



Staff Report to the Zoning Administrator

Application Number: **09-0230**

Applicant: Patrizia Materassi
Owner: Jim & Sallie Bearden
APN: 086-082-22

Agenda Date: 6/3/11
Agenda Item #: 2
Time: After 10:00 a.m.

Project Description: Proposal to construct an approximately 1,455 square foot single family dwelling, a sewer pipeline crossing over an existing unnamed creek, and an approximately 6 foot high retaining wall.

The project requires a Variance to reduce the required 40 foot front yard setback to approximately 2 feet, a Residential Development Permit to increase the wall height in the front yard from 3 feet to 6 feet, and a Riparian Exception.

Location: The property is located on the south side of Big Basin Highway (Hwy 236), approximately 5.8 miles northwest of Highway 9 and Boulder Creek (19515 Big Basin Highway).

Supervisorial District: 5th District (District Supervisor: Mark Stone)

Permits Required: Variance, Residential Development Permit, Riparian Exception

Technical Reviews: Geologic Report Review

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 09-0230, based on the attached findings and conditions.

Exhibits

- | | |
|--|-------------------------------------|
| A. Project plans | E. Assessor's, Location, Zoning and |
| B. Findings | General Plan Maps |
| C. Conditions | F. Comments & Correspondence |
| D. Categorical Exemption (CEQA
determination) | |

Parcel Information

Parcel Size: 3.3 acres
Existing Land Use - Parcel: Vacant
Existing Land Use - Surrounding: Rural residential home sites & timber production
Project Access: Big Basin Highway (Highway 236)
Planning Area: San Lorenzo Valley
Land Use Designation: R-M (Mountain Residential)
Zone District: SU (Special Use)
Coastal Zone: ☐ Inside ☒ Outside

Environmental Information

Geologic Hazards: Geology report reviewed and accepted
Soils: Soils report reviewed and accepted
Fire Hazard: Not a mapped constraint
Slopes: 20-25% at building site
Env. Sen. Habitat: No mapped biotic resource, stream through project site
Grading: 227 cubic yards (cut), 156 cubic yards (fill)
Tree Removal: No trees proposed to be removed (stumps to be removed from building site)
Scenic: Adjacent to a designated scenic roadway (Highway 236)
Drainage: Existing drainage adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Private well
Sewage Disposal: Septic
Fire District: Boulder Creek Fire Protection District
Drainage District: Zone 8 Flood Control District

Project Setting

The subject property is located on the south side of Big Basin Way (Highway 236) and the topography of the property slopes down from the roadway steeply to an unnamed creek that bisects the property. The property has had some historic grading and creation of a pad within the highway right of way for a trailer that was installed on the project site without permits. The trailer has since been removed from the project site and the former trailer site will be restored to a stable condition. The building site for the proposed residence is located to the west of the former trailer site, accessed via the same driveway. Due to the steep slopes down toward the creek, the most appropriate building site is located adjacent to the highway right of way. The site has been historically graded and is located below the grade of the adjacent highway. The subject property is heavily wooded, but the building site has been logged in the past and contains large redwood stumps that are proposed for removal as a component of this project.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 3.3 acres. The property is located in the SU (Special Use) zone district, with a General Plan land use designation of R-M (Mountain Residential), which allows residential uses. The proposed dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's (R-M) Mountain Residential General Plan designation.

The subject property is located within the viewshed of Highway 236, a designated scenic roadway per the County General Plan. The majority of the proposed residence will be located below the grade of the roadway and existing topography and vegetation will screen the proposed residence from public view. The residence, as proposed, is consistent with the County Design Review ordinance and General Plan policies regarding scenic resource protection.

Variance

Due to the steep slopes on the subject property, the location of the unnamed creek, and the stability of the slopes on the subject property, the only suitable building site on the subject property is located at the northern boundary of the property adjacent to the Highway 236 right of way. As a result, the proposed structure would be located within the 40 foot front yard setback. Any attempt to develop in conformance with the required front yard setback would push the residence towards the steeply sloped creek bank and potentially impact the riparian resource. A riparian setback of 50 feet is required from the creek bank, which has some overlap with the required front yard setbacks. As a result of the topography and riparian resource, the residence was proposed to be located in the existing graded area and away from the steeply sloped creek bank. The residence is proposed to be 2 feet from the northern property line and Highway 236 right of way.

The applicant has requested a variance to reduce the required front yard from 40 feet to about 2 feet from the proposed residence (as indicated in Exhibit A). The special circumstances for a variance in this case are the topography of the parcel and the presence of the steeply sloped bank of the unnamed creek that bisects the property. Given these site conditions, it would not be possible to develop the property without both a variance and a riparian exception. For the reasons described above, the requested variance is considered as appropriate and is supported by Planning Department staff.

Riparian Exception

Although the residence was located to avoid encroachment into the riparian buffer, the applicant is requesting a riparian exception for the construction of site improvements, including retaining walls and sanitary waste disposal improvements. Due to the site conditions, the only suitable septic leaching location in the proximity of the proposed residence is on the opposite side of the creek. The sanitary sewer line would be suspended above the creek to a septic leaching location on the opposite side (as indicated in Exhibit A). The proposed riparian exception has been reviewed by Environmental Planning staff and findings have been prepared. Due to the steep slopes on the subject property and the narrow developable area between the unnamed creek and the property boundary, it would not be possible to develop the property without a riparian

exception. For this reason, the requested riparian exception is considered as appropriate and is supported by Planning Department staff.

Retaining Walls within Front Yard Setback

The project includes retaining walls in excess of 3 feet in height within the required front yard setback. The retaining walls to support the residential building site are located below the grade of the adjacent roadway on a descending slope and are not considered as over-height as a result. Due to the location of an existing utility pole, the retaining wall to the east of the driveway will be approximately 5 feet in height facing the public roadway. The California Department of Transportation (CalTrans) has reviewed the driveway and improvement plans for this proposal and has accepted the preliminary designs. An encroachment permit from CalTrans will be required for this project to construct the proposed improvements.

Geologic and Soils Report Reviews

The County Geologist has reviewed the geologic and geotechnical reports for this application. Although the project is located in an area of steep slopes with potential for slope failure, conformance to the requirements of the technical reports will provide an adequate level of safety for the proposed residential development.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **09-0230**, based on the attached findings and conditions.

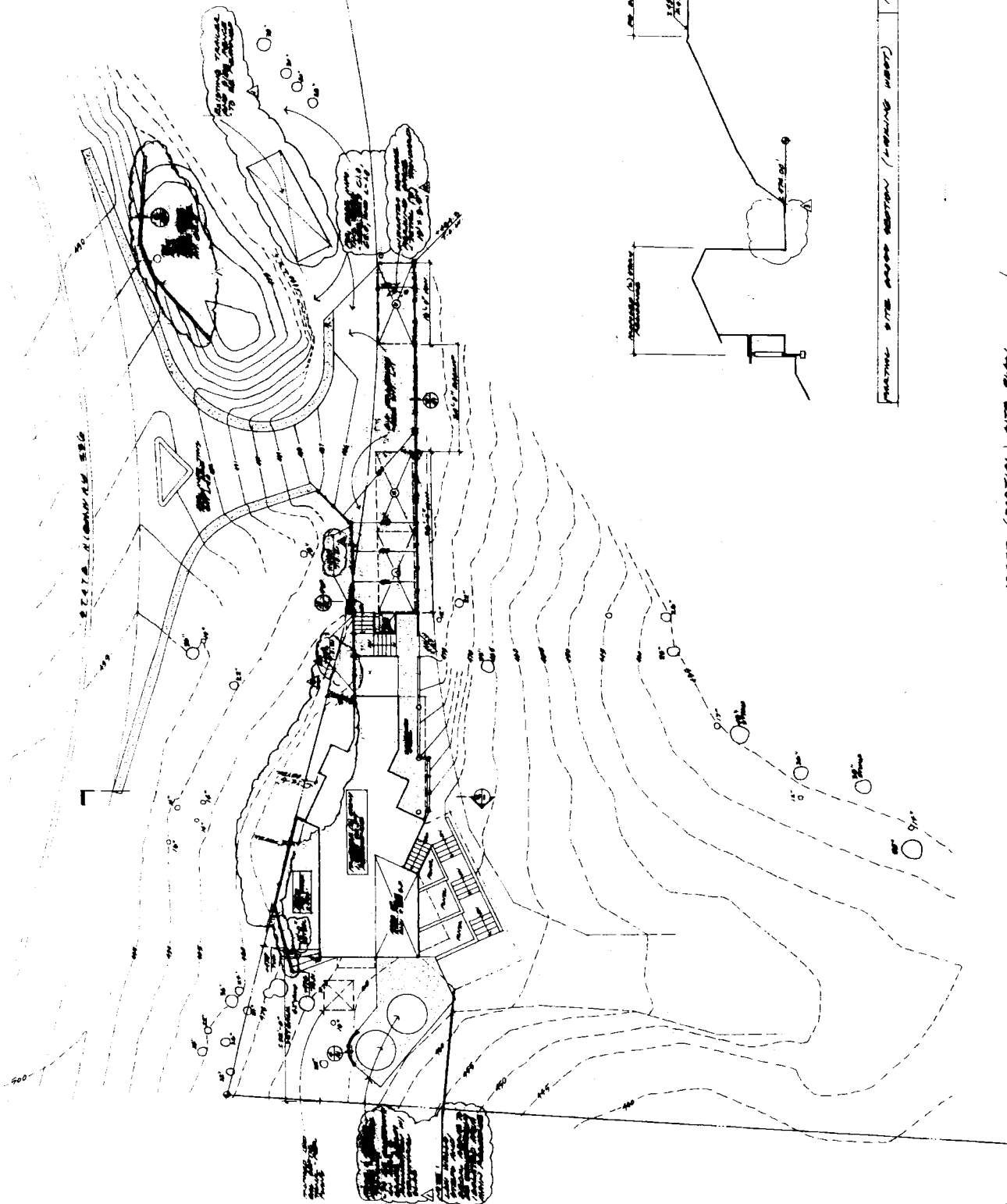
Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Application #: 09-0230
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Owner: Jim & Sallie Bearden

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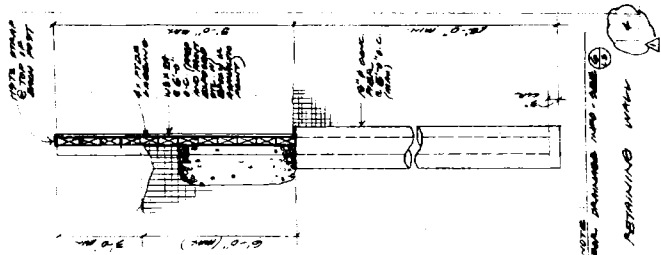
ENLARGED (PARTIAL) SITE PLAN

DATE	NAME
5-27-2009	WATKINS
6-1-2010	WATKINS
6-1-2010	WATKINS
6-1-2011	WATKINS

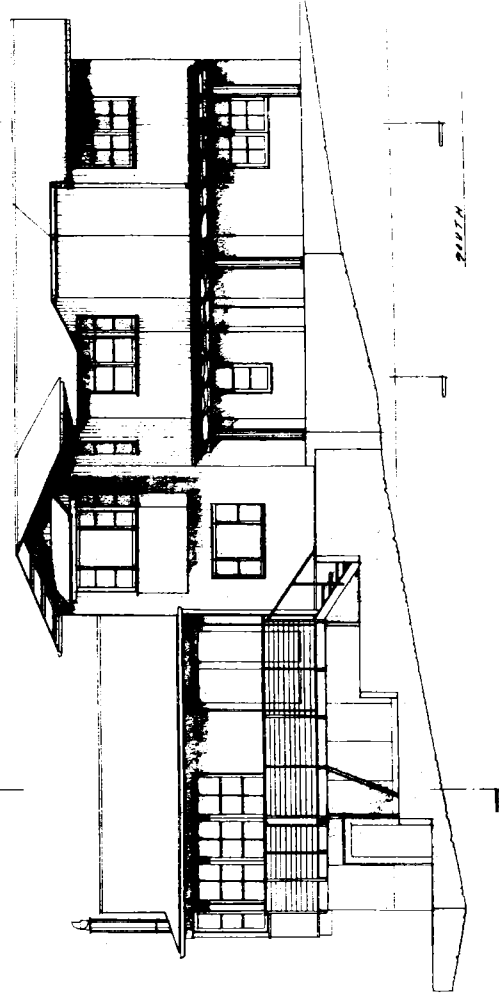


BEARDEN RESIDENCE
APN: 086-082-22

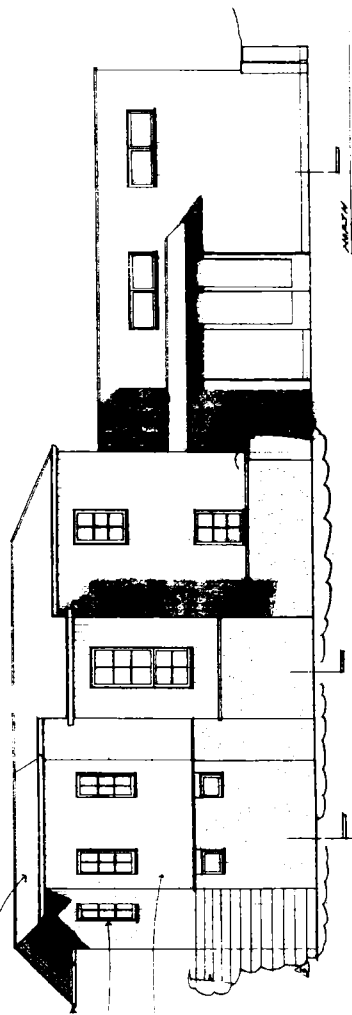
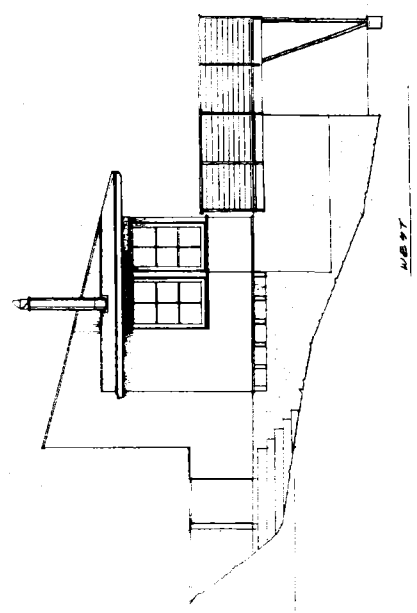
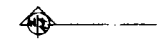
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California
95078
David Wendt Art
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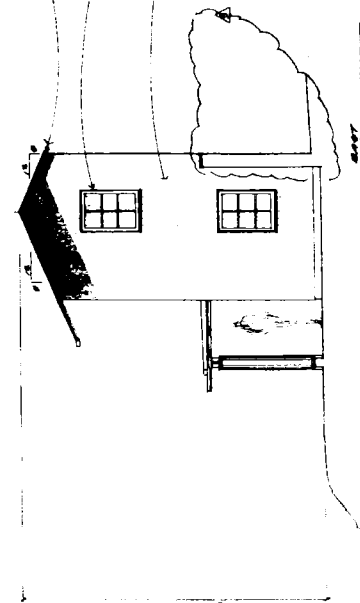


