



Staff Report to the Zoning Administrator

Application Number: **06-0694**

Applicant: Dee Murray

Agenda Date: June 5, 2009

Owner: Centro Portugues de
Nossa Senhora de Fatima em
Watsonville

Agenda Item #: 8

APN: 048-061-05

Time: after 10:00 a.m.

Project Description: Proposal to use an existing single-family dwelling as the top floor of a new office building and add a new ground floor resulting in a 2-story, 4,296 sq. ft. office building, to allow over 10% of the required parking, preliminary grading approval for approximately 500 cu. yds, and design exceptions (to allow less than 26 feet wide drive aisles and to reduce the landscape strip along the North property line from the required five feet to two feet).

The site also contains an existing duplex to remain.

Location: 217 Green Valley Road, Watsonville

Supervisory Dist.: Fourth District (District Supervisor: Tony Campos)

Permits Required: Commercial Development Permit and Preliminary Grading Approval for approximately 500 cu. yds.

Technical Reviews: Design Exception to allow less than 26 feet wide drive aisles and reduction of the landscape strip along the North property line from the required five feet to two feet.

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 06-0694, based on the attached findings and conditions.

Exhibits

- | | |
|---|--|
| A. Project plans | M. City of Watsonville water will-serve letter |
| B. Findings | N. City of Watsonville Community Development Department comments |
| C. Conditions | O. METRO comments |
| D. Categorical Exemption (CEQA determination) | P. Feasibility Level Geotechnical Investigation and Plan Review Letter, prepared by Haro, Kasunich and Associates, Inc. dated 16 May 2007. |
| E. Location map | Q. Addendum to Feasibility Level Geotechnical Investigation, prepared by Haro, Kasunich and Associates, Inc. dated 27 September 2007. |
| F. General Plan map | R. City of Watsonville Engineering memo |
| G. Zoning map | |
| H. Aerial view | |
| I. Discretionary Application comments | |
| J. Accessibility comments | |
| K. Urban Designer's comments | |
| L. Freedom County Sanitation District will-serve letter | |

Parcel Information

Parcel Size:	67,447 sq. ft.
Existing Land Use - Parcel:	residential
Existing Land Use - Surrounding:	residential
Project Access:	Green Valley Road
Planning Area:	Pajaro Valley
Land Use Designation:	C-O (Office)
Zone District:	PA (Professional and Administrative Offices)
Coastal Zone:	<input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside

Environmental Information

Geologic Hazards:	Not mapped/no physical evidence on site
Soils:	N/A
Fire Hazard:	Not a mapped constraint
Slopes:	0 - 5 %
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	No grading proposed
Tree Removal:	No trees proposed to be removed
Scenic:	Not a mapped resource
Drainage:	Existing drainage adequate
Archeology:	Not mapped / no physical evidence on site

Services Information

Urban/Rural Services Line:	<input checked="" type="checkbox"/> Inside <input type="checkbox"/> Outside
Water Supply:	City of Watsonville Water
Sewage Disposal:	Freedom County Sanitation District
Fire District:	Pajaro Valley Fire Protection District
Drainage District:	Zone 7 2 / 45

Setting and Project Description

The parcel is located on Green Valley Road at the intersection of Carnation Drive, and is 67,656 sq. ft. (1.55 acres) in size. The rear of the site is proposed to be undeveloped at this time. The civil engineer has prepared a drawing (Sheet C5) showing how the parking lot configuration would change should the rear of the lot be developed in the future.

The site contains an existing single-family dwelling lifted onto cribbing, an existing duplex and a small barn (to be removed). The existing residence is a 1,206 sq. ft. three bedroom, one story building. The duplex is a 1,735 sq. ft., one story structure that contains two- three bedroom units.

The single-family residence is proposed to be lifted one story in the air, and a lower story build under it. The entire new structure is proposed to be 4,296 sq. ft. and used as the office for the Centro Portugues.

The site is adjacent to the City of Watsonville city limits. Green Valley Road in this section is within the city limits and the driveway location and street improvements have been reviewed by the City of Watsonville Community Development Department. The city of Watsonville will also provide water service to the project. Sewer service however, is provided by the Freedom Sanitation District of the County of Santa Cruz.

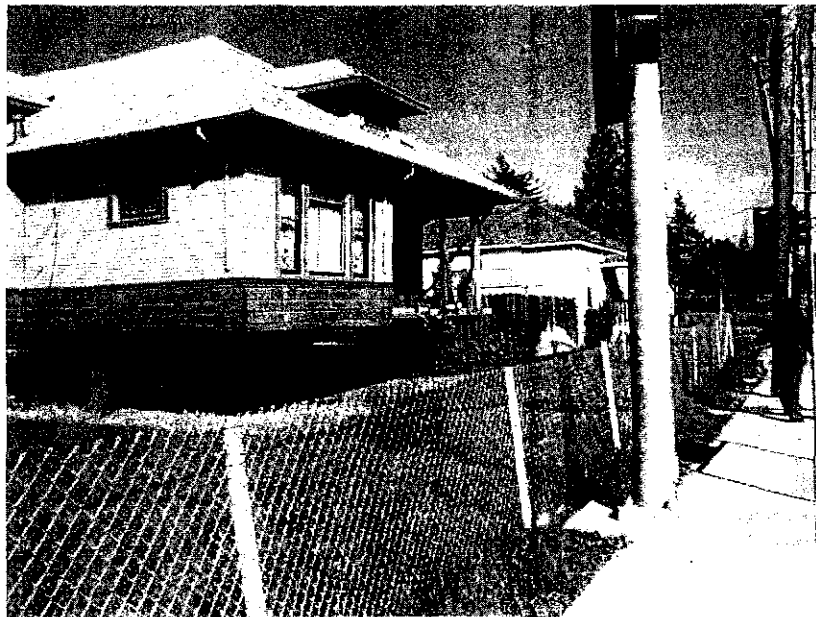


Fig. 1. Existing residence (elevated)

Design Review / Exceptions

The proposed office building complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

A design review exception has been requested to reduce the landscape strip along the North property line from the required five feet to two feet. The code (Section 13.10.552.d) allows up to ten percent over those required with an exception. For parking areas with between 6 to 50 cars, 10% of the parking spaces may be compact.

Staff feels that at least three of the parking spaces along this side could be compact, which would add another two feet to the landscape strip. In addition, a code interpretation would also allow a two feet reduction in the parking space length if no wheelstops were used. The combination of these two techniques could relieve the need for the design exception for at least three spaces (staff suggests that these be the three closest to the street). Staff has included a Condition of Approval to increase the landscape to five feet in width for a minimum of three spaces along the northern property line. The remaining seven spaces, which have a two feet wide landscape strip, should likewise have two additional feet of landscape (using the interpretation) to reduce the exception to one foot.

The aisle width as noted in the ordinance for 90 degree parking is 26 feet. Staff can support 24 feet aisle widths in this situation given the location of the existing duplex on the site and the limited number of cars using the parking lot.

Zoning & General Plan Consistency

The subject property is a 67,447 square foot lot, located in the PA (Professional and Administrative Offices) zone district, a designation that allows commercial uses. The proposed office building is a principal permitted use within the zone district and the project is consistent with the site's (C-O) Professional and Administrative Office General Plan designation.

SITE STANDARDS TABLE		
	required	proposed
min. parcel size	10,000 sq. ft.	67,447 sq. ft.
front setback	20 ft. (across from an R district)	20'-6" (prop. office) 20'-5" (duplex)
rear setback	10 ft.	263' (to prop. office) 305' (to duplex)
side setback	5 ft. (southwest - same as abutting R-1-6) 0 ft. (northeast - abutting PA district)	7'-6" (southwest - at prop. office) 47'-0" (northeast - at exist. duplex)
parking spaces	proposed office : 1 / 200 sq. ft. 4,296 sq. ft. / 200 = 21 spaces duplex : 2.5 / 3 br + .5 / each unit total = 6 spaces 27 spaces total	30 spaces (29 standard, 1 accessible)

Master Occupancy Program

Staff supports a Level 1 change of use for all used allowed in the PA zone district with the exception of the following:

1. Doctors offices and clinics
2. Day care centers
3. Any use that would generate a parking demand of over 1 space/ 200 sq. ft.

Clubs and fraternal organizations are allowed in the PA zone. The Centro Portugues would be allowed to use the building for meetings or offices provided that the total parking demand would be less than 24 cars. All other types of gatherings associated with such an organization would not be permitted in this facility.

Parking / Exception

The proposed design includes parking for 29 standard spaces and 1 accessible parking space. This application is only required to have 27 spaces, and therefore the applicant is providing 3 additional spaces above what is required.

Sheet C5 shows a proposed site plan, which would allow access to the rear of the property. The total loss of parking spaces (as the scheme demonstrates) would be three, which would leave the required number for the office building and the duplex. The intent of the ordinance as staff understands was to not allow shopping centers to create massive amount of paving to provide overflow parking. Staff supports this exception as this is a minor amount of excess parking and allows the front of site to contain the required number of parking spaces after the rear is developed, and because the request is for three spaces (which is not a significant amount of additional paving).

Grading and Drainage

The site was evaluated by Haro, Kasunich and Associates, Inc for a Feasibility Level Geotechnical Investigation. The review letter describes compressible subsurface soils and recommends the removal of the upper 36 inches of native soil, and subsequent blending, moisture conditioning and redensification. The area of redensification is recommended to be five feet min. beyond the building perimeter. Grading quantities were estimated by the project Civil Engineer (Lucas Beautz) to be 500 cu. yds. of cut and 530 cu. yds of fill in addition to the over excavation and recompaction recommended by the project Geotechnical Engineer.

