



Staff Report to the Zoning Administrator

Application Number: **10-0180**

Applicant: Fargo Wells
Owner: Russell
APN: 042-161-10, -11, -12

Agenda Date: 7/1/11
Agenda Item #: 1
Time: After 10:00 a.m.

Project Description: Proposal to construct three two-story single-family dwellings (of approximately 900 square feet each) on three contiguous vacant lots.

Location: Properties located on the north side of Stephen Road about 250 feet east of the intersection with Aptos Beach Drive. (No situs address)

Supervisory District: 2nd District (District Supervisor: Ellen Pirie)

Permits Required: Coastal Development Permit

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 10-0180, based on the attached findings and conditions.

Exhibits

- | | |
|--|-------------------------------------|
| A. Project plans | E. Assessor's, Location, Zoning and |
| B. Findings | General Plan Maps |
| C. Conditions | F. Site Photographs |
| D. Categorical Exemption (CEQA
determination) | G. Comments & Correspondence |

Parcel Information

Parcel Size:	3 parcels - 1,800 square feet each
Existing Land Use - Parcel:	Vacant
Existing Land Use - Surrounding:	Mixed residential neighborhood, hotel (across street)
Project Access:	Stephen Road
Planning Area:	Aptos
Land Use Designation:	R-UH (Urban High Density Residential)
Zone District:	RM-3 (Multi-family residential - 3,000 square feet minimum)

Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm. Yes X No

Environmental Information

Geologic Hazards: Mapped floodplain - structures elevated to comply
Soils: Report reviewed and accepted
Fire Hazard: Not a mapped constraint
Slopes: 2-5%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed - building foundations only
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Aptos/La Selva Fire Protection District
Drainage District: Zone 6 Flood Control District

Project Setting

The subject properties are three separate vacant parcels located on the north side of Stephen Road in the Rio Del Mar flats area of Aptos. Although the properties front on Stephen Road, rear alley access is available on the north side of the properties. The properties are located within a mixed residential neighborhood with single and multi-family residential development. An existing hotel (Rio Sands) is located across the street to the south.

Zoning & General Plan Consistency

The project site includes three separate vacant parcels, each approximately 1,800 square feet in area. The properties are located within the RM-3 (Multi-family residential - 3,000 square feet minimum) zone district, a designation which allows residential uses. Single family dwellings are a principal permitted use within the zone district and the zoning is consistent with the site's (R-UH) Urban High Density Residential General Plan designation.

Floodplain

The subject parcels are located within a mapped FEMA floodplain. In order to mitigate potential flood hazards and related issues, the proposed dwellings will be elevated a minimum one foot above the base flood elevation. The foundation stem walls will be designed to allow for the movement of floodwater through the subfloor area of the structures.

Local Coastal Program Consistency

The proposed dwellings are in conformance with the County's certified Local Coastal Program, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings, with the exception of an existing hotel which is located across the street. Size and architectural styles vary widely in the area, and the designs submitted are not inconsistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review

The proposed dwellings comply with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as pitched roofs, varied exterior materials, porches and decks to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **10-0180**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Randall Adams
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3218
E-mail: randall.adams@co.santa-cruz.ca.us

Sheet A-2		Date: 2/22/2011	Project: Russell SFR 3
Engineer: Riley Russell APRN 042-161-10, 11 & 12 CDR: (415) 706-4367 Prepared By:	Contractor: To Be Determined	California Coast Residential Design 270 E. Douglas Ave El Cerrito, CA 94520 (415) 867-3683	
Designer: F. Wells	Drafting: FW	Vicinity Plan I	

Riley Russell
 APN: 042-161-10, 11 & 12
 2/22/2011
 SUBMISSION SET
 Not For Construction

The land referred to herein is described as follows:
 SITUATED IN THE COUNTY OF SANTA CRUZ, STATE OF
 CALIFORNIA AND DESCRIBED AS FOLLOWS:

LOTS 6, 6 AND 7 IN BLOCK 50, AS THE SAME ARE SHOWN
 AND DESIGNATED ON THAT CERTAIN MAP ENTITLED
 "SUBDIVISION NO. 5, APTOS BEACH COUNTRY CLUB
 PROPERTIES FILED FOR RECORD JUNE 7TH, 1928 IN MAP
 BOOK 23, PAGE 25, SANTA CRUZ COUNTY RECORDS.

APN: 042-161-12

NOTES:

Must Comply With All Zoning Rules and
 Requirements and Local City Ordinances.