INTERIOR ELEVATIONS

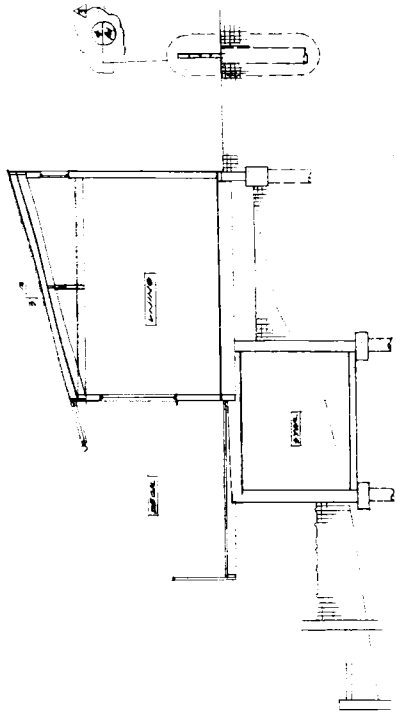
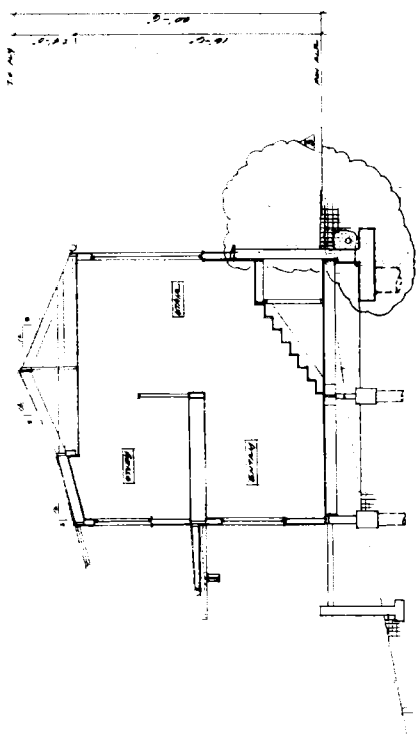


BTCLAR BLUE VANTAGE

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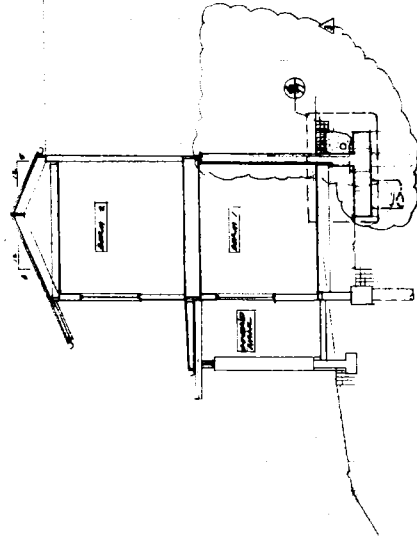
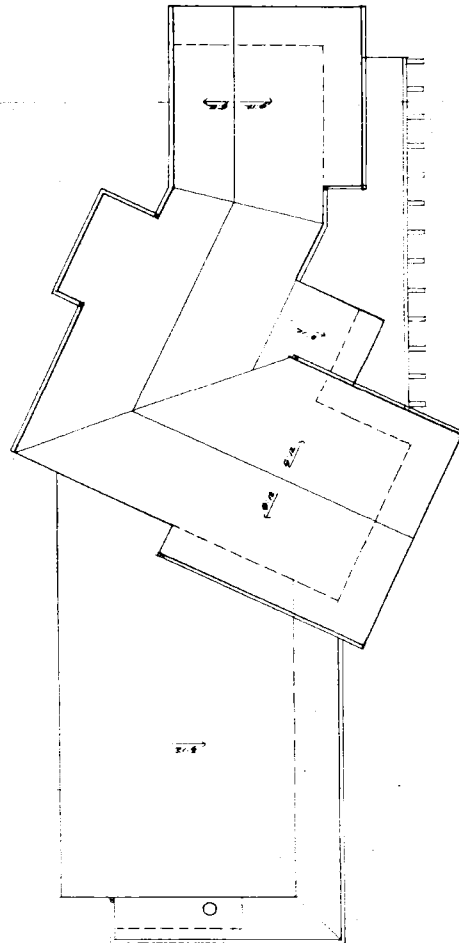


DATE	NAME
5.27.2007	VARUN
1/1/2007	VARUN
11.20.11	VARUN



CROSS SECTION

CROSS SECTION



CROSS SECTION

DATE	BY	REVISIONS
5-27-2009	ARCHITECT	REVISIONS
7-17-2010	ARCHITECT	REVISIONS
3-11-2011	ARCHITECT	REVISIONS

ROOF PLAN

BEARDEN RESIDENCE
APN: 088-082-22

A4

A. Community Design Issues

[illegible]

B. Site

	YES	NO
1. Repaired for the construction and demolition waste (RDW)		
2. Demolished		
3. Demolished		
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C. Foundation

	YES	NO
1. I have a clear understanding of the organization's mission and vision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. I am committed to the organization's values and principles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. I understand the organization's strategic goals and objectives.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. I am familiar with the organization's policies and procedures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. I have a good working relationship with my colleagues.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. I am able to work effectively under pressure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. I am able to manage my time effectively.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. I am able to communicate effectively with others.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. I am able to solve problems effectively.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. I am able to work independently.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. I am able to take initiative.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. I am able to learn from my mistakes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. I am able to adapt to change.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. I am able to work in a team.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. I am able to manage my emotions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. I am able to maintain a positive attitude.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. I am able to handle criticism.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. I am able to give feedback to others.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. I am able to accept feedback from others.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. I am able to work with diversity.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
21. I am able to work in a multicultural environment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
22. I am able to work in a global environment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. I am able to work in a fast-paced environment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. I am able to work in a high-pressure environment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. I am able to work in a team that is under stress.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. I am able to work in a team that is under pressure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
27. I am able to work in a team that is under strain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
28. I am able to work in a team that is under tension.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
29. I am able to work in a team that is under stress, pressure, strain, and tension.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
30. I am able to work in a team that is under stress, pressure, strain, and tension, and is also able to manage my emotions, maintain a positive attitude, handle criticism, give feedback, accept feedback, work with diversity, work in a multicultural environment, work in a global environment, work in a fast-paced environment, work in a high-pressure environment, work in a team that is under stress, work in a team that is under pressure, work in a team that is under strain, and work in a team that is under tension.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

D. Structural Frame

[illegible]

E. Exterior Finish

	YES	NO
1. Use antistatic safety materials		<input checked="" type="checkbox"/>
A. Encrypted content		<input checked="" type="checkbox"/>
B. PFC-coated metal		<input checked="" type="checkbox"/>
2. Use non-ODG transport vessel		<input checked="" type="checkbox"/>
A. Non-ODG transport vessel		<input checked="" type="checkbox"/>
3. Use alternatives using materials		<input checked="" type="checkbox"/>
A. Encrypted content		<input checked="" type="checkbox"/>
B. Fluorocarbon		<input checked="" type="checkbox"/>
C. Earth rotor printer		<input checked="" type="checkbox"/>

F. Plumbing

	YES	NO
1. frequency of hot water pipes	✓	
2. number of water closets in kitchen	✓	
3. number of water closets in bathroom	✓	
4. fireplace	✓	
5. stove/wood	✓	
6. radiated heat back boiler	✓	
7. radiated heat from kitchen	✓	
8. radiated heat from bathroom	✓	
9. radiated heat from kitchen	✓	
10. radiated heat from bathroom	✓	
11. radiated heat from kitchen	✓	
12. radiated heat from bathroom	✓	

G. Electrical

	YES	NO
1. install advanced fluorescent light bulbs - CFL's	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. install all light fixtures compatible recommended ballasts for CFL's (7-34 required)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. install lighting controls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. install high efficiency ceiling fans with CFL's	<input checked="" type="checkbox"/>	<input type="checkbox"/>

H. Appliances

	YES	NO
1. I used GIBNEY STAR dishwasher	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. I used automatic milk washing machine	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. Insulation

	YES	NO
1. Upgrades insulation to meet the 24 requirements for 20%.		
A. Walls		
B. Ceilings		
C. Roof		
2. Used spray-foam, extruded polystyrene, rigid foam insulation		
3. Used spray-foam, extruded polystyrene, rigid foam insulation		
4. Use environmentally preferable insulation (cellulose-based, loose-fill, perlite-based, polyurethane)		
A. Walls		
B. Ceilings		
C. Roof		

J. Windows

	YES	NO
1. Used energy-efficient devices		
A. Double-paneled		
B. Triple-paneled		
C. Low-irradiance (Low-E)		
D. Low-emissivity Insulation		

K. Heating Ventilation and Air Conditioning

[illegible]

L. Renewable Energy and Roofing

[illegible]

M. Natural Heating and Cooling

YRS	MO
✓	✓
✓	✓

N. Indoor Air Quality and Finishes

1	Isolated, stable, highly sensitive system	YES
2	Use low / no VOC paint	
3	Use low VOC, water based wood finishes	
4	Use solvent-free adhesives	
5	Formulate with low particulates	
6	Use ultraviolet grade chemicals for interior uses	
7	Use formaldehyde-free MOF and resins/urea	
8	Use formaldehyde-free MOF and resins/urea	
9	Use all certified particulate-free or MAP	
10	Use PBC certified materials for interior work	
11	Use PBC certified materials for exterior work	

O. Flooring

[illegible]

P. Other

YES	<p>1. International listing of goods features less error of description</p> <p>2. Detailed harmonization of UIC of Origin Problems and Results</p> <p>3. Energy ratings. Every 1% reduction in whole house energy consumption will result in a 1% reduction in the cost of energy</p> <p>4. New Cultural Heritage Inventory</p> <p>5. These approaches will meet environmental goals outlined in the National Environmental Policy Act (NEPA)</p> <p>6. The following are the results of the studies:</p> <ul style="list-style-type: none"> a. Acoustic, lighting, and ventilation building b. Acoustic, lighting, and ventilation building c. Acoustic, lighting, and ventilation building d. Acoustic, lighting, and ventilation building e. Acoustic, lighting, and ventilation building f. Acoustic, lighting, and ventilation building g. Acoustic, lighting, and ventilation building h. Acoustic, lighting, and ventilation building i. Acoustic, lighting, and ventilation building j. Acoustic, lighting, and ventilation building k. Acoustic, lighting, and ventilation building l. Acoustic, lighting, and ventilation building m. Acoustic, lighting, and ventilation building n. Acoustic, lighting, and ventilation building o. Acoustic, lighting, and ventilation building p. Acoustic, lighting, and ventilation building q. Acoustic, lighting, and ventilation building r. Acoustic, lighting, and ventilation building s. Acoustic, lighting, and ventilation building t. Acoustic, lighting, and ventilation building u. Acoustic, lighting, and ventilation building v. Acoustic, lighting, and ventilation building w. Acoustic, lighting, and ventilation building x. Acoustic, lighting, and ventilation building y. Acoustic, lighting, and ventilation building z. Acoustic, lighting, and ventilation building
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PROPERTY COUNTY OF SANTA CRUZ, GREEN HARBOR, CHECK-107

The image shows a document page, likely a ledger or form, with a high-contrast, black and white appearance. The page is heavily degraded, showing significant vertical banding and horizontal streaks. The content is mostly illegible due to the poor quality of the scan. The page appears to be a continuation of a form or ledger from the previous page, with various fields and lines visible. The right edge shows a vertical strip of text, likely a page number or header.

PROPOSED 'BUILD IT OR BUY' CHECKLIST

DATE	10/01/85
BY	10/01/85



A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P

GRADING PLAN LAYOUT
AND RETAINING WALLS

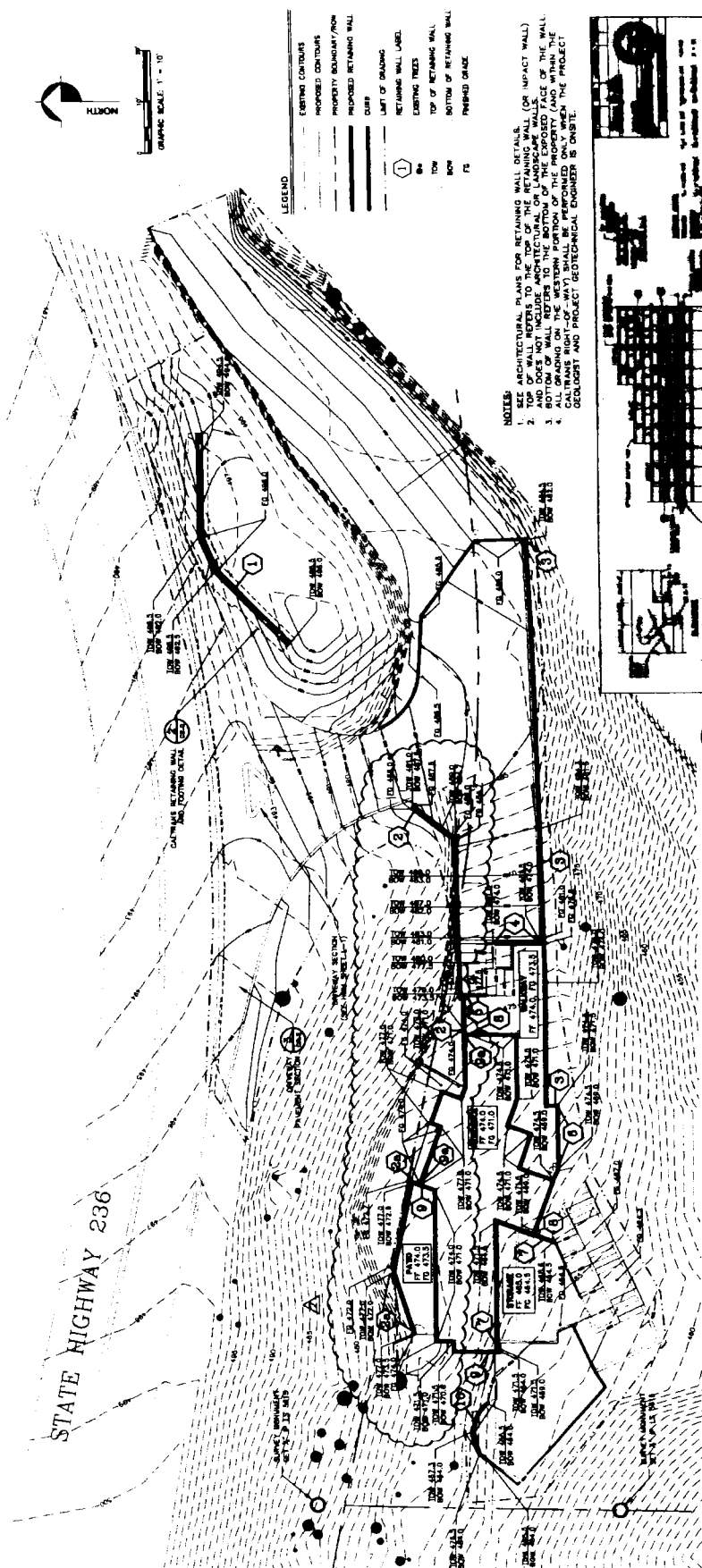
JIM BEARDEN
1141 WICKHAM WAY
MILITAS, CALIFORNIA 90055-3419

BEARDEN RESIDENCE
191515 BIC BASIN WAY
BOULDER CREEK, CALIFORNIA
APN 086-082-22



DATE	1/17/88
BY	JMB
CHECKED BY	JMB
SCALE	AS SHOWN
PROJECT NO.	88-001
SHEET NO.	1 OF 1

C2.0



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPERTY BOUNDARY/POW
 - PROPOSED RETAINING WALL
 - CLIP
 - LEFT OF GRADING
 - RETAINING WALL LABEL
 - EXISTING TREES
 - TOP OF RETAINING WALL
 - BOTTOM OF RETAINING WALL
 - FINISHED GRADE

- NOTES**
1. SEE ARCHITECTURAL PLANS FOR RETAINING WALL DETAILS.
 2. TOP OF WALL TO BE TO ARCHITECTURAL OR LANDSCAPE WALLS.
 3. BOTTOM OF WALL TO BE TO THE EXPOSED FACE OF THE WALL.
 4. ALL GRADING (TOP OF WALL) SHALL BE PERFORMED ONLY WHEN THE PROJECT GEOLOGIST AND PROJECT GEOTECHNICAL ENGINEER IS ON SITE.

