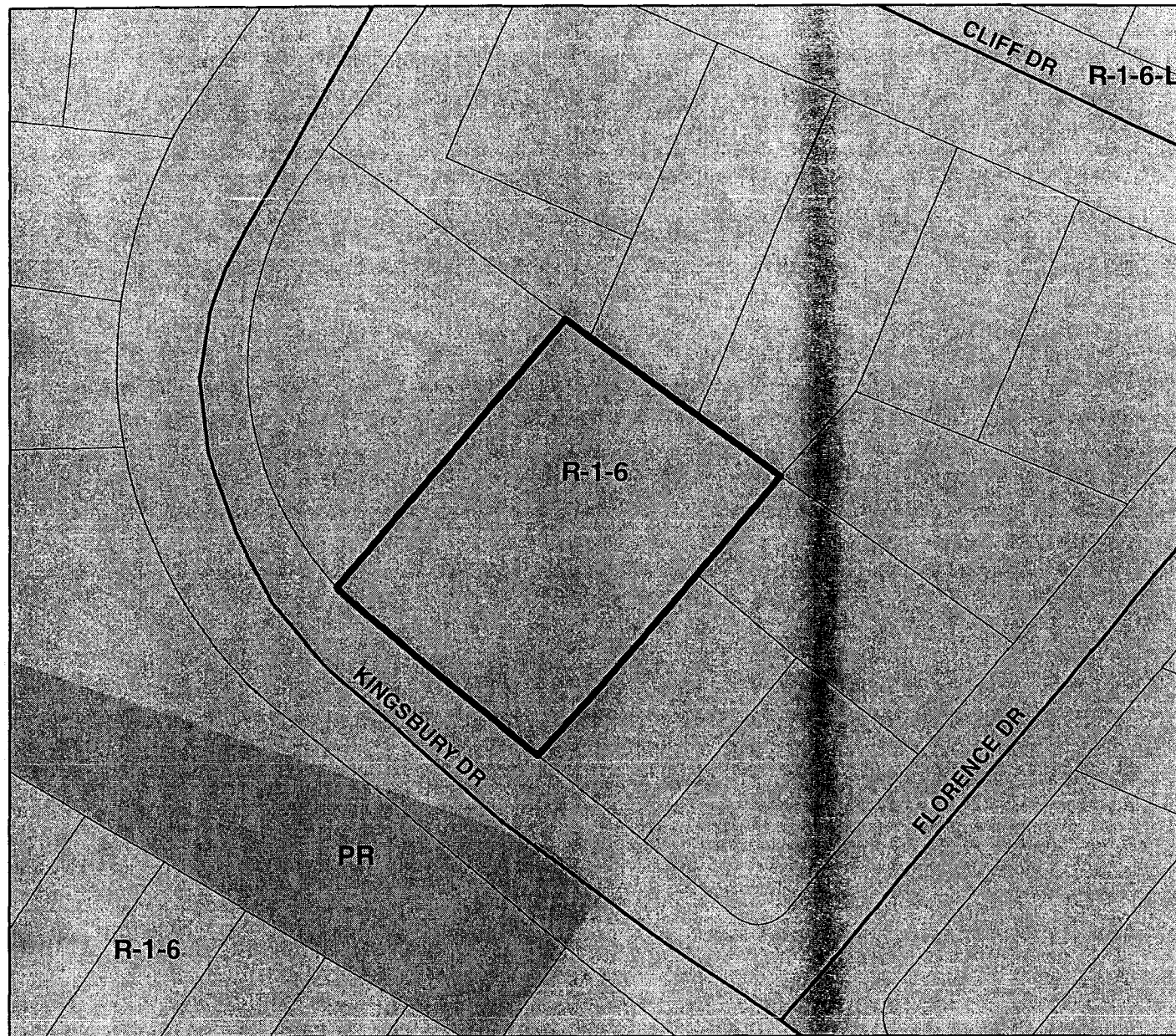
County Boundary



Map Created by  
County of Santa Cruz  
Planning Department  
August 2008



# Zoning Map



0 50 100 200 300 400 Feet

## LEGEND



APN: 043-231-11



Assessors Parcels



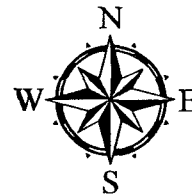
Streets



RESIDENTIAL-SINGLE FAMILY



PARK



Map Created by  
County of Santa Cruz  
Planning Department  
August 2008



## INTEROFFICE MEMO

APPLICATION NO: 08-0373

Date: September 9, 2008  
To: Alice Daly, Project Planner  
From: Larry Kasparowitz, Urban Designer  
Re: New residence at 313 Kingsbury Drive, Santa Cruz

## I. COMPLETENESS ITEMS (for design review only)

none

## II. COMPLIANCE ISSUES

A. Recommendation

I do not believe that the Zoning Administrator could make the findings that this design is compatible with the neighborhood.