The site is graded to provide sheet drainage which slope toward inlets that then transfer the water through closed pipes to a detention system of four - 40 ft. long pipes. These release the water into the municipal storm water system in Green Valley Road.

Environmental Review

Environmental review is not required for the proposed project per the California Environmental Quality Act (CEQA). The project is Categorically Exempt under Class 3, section 15303. This section allows the conversion or construction of new small structures.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 06-0694, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Lawrence Kasparowitz
Santa Cruz County Planning Department
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Santa Cruz CA 95060
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E-mail: pln795@co.santa-cruz.ca.us

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APN: 048-061-05
Owner: Centro Portugues de Nossa Senhora de Fatima

Commercial Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for professional offices and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. Neither the proposed office building will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the office building and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the PA (Professional and Administrative Offices) zone district in that the primary use of the property will be one office building and one residential duplex that meets all current site setbacks for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed commercial use is consistent with the use and density requirements specified for the office (O) land use designation in the County General Plan.

The proposed office building will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the office building will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed office building will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed office building will comply with the site standards for the PA zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

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A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the City of Watsonville has reviewed the plans and will collect a Traffic Impact fee.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed office building is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed office building will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

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Conditions of Approval

- Exhibit A: Architectural plans (sheets 1-5) prepared by Peter Guiley, dated 9-27-2007.
Landscape architectural plan (sheet L1) prepared by Greg Lewis, date 8/19/06.
Civil engineering plans (sheets C1-C5) prepared by Luke R. Beautz, CE, LS,
dated September 2007.
- I. This permit authorizes the use of a one-story residence in the construction of a two-story office building and the retention of an existing duplex. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 - 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
- A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 - 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.
 - 2. Grading, drainage, and erosion control plans.

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3. Details showing compliance with fire department requirements.
 - C. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
 - D. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.
 - E. Meet all requirements and pay any applicable plan check fee of the Pajaro Valley Fire Protection District.
 - F. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
 - G. Pay the current fees for Child Care mitigation for 4,296 sq. ft. Currently, this fee is, \$0.23 per sq. ft.
 - H. Meet all requirements and pay the current fees as required by the City of Watsonville. Provide a letter of review and approval by the City of Watsonville Community Development Department with the building permit set.
 - I. Provide required off-street parking for a minimum of 27 cars. Parking spaces must be 8.5 feet wide by 18 feet long (7.5 feet wide by 16 feet for compact) and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - K. Final site plan shall increase the landscape strip two feet in width for a minimum of ten spaces along the northern property line, by allowing the car to overhang the curb and not use a wheelstop. In addition the first three spaces closest to the street shall be compact (providing a 6 feet wide landscape strip).
 - L. The Architect or Engineer shall specify the occupancy of each floor on the building permit plans.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

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- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. A Level 1 change of use is permitted for all uses allowed in the PA zone district with the exception of the following:
 - a. Doctors offices and clinics
 - b. Day care centers
 - c. Any use that would generate a parking demand of over 1 space/ 200 sq. ft.

Clubs and fraternal organizations are allowed in the PA zone, however only meetings may be held in the new office building. Any other gatherings that would involve over 21 cars shall not be permitted in this facility.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended,

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indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

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Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Don Bussey
Deputy Zoning Administrator

Lawrence Kasparowitz
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 06-0694

Assessor Parcel Number: 048-061-05

Project Location: 217 Green Valley Road, Watsonville

Project Description: Proposal to use an existing single-family dwelling as the top floor and add a new ground floor; converting the building to a 2-story, 4,747 sq. ft. office building. The site also contains an existing duplex.

Person Proposing Project: Dee Murray

Contact Phone Number: (831) 475-5334

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. _____ Ministerial Project involving only the use of fixed standards or objective measurements without personal judgment.
- D. _____ Statutory Exemption other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. X Categorical Exemption

Specify type: Class 3 - New Conversion or Construction of Small Structures (Section 15303)

F. Reasons why the project is exempt:

New commercial structure less than 10,000 sq. ft..

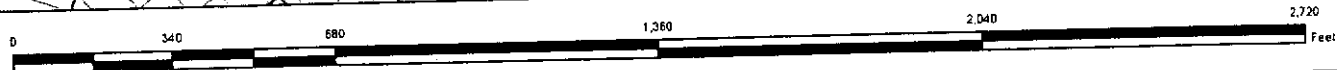
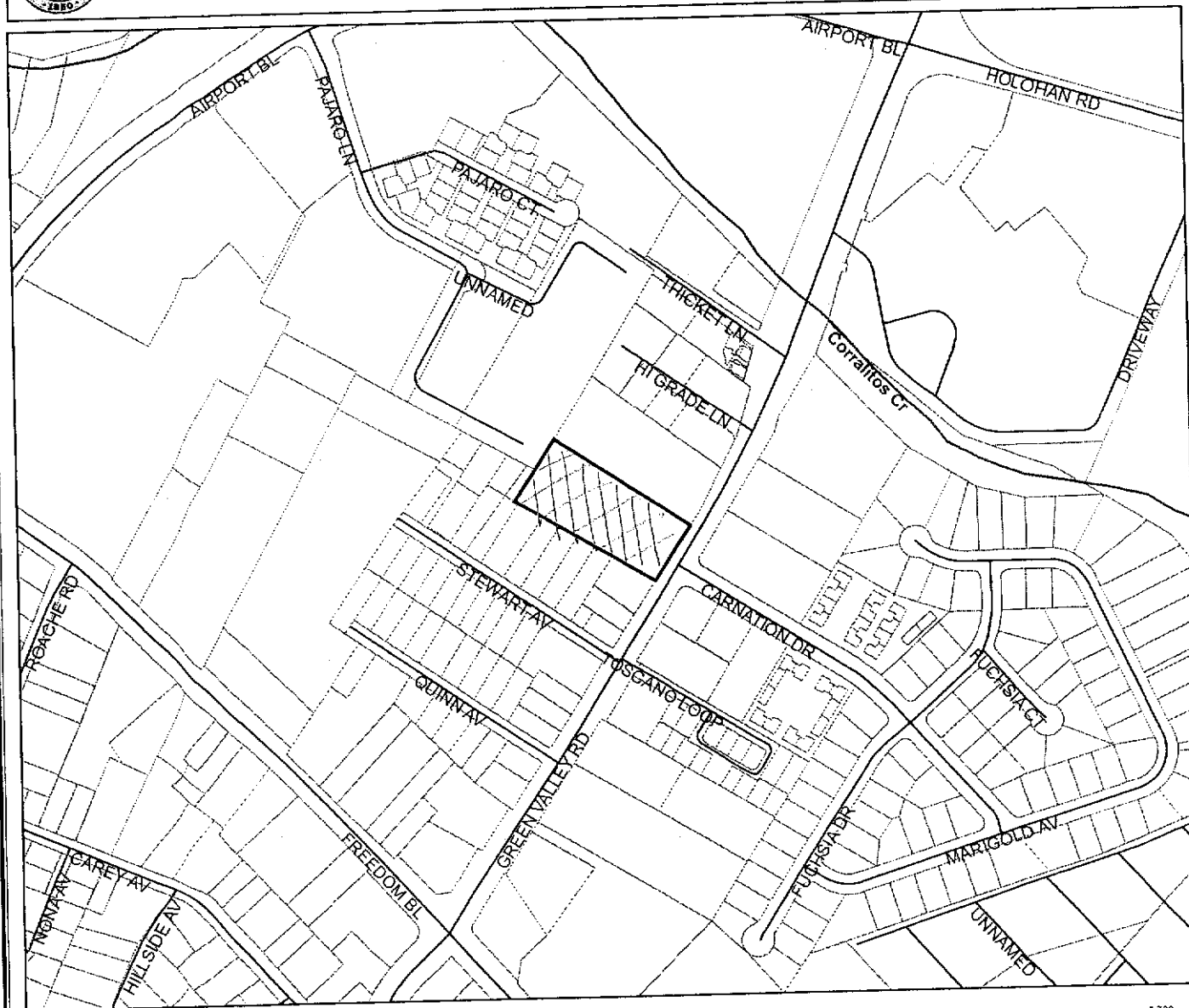
In addition, none of the conditions described in Section 15300.2 apply to this project.