PRIOR TO CONSTRUCTION

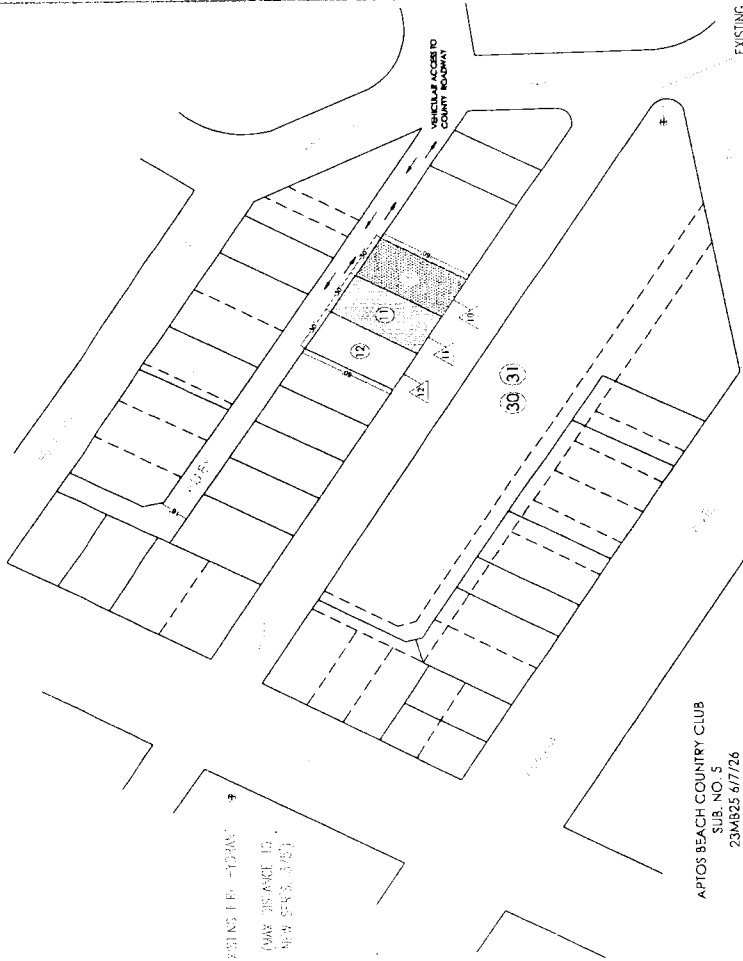
STAKING TO ESTABLISH LOCATION OF PROPERTY LINES
 MUST BE PROVIDED

VICINITY PLAN

PROPERTY: 042-161-10 (See Pages A-10.0 & A-10.1)
 PROPERTY: 042-161-11 (See Pages A-11.0 & A-11.1)
 PROPERTY: 042-161-12 (See Pages A-12.0 & A-12.1)



POR APTOS RANCHO
 S.W. 1/4 SEC. 18, T.11S, R.1E, M.D.B. & M.



EXISTING FIRE HYDRANT
 (MAX. DISTANCE TO
 NEW SFR'S: 275')

Assessor's Map No. 42-16
 County of Santa Cruz, Calif.

APTOS BEACH COUNTRY CLUB
 SUB. NO. 5
 23M825 6/7/26

A.T.S.

Engineer:
Riley Russell
APN: 042-161-10, 11 & 12
City: (415) 706-4357
270 E. Douglas Ave
El Cerrito, CA 94520
(415) 706-4357

Contractor:
To Be
Determined

Project:
Russell SFR 3

Designer:
F. Wells

Drafting:
FW

Vicinity Plan II

California Coast Residential Design

Sheet A-3

- DIRECTIONS TO PROPERTY:**
- Start at 701 OCEAN ST, SANTA CRUZ going toward LEONARD ST
 - Make a U-Turn at LEONARD ST onto OCEAN ST - go 0.50.8 miles
 - Continue on PLYMOUTH ST - go 0.10.2 miles
 - Take ramp onto CA-1 S - go 0.210.1 miles
 - Take exit #435/STATE PARK DRIVE - go 0.30.5 miles
 - Turn Right on STATE PARK DR - go 0.10.2 miles
 - Turn Left on CENTER AVE - go 0.30.5 miles
 - Continue on SEA CLIFF DR - go 0.20.3 miles
 - Turn Right on SPRECKELS DR - go 0.20.2 miles
 - Bear Right on TREASURE ISLAND AVE - go 0.10.2 miles
 - Turn Left on APTOS BEACH DR
 - Turn Left on STEPHEN RD
 - Locate 3 consecutive vacant lots on the Left.

PHOTOGRAPHS OF PROJECT SITE & NEIGHBORHOOD CONTEXT:

Numbers circled are of neighboring properties as per submission requirements. Pictures were taken on November 17, 2009. Please see attachment.

The approximate ridge height of the closest properties are noted. These measurements are shown without dimension lines (measurements without dimension lines are heights, not lengths).