B. Applicable Ordinances

There are two chapters of the County of Santa Cruz Code that pertain to the application. The first pertains to the Coastal Zone (Chapter 13.20).

Section 13.20.130 Design Criteria for Coastal Zone developments.

## (b) Entire Coastal Zone.

1. Visual Compatibility. All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas

The second portion of the County of Santa Cruz Code that pertains to this application is the Design Review ordinance (Chapter 13.11), because the lot is mapped scenic.

Section 13.11.072 Site design.

- (a) It shall be the objective of new development to enhance or preserve the integrity of existing land use patterns or character where those exist and to be consistent with village plans, community plans and coastal special community plans as they become adopted, and to complement the scale of neighboring development where appropriate to the zoning district context. New development, where appropriate, shall be sited, designed and

landscaped so as to be visually compatible and integrated with the character of surrounding areas.

(1) Compatible Site Design.

- (i) The primary elements of site design which must be balanced and evaluated in relation to the proposed project site and surrounding development in order to create compatible development include:

13.11.073 Building design.

- (b) It shall be an objective of building design to address the present and future neighborhood, community, and zoning district context.

(1) Compatible Building Design.

- (i) Building design shall relate to adjacent development and the surrounding area.

C. Applicable Findings

There are also two sets of findings that must be made for this application. The Coastal Zone finding pertaining to design is as follows:

Section 13.20.110 Findings

- (c) That the project is consistent with the Design Criteria and special use standards and conditions of this Chapter pursuant to Section 13.20.130 et seq. (see above).

The other finding that must be made is for the Development Permit –

Section 18.10.230 Findings required.

- (a) Development Permits.

- (5) That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

D. Design Issues / Urban Designer Comments

This residence is just below the maximum site standards as follows -

	Floor Area Ratio	Lot Coverage	Building Height
Code Maximum	.50	30%	28'-0"
Proposal	.4998	28.23	27'-4 1/2"

Floor Area Ratio, Lot Coverage and Building Height are measures that are designed to limit the overall bulk and mass of a new residence. While indeed these are maximum limits, they are not guaranteed. When pushed to near maximum, they become indicators that a design may not be compatible with neighboring structures that are obviously small and lower.

There are additional aspects of the design increase the image of bulk:

- The building is pushed to the front setback and the rear half of the lot only contains the loggia and garage. This increases the impact of the bulk to the street
- All faces of the building contain two story walls. This gives a large "box-like" appearance – uniformly two stories.
- The cornice line of the building is almost continuous. This emphasizes the 21 ft. high plate lines.
- Cement plaster is the primary material for the walls. This limits the contrast of materials that would reduce the visual impact.
- A landscape plan was not submitted. It is unclear if the existing shrubs in the front are being kept which would decrease the visual impact from the street – new planting could assist in softening the massing and adding interest.

***NOTE: Revising the design to address the above issues is critical, but may not be sufficient to insure compatibility with the neighborhood.***

**INTEROFFICE MEMO**

**APPLICATION NO: 08-0373 (second routing)**

Date: February 17, 2009  
To: Alice Daly, Project Planner  
From: Larry Kasparowitz, Urban Designer  
Re: New residence at 313 Kingsbury Drive, Santa Cruz

**I. COMPLETENESS ITEMS (for design review only)**

none

**II. COMPLIANCE ISSUES**

**A. Recommendation**

I cannot support making findings that this design is compatible with the neighborhood.

**B. Applicable Ordinances**

There are two chapters of the County of Santa Cruz Code that pertain to the application. The first pertains to the Coastal Zone (Chapter 13.20).

Section 13.20.130 Design Criteria for Coastal Zone developments.

(b) Entire Coastal Zone.

1. Visual Compatibility. All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas

The second portion of the County of Santa Cruz Code that pertains to this application is the Design Review ordinance (Chapter 13.11), because the front portion of the lot is mapped "scenic".

Section 13.11.072 Site design.

- (a) It shall be the objective of new development to enhance or preserve the integrity of existing land use patterns or character where those exist and to be consistent with village plans, community plans and coastal special community plans as they become adopted, and to complement the scale of neighboring development where appropriate to the zoning district context. New development, where appropriate, shall be sited, designed and

landscaped so as to be visually compatible and integrated with the character of surrounding areas.

(1) Compatible Site Design.

- (i) The primary elements of site design which must be balanced and evaluated in relation to the proposed project site and surrounding development in order to create compatible development include:

13.11.073 Building design.

- (b) It shall be an objective of building design to address the present and future neighborhood, community, and zoning district context.