Lawrence Kasparowitz, Project Planner





Date: _____

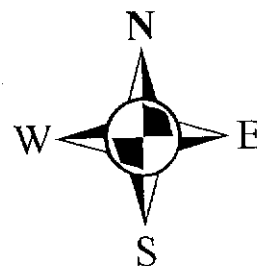


Location Map



Legend

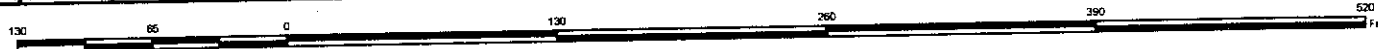
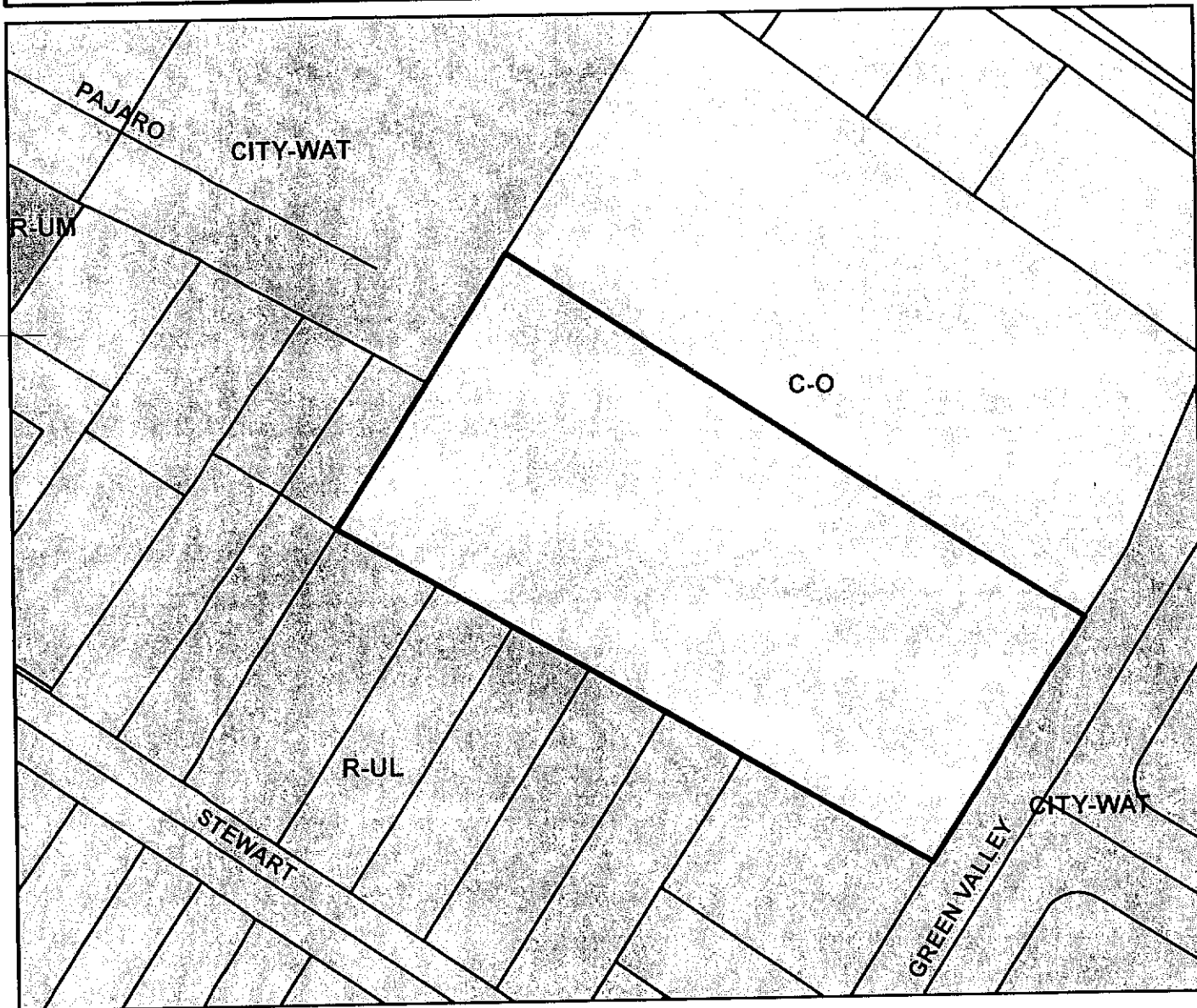
-  APN 048-061-05
-  Assessors Parcels
-  Streets
-  PERENNIAL STREAM



Map Created by
County of Santa Cruz
Planning Department
December 2006

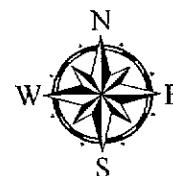


General Plan Designation Map



LEGEND

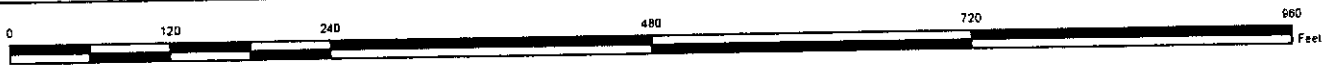
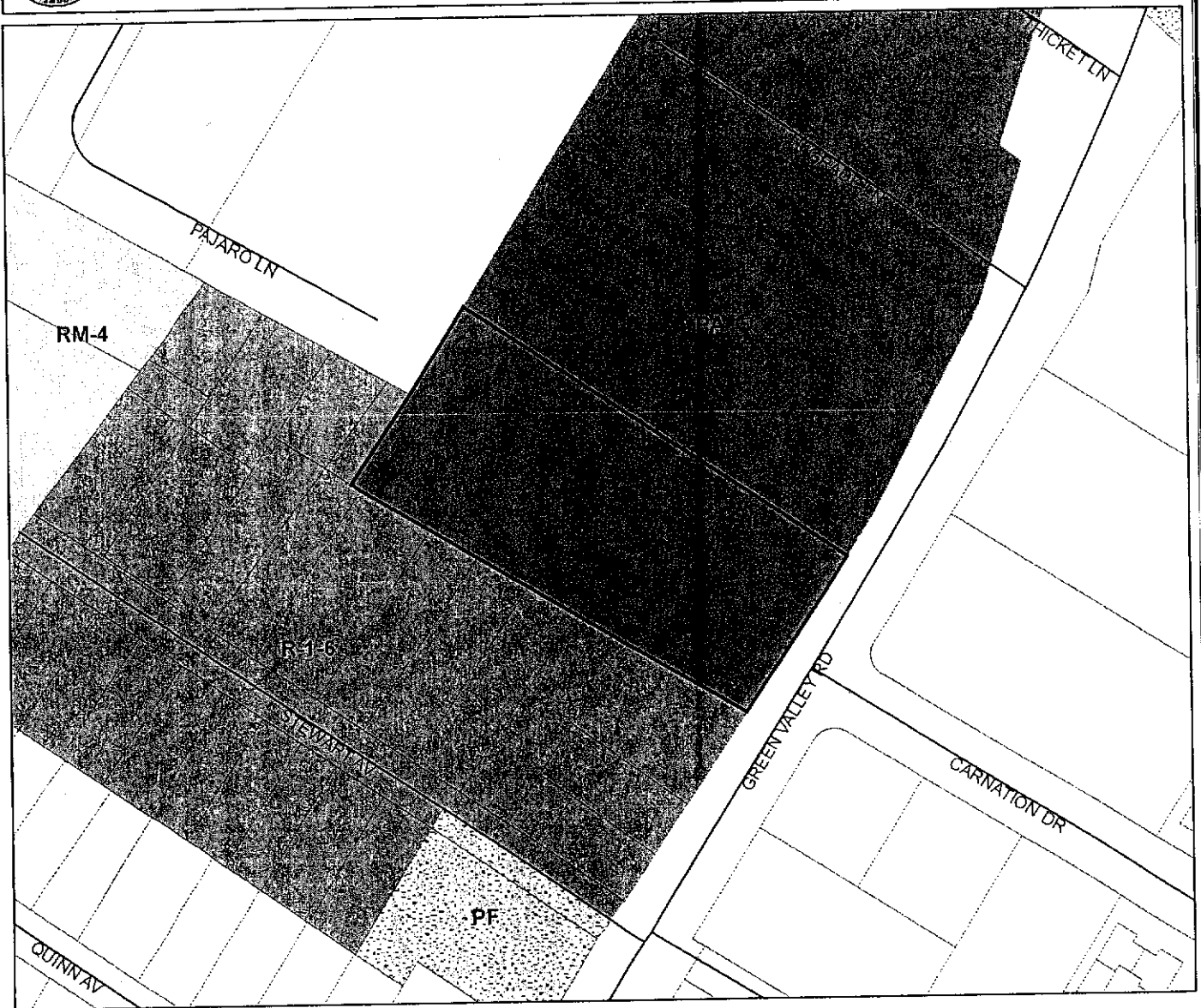
- APN: 048-061-05
- Assessors Parcels
- Streets
- WATSONVILLE
- Commercial-Office
- Residential - Urban Low Density
- Residential - Urban Medium Density



Map Created by
County of Santa Cruz
Planning Department
March 2009

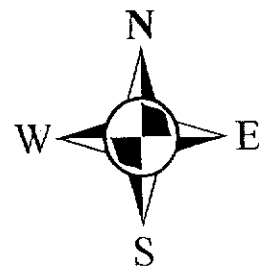


Zoning Map



Legend

- APN 048-061-05
- Assessors Parcels
- Streets
- COMMERCIAL-PROF OFFICE (PA)
- RESIDENTIAL-SINGLE FAMILY (R-1)
- RESIDENTIAL-MULTI FAMILY (RM)
- PUBLIC FACILITY (PF)
- CITY PROPERTY



Map Created by
County of Santa Cruz
Planning Department
December 2006



DRIVEWAY

CITY-WAT

PAJARO

THICKET

HI GRADE

STEWART

GREEN VALLEY

CARNATION

TOSCANO LOOP

CITY-WAT

QUINN

18/45

EXHIBIT H

C O N T Y O F S A N T A R U Z
DISCRETIONARY APPLICATION COMMENTS

Project Planner: Larry Kasparowitz
Application No.: 06-0694
APN: 048-061-05

Date: March 2, 2009
Time: 14:07:38
Page: 1

Environmental Planning Completeness Comments

===== REVIEW ON JANUARY 2, 2007 BY KENT M EDLER =====

Following are Completeness Comments for Grading and Soils Issues:

1. A soils report is required to be submitted.

===== UPDATED ON FEBRUARY 2, 2007 BY ROBERT S LOVELAND =====
Comments regarding information submitted on 2nd routing (2/2/07):

I received a copy of the "Preliminary Limited Geotechnical Investigation & Plan Review" letter from Haro, Kasunich & Associates, dated 12/6/06. This letter was received on the first submittal and the comment above was generated. Please submit a completed geotechnical report for review. ===== UPDATED ON JUNE 14, 2007 BY ROBERT S LOVELAND =====

Please submit a full geotechnical report for review.