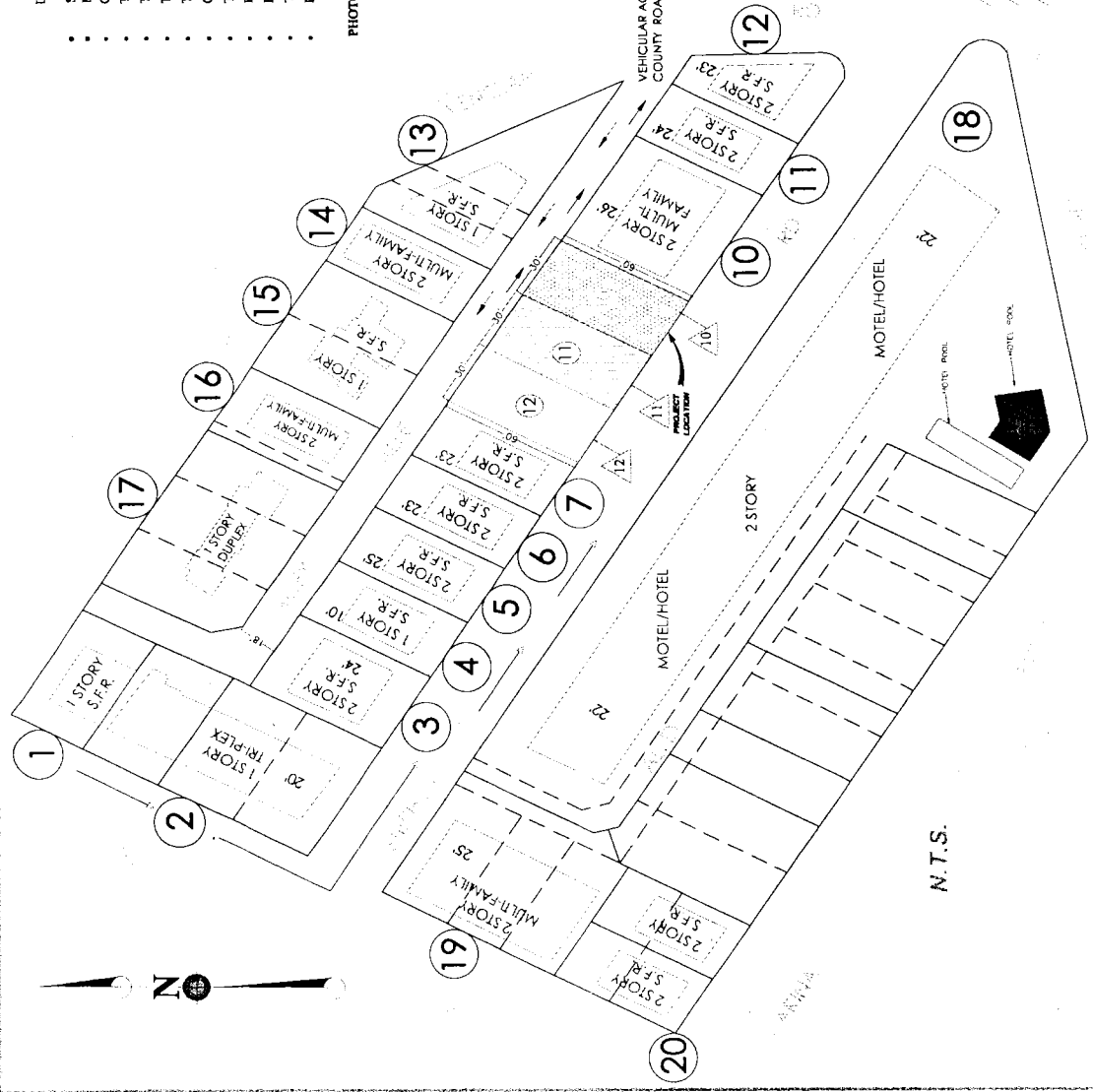
The neighborhood is a mixture of single family and multi-family residential lots. The neighborhood mostly has two story houses with some single story houses mixed in.

The property in question faces a large model across the street.

The proposed setbacks, heights, and house designs are compatible with other existing residences in the neighborhood.

Riley Russell
APN: 042-161-10, 11 & 12
2/22/2011
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- PROPERTY: 042-161-10 (See Pages A-10.0 & A-10.1)
- PROPERTY: 042-161-11 (See Pages A-11.0 & A-11.1)
- PROPERTY: 042-161-12 (See Pages A-12.0 & A-12.1)



SITE PLAN

SCALE: 1/8" = 1'-0"

58' 7" SB 7' 4" ETLAOLINE

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2/22/2011
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CONTRACTOR

CONTRACTOR IS TO VERIFY LOCATION OF ALL UTILITIES AND RECORD THEM ON THE SITE PLAN. CONTRACTOR IS TO OBTAIN LOCATION OF SEWER MAIN AND SEWER APPROVAL OF THE WATER-SEWER COMPANY. CONTRACTOR IS TO OBTAIN LOCATION OF ELECTRICAL MAINS AND RECORD THEM ON THE SITE PLAN. CONTRACTOR IS TO OBTAIN LOCATION OF TELEPHONE MAINS AND RECORD THEM ON THE SITE PLAN. CONTRACTOR IS TO OBTAIN APPROVAL OF LOCAL TELEPHONE COMPANY. CONTRACTOR IS TO OBTAIN APPROVAL OF GAS MAIN AND OBTAIN APPROVAL OF LOCAL GAS COMPANY.