(1) Compatible Building Design.

- (i) Building design shall relate to adjacent development and the surrounding area.

### C. Applicable Findings

There are also two sets of findings that must be made for this application. The Coastal Zone finding pertaining to design is as follows:

Section 13.20.110 Findings

- (c) That the project is consistent with the Design Criteria and special use standards and conditions of this Chapter pursuant to Section 13.20.130 et seq. (see above).

The other finding that must be made is for the Development Permit –

Section 18.10.230 Findings required.

(a) Development Permits.

- (5) That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

### D. Design Issues / Urban Designer Comments

This residence is just below the maximum site standards as follows -

	Floor Area Ratio	Lot Coverage	Building Height
<b>Code Maximum</b>	.50	30%	28'-0"
<b>Proposal</b>	.4998	28.23	27'-4 ½"

Floor Area Ratio, Lot Coverage and Building Height are measures that are designed to limit the overall bulk and mass of a new residence. While indeed these are maximum limits, they are not guaranteed. When pushed to near maximum, they become indicators that a design may not be compatible with neighboring structures that are obviously small and lower.

There are additional aspects of the design increase the image of bulk:

- The building is pushed to the front setback and the rear half of the lot only contains the loggia and garage. This increases the impact of the bulk as seen from the street.
- All faces of the building contain two story walls. This gives a large "box-like" appearance that is uniformly two stories.
- The cornice line of the building is almost continuous. This emphasizes the 21 ft. high plate lines.
- The new planting shown does not assist in softening the impact of the massing from the street.
- The building elements are not in scale (one meaning of that term is that in relationship to a person, they are out of proportion).
- The entire building is also not in scale with the neighboring structures, and will seem overwhelming at the street.

***NOTE: Revising the design to address the above issues is critical, but may not be sufficient to insure compatibility with the neighborhood.***

January 6, 2009

Attention: Alice Daly,

I am writing as a concerned neighbor on Kingsbury drive about the home 313 Kingsbury drive of Mr. and Mrs. Trent West. The Wests had a meeting with their architect Cove Britton on Saturday December 13th at 2:00 p.m. for all neighbors who were concerned about their building project. I was unable to attend due to being gone for the holidays. I was told by neighbors who could attend the meeting that the Wests architect Cove Britton made fun of the concerns about the project. He was also the architect on another home on the other end of Kingsbury. The neighbors there were very upset that a massive home was built with no consideration to the beauty of the neighborhood.

I have four concerns as a neighbor of Kingsbury:

① I would like to see Story poll of how high the West project will

impact us as Hingbury neighbors  
 ② I would like to know if the  
 West project will be protruding  
 out further than the ~~existing~~  
 home site now. This will  
 impact the view of us neighbors  
 close by.

③ There has been another home  
 just completed at the bottom  
 of Hingbury (#302) and Cliff drive  
 It took over two years to be  
 completed. Our Hingbury drive  
 is a very small private County  
 road. All the neighbors had gone  
 in together for repairs on our road  
 several years earlier before this  
 new home at 302 was completed  
 this last year. Big trucks were  
 constantly driving quit fast  
 around our small road and  
 getting stuck or couldn't manoeuvre  
 the small corners on our road.

The road had to be closed many  
 times so this problem could be  
 taken care of. I do realize this  
 will happen again.

④ I would <sup>32</sup> like to be sure



that there will be no back-filling on top of the existing ground as it is now. The Wests can say they won't but it has been done many times around the neighborhood before. Of course that has impacted others views.

I hope you will consider my concerns about our beautiful neighborhood.

Thank you  
Very Sincerely  
Jerry Byrne

**Alice Daly**

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**From:** Dawn & Gary Martin [dawnandgary@comcast.net]  
**Sent:** Tuesday, December 23, 2008 4:31 PM  
**To:** Alice Daly  
**Subject:** Trent West's Kingsbury Development

Ms. Daly as you may know, on Dec 13th Cove Britton, architect on subject development held a neighborhood meeting to review plans for Mr. West's Kingsbury Dr development. While it appears the owner has taken into consideration to the extent possible the view of surrounding homeowners, attempting to visualize how the structures will appear is difficult. During the meeting someone asked about the possibility of putting up "story poles". While I realize this is added cost for the owners, it may help with his application if it removed concerns that one neighbor expressed regarding her lose of view.

Personally I have no serious issue with the development as presented. Yes the house will be large, but I would prefer one larger home on the two lots, then have the property developed as two separate parcels, which would likely eliminate most of the views of surrounding neighbors. Additionally there are a number of very large homes along Kingsbury, Seaview and Farley Drives.