Please submit grading calculations for all overexcavation/recompaction work to be completed on this site.

NOTE: Both these comments were stated previously. ===== UPDATED ON NOVEMBER 2, 2007 BY ROBERT S LOVELAND =====

This is the fourth time I have requested a full geotechnical report to be submitted for review. NOTE TO PLANNER: I recommend the application be abandoned at this time since the applicant continues to ignore the request to provide the above mentioned technical report. All I received on this routing from the geotechnical engineer was a letter dated 9/27/07 (Addendum to Feasibility Level Geotechnical Investigation).

In the letter from the geotechnical engineer, dated 9/27/07, they provide an overexcavation/recompaction quantity just under the proposed office. NOTE: My assumption at this time is that the whole site will need to be overexcavated/recompacted. If so, please provide those calculations.

===== UPDATED ON JANUARY 9, 2008 BY KENT M EDLER ===== I received a copy of a letter dated 12/31/07 by Haro, Kasunich and Associates, which states that the liquefaction potential is low. The soils report can be submitted in the building permit stage.

The applicant still must provide estimated overexcavation / recompaction quantities. ===== UPDATED ON JANUARY 18, 2008 BY ROBERT S LOVELAND =====

I have received grading estimates for this project from Luke Beautz. According to the information received there will be approximately 1500 cubic yards of earthwork.

Environmental Planning Miscellaneous Comments

===== REVIEW ON JANUARY 2, 2007 BY KENT M EDLER =====

Disciplinary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 06-0694
APN: 048-061-05

Date: March 2, 2009
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Following are Compliance Issues for Grading and Soils Issues:

1. If the soils engineer requires over-excavation / recompaction, it must be included in the grading quantities.

Following are Misc. Comments / Permit Conditions

1. A plan review letter from the soils engineer will be required prior to approval of the Building / Grading Permit.

===== UPDATED ON JANUARY 18, 2008 BY ROBERT S LOVELAND =====

Conditions of Approval:

1. Submit a soils report (3 copies) completed by a California licensed geotechnical engineer for review and approval.
2. Submit a grading and drainage plan completed by a licensed civil engineer for review and approval.
3. Submit a detailed sediment/erosion control plan for review and approval.

===== UPDATED ON JANUARY 25, 2008 BY KENT M EDLER =====

Note: the soils report accepted for this application is a preliminary feasibility study to determine whether or not liquefaction will be an issue. A design level review and associated fees must be submitted during the building permit stage.

Project Review Completeness Comments

===== REVIEW ON JANUARY 2, 2007 BY JOAN VAN DER HOEVEN =====
Project plans for commercial projects must be prepared by a licensed architect.

Project Review Miscellaneous Comments

===== REVIEW ON JANUARY 2, 2007 BY JOAN VAN DER HOEVEN =====
NO COMMENT

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON JANUARY 3, 2007 BY DAVID W SIMS =====
1st Review Summary Statement:

The present development proposal is out of compliance with County drainage policies and the County Design Criteria (CDC), June 2006 edition, and also lacks some information for complete evaluation. The Stormwater Management section does not recommend approval at this time.

Reference for County Design Criteria: <http://www.dpw.co.santa->

Disc: ionary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 06-0694
APN: 048-061-05

Date: March 2, 2009
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cruz.ca.us/DESIGNCRITERIA.PDF

Policy Compliance Items:

Item 1) It is not clear if criteria regarding soil permeability of retention storage facilities can be met. If not, this would affect feasibility of the mitigation measures proposed. See CDC Part 3, Section H, items 5d and item 9b2. See miscellaneous comments.

Item 2) It is policy to hold to pre-development rates up through the 10-year event, inclusive of smaller events. Please review the feasibility of the proposed design to control the 10-year event as well as smaller events. See CDC Part 3, Section G, items 2e and 4a. See miscellaneous comments.

Item 3) It is policy to minimize impervious surfacing. How has this been done for the proposed development? If it is not practical or allowable due to other County policy to reduce paving extents significantly, then use of permeable pavements is another means of meeting this requirement, and it can be incorporated into the function of site mitigation measures. See miscellaneous comments.

Information Items:

Item 4) Incomplete. Provide a copy of soil testing data and any interpretation/conversion procedures used that establish the feasible permeability of the site soils.

Item 5) Incomplete. Please provide downstream description and show on the plans the entire off-site drainage path from the under sidewalk drain to the natural channel. (Green Valley Road drainage system is not maintained by the County) Indicate any and all drainage problems found along the length of this flow path, and propose any needed correction.

Please see miscellaneous comments. ===== UPDATED ON FEBRUARY 5, 2007 BY DAVID W SIMS =====

Duplicate routing of geotech letter - no comment. ===== UPDATED ON JUNE 12, 2007 BY DAVID W SIMS =====

2nd Review Summary Statement:

The present development proposal is approvable for discretionary stage stormwater management issues, and has done a very good job in addressing development requirements.

Policy Compliance Items:

Item 1) Issue addressed. Some sub-grade soil infiltration will likely occur, however the proposal no longer relies upon soil permeability for proper mitigation function.

Item 2) Issue addressed. It appears the proposal will adequately control all storms up through the 10-year event with a potential additional capability above minimum requirements.

Disc: ionary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 06-0694
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Date: March 2, 2009
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Item 3) Issue addressed. Impervious surfacing has been minimized through effective use of permeable concrete provided with sub-drainage.

Information Items:

Item 4) Complete. Test data was received in between formal routings. Results are not applicable to latest design proposal.

Item 5) Complete. Downstream description provided, and no erosion problems at out-fall or capacity issues were identified.

Please see miscellaneous comments.

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON JANUARY 3, 2007 BY DAVID W SIMS =====

A) County Design Criteria requires topography be shown a minimum of 50 feet beyond the project work limits.

B) The existing base rock parking area should be treated as a semi-permeable surface in the calculations, resulting in a lower pre-development runoff.

C) Clarify the note about roof drain connections to on-site storm mitigation facilities so there is no confusion regarding off-site connection without mitigation.

D) Maintenance procedures for the drainage facilities and mitigation measures must be provided on the plans.

E) Please note on the plans provision for permanent bold markings at each inlet that read: "NO DUMPING - DRAINS TO BAY".

The feasibility of the proposed design depends highly on the adequate permeability of the site soils. The geotechnical firm reports a percolation rate of 7.2"/hr. but did not provide data or description of the test performed. If this is simply an observed falling head drop within a bore hole, then it does not equate directly to the permeability to be used for a percolation bed design, and conversion is needed that would greatly change the value obtained. Based on the mapped soil survey the Pinto soil has a permeability range of 0.06 to 0.2"/hr. typical of this valley floor site setting. The mapped range is below that allowed by design criteria for storage structures reliant on disposing water into the soil. On this soil typical facilities will have a drain down time that is very long (several days), and would not make storage available for a subsequent storm. The length of ponding time on the parking lot is also a concern. A design providing significantly larger infiltration areas and limiting or eliminating the confined storage depth of water, while still providing some infiltration is recommended, such as with well designed and constructed (likely sub-drained) permeable pavement systems.

The preliminary mitigation measures proposed used methods developed for a 2-year

Disc ionary Comments - Continued

Project Planner: Larry Kasparowitz
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event, and did not address the 10-year event. While the volumes required for the two storm sizes could appear comparable, they are based on assumptions of significantly different on-going release rates, the higher of which is not likely realized for these soils, and would subsequently lead to pre-mature filling of the proposed pipe storage volume with failure to control the larger design storm. Can parking lot inundation provide enough additional storage without creating other problems and without exceeding 6" depth limit per CDC?

Why are the proposed flapper valves being used? They appear only marginally capable of isolating the locations of ponding since there is adequate supply of runoff from the buildings and landscape areas upstream of the valves to rapidly create ponding anyway, and there is very little head differential to provide a good valve seal. Such upstream ponding might be capable of leaving the site by unplanned overland flow paths as well, and would not be mitigated. It seems problematic that the proposed surface overflow path is located on the higher elevation side of the development.

A recorded maintenance agreement may be required for certain stormwater facilities.

A drainage impact fee will be assessed on the net increase in impervious area. The fees are currently \$0.95 per square foot, and are assessed upon permit issuance. Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials.

You may be eligible for fee credits for pre-existing impervious areas to be demolished. To be entitled for credits for pre-existing impervious areas, please submit documentation of permitted structures to establish eligibility. Documentations such as assessor's records, survey records, or other official records that will help establish and determine the dates they were built, the structure footprint, or to confirm if a building permit was previously issued is accepted. Not all existing pavements may be recognized as exempt from mitigation, or credited against impact fees.

Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General NPDES Permit from the State Water Resources Control Board. Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. For more information see:
<http://www.swrcb.ca.gov/stormwtr/constfaq.html>

Because this application is incomplete in addressing County requirements, resulting revisions and additions will necessitate further review comment and possibly different or additional requirements.