GRADING PLAN AND RETAINING WALLS
SCALE: 1" = 10'

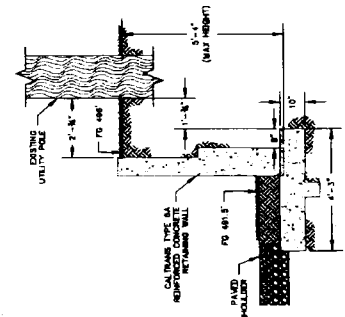
PRELIMINARY GRADING QUANTITIES

CUT	227.36 CY
FILL	156.32 CY
NET	71.07 CY FILL

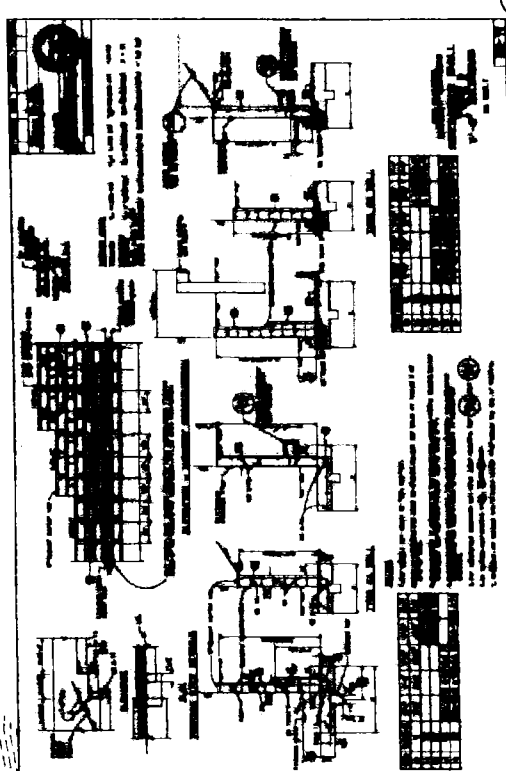
RETAINING WALL SCHEDULE

RETAINING WALL	LENGTH (FT)	MAXIMUM EXPOSED HEIGHT (FT)	DETAIL LABEL	DETAIL LOCATION
1	32.0	3.0	RETAINING WALL	ARCHITECTURAL (A)
2	32.0	3.0	RETAINING WALL	ARCHITECTURAL (A)
3	32.0	3.0	RETAINING WALL	ARCHITECTURAL (A)
4	81.1	7.5	RETAINING WALL	ARCHITECTURAL (A)
5	4.5	3.5	RETAINING WALL	ARCHITECTURAL (A)
6	18.2	5.5	RETAINING WALL	ARCHITECTURAL (A)
7	37.1	7.5	CONCRETE RETAINING WALL	ARCHITECTURAL (A)
8	24.3	3.5	CONCRETE RETAINING WALL	ARCHITECTURAL (A)
9	44.3	7.5	CONCRETE RETAINING WALL	ARCHITECTURAL (A)
10	34.3	6.0	CONCRETE RETAINING WALL	ARCHITECTURAL (A)
11	12.1	3.5	CONCRETE RETAINING WALL	ARCHITECTURAL (A)

ALL WALLS SHALL BE ALSO CONSIDERED IMPACT WALLS. IMPACT WALLS HAVE TOP 5' ABOVE FINISHED GRADE. SEE DETAIL FOR WALLS TO BE BEING DEVELOPED.

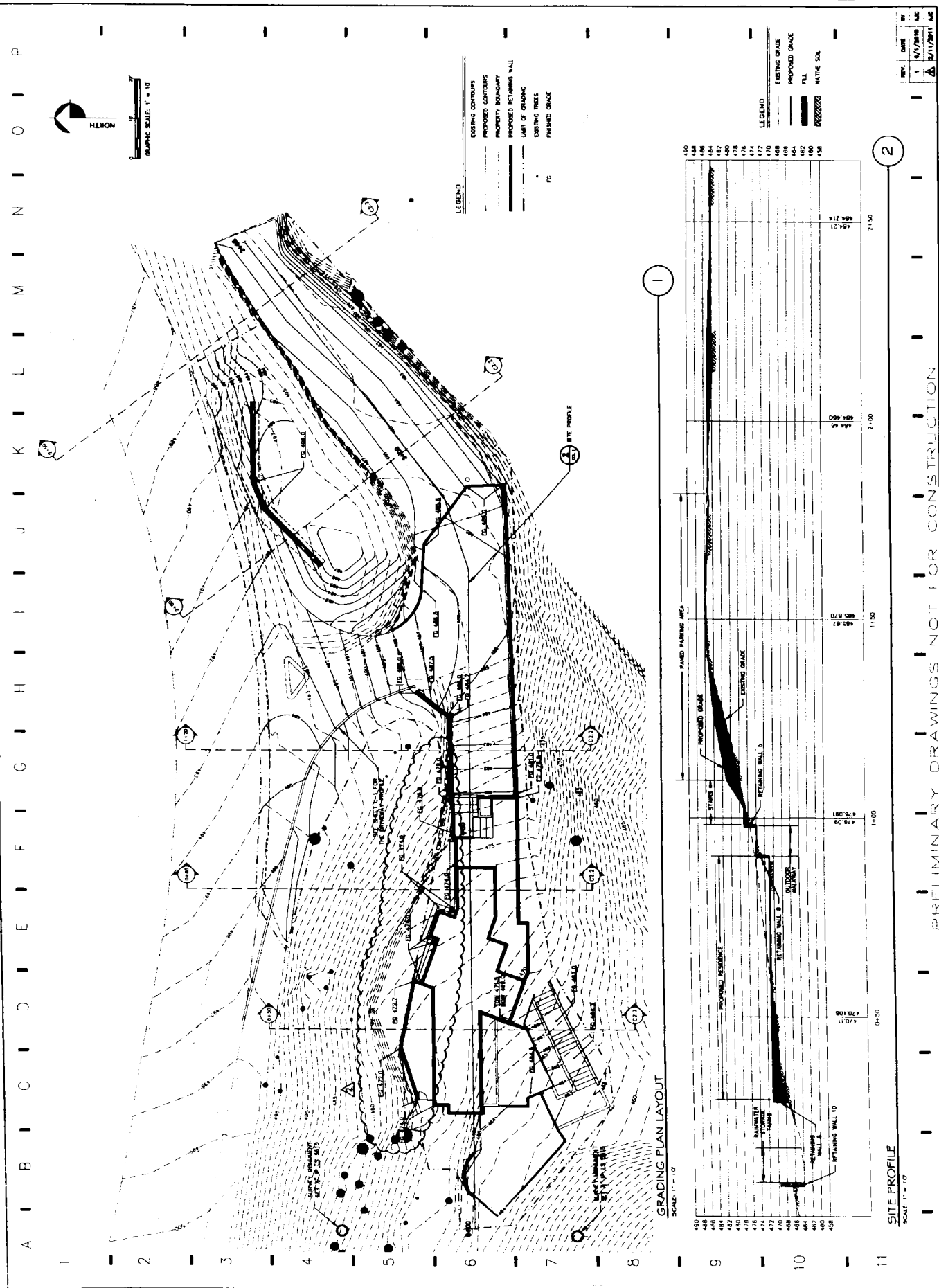


CALTRANS RETAINING WALL AND FOOTING
CALTRANS WALL TYPE GA

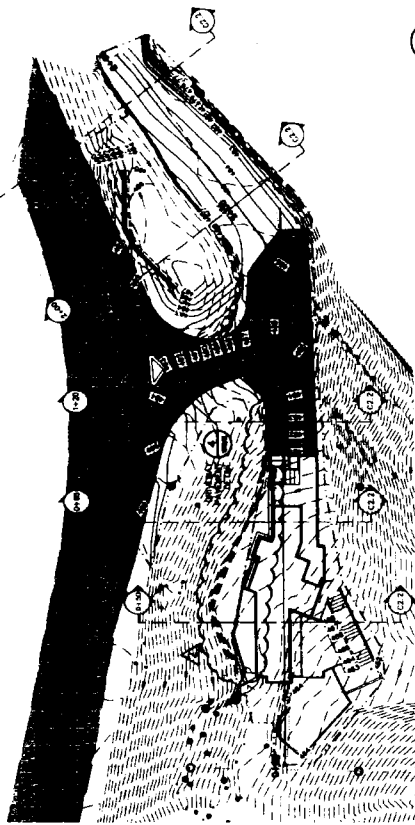


CALTRANS RETAINING WALL TYPE GA
CALTRANS WALL STANDARD PLAN 88-11

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

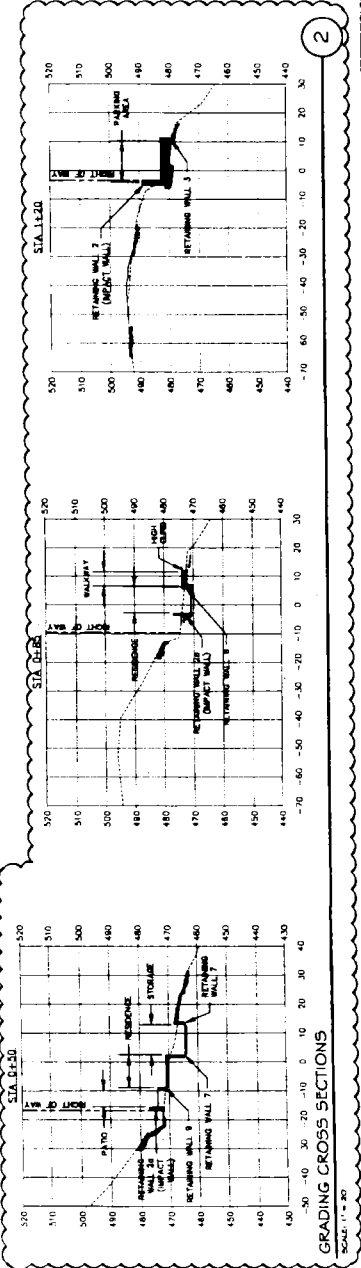


A B C D E F G H I J K L M N O P

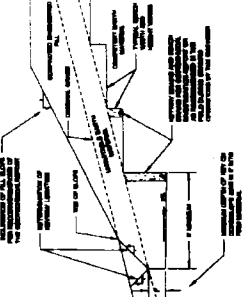


LEGEND
EXISTING CONTOURS
PROPOSED CONTOURS
PROPERTY BOUNDARY
PROPOSED RETAINING WALL
LIMIT OF GRADING
CUTS
EXISTING TREES

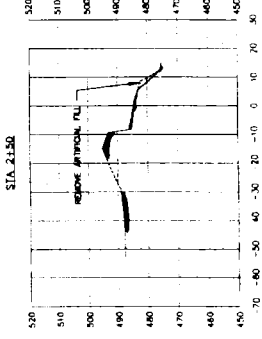
GRADING PLAN LAYOUT
SCALE: 1" = 20'



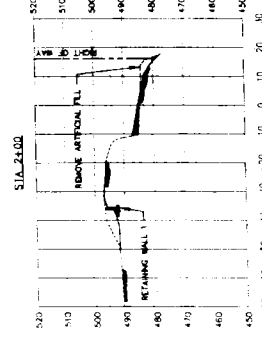
GRADING CROSS SECTIONS
SCALE: 1" = 20'



TYPICAL FILL SLOPE DETAILS
SCALE: 1" = 20'



DRIVEWAY PAVEMENT SECTION
SCALE: 1" = 20'



GRADING CROSS SECTIONS (CONTINUED)
SCALE: 1" = 20'