I do not favor moving the main house back from its proposed location as this too would jepordize surrounding views.

During the meeting I suggested to Mr. Britton that I would not object to a request for a variance to the rear set-back of 15 feet vs 20 if it would help insure that neighbor's view from Florence St (east) elevation because of the "granny" unit. As the plan is currently drawn the east elevation has the potential for the greatest loss of view. However those views would also be lost if two homes were developed. I realize the County can't be concerned about views, but in the end the issues people raise for what ever reason, are made in an attempt to keeps those things they value most. Oceanviews to owners that have them are valuable things.

You may make this email part of the file as my comments on the proposed development.

Gary Martin  
306 Cliff Dr  
Aptos Ca 95003 8316890313

**Alice Daly**

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**From:** lesa stock [lesastock1@sbcglobal.net]  
**Sent:** Monday, February 23, 2009 3:02 PM  
**To:** Alice Daly  
**Subject:** 313 Kingsbury Drive Aptos

To Whom it May Concern,

I Lesa Stock who has a house at 317 Kingsbury Drive, Aptos CA.

would like to see story poles for project 08-0373(\*\*) at 313 Kingsbury Drive, Aptos  
APN(S):043-231-11.

I understand Matson Britton Architects have done the design. Being that said they should have no  
problem showing the lines of the roof on this project with story poles.

Thank you for this consideration

Lesa Stock



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET - 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

**TOM BURNS, PLANNING DIRECTOR**

October 23, 2008

Matson Britton Architects  
728 N. Branciforte Ave  
Santa Cruz, CA 95062

Subject: **Complete Application - Application #: 08-0373**  
Assessor's Parcel #: **043-231-11**, Owner: **Trent and Michele West**

Dear Mr. Britton:

This letter is to update you on the status of your application. On 8/12/08, the above referenced application was submitted for a Coastal Development Permit and Residential Development Permit with the Santa Cruz County Planning Department. The initial phase of processing your application was an evaluation of whether enough information has been submitted to continue processing the application (the "completeness" determination).

In a letter dated September 12, 2008, your project was deemed incomplete, with additional information requested by Environmental Planning and DPW/ Drainage as detailed in that letter and its attachments.

On September 16, 2008, you filed an appeal, and that appeal is currently under review.

Also on September 16<sup>th</sup>, staff received a separate letter under the header "Completeness Issues Response". In that letter, you stated that while you did not believe that the information requested by Environmental Planning and DPW/ Drainage were completeness items, you would "provide appropriate clarification, corrections and additional information that is appropriate for this level of review".

In an email to you on September 24, 2008, Principal Planner Paia Levine sought clarification on whether the "Completeness Issues Response" letter was intended as informational only, or whether—in spite of the reference to the provision of additional information—the letter was intended to be your re-submittal in response to our determination of 9/12/08. On 9/30/08, you clarified that we should consider the "Completeness Issues Response" letter to be your re-submittal.

The information that is outstanding pending the review of your appeal would have been necessary to evaluate your project in typical circumstances. However, because we believe that the project is inconsistent with respect to County Code Chapters 13.20 and 13.11 regarding Design Review and Neighborhood Compatibility, and because staff will be recommending denial to the Zoning Administrator for that reason, the information is not necessary at this time. Therefore, your

application has been deemed complete for further processing.

I will be proceeding with the preparation of a Staff Report for the Zoning Administrator for agenda date **December 5, 2008**. Your pending appeal will have been adjudicated by that time.

Please note that you are now required to install signage on the subject property that notifies the public of your development permit application. Please refer to the Neighborhood Notification Guidelines for the standards for preparing your sign. The Neighborhood Notification Guidelines are online at: [www.sccoplanning.com/brochures/neighbornotice.htm](http://www.sccoplanning.com/brochures/neighbornotice.htm) The required sign text is attached to this letter.

**Additional Issues**

- A. Please again review the September 9, 2008 memo from the County Urban Designer, which is attached for your convenience. You are encouraged to consider a re-design of your proposal based upon the recommendations of the Urban Designer in order to move the project toward greater compliance with County Code Chapters 13.20 and 13.11. We will not be able to recommend approval of the project as currently submitted.
- B. You are encouraged to submit a landscape plan for this project, as landscaping may soften the visual impact from the street, and is a site design element that would help to bring the proposed new home into conformance with Section 13.11.072.

Should you have further questions concerning this application, please contact me at: (831) 454-3259, or e-mail: [alice.daly@co.santa-cruz.ca.us](mailto:alice.daly@co.santa-cruz.ca.us)

Sincerely,



Alice Daly, AICP  
Project Planner, Development Review

**Attachments:**

County of Santa Cruz Urban Designer Memo dated September 10, 2008  
Sign text