All resubmittals shall be made through the Planning Department. Materials left with Public Works will not be processed or returned.

Please call the Dept. of Public Works, Stormwater Management Section, from 8:00 am to 12:00 noon if you have questions. ===== UPDATED ON FEBRUARY 5, 2007 BY DAVID W SIMS =====

Disc ionary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 06-0694
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NO COMMENT

===== UPDATED ON JUNE 12, 2007 BY DAVID W SIMS =====

Please address prior miscellaneous comments with the building application.

Given the potential future expansion of the site it may be desirable to design the detention outlet control structure with an interchangeable orifice plate rather than a lengthy restricting pipe. Also, those landscape inlets within the future driveway path should be traffic rated.

Calculations and outlet control structure details will be required with the building application plans.

Dpw Driveway/Encroachment Completeness Comments

===== REVIEW ON DECEMBER 14, 2006 BY RUTH L ZADESKY =====

Dpw Driveway/Encroachment Miscellaneous Comments

===== REVIEW ON DECEMBER 14, 2006 BY RUTH L ZADESKY =====

Driveway to conform to County Design Criteria Standards.

Encroachment permit required for all off-site work in the County road right-of-way.

Dpw Road Engineering Completeness Comments

===== REVIEW ON DECEMBER 28, 2006 BY GREG J MARTIN =====

Public Works recommends the proposed project have a single driveway opposite Carnation Drive to ensure safe traffic operations.

Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON DECEMBER 28, 2006 BY GREG J MARTIN =====

Pajaro Valley Fire District Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON JANUARY 2, 2007 BY COLLEEN L BAXTER =====

DEPARTMENT NAME: CDF/COUNTY FIRE

Note on the plans that these plans are in compliance with California Building and Fire Codes (2001) as amended by the authority having jurisdiction.

The job copies of the building and fire systems plans and permits must be onsite during inspections.

NOTE on the plans the OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE/FIRE RATING and SPRINKERED or NONSPRINKERED as determined by the building official and outlined in Part IV of the California Building Code, e.g. R-3, Type V-N, Sprinklered.

Note on these plans the occupancy load of each area. Show where the occupancy load signs will be posted.

FIRE FLOW requirements for the subject property are 1500GPM. Note on the plans the REQUIRED and AVAILABLE FIRE FLOW. The AVAILABLE FIRE FLOW information can be obtained from the water company.

Disc i onary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 06-0694
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SHOW on the plans a public fire hydrant, meeting the minimum required fire flow for the building, within 150 feet of any portion of the building. This information can be obtained from the water company.

NOTE on the plans that the building shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13 and Chapter 35 of California Building Code and adopted standards of the authority having jurisdiction.

NOTE on the plans that an UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT.

Building numbers shall be provided. Numbers shall be a minimum of 4 inches in height on a contrasting background and visible from the street, additional numbers shall be installed on a directional sign at the property driveway and street.

NOTE on the plans the installation of an approved spark arrester on the top of the chimney. The wire mesh shall be 1/2 inch.

NOTE on the plans that the roof covering shall be no less than Class "B" rated roof. Show the location of Knox Box.

SHOW on the plans, DETAILS of compliance with the Access Standards of the Santa Cruz County General Plan (Objective 6.5 Fire Hazards).

All Fire Department building requirements and fees will be addressed in the Building Permit phase.

Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

72 hour minimum notice is required prior to any inspection and/or test.

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with the applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency.

Pajaro Valley Fire District Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON JANUARY 2, 2007 BY COLLEEN L BAXTER =====

Accessibility: Project Comments for Development Review: Review of 07-0694

Conversion of Residence to Office
217 Green Valley Road, Freedom APN 048-061-05

Date: 6/04/07
Planner: Samantha Haschert
Applicant: Dee Murray

Dear Ms. Murray,

A review of the project plans was conducted to determine accessibility issues.

Completeness Items

Please submit a separate accessibility plan to include the following:

- Existing and proposed topography
- Accessible path of travel (CBC 1114B.1.2) and accessible parking (CBC 1129B)
- Notations as to the occupancy and construction type
- Accessibility to buildings or portions of buildings and facilities on the site.
- An egress plan showing maneuvering clearances at all doorways, passageways and landings (CBC 1133B)
- Accessible restrooms (CBC 1115B)

Many of these items are included on various sheets that were submitted for review. However, the accessibility plan shall have this information on one Sheet.

Compliance Issues

There are no compliance issues with accessibility shown on the plans.

Permit Conditions/Additional Information

Building Permit Items:

- Plans for a building permit will need to be prepared, stamped and signed by a California licensed professional(s).
- The building occupancies, construction type and allowable calculations will need to be included on the construction drawings for a building permit.
- Path of Travel Verification Form (refer to brochure)
To be submitted at the time of Building Permit application, as applicable.

IMPORTANT NOTE: The proposed effective date for the 2007 California Building Code, which will be based on the 2006 International Building Code, will be January 1, 2008. Building permit application dates on or after January 1, 2008 will need to comply with the new codes.

Please refer to the attached brochure entitled Accessibility Requirements - Building Plan Check which can also be found at the County of Santa Cruz Planning Department website:

http://www.sccoplanning.com/brochures/access_plancheck.htm

This document is an information source for the designer when preparing drawings for building plan check.

INTEROFFICE MEMO**APPLICATION NO: 06-0694 (fourth routing)**

Date: October 22, 2007

To: Lawrence Kasparowitz, Project Planner

From: Urban Designer

Re: Design Review for the Centro Portugues building at 217 Green Valley Road, Watsonville

GENERAL PLAN / ZONING CODE ISSUES**Design Review Authority****13.11.040** Projects requiring design review.

(e) All commercial remodels or new commercial construction.

Design Review Standards**13.11.072 Site design.**

Evaluation Criteria	Meets criteria in code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Site Design			
Location and type of access to the site	✓		
Building siting in terms of its location and orientation	✓		
Building bulk, massing and scale	✓		
Parking location and layout	✓		
Relationship to natural site features and environmental influences	✓		
Landscaping	✓		
Streetscape relationship	✓		
Street design and transit facilities			N/A
Relationship to existing structures	✓		
Natural Site Amenities and Features			
Relate to surrounding topography	✓		
Retention of natural amenities	✓		
Siting and orientation which takes advantage of natural amenities	✓		
Ridgeline protection			N/A

Views			
Protection of public viewshed	✓		
Minimize impact on private views	✓		
Safe and Functional Circulation			
Accessible to the disabled, pedestrians, bicycles and vehicles	✓		
Solar Design and Access			
Reasonable protection for adjacent properties	✓		
Reasonable protection for currently occupied buildings using a solar energy system	✓		
Noise			
Reasonable protection for adjacent properties	✓		

13.11.073 Building design.

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Building Design			
Massing of building form	✓		
Building silhouette	✓		
Spacing between buildings	✓		
Street face setbacks			N/A
Character of architecture	✓		
Building scale	✓		
Proportion and composition of projections and recesses, doors and windows, and other features	✓		
Location and treatment of entryways	✓		
Finish material, texture and color	✓		
Scale			
Scale is addressed on appropriate levels	✓		
Design elements create a sense of human scale and pedestrian interest	✓		

Building Articulation			
Variation in wall plane, roof line, detailing, materials and siting.	✓		
Solar Design			
Building design provides solar access that is reasonably protected for adjacent properties.	✓		
Building walls and major window areas are oriented for passive solar and natural lighting.	✓		

13.11.074 Access, circulation and parking.

Parking			
Minimize the visual impact of pavement and parked vehicles.	✓		
Parking design shall be an integral element of the site design.	✓		
Site buildings toward the front or middle portion of the lot and parking areas to the rear or side of the lot is encouraged where appropriate.	✓		
Lighting			
All site, building, security and landscape lighting shall be directed onto the site and away from adjacent properties.			<i>Suggest as Condition of Approval</i>
Area lighting shall be high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures.			<i>Suggest as Condition of Approval</i>
All lighted parking and circulation areas shall utilize low-rise light standards or light fixtures attached to the building. Light standards to a maximum height of 15 feet are allowed.			<i>Suggest as Condition of Approval</i>
Building and security lighting shall be integrated into the building design.			<i>Suggest as Condition of Approval</i>
Light sources shall not be visible from adjacent properties.			<i>Suggest as Condition of Approval</i>
Loading areas			
Loading areas shall be designed to not interfere with circulation or parking, and to permit trucks to fully maneuver on the property without backing from or onto a public street.	✓		
Landscape			
A minimum of one tree for each five parking spaces should be planted along each single or double row of parking spaces.	✓		

A minimum of one tree for each five parking spaces shall be planted along rows of parking.	✓		
Trees shall be dispersed throughout the parking lot to maximize shade and visual relief.	✓		
At least twenty-five percent (25%) of the trees required for parking lot screening shall be 24-inch box size when planted; all other trees shall be 15 gallon size or larger when planted.	✓		
Parking Lot Design			
Driveways between commercial or industrial parcels shall be shared where appropriate.	✓		
Avoid locating walls and fences where they block driver sight lines when entering or exiting the site.	✓		
Minimize the number of curb cuts	✓		
Driveways shall be coordinated with existing or planned median openings.	✓		
Entry drives on commercial or industrial projects greater than 10,000 square feet should include a 5-foot minimum net landscaped median to separate incoming and out going traffic, where appropriate.	✓		
Service Vehicles/Loading Space. Loading space shall be provided as required for commercial and industrial uses.	✓		
Where an interior driveway or parking area parallels the side or rear property line, a minimum 5-foot wide net landscape strip shall be provided between the driveway and the property line.	✓		
Parking areas shall be screened from public streets using landscaping, berms, fences, walls, buildings, and other means, where appropriate.	✓		
Bicycle parking spaces shall be provided as required in. They shall be appropriately located in relation to the major activity area.	✓		
Reduce the visual impact and scale of interior driveways, parking and paving.	✓		
Parking Lot Landscaping			
It shall be an objective of landscaping to accent the importance of driveways from the street, frame the major circulation aisles, emphasize pedestrian pathways, and provide shade and screening.	✓		