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

A B C D E F G H I J K L M N O P

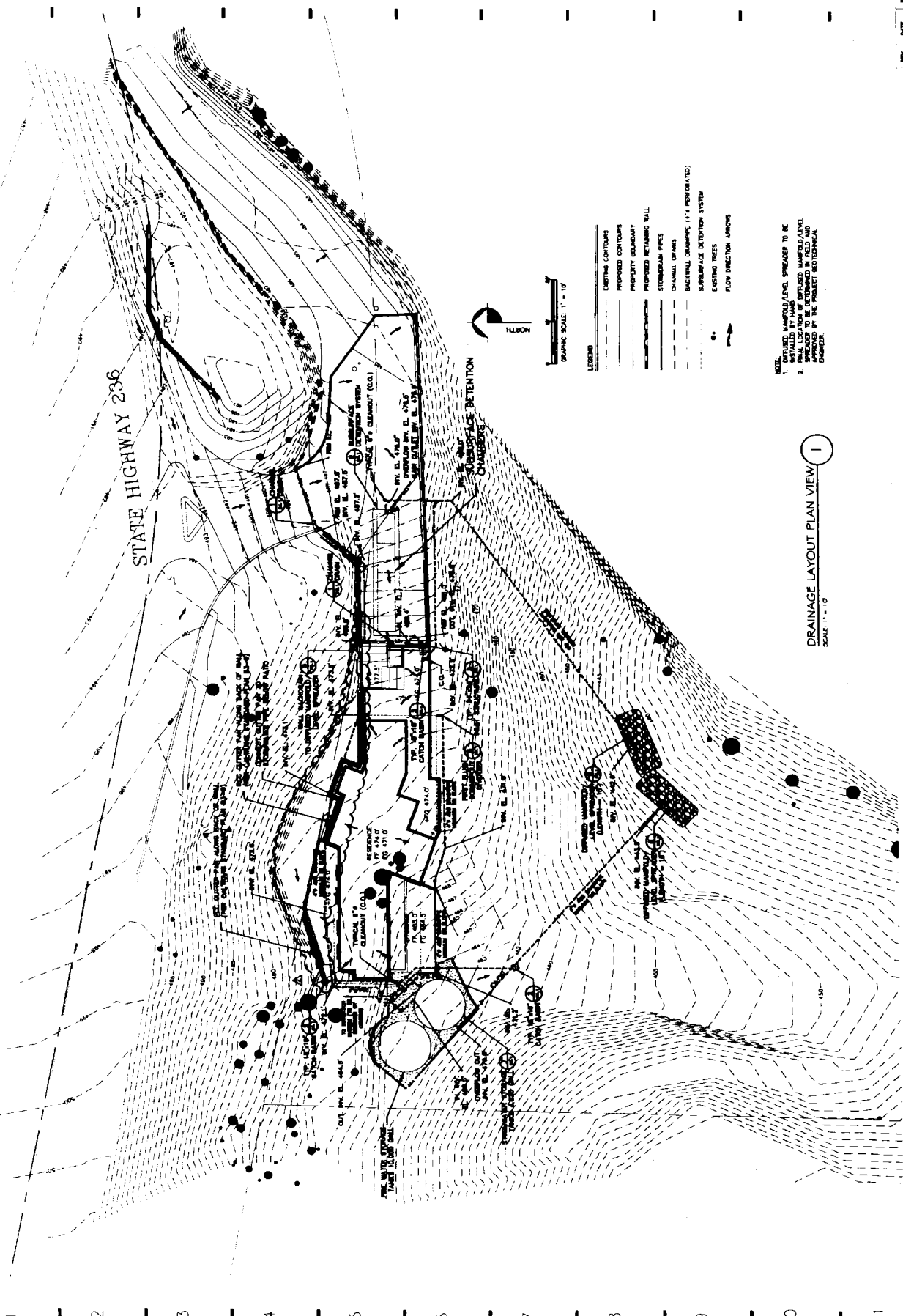
DRAINAGE PLAN
LAYOUT

JIM BEARDEN
1141 NICKLAUS WAY
MILPITAS, CALIFORNIA 95035-3419

BEARDEN RESIDENCE
19515 BIG BASIN WAY
BOULDER CREEK, CALIFORNIA
APN 066 092 22



SCALE: 1" = 10'
DATE: 1/1/2011
BY: JMB



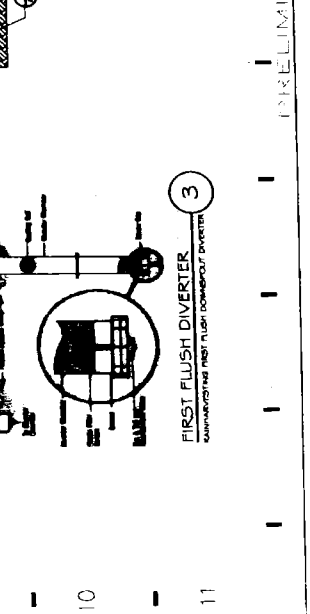
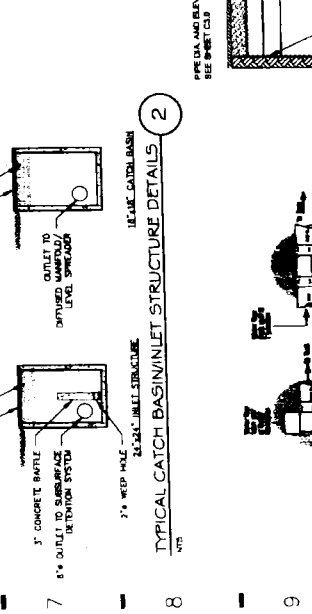
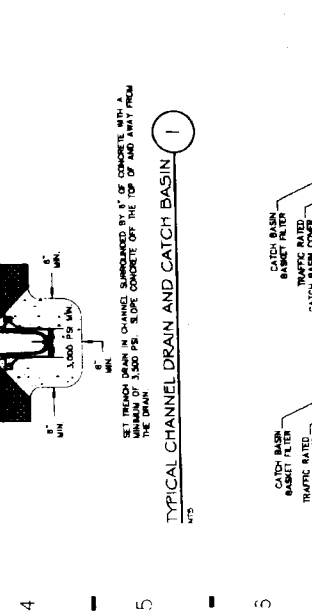
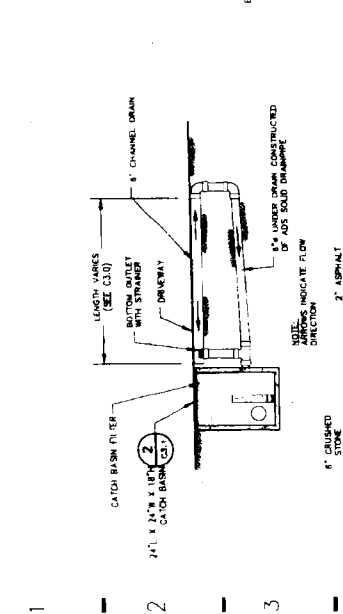
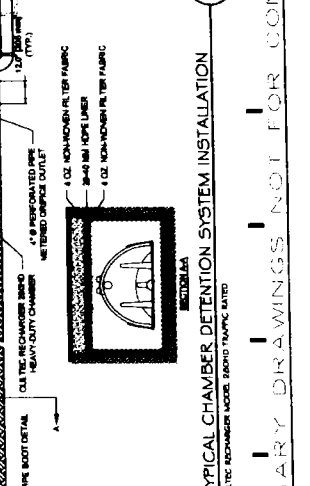
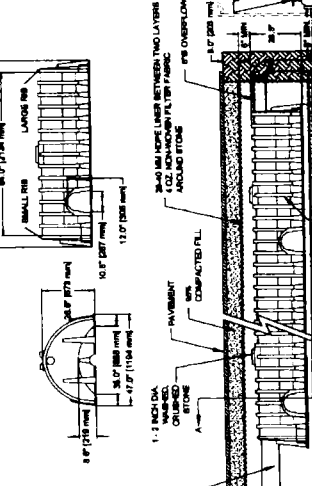
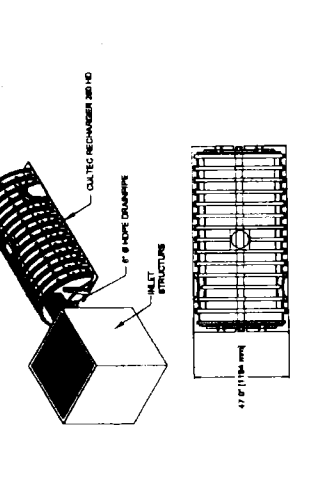
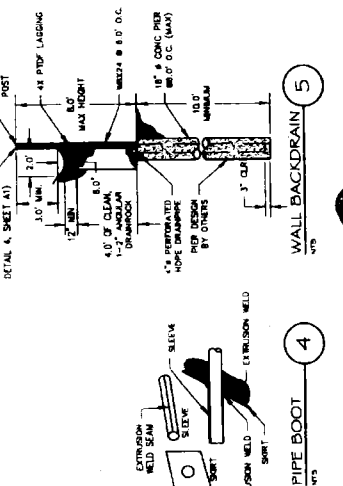
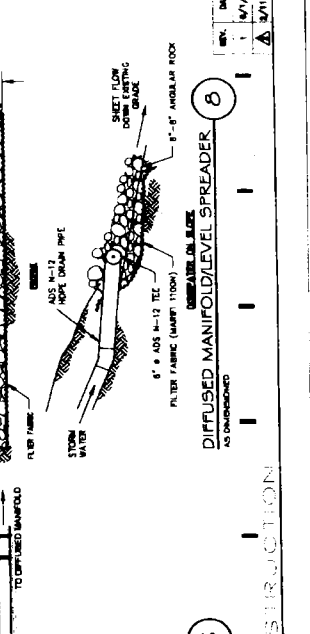
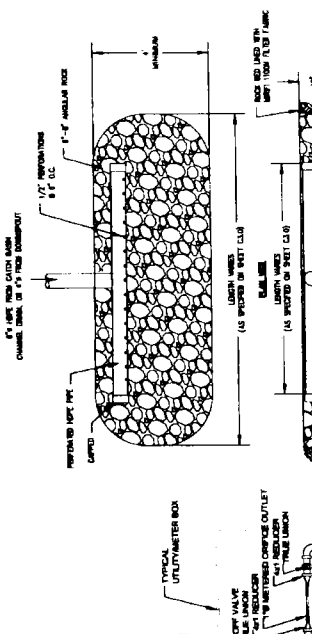
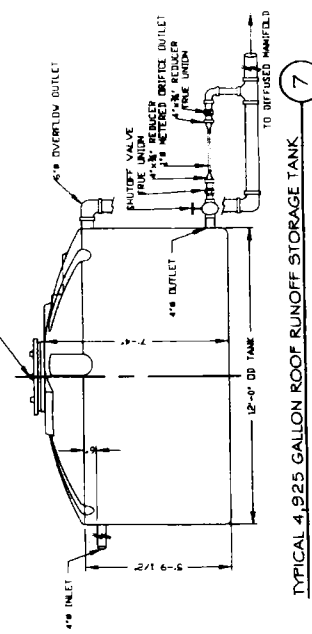
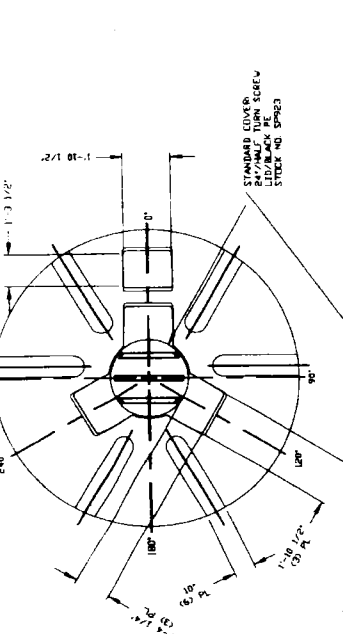
- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPERTY BOUNDARY
 - PROPOSED RETAINING WALL
 - STORMWATER PIPES
 - CHAINED DRAINAGE
 - SUBSURFACE RETENTION SYSTEM
 - EXISTING TREES
 - FLOW DIRECTION ARROWS

NOTE:
1. EXISTING MANHOLE/LINE SPREADER TO BE
REMOVED BY OWNER.
2. EXISTING MANHOLE/LINE SPREADER TO BE
REMOVED BY OWNER.
3. EXISTING MANHOLE/LINE SPREADER TO BE
REMOVED BY OWNER.

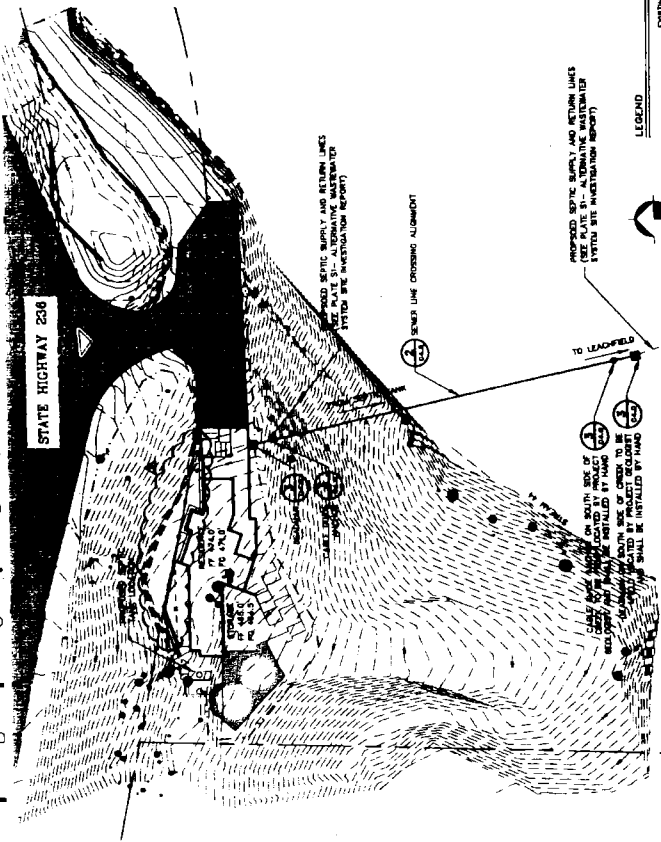
DRAINAGE LAYOUT PLAN VIEW - 1
SCALE: 1" = 10'

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

A B C D E F G H I J K L M N O P



A B C D E F G H I J K L M N O P

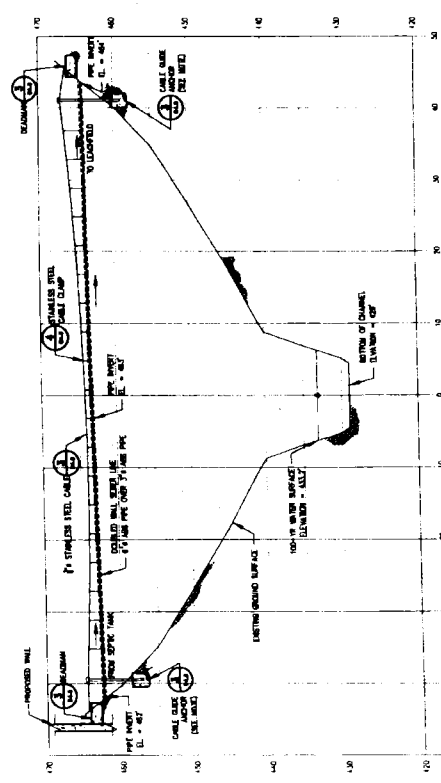


SEWER LINE CROSSING LAYOUT 1

SCALE: 1" = 20'

LEGEND

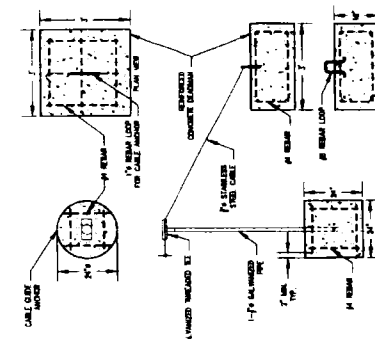
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- PROPOSED RETAINING WALL
- LIMIT OF GRADING
- EXISTING TREES



SEWER LINE CROSSING STRUCTURE 2

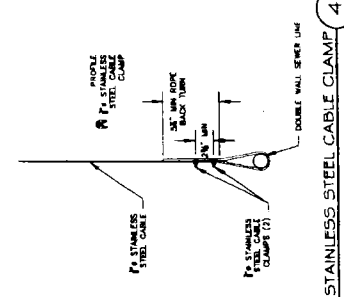
SCALE: 1" = 20'

NOTE: CABLE CURVE CONCRETE BASE TO BE BURIED INTO ROCK AS APPROVED BY GEOTECHNICAL ENGINEER



PIPE SUPPORT DETAILS 3

SCALE: 1" = 2'



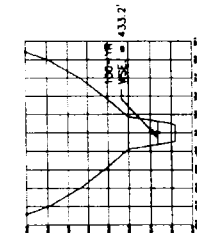
STAINLESS STEEL CABLE CLAMP 4

SCALE: 1" = 2'



WATERSHED FOR STREAM 44

USGS TOPOGRAPHIC MAP



USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

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USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

USGS NATIONAL MEAN SEA LEVEL ELEVATIONS

HYDRAULIC CALCULATIONS AND RESULTS 5

SCALE: 1" = 20'

WATERSHED FOR STREAM 44

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

USGS TOPOGRAPHIC MAP

MP - Landscape Architecture
 435 Canyon Valley Road, Box 4512
 Boulder, CO 80501
 Phone: (811) 444-1428
 Web: www.mpl.com