1. EXISTING WORK SHALL BE NOTED AND NOTED ON THE SITE PLAN. CONTRACTOR IS TO OBTAIN APPROVAL OF THE WATER-SEWER COMPANY. CONTRACTOR IS TO OBTAIN APPROVAL OF THE LOCAL TELEPHONE COMPANY. CONTRACTOR IS TO OBTAIN APPROVAL OF THE LOCAL GAS COMPANY.
2. EXISTING WORK SHALL NOT BE SCALED FROM DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

FLOOR PLAN NOTES

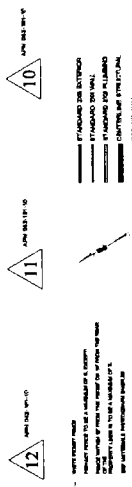
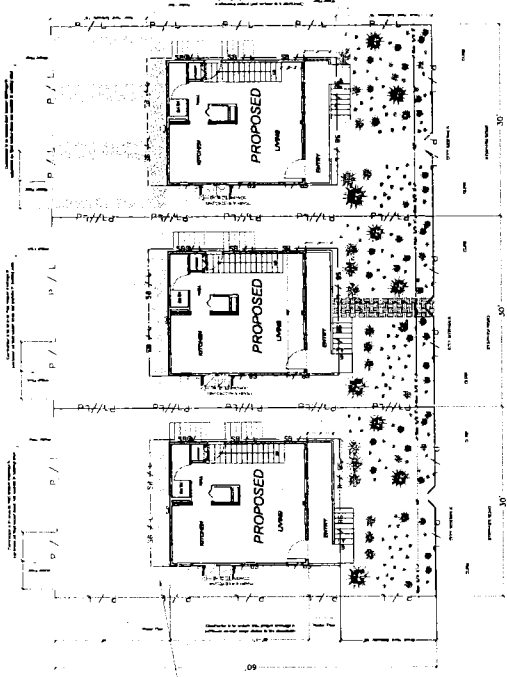
1. VERIFY ALL EXISTING DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

UTILITY COMPANIES

WATER: RIVERSIDE WATER
SEWER: RIVERSIDE WATER
ELECTRIC: SOUTHERN CALIFORNIA ELECTRIC
GAS: SOUTHERN CALIFORNIA GAS
TELEPHONE: SOUTHERN CALIFORNIA TELEPHONE

NOTES

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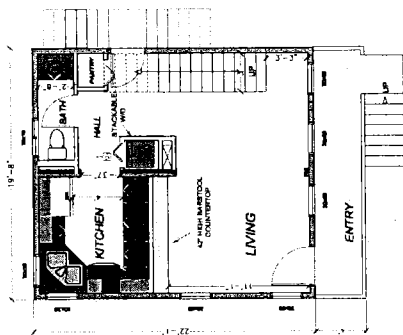


Engineer: Date: 2/22/2011 Project: Russell SFR 3 Contractor: To Be Determined	California Coast Residential Design Prepared By: Riley Russell APN: 042-161-10, 11 & 12 Cell: (415) 700-4357 270 E. Douglas Ave El Dorado, CA 92620 (310) 557-5553	Site Plan Footprint Designer: F. Wells Drafting: FW
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FLOOR PLAN

RUSSELL SFR 3
 APN: 042-161-10, 11 & 12
 2/22/2011
 SUBMISSION SET
 Not For Construction

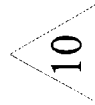
FLOOR 1
 (Proposed)



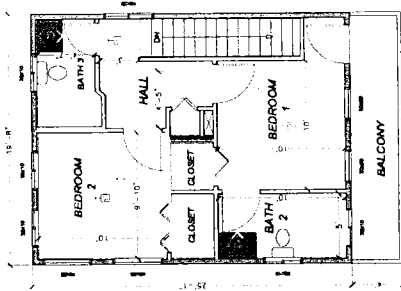
WALL LEGEND

- STANDARD 2X6 EXTERIOR
- STANDARD 2X4 WALL
- STANDARD 2X6 PLUMBING
- CENTERLINE STRUCTURAL
- RAILING WALL

SCALE: 1/4" = 1'-0"