Parking lot landscaping shall be designed to visually screen parking from public streets and adjacent uses.	✓		
Parking lots shall be landscaped with large canopy trees.	✓		
A landscape strip shall be provided at the end of each parking aisle.	✓		
A minimum 5-foot wide landscape strip (to provide necessary vehicular back-out movements) shall be provided at dead-end aisles.	✓		
Parking areas shall be landscaped with large canopy trees to sufficiently reduce glare and radiant heat from the asphalt and to provide visual relief from large stretches of pavement.	✓		
Variation in pavement width, the use of texture and color variation is paving materials, such as stamped concrete, stone, brick, pavers, exposed aggregate, or colored concrete is encouraged in parking lots to promote pedestrian safety and to minimize the visual impact of large expanses of pavement.	✓		
As appropriate to the site use, required landscaped areas next to parking spaces or driveways shall be protected by a minimum six-inch high curb or wheel stop, such as concrete, masonry, railroad ties, or other durable materials.	✓		
Pedestrian Travel Paths			
On-site pedestrian pathways shall be provided from street, sidewalk and parking areas to the central use area. These areas should be delineated from the parking areas by walkways, landscaping, changes in paving materials, narrowing of roadways, or other design techniques.	✓		
Plans for construction of new public facilities and remodeling of existing facilities shall incorporate both architectural barrier removal and physical building design and parking area features to achieve access for the physically disabled.	✓		
Separations between bicycle and pedestrian circulation routes shall be utilized where appropriate.	✓		

FREEDOM COUNTY SANITATION DISTRICT
INTER-OFFICE CORRESPONDENCE

DATE: December 26, 2006

TO: Planning Department, ATTENTION: Joan Van der Hoeven

FROM: Santa Cruz County Sanitation District

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 048-061-05 APPLICATION NO: 06-0694

PARCEL ADDRESS: 217 GREEN VALLEY ROAD, FREEDOM, CA

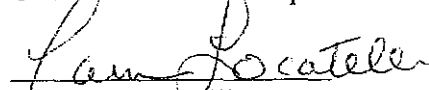
PROJECT DESCRIPTION: CONSTRUCT TWO-STORY OFFICE BUILDING

Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

The plan shall show all existing and proposed plumbing fixtures on floor plans of building application, including existing duplex. Completely describe all plumbing fixtures according to table 7-3 of the uniform plumbing code.

Other: A backflow preventive device may be required.

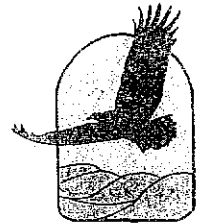

Carmen Locatelli
Sanitation Engineering

CML:bbs/SA53.wpd

c: Planning Department
Applicant: Dee Murray
2272 Kinsley Street
Santa Cruz, CA 95062
Property Owner: Centro Portugues De Nossa Senhora De Fatima Em Wp
P. O. Box 1658
Watsonville, CA 95077

CITY OF WATSONVILLE

"Opportunity through diversity; unity through cooperation"



ADMINISTRATION BUILDING

215 Union Street
Second Floor
Fax 831.761.0736

MAYOR & CITY COUNCIL

215 Union Street
831.728.6006

CITY MANAGER

831.728.6011

CITY ATTORNEY

831.728.6013

CITY CLERK

831.728.6005

PERSONNEL

831.728.6012

CITY HALL OFFICES

250 Main Street

COMMUNITY DEVELOPMENT

831.728.6018

Fax 831.728.6173

FINANCE

831.728.6031

Fax 831.763.4066

PUBLIC WORKS & UTILITIES

831.728.6049

Fax 831.728.4065

PURCHASING

831.728.6029

Fax 831.763.4066

REDEVELOPMENT & HOUSING

831.728.6014

Fax 831.763.4114

AIRPORT

100 Aviation Way

831.728.6075

Fax 831.763.4058

FIRE

115 Second Street

831.728.6060

Fax 831.763.4054

LIBRARY

310 Union Street

831.728.6040

Fax 831.763.4015

PARKS & COMMUNITY SERVICES

50 Maple Avenue

831.728.6081

Fax 831.763.4078

April 15, 2005

Ms. Dee Murray
Land Use Consultant
2272 Kinsley Street
Santa Cruz, CA 95062

Subject: Water Service for APN: 048-061-05

Dear Ms. Murray:

This letter is to inform you that City of Watsonville (City) water may be provided to serve a commercial office building and a meeting hall at APN: 048-061-05 provided the following conditions are met:

1. Each building shall be served by a separate water meter. Complete and submit a water service application to the City of Watsonville. Pay applicable connection, construction, and groundwater impact fees.

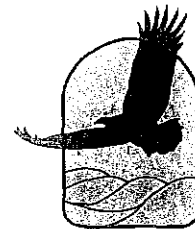
Please contact me at (831) 768-3077 if you have any questions or concerns.

Yours truly,

Joy Bader, Assistant Engineer
Community Development Department

CITY OF WATSONVILLE

"Opportunity through development, unity through cooperation"



ADMINISTRATION
BUILDING
215 Union Street
Second Floor
Tel 831.768.3006
Fax 831.768.3006

Mayor & City Council
315 Union Street
831.768.3008
CITY MANAGER
831.768.3010
CITY ATTORNEY
831.768.3030
CITY CLERK
831.768.3040
PERSONNEL
831.768.3020

CITY HALL OFFICES
250 Main Street

COMMUNITY
DEVELOPMENT
831.768.3050
Fax 831.728.6173

FINANCE
831.768.3450
Fax 831.763.4066
PUBLIC WORKS &
UTILITIES
831.768.3100
Fax 831.763.4065

PURCHASING
831.768.3461
Fax 831.763.4066
REDEVELOPMENT & HOUSING
831.768.3080
Fax 831.763.4114

AIRPORT
100 Aviation Way
831.768.3480
Fax 831.763.4058

FIRE
115 Second Street
831.768.3200
Fax 831.763.4054

LIBRARY
310 Union Street
831.768.3400
Fax 831.763.4015

PARK & COMMUNITY SERVICES
30 Maple Avenue
831.768.3240
Fax 831.763.4078

December 27, 2006

Joan Van der Hoeven
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060

Subject: Development Permit Application No. 06-0694
Site address - 217 Green Valley Road

Dear Ms. Van der Hoeven:

I reviewed the Notification of New Planning Application sent to the City of Watsonville Water Department for the subject project and have the following comments:

General Comment - While the project parcel is within the County, it is located on a City owned portion of Green Valley Road and serviced by City Water and Sewer facilities. Therefore, all encroachments into Green Valley Road and water and sanitary sewer service shall be through the City of Watsonville.

Completeness Item #1 - Provide a plan and verbal description of how and when the rear half of the lot shall be developed. The proposed plan shall indicate how the overall lot development shall allow for existing and proposed driveway configuration, parking space requirements or utility connections.

Compliance Item #1 - Improvements proposed at this time shall allow for a future driveway that shall be aligned with Carnation Drive and minimize any changes in the parking layout. The proposed building configuration does not allow adequate space for a two-lane driveway that would align with Carnation Drive. Several months ago, a representative of the owner contacted the City to discuss driveway requirements. At that time, the City indicated that the existing duplex and proposed office could be serviced from the existing driveway, if the existing driveway was for right turn in and out only, and if the buildings were configured to allow for a future driveway that aligned with Carnation Drive. The proposed plan limits the existing driveway the existing driveway to right turn in and out as requested, but does not address the requirement for the future driveway as requested.

Condition #1 - The existing driveway shall be modified, as needed, to conform with City Public Improvement Standard S-201 and provide disabled access for pedestrians walking along the Green Valley Road sidewalk.

Ms. Joan Van der Hoeven
December 27, 2006
Page 2

Condition #2 – Sidewalk, curb and gutter that are cracked or damaged prior to or during construction shall be repaired or replaced in accordance with City Standards S-101 and S-102.

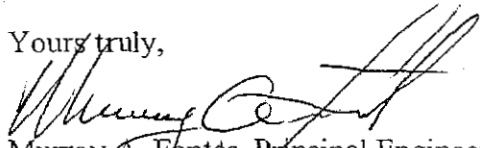
Condition #3 – Applicant shall obtain an On/Off Site Permit from the City of Watsonville for any improvements within the Green Valley Road right of way. This shall include work involving curb, gutter, sidewalk, driveways and sanitary sewer laterals.

Condition #4 – Applicant shall complete and submit a Water Service Application and pay connection, construction and groundwater impact fees to the City of Watsonville for installation of potable water service and fire service. These fees shall be assessed at the time of Water Service Application.

Condition #5 - Applicant shall pay Sanitary Sewer Connection fees to the City of Watsonville at the time of On/Off Site Permit Application.