DATE: 02-11-2011

SCALE: As Noted

DRAWN BY: MCH



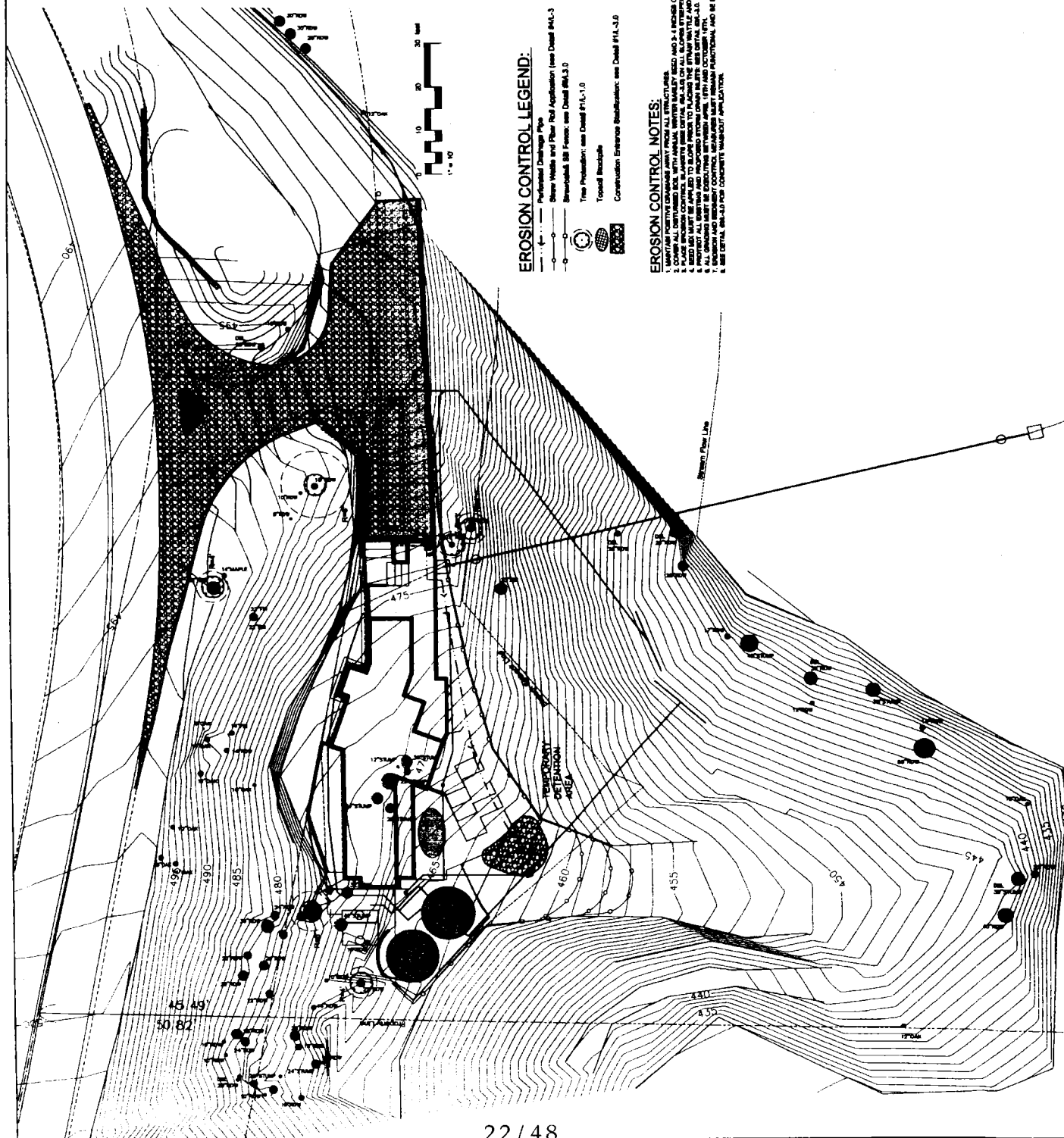
PROJECT CONTACT:
 Applied Representatives
 Patrick McNeill
 Landscape Consultant/
 Sustainability Specialist
 PO Box 95287
 Boulder, CO 80507
 Phone: (811) 334-2383
 Email: pmcneill@ar.com

PROJECT TITLE:
**Bearden
 Project**
 10015 Big Basin Way
 Boulder Creek, CO
 A.P.N.: 066-082-022



SHEET TITLE:
**Erosion
 Control Plan**

SHEET #
L-2.0



EROSION CONTROL LEGEND:

- Perforated Drainage Pipe
- Stone Walls and Filter Rod Application (see Detail #A1.3)
- Reinforced Silt Fence (see Detail #B1.3.0)
- Tree Protection (see Detail #F1.1-1.8)
- Topsoil Replenishment
- Construction Entrance Stabilization (see Detail #H1.3.0)

EROSION CONTROL NOTES:

1. MAINTAIN EXISTING TERRACE GRADIENT FROM ALL STRUCTURES.
2. COVER ALL DISTURBED SOIL WITH ANIMAL WASTE BARRIER AND 3-4 INCHES OF STRAW MULCH.
3. MAINTAIN MULCH AND BARRIER IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD.
4. MAINTAIN MULCH AND BARRIER IN PLACE PRIOR TO PLACING THE STRAW MULCH AND TREE MULCH.
5. MAINTAIN MULCH AND BARRIER IN PLACE PRIOR TO PLACING THE STRAW MULCH AND TREE MULCH.
6. MAINTAIN MULCH AND BARRIER IN PLACE PRIOR TO PLACING THE STRAW MULCH AND TREE MULCH.
7. MAINTAIN MULCH AND BARRIER IN PLACE PRIOR TO PLACING THE STRAW MULCH AND TREE MULCH.
8. MAINTAIN MULCH AND BARRIER IN PLACE PRIOR TO PLACING THE STRAW MULCH AND TREE MULCH.

Landmark Industries
455 Canyon del Rio Blvd. Box 8512
Monterey, CA 93940
Phone: (831) 484-1428
Web: www.appl.com

DATE: 05-11-2011
SCALE: As Noted
DRAWN BY: MCV



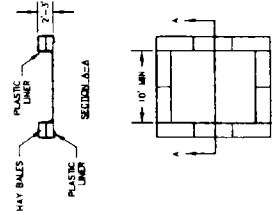
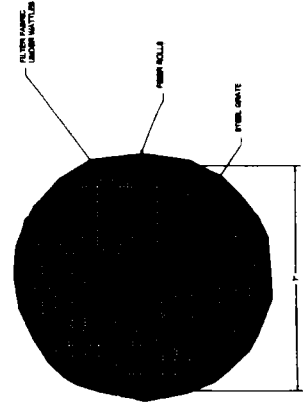
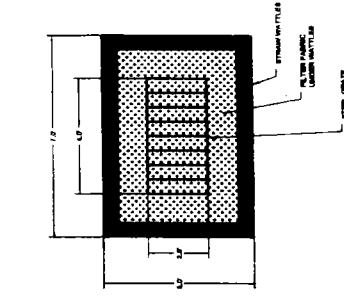
PROJECT CONTACT:
Assistant Representative
Patrick McInerney
Landmark Consulting
Representative Specialist
PO Box 85277
Scotts Valley, CA 95067
Landmark Consulting
PHONE: (831) 334-2383
EMAIL: pmc@landmark.com

PROJECT TITLE:
**Bearden
Project**
1815 Big Bush Way
Boulder Creek, CA
A.P.N.: 088-082-022



SHEET TITLE:
**EROSION CONTROL
DETAILS**

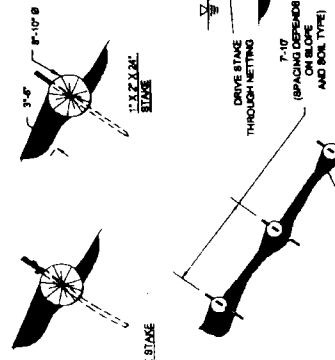
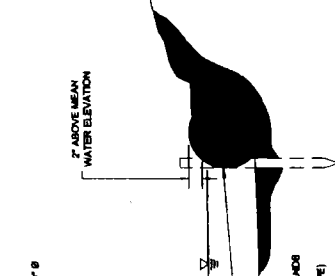
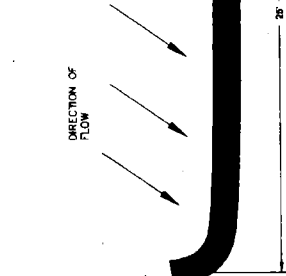
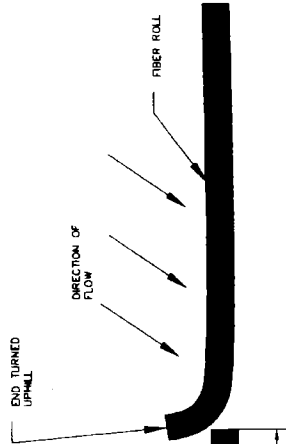
SHEET #
L-3.0



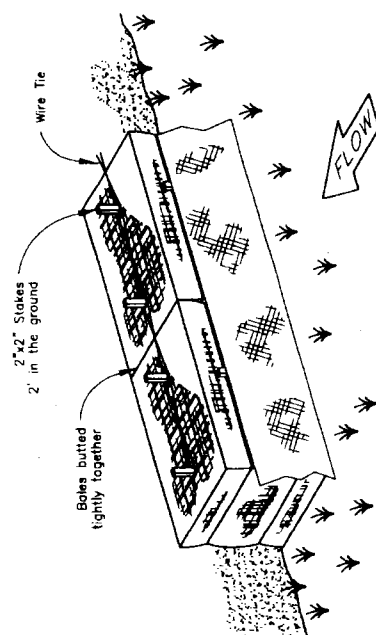
NOTE: PLASTIC LINER SHALL BE SHAPED AROUND AND TUCKED UNDER HAY BALES

3 STORM DRAIN INLET PROTECTION

2 CONCRETE WASHOUT



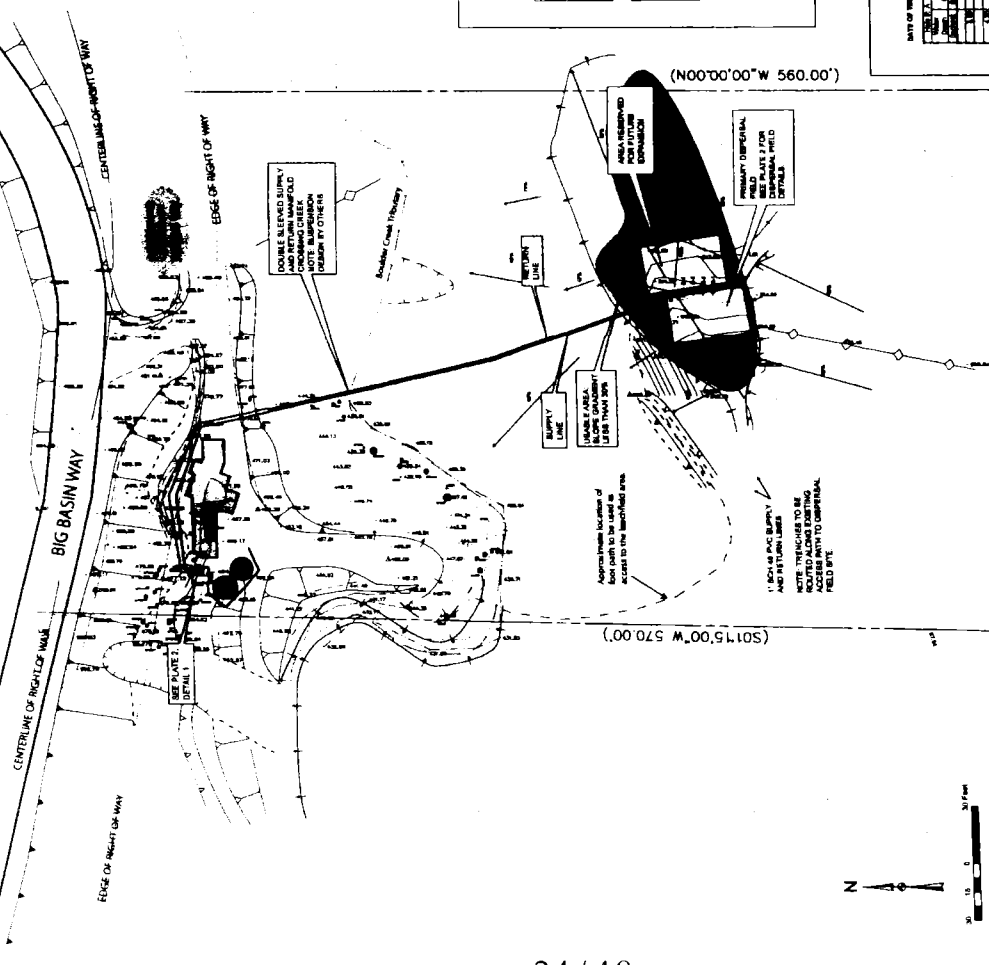
4 STRAW WATTLE & FIBER ROLL INSTALLATION



5 STRAWBALE & SILT FENCE

6 EROSION CONTROL BLANKET INSTALLATION

Site Plan



BASE MAP:
 The base map is a Topographic Survey, portion of the
 Survey of the San Jose Water Company, dated January
 1908, and is represented by a scale of 1 inch = 30
 feet.

NOTES:
 These plans were prepared solely for the purpose of
 showing the location of the proposed facility and are
 not to be used for any other purpose. The location of
 the facility is shown on this survey and is based on an
 assumed datum by Dunbar and Craig. The horizontal
 control is shown by Dunbar and Craig. The vertical
 control is shown by Dunbar and Craig. The assumed
 datum is the 1985 datum. The assumed vertical
 datum is the 1985 datum.

FO 1/27/P
 RCE 6270

PROJECT DESCRIPTION

A new on-site wastewater system, utilizing alternative treatment technology, is proposed to serve a 150-unit residential development located on the eastern side of the Big Basin Way. The proposed system will consist of a 150-gallon wastewater storage tank and a 150-gallon pump-out station. The system will be designed to collect and transport all wastewater from the development to the pump-out station, where it will be discharged into the existing sewer line. The system is designed to meet the requirements of the San Jose Water Company's (SJWC) 2002 Adoptive Wastewater System Design Specifications.

SITE DESCRIPTION

Relevant topographic features and property boundaries are shown on the topographic survey map prepared by Dunbar and Craig (see Site Plan). The site is located on the eastern side of the Big Basin Way, between the Big Basin Way and the existing sewer line. The site is bounded to the north by the Big Basin Way, to the south by the existing sewer line, to the east by the existing sewer line, and to the west by the existing sewer line. The site is approximately 150 feet wide and 150 feet deep. The site is currently undeveloped and is zoned for residential use.

SITE INVESTIGATION

Four borings, A, B, C, and D, were hand augured to a depth of 17.4, 7.1, 3.8, and 15.5 feet respectively, on 2 February, 2007. Soils within the primary disposal area consist of 7 feet of reddish-brown, clayey, silty, loam, followed by 2.3 feet of light-brown, clayey, silty, loam, and then 4.5 feet of dark, silty, loam. The borings were installed at a depth of 15 feet. Groundwater was found at 13.3 feet and thought to be the same as the water on top of the adjacent parcel. The borings were installed at a depth of 15 feet. Groundwater was found at 13.3 feet and thought to be the same as the water on top of the adjacent parcel. The borings were installed at a depth of 15 feet. Groundwater was found at 13.3 feet and thought to be the same as the water on top of the adjacent parcel.