FLOOR 2
 (Proposed)



WINDOW SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	2	36"	10"
2	2	36"	36"
3	2	48"	36"
4	2	48"	18"

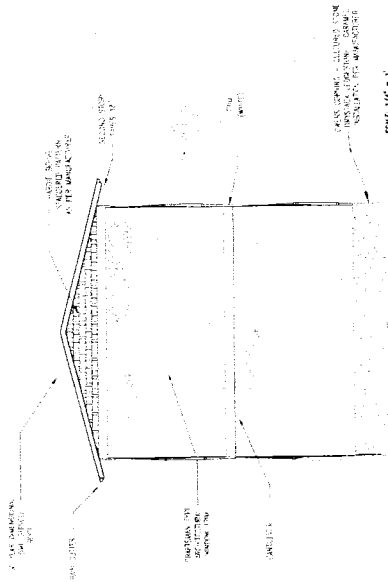
DOOR SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	2	36"	80"
2	2	36"	80"
3	2	36"	80"
4	2	36"	80"

CONDITIONS OF APPROVAL:

- FOUNDATIONS SHALL BE ANCHORED TO PREVENT FLOTATION, COLLAPSE, AND LATERAL MOVEMENT OF THE STRUCTURES.
- HOUSES SHALL BE CONSTRUCTED WITH MATERIALS AND UTILITY EQUIPMENT RESISTANT TO FLOOD DAMAGE AND USING CONSTRUCTION METHODS AND PRACTICES THAT MINIMIZE FLOOD DAMAGE.
- THE LOWEST FLOOR AND ALL ELEMENTS THAT FUNCTION AS PART OF THE STRUCTURE SHALL BE ELEVATED TO AT LEAST ONE FOOT ABOVE THE 100-YEAR FLOOD LEVEL.
- FOUNDATIONS SHALL BE DESIGNED TO MINIMIZE FLOOD WATER DISPLACEMENT.
- PRIOR TO BUILDING INSPECTION, A PROFESSIONAL ENGINEER, ARCHITECT, OR SURVEYOR SHALL CERTIFY COMPLIANCE WITH THE ELEVATION REQUIREMENT.
- ALL OPENINGS SHALL BE REQUIRED TO BE ONE SQUARE INCH FOR EVERY SQUARE FOOT OF FLOOD ELEVATION SO THAT FLOOD WATERS MAY PASS THROUGH THE BUILDING FOOTPRINT.
- THE TOTAL AREA OF THE OPENINGS IS REQUIRED TO BE ONE SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED SPACE. THESE OPENINGS SHALL BE SHOWN ON THE ELEVATIONS AND A DETAIL SHALL BE PROVIDED PRIOR TO BUILDING PERMIT ISSUANCE.
- THE PROJECT SHALL COMPLY WITH ALL FEMA AND COUNTY REGULATIONS FOR DEVELOPMENT WITHIN A FLOODPLAIN.
- A DECLARATION OF GEOTECHNICAL ENGINEER SHALL BE PROVIDED PRIOR TO BUILDING PERMIT ISSUANCE.
- AN ELEVATION CERTIFICATE SHALL BE REQUIRED PRIOR TO BUILDING PERMIT FINAL.

Elevations 1	Designer: F. Wells Drafting: FW	Project: Russell SFR 3	Date: 2/22/2011	Sheet: A-10.1
	Engineer: To Be Determined	Contractor: California Coast Residential Design 270 E. Douglas Ave. El Cerrito, CA 94530 (916) 887-3862	Project: Russell SFR 3	Date: 2/22/2011

10



REAR ELEVATION

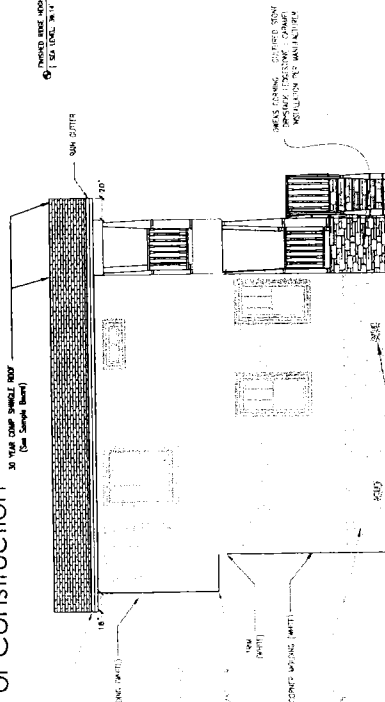
SCALE: 1/4" = 1'