Please contact me at 831-768-3076 if you have questions.

Yours truly,



Murray A. Fontes, Principal Engineer
Community Development Department

Joan Vanderhoeven

From: Tom Stickel [toms@scmtd.com]
Sent: donderdag 21 december 2006 11:19
To: Joan Vanderhoeven
Subject: APN: 048-061-05, Application: 06-0694

Joan,

METRO requests that the bus stop just south of this project on Green Valley Road be upgraded to an ADA compliant stop, including a shelter and bench.

METRO also notes that since there is only one entrance/egress to the parking area, where the "path of travel" is designated, that there must be enough room to turn around a 27-foot long ParaCruz vehicle.

Thanks,

Tom Stickel
Maintenance Manager
110 B Vernon St.
Santa Cruz, CA. 95060
831-469-1954
FAX 831-469-1958
tstickel@scmtd.com

Project No. SC9330
16 May 2007

CENTRO PORTUGUES DE NOSSA SENHORA DE FATIM
P.O. Box 1658
Watsonville, California 95077

Subject: Feasibility Level Geotechnical Investigation
And Plan Review

Reference: Proposed Office Building and Parking Area
APN 048-061-05
217 Green Valley Road
Watsonville, California

Dear Sirs:

As requested by Mr. Peter Guiley, this letter presents the results of our review of the proposed office building and site improvements at the referenced site. Plans reviewed were by Peter Guiley (Site Plan, Elevations, and Floor Plan), dated 28 August 2006. We have made a preliminary review of the referenced site from a geotechnical perspective. The purpose of this review is to acquaint you with geotechnical issues that may arise in the course of the design of your project. Our observations are based on a review of our files and geological maps, on test borings at the site with hand auger equipment, and on a site reconnaissance.

It is our understanding that the proposed office building will be a two story structure. The first floor will be new construction, and the second floor will consist of an existing house which will be elevated to allow the addition of the lower floor. The footprint of the proposed building is approximately 3400 square feet. Additional proposed improvements consist of a parking lot and a storm water detention system.

Based on review of our files and our observations of the site, we recommend that the following issues be addressed in the design-level geotechnical investigation for this project:

1. The composition and in-situ densities of the subsurface soil indicate the potential for settlement. Subsurface soils are compressible, and any change in the load placed on them can lead to settlement in the near term.

2. Our laboratory analyses of samples collected at the site indicate near-surface soils are of moderate plasticity. The potential for shrinking and swelling of the subsurface soils should be considered. If the groundwater level is consistently high at this site, the near-surface soils should remain saturated, and the potential for shrinking and swelling is minimized. However, high groundwater can make compaction of native soils difficult, especially if attempted during or shortly after the rainy season. No groundwater was encountered in our hand augering at the site.
3. The site is in close proximity to both the San Andreas and Zayante-Vergeles Faults. The presence of soft fine-grained soils beneath stiffer surface soils raises the possibility of strong seismically-induced ground shaking.
4. Liquefaction potential at this site is considered low. We have attached liquefaction potential maps of the site to support this conclusion.
5. The existing grade at the subject site is essentially flat. Care should be taken in designing site drainage so that surface water does not pond adjacent to foundations for this project.

The intent of this letter is to provide a general qualitative assessment of the soil conditions at the subject site. The information herein is based on site observations, laboratory tests, and review of information contained in our files for comparable projects in the neighborhood. Any conclusions and recommendations inferred from conditions at these sites should be verified by a subsurface exploration program and engineering analysis specifically for the project site to verify anticipated conditions.

Based on our field observations and exploratory test borings, it is our opinion that the on-site soils are suitable for the proposed development provided that recommendations for design and construction are generated in a pending geotechnical report. We respectfully request that we be allowed to review project plans and specifications as they become available. It is recommended that a representative of Haro, Kasunich, and Associates be on-site for any subsequent subsurface exploration or excavation so that we may verify that anticipated soil conditions are present throughout the project area.

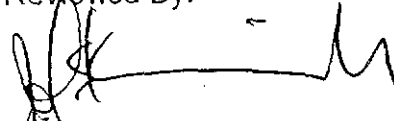
Centro Portugues De Nossa Senhora De Fatim
Project No. SC9330
217 Green Valley Road
16 May 2007
Page 3

Please contact our office if you have any questions about this review. We look forward to being of service to you in the future.

Very truly yours,

Reviewed By:

HARO, KASUNICH AND ASSOCIATES, INC.



John E. Kasunich
C.E. 455

Mike Hopper
Staff Engineer

MH/dk

Attachments: Map
Key to Map

Copies: 2 to addressee
1 to Peter Guiley
1206 Day Valley Ridge
Aptos, California 95003
1 to Kent Edler, C.E. Santa Cruz County Planning Dept.

KEY LIQUEFACTION POTENTIAL M...

The following refers to the map entitled:
**MAPS SHOWING GEOLOGY AND LIQUEFACTION POTENTIAL
 OF
 QUATERNARY DEPOSITS IN SANTA CRUZ COUNTY, CALIFORNIA**
 by
WILLIAM R. DUPRÉ
 (1975)

ZONES OF LIQUEFACTION POTENTIAL

The following zones express the general liquefaction potential of areas underlain by Quaternary deposits in Santa Cruz County. This information is suitable for general land-use planning but it is not authoritative in determining the relative hazard at any particular site. Presence of water in sandy layers near the surface of the ground could make a site highly susceptible to liquefaction during an earthquake even though the geologic unit generally has low potential. Similarly, local dewatering of a sandy deposit by pumping could make a site less susceptible to liquefaction. Site safety with respect to liquefaction should be determined after field investigations by qualified engineering geologists or soils engineers.

- A** HIGH POTENTIAL FOR LIQUEFACTION--Geologic units in this zone include younger flood-plain deposits (Qyf); some of the older flood-plain deposits (Qof) and alluvial deposits (Qal); basin deposits (Qb); beach sand (Qbs); and abandoned channel fill deposits (Qcf)
- B** MODERATELY HIGH POTENTIAL FOR LIQUEFACTION--Geologic units in this zone include some of the older flood-plain (Qof) and alluvial (Qal) deposits; dune sand (Qds); colluvium (Qc); and alluvial fan deposits (Qf)
- C** MODERATELY LOW POTENTIAL FOR LIQUEFACTION--Geologic units in this zone are alluvial fan deposits (Qf); colluvium (Qc); older flood-plain deposits (Qof); and alluvial deposits (Qal)
- D** LOW POTENTIAL FOR LIQUEFACTION--Geologic units in this zone include eolian deposits of Marres Beach (Qem) and Sunset Beach (Qes); terrace deposits (Qwt, Qwa, Qcu, Qce, Qt, and Qcl); Aronas Sand (Qa, Qac, and Qaf); and continental deposits (Qtc)

REFERENCES

- Lawson, A. C., (ed) and others, 1908, The California earthquake of April 18, 1906; report of the state earthquake investigation commission: v. 1 and Atlas, Washington, D.C., Carnegie Inst. Washington Pub. no. 87, 451 p.
- Muir, K. C., 1972, Geology and ground water of the Pajaro Valley area, Santa Cruz and Monterey Counties, California: U.S. Geol. Survey open-file rept., 33 p.
- Youd, T. L., 1973, Liquefaction, flow, and associated ground failure: U.S. Geol. Survey Circ. 688, 12 p.
- Youd, T. L., Nichols, D. R., Melley, E. J., and Lajoie, K. R., 1973, Liquefaction potential of unconsolidated sediments in the southern San Francisco Bay region, California: U.S. Geol. Survey open-file rept., 23 p.

EXHIBIT P

KEY TO LIQUEFACTION POTENTIAL MAP
 217 GREEN VALLEY ROAD
 WATSONVILLE, CALIFORNIA

SCALE	NTS	
DRAWN BY	MH	
DATE	8 MAY 2007	
APPROVED		
JOB NO.	SC 9330	
HARO, KASUNICH & ASSOCIATES, INC.		
GEOTECHNICAL AND COASTAL ENGINEERS		
116 E. LAKE AVENUE, WATSONVILLE, CA 95076		
(831) 722-4175		

FIGURE NO.