DESIGN CRITERIA

- The waste system is designed to serve a four-bedroom single family residence.
- Domestic water supply is to be provided by gravity to the waste tank. Pumps and associated effluent lines are to be installed to transport the effluent from the waste tank to the disposal field.
- Peak daily wastewater flow is calculated using 1985 per capita for single family dwellings as listed in the California Building Standards Code (CBCS), 1985, Table 11.10.2.2.2.
- A four-bedroom home assumes the wastewater with a total daily wastewater flow of 179 gallons per day.
- Design flow is determined by multiplying the total daily wastewater flow by a peak design flow factor of 1.5.
- Based on the above criteria, one 1500-gallon waste tank and one 1500-gallon pump-out station are required for the design of the waste system.
- Retention time at a depth of 3.8 feet was 11.7 minutes per inch and design flow is 120 minutes per inch at 7.1 feet. Design hydraulic loading rate for per inch of depth is 0.000125 gpm/inch.
- Soils within the disposal area are classified as Class II, silty, loam, and design flow is 120 minutes per inch at 7.1 feet. Design hydraulic loading rate for per inch of depth is 0.000125 gpm/inch.
- Soils within the disposal area are classified as Class II, silty, loam, and design flow is 120 minutes per inch at 7.1 feet. Design hydraulic loading rate for per inch of depth is 0.000125 gpm/inch.

REFERENCES

California Building Standards Code (CBCS), 1985, Table 11.10.2.2.2.
 California Building Standards Code (CBCS), 1985, Table 11.10.2.2.2.
 California Building Standards Code (CBCS), 1985, Table 11.10.2.2.2.
 California Building Standards Code (CBCS), 1985, Table 11.10.2.2.2.

SOIL PERCOLATION TEST RESULTS

DATE OF TEST	TEST NO.	TESTER	TESTER'S FIRM	TESTER'S ADDRESS	TESTER'S PHONE	TESTER'S FAX	TESTER'S E-MAIL	TESTER'S WEBSITE	TESTER'S LICENSE NO.	TESTER'S EXPIRATION DATE	TESTER'S SIGNATURE	TESTER'S TITLE	TESTER'S PHOTO
1/27/07	1	PAUL SEN	PAUL SEN & ASSOCIATES	1000 S. F STREET, SUITE 100	408-666-0822		psen@psa.net		1000	1/27/07			

PAUL SEN
 APN 086-082-22
 DOC # 2003-091310

256.12'

109.88'

PROPOSED BUILDING SITE

CLEANOUT (TYP)

PROCESSOR CONTROL PANEL

NOTHING TO BE INSTALLED HERE

VERTICAL SHAFT WITH VALVE AND INLET FLOW TEE

HEADWORKER'S ASSEMBLY

DIP PUMP BARGE WITH FIBER CIRCUMFERENCE PUMP

QUANTITY 1/2-20

6' DIA

1' DIA

SEE P. 10 FOR DETAILS OF

WASTEWATER TREATMENT PLANT

Fig. 1. Schematic diagram of the apparatus for the study of the effect of the frequency of the electric field on the rate of polymerization. The diagram shows a rectangular container with a stirrer and a heating coil, connected to a power source and a voltmeter. The container is labeled "Reactor" and the stirrer is labeled "Stirrer".

A detailed technical drawing of a mechanical assembly, possibly a pump or engine component, shown in a side cross-sectional view. The drawing is labeled with numbers 1 through 15, indicating various parts. The assembly includes a central shaft or piston rod, a crank mechanism, and a housing. The drawing is oriented horizontally, with the main body of the assembly on the right and the output or input shaft on the left. The drawing is a black and white line drawing, typical of technical manuals.

[illegible]

SALES DATA:
Electronic copy of "Topographic Survey" (edition of the *Journal of Electronic Information*) by D. A. Durrant, C. A. Durrant, dated January 2008, original published with ISBN 0 955 103 10 0.

SAME MAIL
Electronic
Page/sec.
original p.

NOTE:
These plans
design. T
other pur
approved
insured
Durable
improves
notified

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YFIRIT

ATTENTION

Geotextile
Fill
Roadway
Water Table
Slope
Drainage Pipe
Manhole

SOLAR ALLOCATOR		DATE 6-6-2007 REVISION PROJECT 00001	
COMPANY LOGO PROJECT NO. DATE	ALTERNATIVE WASTEWATER SYSTEM DESIGN		
OWNER CHAMBER'S ADDRESS 1818 N. 10th Street, Waco, Texas, CA 76787 CITY ADDRESS WACO, TEXAS 76787-0000			
SCALE AS SHOWN DRAWN BY: RL		SHEET PL-2	

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SUBAPPENDIX

DISP	COUNTY	ROUTE	POST MILEAGE TOTAL PROJECT	SHEET TOTAL SHEETS
05	SC	236	RIO 42-RIO 74	1

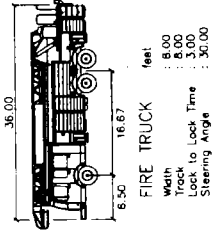
REGISTERED CIVIL ENGINEER

PLANS APPROVAL DATE

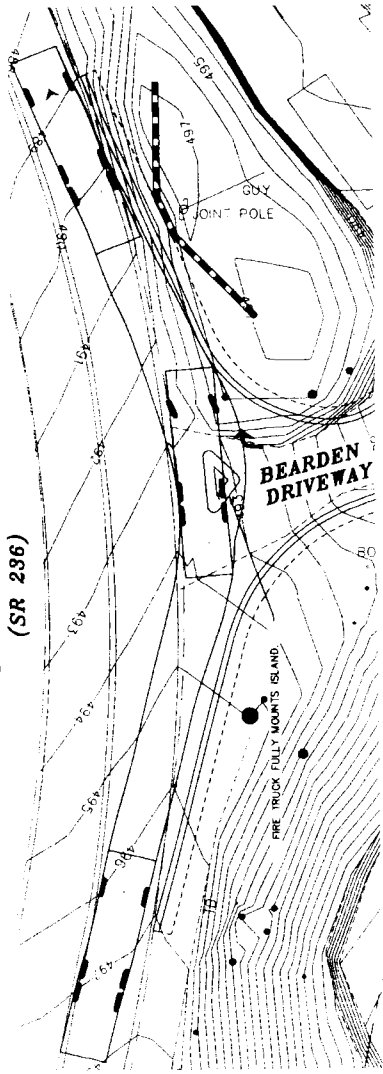
Hatch Mott MacDonald
 1506-B FIRST STREET
 GILBERT, CA 94530
 (916) 763-1000
 WWW.HATCHMOTT.COM

2-11-2011

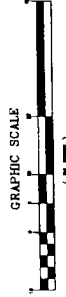
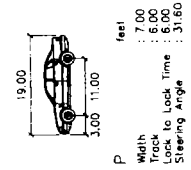
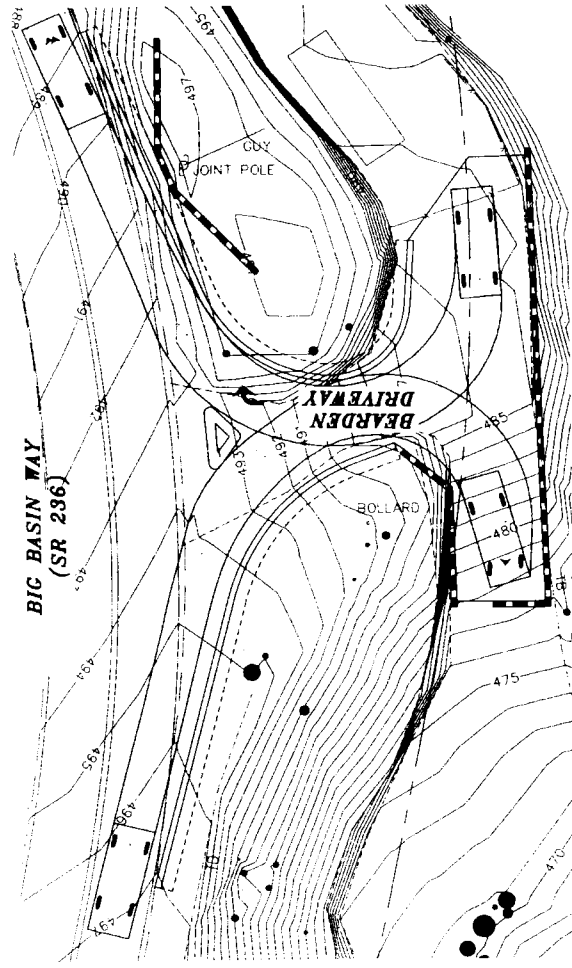
APN: 086-082-22



BIG BASIN WAY (SR 236)



BIG BASIN WAY (SR 236)



BEFORE EXCAVATING CALL U.S.A.
 UNDERGROUND SERVICE ALERT
 800-642-2444
 2 FULL WORKING DAY NOTICE REQUIRED
 BEFORE ALL PLANNED WORK

BIG BASIN WAY (SR 236) / BEARDEN DRIVEWAY
 TRUCK TURNING TEMPLATES
 SCALE: 1"=10'

TT-1

CHECKED BY	DATE	DESIGNED BY	DATE
REVISOR	DATE	REVISOR	DATE

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the reduction of the required front yard setback from 40 feet to about 2 feet (as indicated in Exhibit A) is recommended in order to allow the construction of the a single family dwelling on the subject property. Due to the location of the unnamed creek, the steeply sloped topography, and the geologic stability issues, the only suitable building site on the subject property is located on the northern boundary of the property adjacent to Highway 236. The area most suitable for development is located within the 40 foot front yard setback. Any attempt to develop in conformance with the required yard setbacks would push the residence towards the steeply sloped creek bank. A riparian setback of 50 feet is required from the creek bank, which has some overlap with the required front yard setbacks. The topography of the parcel and the presence of the steeply sloped bank of the unnamed creek that bisects the property, are the special circumstances affecting the subject property.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made, in that the variance will allow the construction of a single family dwelling on a vacant and residentially zoned parcel and the structure will be adequately separated from improvements on surrounding properties. Construction will comply with current building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that other properties in the neighborhood are developed with single family dwellings similar to the structure that is proposed. Further, under similar circumstances, the County has approved variances for similarly situated properties. Therefore, it would not be a grant of a special privilege for the construction of a single family dwelling on the subject property. The proposed residential use is consistent with the existing pattern of development in the neighborhood.

Riparian Exception Findings

1. That there are special circumstances or conditions affecting the property.

This finding can be made, in that the parcel is steeply sloped and is bisected by an unnamed creek. The only suitable septic sewage disposal site is located across the creek from the building site.

2. That the exception is necessary for the proper design and function of some permitted or existing activity on the property.

This finding can be made, in that the parcel is a vacant, existing lot of record and is zoned for residential use (Special Use zoning with Mountain Residential General Plan land use designation). Due to the location of vehicle access, steep slopes, and geologic conditions, no alternate building or septic sewage disposal sites exist on the subject property. An exception is necessary to allow the construction of a residence and septic system on the subject property.

3. That the granting of the exception will not be detrimental to the public welfare or injurious to other property downstream or in the area in which the project is located.

The building site is located adjacent to a steeply sloped creek bank and the only satisfactory septic system location in the vicinity is across the creek. The property owner has provided geologic and soils reports for county review regarding the building site, and the County Geologist has reviewed and accepted each report. All potential hazards for slope stability will be mitigated through the geologic setback established by the engineering geologist and engineered foundation and drainage designs recommended by the project soils engineer. Construction will comply with current building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety. The use of appropriate Best Management Practices (BMP's) will also be utilized to prevent erosion and sedimentation from occurring and negatively impacting the riparian resource.

4. That the granting of the exception, in the coastal zone, will not reduce or adversely impact the riparian corridor, and there is no feasible less environmentally damaging alternative.

The project is not located in the Coastal Zone.

5. That the granting of the exception is in accordance with the purpose of this chapter, and with the objectives of the general plan and elements thereof, and the local coastal program land use plan.

The purpose of the riparian and wetland protection ordinance is to eliminate or minimize development activities in riparian/wetland areas so as to protect wildlife habitat, water quality, open space and to allow for conveyance and storage of floodwaters. The proposed home will be constructed on a pier and grade beam foundation. This type of foundation will significantly reduce overall site disturbance, including tree removal. The imposed building setback from the steep sloping arroyo will assist in retaining slope integrity that will in turn preserve water quality and existing stream channel capacity.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that adequate side and rear setbacks have been provided to ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district, in combination with the R-M (Mountain Residential) General Plan land use designation, as the primary use of the property will be one single family dwelling. With the exception of the variance, the proposed structure meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Mountain Residential (R-M) land use designation in the County General Plan.

The proposed dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the dwelling will not adversely shade adjacent properties and, with the exception of the proposed variance to the front yard setback, the structure will meet all current site and development standards for the zone district

The proposed dwelling will be properly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed dwelling will comply with the site standards for the SU zone district (including lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

The project complies with the requirements of General Plan policies 5.10.2 (Development within

Visual Resource Areas) and 5.10.11 (Development Visible from Rural Scenic Roads), in that the proposed dwelling is located below the highway and is screened from view by the site topography and existing trees.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed dwelling is to be constructed on an existing undeveloped lot. The expected level of traffic generated by the proposed project is anticipated to be one peak trip per day (1 peak trip per dwelling unit) and such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit A: Project Plans "Bearden Residence", prepared by Darryl Woods Architect & Fall Creek Engineering, revised 2/11/11.

- I. This permit authorizes the construction of a single family dwelling and associated site improvements, including retaining walls and an alternative septic system as depicted on the approved Exhibit "A" for this permit. This approval includes a Variance to reduce the required front yard setback from 40 feet to approximately 2 feet and a Riparian Exception. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain an individual water system (well) permit from the Santa Cruz County Department of Environmental Health Services.
 - C. Obtain a septic permit from the Santa Cruz County Department of Environmental Health Services.
 - D. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - E. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - F. Obtain an Encroachment Permit from CalTrans for all off-site work performed in the County road right-of-way.
 - G. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out

and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material board in 8 1/2" x 11" format for Planning Department review and approval.
 2. Grading, drainage, and erosion control plans, prepared and wet stamped by a licensed civil engineer.
 3. Details showing compliance with fire department requirements. The proposed structure(s) are located within the State Responsibility Area (SRA) and the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of and pay Zone 8 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- D. Meet all requirements of the County Department of Environmental Health Services.
- E. Meet all requirements and pay any applicable plan check fee of the Boulder Creek Fire Protection District.
- F. Submit 3 copies of a geotechnical plan review and acceptance letter prepared and stamped by the project geotechnical engineer.
- G. Submit 3 copies of a geologic plan review and acceptance letter prepared and stamped by the project geologist.
- H. Pay the current fees for Parks and Child Care mitigation for three bedroom(s). Currently, these fees are, respectively, \$800 and \$109 per bedroom.
- I. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- J. Submit a written statement signed by an authorized representative of the school

district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

- K. Complete and record a Statement of Acknowledgement for development in an area of Geologic Hazards. This document will be prepared by the Environmental Planning section and provided to you during the Building Permit phase. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils and geologic reports. Copies of observation reports and final letters from the project geotechnical engineer and geologist are required prior the final signoff by Environmental Planning.
 - D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development

Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 09-0230
APN: 086-082-22
Owner: Jim & Sallie Bearden

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Deputy Zoning Administrator

Randall Adams
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 09-0230

Assessor Parcel Number: 086-082-22

Project Location: 19515 Big Basin Way, Boulder Creek

Project Description: Proposal to construct a single family dwelling and associated improvements

Person or Agency Proposing Project: Patrizia Materassi

Contact Phone Number: (831) 334-2383

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. X **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