FRONT ELEVATION

RUSSELL SFR 3
APN: 042-161-10, 11 & 12
2/22/2011
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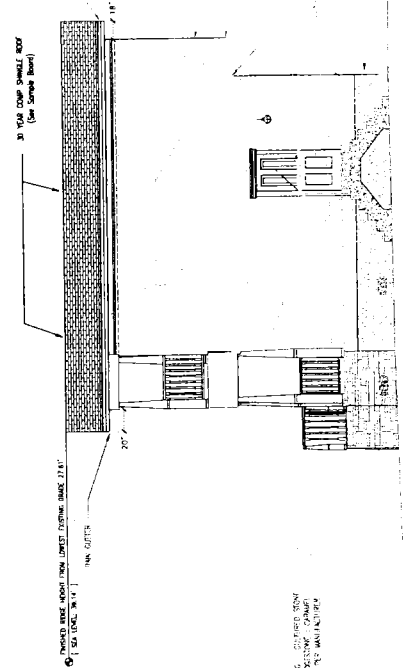
30 YEAR CLIM. SHIELD ROOF
(See Sample Sheet)

30 YEAR CLIM. SHIELD ROOF
(See Sample Sheet)



LEFT ELEVATION

SCALE: 1/4" = 1'



RIGHT ELEVATION

FLOODWATER
OPENINGS

ROOF PLAN

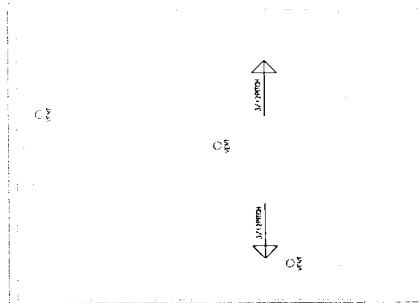
RUSSELL SFR 3

APN: 042-161-10, 11 & 12

2/22/2011

SUBMISSION SET

Not For Construction



Roof coverings shall be installed per approved manufacturer's installation instructions and applicable provisions of CBC 1506.1.

Walls shall terminate vertically not less than 6" above roof, nor less than 1" from any vertical surface and 10" from or 3" above any opening such as windows, doors, air intakes, not less than 2" from any lot line. Side wall vent may not terminate under vented soffit. CBC 905.1.2

Roof/Jack ventilation: Min. net free ventilation 1/150 sq. ft. of area with 50% of area covered by ventilation. Min. of 3" above eave or cornice vents and the balance ventilation provided by eave or cornice vents. Obstructions to eave or cornice vents shall be covered with corrosion-resistant wire mesh. Mesh openings: Min. of 1/8" not to exceed 1/4". CBC 1203.2, 1203.3.1

Roof gutters shall be of non-combustible materials or min. schedule 40 plastic pipe.

For eaveless vents 12" or smaller shall terminate a min. of 12" above any portion of a building within 10' horizontally when 6:12 or flatter, see CBC Figure 6-2 for vents larger than 12". Vents within 8' of a wall shall terminate a min. of 2' above the wall's roof edge. Exception: Direct-Vent CBC 802.6.2, 802.8.1

INSURANCE
FURNISH LOCAL PLANNING & BUILDING APPROVALS
MAY COUNTY WITH ALL LOCAL & STATE CODES
PROVIDED FOR THE PROJECT
CONTRACTOR TO OBTAIN APPROVALS
NOT BEARER OF RISK

SCALE: 1/4" = 1'



Sheet A-10.2	Date: 2/22/2011	Engineer: Riley Russell APN: 042-161-10, 11 & 12 CNC (415) 706-4357	Contractor: To Be Determined	Project: Russell SFR 3
California Coast Residential Design Prepared By: 270 E. Douglas Ave. El Cerrito, CA 94530 (925) 967-9930				
Roof Plan	Designer: F. Wells	Drafting: FW		

RUSSELL SFR 2

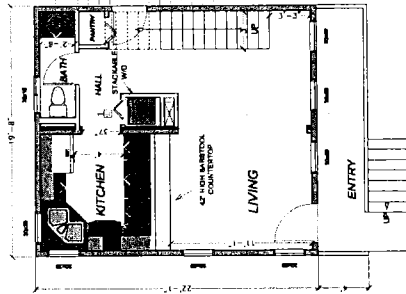
APN: 042-161-10, 11 & 12

2/22/2011

SUBMISSION SET

Not For Construction

FLOOR 1
(Proposed)



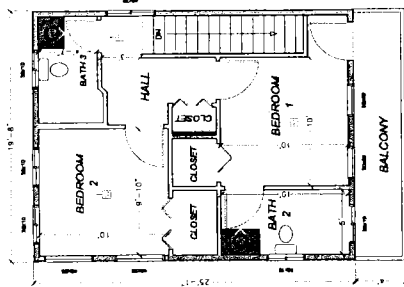
WALL LEGEND

- STANDARD 2X6 EXTERIOR
- STANDARD 2X4 WALL
- STANDARD 2X6 PLUMBING
- CENTERLINE STRUCTURAL
- RAILING WALL

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	1	30"	60"
1	1	30"	60"
1	1	30"	60"
1	1	30"	60"
DOOR SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	1	30"	60"
1	1	30"	60"
1	1	30"	60"
1	1	30"	60"