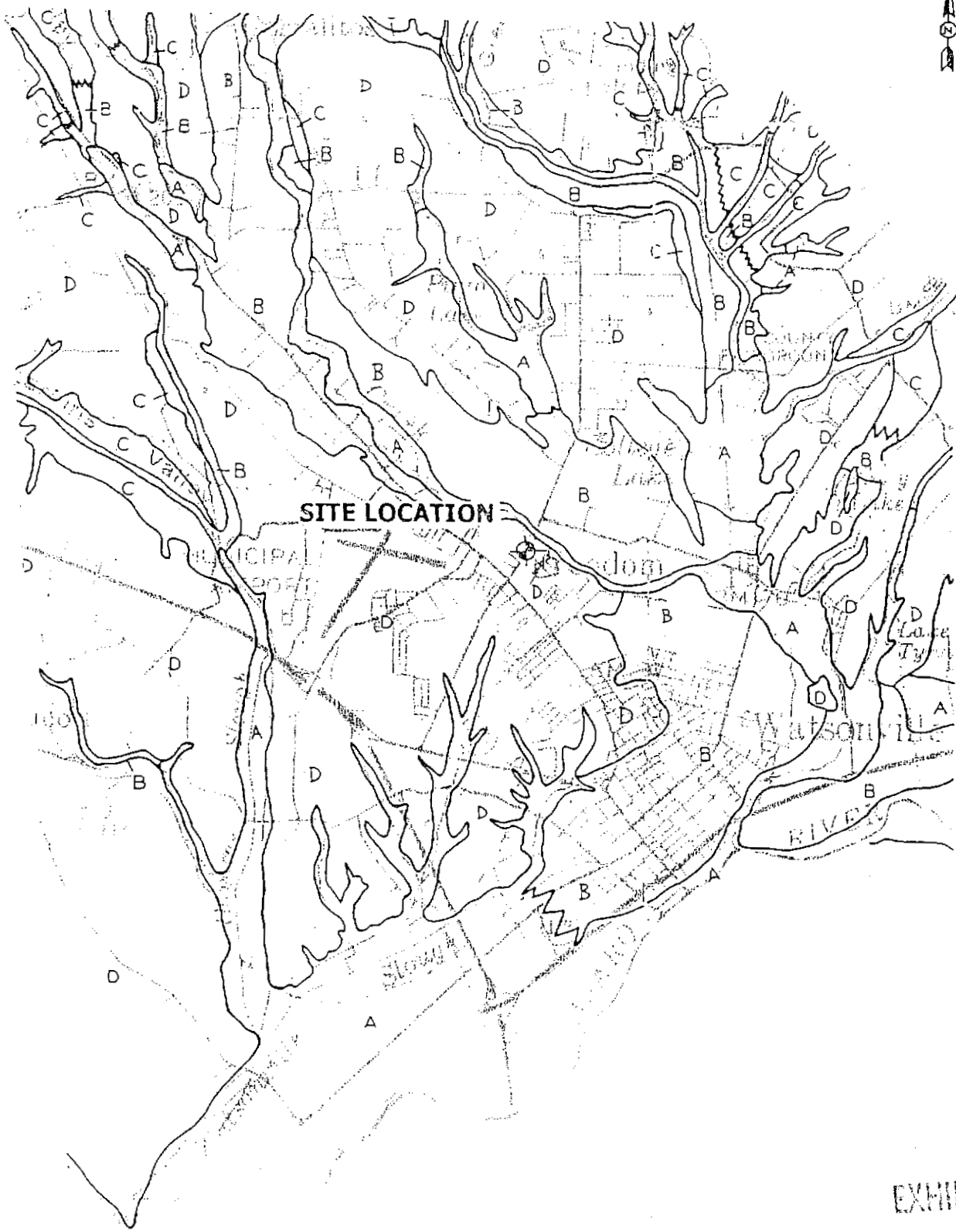


EXHIBIT P

**NOTE: MAP BASED ON MAP SHOWING
GEOLOGY AND LIQUEFACTION POTENTIAL
OF QUATERNARY DEPOSITS IN
SANTA CRUZ COUNTY, CALIFORNIA BY
WILLIAM R. DUPRÉ, DATED 1975**

41 / 45

LIQUEFACTION POTENTIAL MAP			
217 GREEN VALLEY ROAD WATSONVILLE, CALIFORNIA			
Scale	NTS	HARO, KASUNICH & ASSOCIATES, INC. GEOTECHNICAL AND COASTAL ENGINEERS 116 E LAKE AVENUE, WATSONVILLE, CA 95075 (831) 722-1175	FIGURE NO.
Drawn by	MH		
Date	8 MAY 2007		
Job No.	SC 9330		

Project No. SC9330
27 September 2007

CENTRO PORTUGUES DE NOSSA SENHORA DE FATIM
P.O. Box 1658
Watsonville, California 95077

Subject: Addendum to Feasibility Level Geotechnical Investigation

Reference: Proposed Office Building and Parking Area
APN 048-061-05
217 Green Valley Road
Watsonville, California

Dear Sirs:

As requested by Mr. Peter Guiley, this letter presents additional information requested by County of Santa Cruz planners regarding foundation recommendations for the subject site development. Plans reviewed were by Peter Guiley (Site Plan, Elevations, and Floor Plan), dated 28 August 2006. We have made a preliminary review of the feasibility of the project at the referenced site from a geotechnical perspective. The purpose of this letter is to provide you with general recommendations for site preparation and foundation design. Our recommendations are based on a review of our files and geological maps, on Mr. Guiley's plans and information from Mr. Guiley regarding usage and type of construction of the propose building, on test borings at the site with hand auger equipment, and on a site reconnaissance.

It is our understanding that the proposed office building will be a two story structure. The first floor will be new construction, and the second floor will consist of an existing house which will be elevated to allow the addition of the lower floor. The footprint of the proposed building is approximately 3400 square feet. Additional proposed improvements consist of a parking lot and a storm water retention system.

Based on review of our files, our borings, and our observations of the site, we recommend the following:

1. In our previous letter we indicated the composition and in-situ densities of the subsurface soils indicate the potential for settlement and swell. To reduce the amount of settlement and the effects of swell to acceptable levels, we recommend that, after removal of unneeded structures and

trees and stripping of organic-laden topsoil, the upper 36 inches of native soil be removed, blended, moisture conditioned and redensified. The area of redensification should extend at least 5 feet beyond the building perimeter. This redensified zone would provide a uniform mat which would bridge potentially expansive soils below and dampen the effects of shrinkage and expansion.

2. The site is in close proximity to both the San Andreas and Zayante-Vergeles Faults. The presence of soft fine-grained soils beneath stiffer surface soils raises the possibility of strong seismically-induced ground shaking. We are prepared to provide your structural engineer with the appropriate seismic coefficients upon request.
3. Liquefaction potential at this site is considered low. In our previous letter we attached Dupre liquefaction potential maps of the site to support this conclusion. Additional support for this designation may be found in the Geologic Map of Santa Cruz County, California (Brabb 1997) which identifies the soils at the site as fluvial terrace deposits (Qwf) composed of semi-consolidated sands, silts and clays, with a gravel layer at a depth of approximately 50 feet. The upper layers are predominantly clay and cemented sands, confirming the findings of our subsurface borings. An appropriate foundation system for the project, given the low liquefaction potential and the presence of moderately expansive soils, would be either a mat structural slab, or a grid system, if a wood floor is preferred. Either system would allow the building to be re-leveled in the event of differential settlement. Specific design criteria can be provided at your request.

Based on the plans reviewed, we estimate the redensification area to be approximately 45 feet by 110 feet. For a redensified layer 36 inches thick and an expansion factor of 25 percent, we estimate grading quantities to be approximately 700 cubic yards for the building. Additional grading at the site will be minimal due to the essentially flat topography, and will be limited to providing adequate drainage gradients.

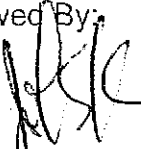
Centro Portugues De Nossa Senhora De Fatim
Project No. SC9330
217 Green Valley Road
27 September 2007
Page 3

Please contact our office if you have any questions about this letter. We look forward to being of service to you in the future.

Very truly yours,

Reviewed By:

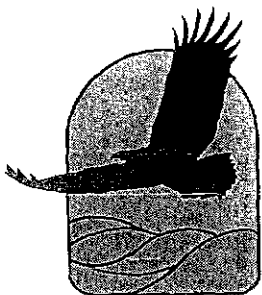
HARO, KASUNICH AND ASSOCIATES, INC.


John E. Kasunich
G.E. 455


Mike Hopper
Senior Field Technician

MH/dk

Copies: 3 to addressee
 1 to Peter Guiley
 1206 Day Valley Ridge
 Aptos, California 95003
 1 to Robert Loveland, County of Santa Cruz Planning Department
 1 to Kent Edler, County of Santa Cruz Planning Department



ENGINEERING COMMENTS/CORRECTIONS
COUNTY PERMIT APPLICATION/REQUEST FOR COMMENT

PC #: 06-0694
Date: June 4, 2007
Subject: Convert residence to office building & 30 Space Parking Lot
Address: 217 Green Valley Road
PC By: Tom Sharp, Senior Engineering Associate, (831) 768-3076

Completeness Items –

1. None.

Compliance Issues –

2. The plans propose buried cistern pipes for the storm drain detention system and a trap for the storm water pollution prevention best management practice. City of Watsonville prefers above ground storage and treatment systems because they are more effective and easier to monitor. The buried systems are accepted when the other option proves infeasible due to space constraints but this site appears to have plenty of room.
3. Sheet C3 shows new ¾" domestic, ¾" irrigation and 4" fire service main connections. Revise plan to show a single 4" fire service main connection and the either 1" or 5/8" domestic and irrigation services connected to the 4" fire service upstream from the water meter (see Water Division Standard Drawing No. 12.20).
4. Sheet C2 show an 8" Storm Drain connecting the last onsite drain inlet and the City Storm Drain. City of Watsonville Public Works Standards requires a minimum 12" diameter PVC or HDPE SDR 26 storm drain pipe.
5. Project fees:
Water Connection and Construction fees:
 5/8" Domestic - \$1,837.32
 5/8" Irrigation - \$1,837.32 (if 1" domestic and irrigation services are required each fee is \$4593.58)
 4" Fire Service - \$5,690.75
Sanitary Sewer Connection fee - \$1684.83
Major Encroachment Permit fee - \$423.50.
Inspection Fees - \$300.50.
Traffic Impact Fee - \$5,895.77.
Underground Utility Fee - \$4,696.50.
Storm Drain Fee – \$12,469.72

Permit Conditions/Additional Information –

6. Please condition permit that applicant shall repair the existing curbs gutters and sidewalks as directed by the Public Works Inspector.

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