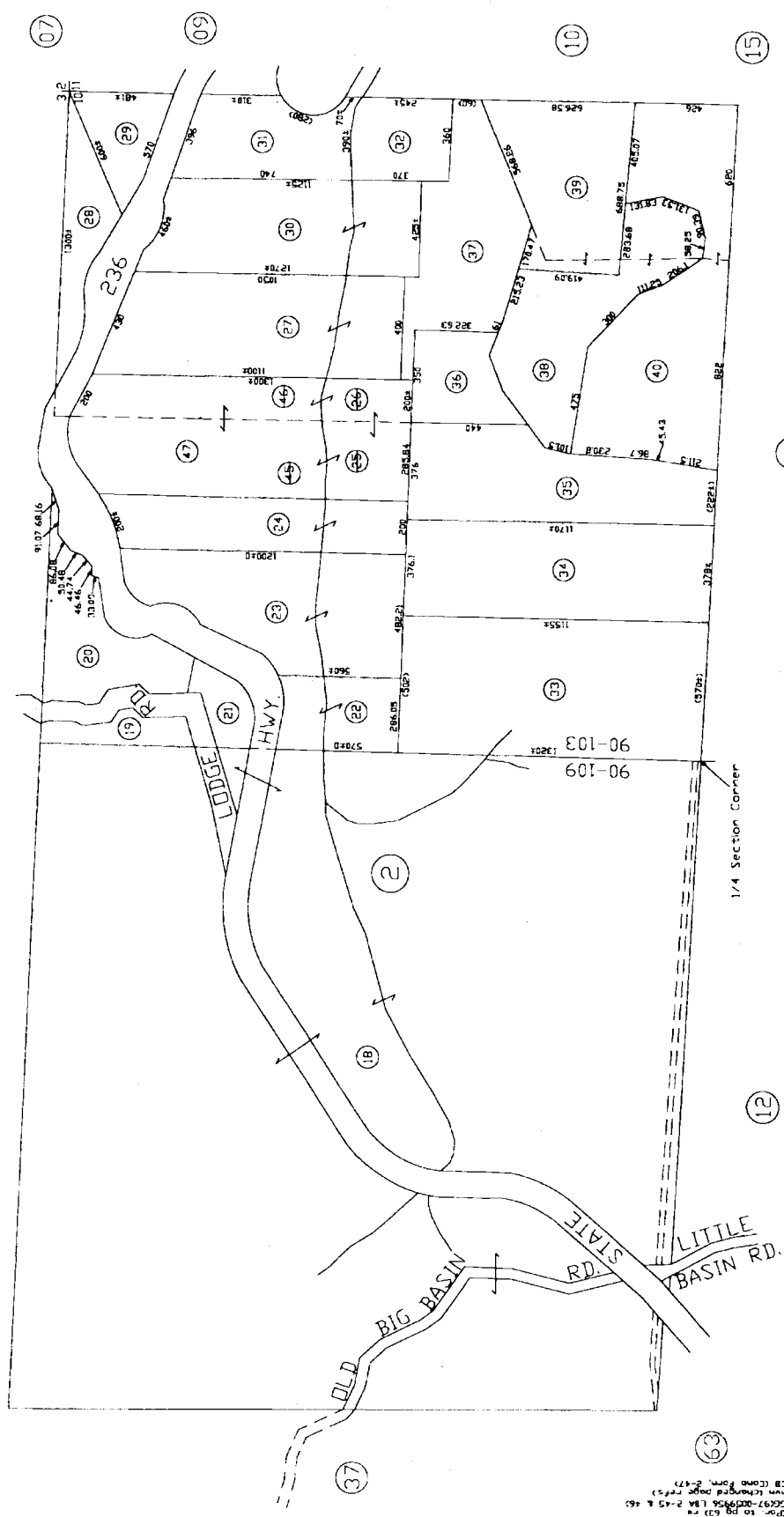
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 THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
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POR. SEC. 10, T.9S., R.3W., M.D.B. & M.

Tax Area Code
 90-109 90-103

86-08

1" = 400'

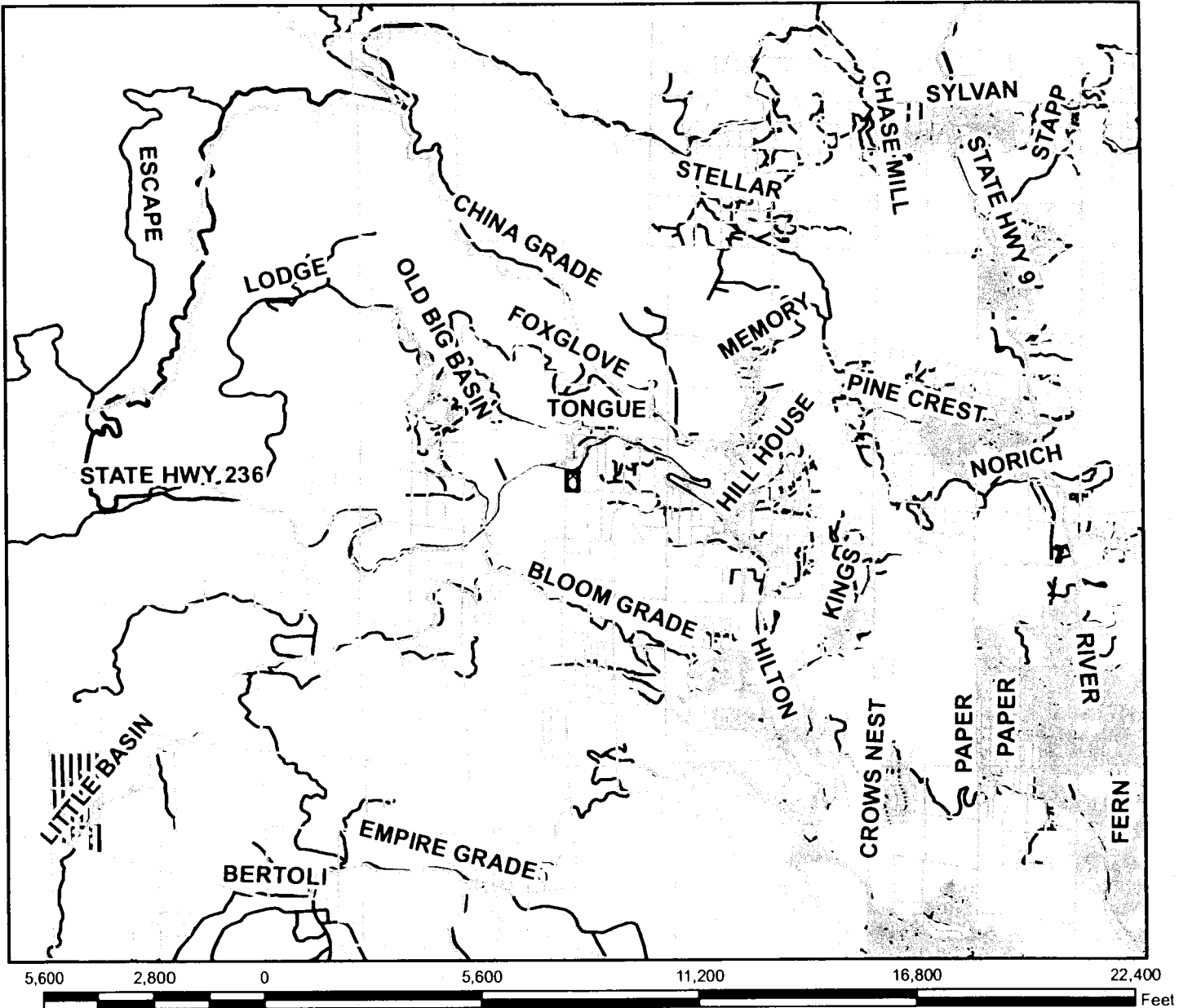


Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 86-08
 County of Santa Cruz, Calif
 March, 1998



Location Map



LEGEND

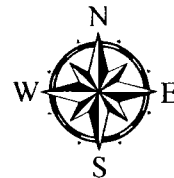


APN: 086-082-22

Assessors Parcels

— Streets

— State Highways

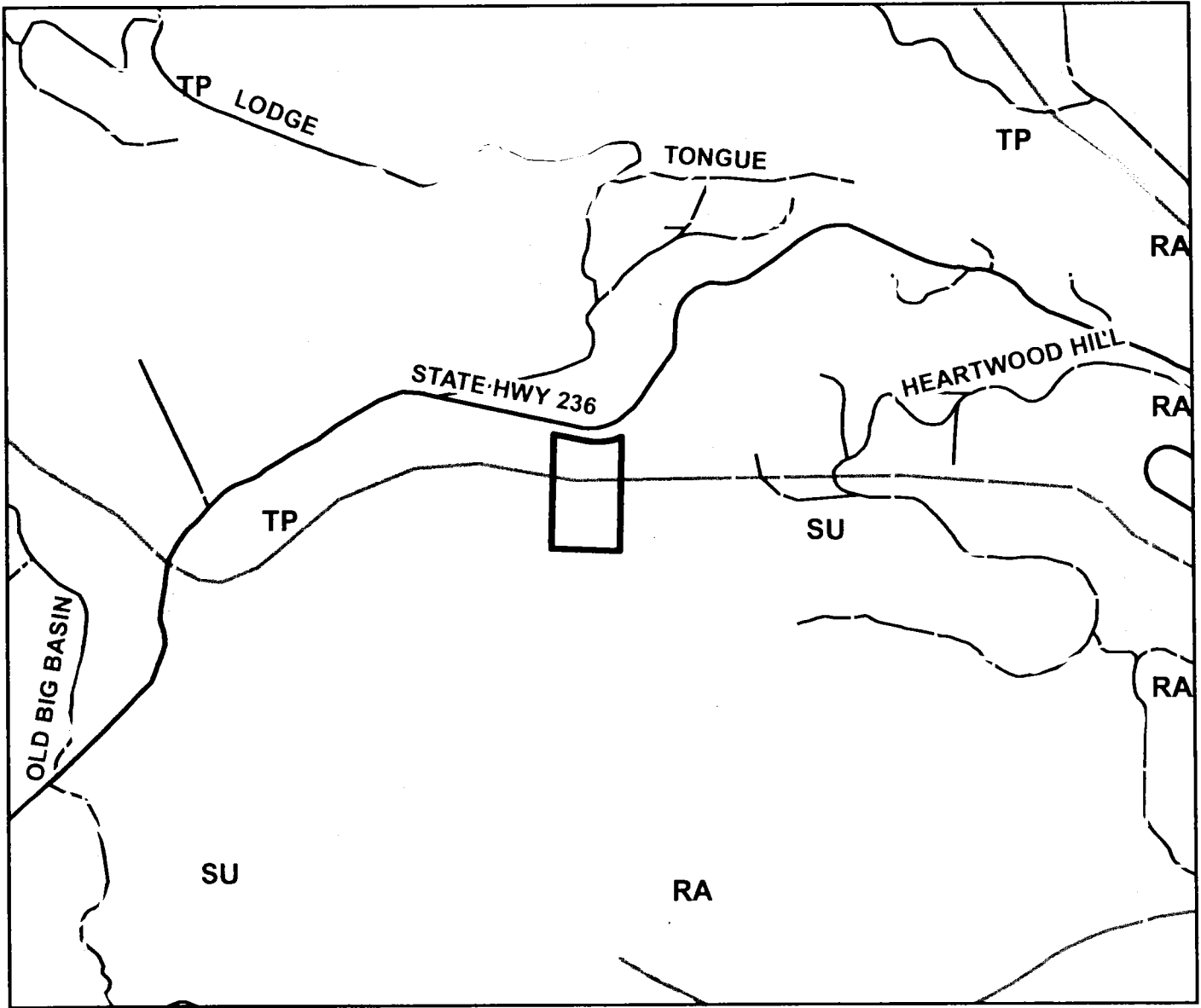


Map Created by
County of Santa Cruz
Planning Department
July 2009

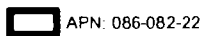
EXHIBIT E



Zoning Map



LEGEND



Assessors Parcels

Streets

State Highways

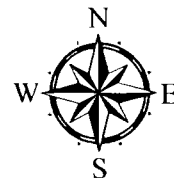
STREAMTYPE

PERENNIAL

SPECIAL USE

AGRICULTURE RESIDENTIAL

TIMBER PRODUCTION

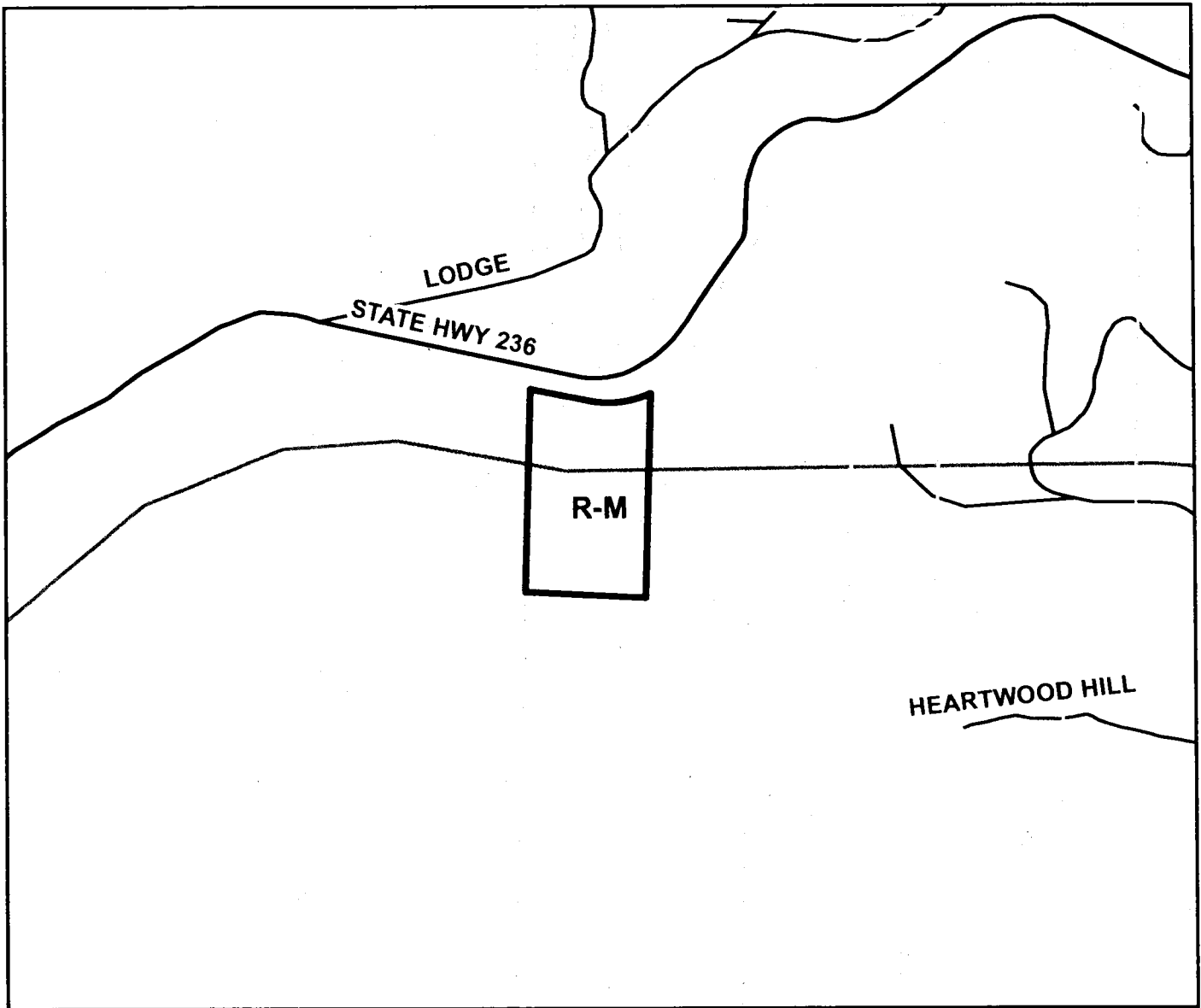


Map Created by
County of Santa Cruz
Planning Department
July 2009

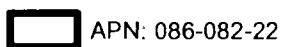
EXHIBIT E



General Plan Designation Map



LEGEND



APN: 086-082-22

Assessors Parcels

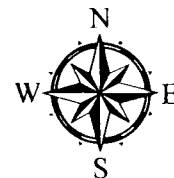
— Streets

— State Highways

STREAMTYPE

— PERENNIAL

Residential-Mountain



Map Created by
County of Santa Cruz
Planning Department
July 2009

EXHIBIT E



Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

Cal Trans Review

Routing No: 1 Review Date:

() :

:Review Type= CAL TRANS NO PROJECT REVIEW DESCRIPTION AVAILABLE

Drainage Review

Routing No: 1 Review Date: 06/16/2010

TAMYRA RICE (TRICE) : Complete

:Review Type= DPW DRAINAGE ===== REVIEW ON JULY 23, 2009 BY TRAVIS RIEBER ===== 1. The development must hold runoff levels at predevelopment rates. The development proposal must incorporate methods of design that include both resource and flood control protections, effective for a broad range of storms. Please provide a proposal consistent with County standards. Please reference the Santa Cruz County Design Criteria for design requirements. The design criteria can be found on the internet at: <http://www.dpw.co.santa-cruz.ca.us/DESIGN%20CRITERIA.PDF> 2. Does this site currently receive any runoff from Big Basin Way or adjacent/upslope properties? If so, how will the project continue to accept this runoff without causing adverse impacts to the proposed structure or adjacent/downstream properties. 3. Please demonstrate how the driveway will conform to the existing roadside drainage facilities. Road drainage should not be blocked by the proposed driveway. Provide a typical cross section detail of the existing roadside drainage swale and details demonstrating how drainage will be accommodated across/under the proposed driveway. 4. Projects are required to minimize impervious surfacing. This project is proposing extensive amount of paved driveway and patio areas. The requirement to minimize impervious surfacing can be achieved by the use of semi impervious paving (paver blocks, turf blocks, base rock, gravel, pervious concrete, ect.) where feasible. 5. Please provide a tributary drainage area map and calculations demonstrating that the proposed sewer line stream crossing structure is above the 100



Drainage Review

Routing No: 1 Review Date: 06/16/2010

TAMYRA RICE (TRICE) : Complete

year water surface elevation. Please reference the Santa Cruz County Design Criteria for design requirements. The design criteria can be found on the internet at:
<http://www.dpw.co.santa-cruz.ca.us/DESIGN%20CRITERIA.PDF> The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$210.00 additional review fee shall be applied to all re-submittals starting with the third routing. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions. ===== UPDATED ON FEBRUARY 18, 2010 BY TRAVIS RIEBER ===== 1. Please deposit \$335.00 to supplement your original \$565.00 deposit prior to considering the application complete. For a total of \$900.00 per the unified fee schedule since the total impervious area is over 4500 square feet . 2. At any time prior to the public hearing please provide a stamped and signed letter from the project geotechnical engineer approving the locations of the proposed level spreaders. ===== UPDATED ON JUNE 16, 2010 BY TRAVIS RIEBER ===== The civil plans with revisions dated 6/1/2010 and drainage analysis dated 5/28/2010 have been received and are approved for the discretionary application stage. Please see miscellaneous comments for information to be provided at the building application stage. MISCELLANEOUS COMMENT: ===== REVIEW ON JULY 23, 2009 BY TRAVIS RIEBER ===== For fee calculations please provide tabulation of existing impervious areas and new impervious areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces please provide documentation such as assessor-s records, survey records, aerial photos or other official records that will help establish and determine the dates they were built. Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials. ===== UPDATED ON FEBRUARY 18, 2010 BY TRAVIS RIEBER ===== 1. Please revise the runoff coefficient values per figure SWM-1 in the Design Criteria. 2. The required detention volume was calculated using spread sheet SWM-17. The spread sheet is calculating the required detention volume based on a .077 CFS release rate. The submitted orifice calculation indicates that the actual design release rate is .043 CFS. Please revise the required detention volume based on this reduction in the release rate. 3. Provide a cleanout and inspection access riser reaching the ground surface. No cleanout riser shall be less than 6 inches in diameter. Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials. 4. Site plans shall specify required maintenance procedures to assure proper functioning of the proposed drainage system. A recorded maintenance agreement will be required for the proposed drainage system. Please contact the County of Santa Cruz Recorder-s office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:
<http://www.dpw.co.santa-cruz.ca.us/Storm%20Water/FigureSWM25.pdf> 5. Upon approval of the project, a drainage -Hold- will be placed on the pe and will be cleared once the construction is



Drainage Review

Routing No: 1 Review Date: 06/16/2010

TAMYRA RICE (TRICE) : Complete

complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised: 1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer-s letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of -general conformance to plans- are not sufficient. 2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown. 3. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor-s name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as- built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions. ===== UPDATED ON JUNE 16, 2010 BY TRAVIS RIEBER =====

===== 1. Site plans shall specify required maintenance procedures to assure proper functioning of the proposed drainage system. A recorded maintenance agreement will be required for the proposed drainage system. Please contact the County of Santa Cruz Recorder-s office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:

http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25.pdf Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious

surfacing to offset costs and encourage more extensive use of these materials. 2. Upon approval of the project, a drainage -Hold- will be placed on the pe and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans:

In order to clear the Hold, one of these options has to be exercised: 1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer-s letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of -general conformance to plans- are not sufficient. 2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown. 3. The civil engineer may review as-built plans completed by the contractor and provide the county



Drainage Review

Routing No: 1 Review Date: 06/16/2010

TAMYRA RICE (TRICE) : Complete

with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor-s name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as- built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

Environmental Health Review

Routing No: 1 Review Date: 02/12/2010

JIM SAFRANEK (JSafraneK) : Complete

:Review Type= ENVIRONMENTAL HEALTH ===== REVIEW ON JULY 13, 2009 BY JIM G SAFRANEK ===== The alternative onsite sewage treatment system proposed for this site has been approved by EHS; 09-0230 is approved for 'Completeness' by EHS. ===== UPDATED ON FEBRUARY 12, 2010 BY JIM G SAFRANEK ===== No change in comment from July, project is approved by EHS. MISCELLANEOUS COMMENT: ===== REVIEW ON JULY 13, 2009 BY JIM G SAFRANEK ===== NO COMMENT

Environmental Planning

Routing No: 1 Review Date: 06/16/2010

JESSICA DUKTIG (JDUKTIG) : Complete

:Review Type= ENVIRONMENTAL PLANNING ===== REVIEW ON JULY 20, 2009 BY JOSEPH L HANNA ===== 1.The geotechnical engineer must investigate and evaluate the stability of the fill above the proposed home. A quantitative stability analysis must be completed that evaluates the stability of this fill slope based upon on subsurface exploration of the fill and tested strength values of the fill material. 2.Both the engineering geologist and geotechnical engineer must investigate and evaluate the stability of the proposed location of the septic system and the alignment of the sewage conduit to the system. 3.Confirm that the stability analysis page 8, paragraph 5, refers to a model where the fluvial material is assumed to have failed, and the remaining slope is evaluated for stability. 4.Verify that bedding, fracturing, and other structure within the Vaquerous formation has been considered within the stability analysis. 5.The engineering geologist and geotechnical engineer must complete an evaluation of the erosion along the creek, and determine the affects of this er osion on site stability during the expected useful life span of the improvements. 6. All



Environmental Planning

Routing No: 1 Review Date: 06/16/2010

JESSICA DUKTIG (JDUKTIG) : Complete

development, including building, the water tanks, drainage system, and decking, must be sited behind the slope setback line. The outfalls to the drainage system and the sewer transmission line can be cross the setback. Please show the sewer transmission line on the plans. 7. Extensive work has been completed within the State Highway right-of-way. The applicant must contact CALTRANS and determine what corrective measures must be taken in the right-of-way both where the home is now proposed, and where the current trailer is located. All corrective work must be shown on the plans. 8. As noted by the engineering geologist in Recommendation 3, common practices, and County Code, require that the access roadway be stable. Please have the geotechnical engineer develop a method to stabilize the stream embankment so that the access roadway is stable. 9. An engineered grading plan must be submitted for preliminary grading review. This plan must show all easement, property boundaries, and necessary grading and retaining walls. 10. Please confirm that the geotechnical engineer reports consider the current requirements of the 2007 California Building Code. ===== UPDATED ON JULY 20, 2009 BY JOSEPH L HANNA =====
===== UPDATED ON MARCH 1, 2010 BY JESSICA L DUKTIG ===== Please note that all comments below are preliminary based upon approval from Caltrans. Further information and/or plan revisions may be required at the building permit application stage if required by Caltrans. 1. Comment not addressed, geotechnical and geologic reports not accepted. Please refer to comments from Caltrans, specifically items b(1) and b(2) from their comments dated 2/18/10. 2. Comment partially addressed. Please clarify how the location of the septic leach line deadmen/anchor cables will affect slope stability. The location of these structures are on nearly vertical slopes. Provide a detailed cross section that accurately reflects site topography and shows the foundation meets the required setbacks. 3. Comment addressed. 4. Comment addressed. 5. Comment addressed. 6. Comment partially addressed. Please note that as a condition of approval all egress and ingress locations shall be located within the geologic building envelope. If decking is located outside, it must be structurally detached from the home. 7. Comment not addressed. Please revise the plans to show the removal of unclassified fill where the trailer is located. This restoration project shall be reviewed by the project geologist and geotechnical engineer. 8. Comment partially addressed. Please clarify how the proposed detention structure will be located adjacent to the driveway retaining wall. How will you achieve adequate compaction between the wall and the detention structure. Suggest relocating the structure to provide adequate space for compaction of the proposed backfill. 9. Comment addressed. 10. Comment addressed. The following are new comments from the revised project: 11. Please revise the plans to show the impact wall located behind the home and the buttress fill located within the caltrans row. Please refer to Caltrans comments. 12. Please provide construction access for the proposed level spreaders and provide an approval letter from the geologist and geotechnical engineer stating they approve the specific location of this drainage outlet. Suggest waiting until the project has received approval prior to submittal of the plan review letters. 13. Please provide construction access for the proposed leach line cable anchors (see comment 2 above), as well as access to the proposed leachfield site. How will you cross the creek to access the site? A riparian exception may be



Environmental Planning

Routing No: 1 Review Date: 06/16/2010

JESSICA DUKTIG (JDUKTIG) : Complete

required. Further comments will be made once we have received revised plans. As stated above, please submit a approval letter from the geo logist and geotechnical engineer once this comment has been addressed. ===== UPDATED ON JUNE 15, 2010 BY JESSICA L DUKTIG
===== Complete. See misc comments for conditions of approval. ===== UPDATED ON JUNE 16, 2010 BY JESSICA L DUKTIG ===== UPDATED ON JUNE 16, 2010 BY JESSICA L DUKTIG ===== MISCELLANEOUS COMMENT:
===== REVIEW ON JULY 20, 2009 BY JOSEPH L HANNA =====
===== UPDATED ON MARCH 1, 2010 BY JESSICA L DUKTIG ===== Please provide a detailed erosion control plan at the building permit application stage. Please provide updated plan review letters at the building application stage. ===== UPDATED ON JUNE 16, 2010 BY JESSICA L DUKTIG ===== The following comments shall be conditions of approval: 1. Construction details for the removal of the unclassified fill slope east of homesite. Final slopes shall be a minimum of 2:1 unless the geotechnical engineer approves an alternate slope. 2. The geotechnical engineer must approve the location of the level spreaders. 3. The civil engineer shall submit a construction plan for the access to the septic leach lines approved by the geologist and geotechnical engineer. This plan shall minimize disturbance to the Riparian Corridor. 4. A detailed erosion and sediment control plan that shows how sediment will be contained onsite, concrete washout facilities, stockpile locations, temporary drainage system, etc. Prior to Building Permit Issuance- 1. Final plan review letters from the Geotechnical Engineer and Geologist shall be submitted. 2. Final plan review letter from the Civil Engineer shall be submitted. Prior to Building Permit Final- 1. Final inspection letters from the Geotechnical Engineer, Geologist and Civil Engineer.

Fire Review

Routing No: 1 Review Date: 03/03/2010

RAHN GARCIA (RGARCIA) : Complete

:Review Type= BOULDER CREEK FIRE PROTECTION DIST ===== REVIEW ON MARCH 3, 2010 BY RON GRIESINGER ===== NO COMMENT DEPARTMENT NAME:Boulder Creek Fire MISCELLANEOUS COMMENT: ===== REVIEW ON MARCH 3, 2010 BY RON GRIESINGER ===== NO COMMENT

Project Review

Routing No: 1 Review Date:

() :

:Review Type= PROJECT REVIEW NO PROJECT REVIEW DESCRIPTION AVAILABLE

Road Engineering Review

Routing No: 1 Review Date: 02/22/2010

ANWARBEG MIRZA (AMIRZA) : Complete



Road Engineering Review

Routing No: 1 Review Date: 02/22/2010

ANWARBEG MIRZA (AMIRZA) : Complete

:Review Type= DPW ROAD ENGINEERING ===== REVIEW ON JULY 21, 2009 BY ANWARBEG MIRZA ===== Access to Highway (SR 236) requires an encroachment permit from the State Department of Transportation (Caltrans). You can reach Caltrans District 5 in San Luis Obispo at (805) 549-3152 or (805) 549-3111 With the building permit application, submit a copy of the Encroachment Permit Application to Caltrans in order for your Building Permit Application to be approved. A hold will be put on the final occupancy of the building until the encroachment permit has been cleared by Caltrans. Please contact Anwar Mirza at 831 454 2160

===== UPDATED ON FEBRUARY 22, 2010 BY ANWARBEG MIRZA =====

Completed. See Misc. comments to be addressed at Build. Permit Application.

MISCELLANEOUS COMMENT: ===== REVIEW ON JULY 21, 2009 BY

ANWARBEG MIRZA ===== Access to Highway (SR 236) requires an encroachment permit from the State Department of Transportation (Caltrans). You can reach Caltrans District 5 in San Luis Obispo at (805) 549-3152 or (805) 549-3111 With the building permit application, submit a copy of the Encroachment Permit Application to Caltrans in order for your Building Permit Application to be approved. A hold will be put on the final occupancy of the building until the encroachment permit has been cleared by Caltrans. Please contact Anwar Mirza at 831 454 2160

===== UPDATED ON FEBRUARY 22, 2010 BY ANWARBEG MIRZA =====

Access to Highway (SR 236) requires an encroachment permit from the State Department of Transportation (Caltrans). You can reach Caltrans District 5 in San Luis Obispo at (805) 549-3152. With the building permit application, submit a copy of the Encroachment Permit Application to Caltrans in order for your Building Permit Application to be approved. A hold will be put on the final occupancy of the building until the encroachment permit has been cleared by Caltrans. Please contact Anwar Mirza at 831 454 2160.