FLOOR 2
(Proposed)



WINDOW SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	2	30"	60"
1	2	30"	60"
1	2	30"	60"
1	2	30"	60"
DOOR SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	2	30"	60"
1	2	30"	60"
1	2	30"	60"
1	2	30"	60"

11

FLOOR PLAN

FLOOR PLAN
F. Wells
Drafting:
FW

Engineer
To Be
Determined

Project:
Russell SFR 3

Date:
2/22/2011

Sheet
A-110

California Coast Residential Design
270 E. Douglas Ave.
El Centro, CA 92520
(951) 887-8865
APN: 042-161-10, 11 & 12
CDE: (415) 706-4357
Haley Flinn
City of El Centro

Plotted: 2/22/2011 10:00 AM
Plotted By: Haley Flinn
Plotted: 2/22/2011 10:00 AM
Plotted By: Haley Flinn

ROOF DRAINAGE
GENERAL: Roofs shall be sloped a minimum of 1 unit vertical in 48 units horizontal (2% slope) for drainage unless designed for water accumulation in accordance with CBC Section 1611 and approved by the building official. Roof drains and overflow drains shall be designed to comply with Chapter 11 of the California Plumbing Code.

ROOF DRAINAGE Roof areas of all buildings shall be drained by roof drains or drains. Unless otherwise specified, roof drains shall be designed to support accumulated water, roof drains shall be installed at each low point of the roof.

Roof drains shall be adequate in size to convey the water tributary to the roof drain. Roof drains shall be sized according to CPC Tables 11-1 and 11-2, assuming a minimum four inch (4") per hour rainfall.

Roof drains shall be equipped with strainers extending not less than four inches (4") above the surface of the roof immediately adjacent to the drain. Strainers shall have a minimum inlet area one and one-half (1-1/2) times the pipe to which they are connected. Roof deck strainers for use on sun decks, parking decks, and similar occupied areas may be of an approved flat-surface type which is level with the deck. Such flat-surface drains shall have an inlet area not less than two (2) times the area of the pipe to which the drain is connected.

OVERFLOW DRAINS AND EQUIPPING Where roof drains are required, overflow drains having the same size as the roof drains shall be installed with the inlet flow line located 2" above the low point of the roof. Alternatively, overflow scoopers at least 4" high and having a width equal to the circumference of the roof primary drain may be installed in the adjacent parapet walls with the inlet flow line located 2" above the low point of the adjacent roof.

Overflow drains shall discharge to an approved location. Overflow drains are allowed to connect to the vertical piping of the primary storm drain downstream of any horizontal offset below the roof. The combined drain system shall be sized to accommodate a doubled rainfall rate.

Roof drains passing through the roof into the interior of a building shall be protected by a curb or other approved device. Flashing and counterflashing in vents shall be provided as required in CBC Section 1405.3; for roof valley flashing and all other roof penetrations, see CBC section 1501.2.

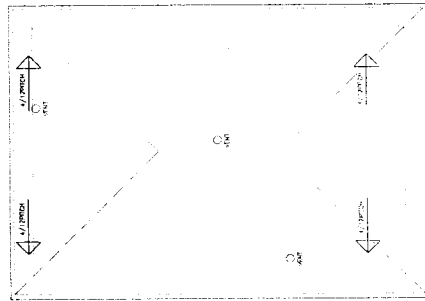
Sizing of Roof Drains and Rainwater Piping Based on Horizontal Projected Roof Area in Sq. Ft. and Four Inch Rainfall
Size of Drain or Leader in Inches
2 3 4 5
Maximum Area in Square Feet
544 1810 3480 6250

* Round, square, or rectangular rainwater pipe may be used and are considered equivalent when enclosing a scuffed circle equivalent to the leader diameter. Roof drains should not discharge on or above any landscaped or septic tanks.

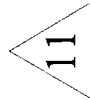
Materials: Roof drains and overflow drains shall be constructed of cast iron, copper, lead, schedule 40 ABS or PVC, or other approved corrosion-resistant materials.

GAS APPLIANCE VENTS 12" or smaller shall terminate a min. of 12" above any portion of a building within 10' horizontally when 6:12 or flatter, see CBC Figure S-2 for vents larger than 12". Vents within 8' of a wall shall terminate a min. of 2' above the wall's roof edge. Exception: Direct-Vent CMV 802.6.2, 802.8.1

ROOF PLAN



PROVIDE LOCAL PLUMBING & BUILDING APPROVALS
FOR ALL ROOF DRAINAGE AND VENTING
CONTRACTOR TO HOUSE REPORT
ROOF DRAINAGE SCHEDULE
SCALE: 1/4" = 1'



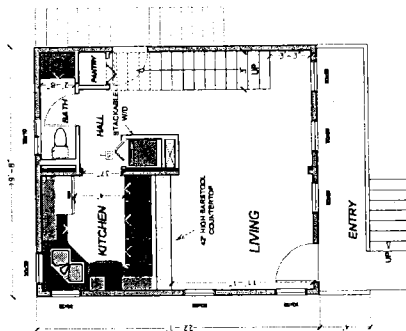
RUSSELL SFR 2
APN: 042-161-10, 11 & 12
2/22/2011
SUBMISSION SET
Not For Construction

Engineer: Date: 2/22/2011 Project: Russell SFR 3 Sheet: A-11.2	Contractor: To Be Determined	California Coast Residential Design 270 E. Douglas Ave. El Cerrito, CA 94530 (925) 887-3888 415-706-4357 APN: 042-161-10, 11 & 12 Filing Number: 042-161-10, 11 & 12	Designer: F. Wells Drafting: F.W.	Roof Plan
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Not For Construction

**FLOOR
PLAN**

**FLOOR 1
(Proposed)**



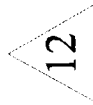
WINDOW SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
2	1	30"	58"
2	1	30"	58"
1	1	30"	10"

DOOR SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
2	1	24"	80"
1	1	30"	80"
1	1	30"	80"
1	1	30"	80"

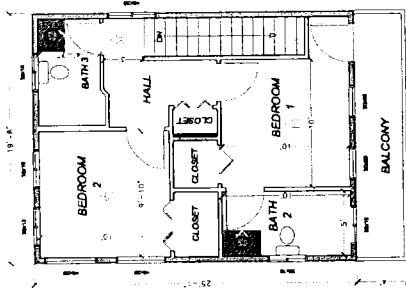
WALL LEGEND

- STANDARD 2X6 EXTERIOR
STANDARD 2X4 WALL
STANDARD 2X6 PLUMBING
CENTERLINE STRUCTURAL
RAILING WALL

SCALE: 1/4" = 1'-0"



**FLOOR 2
(Proposed)**



WINDOW SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
2	2	30"	58"
6	2	38"	10"
1	2	48"	38"
2	2	48"	58"

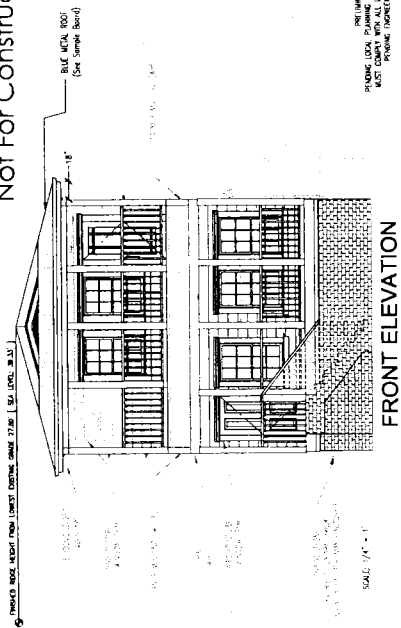
DOOR SCHEDULE			
QTY	FLOOR	WIDTH	HEIGHT
1	2	18"	80"
2	2	24"	80"
1	2	30"	80"
2	2	36"	80"

CONDITIONS OF APPROVAL:

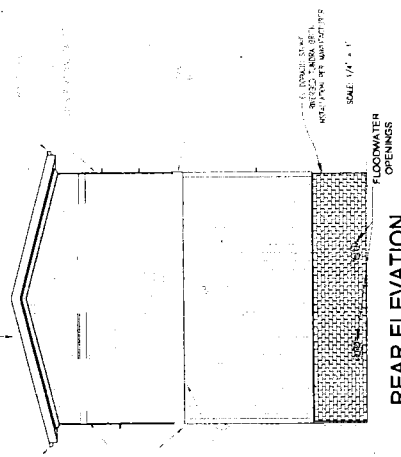
- FOUNDATIONS SHALL BE ANCHORED TO PREVENT FLOTATION, COLLAPSE, AND LATERAL MOVEMENT OF THE STRUCTURES.
- HOMES SHALL BE CONSTRUCTED WITH MATERIALS AND UTILITY EQUIPMENT RESISTANT TO FLOOD DAMAGE AND USING CONSTRUCTION METHODS AND PRACTICES TO MINIMIZE FLOOD WATER DISPLACEMENT.
- THE LOWEST FLOOR AND ALL ELEMENTS THAT FUNCTION AS PART OF THE STRUCTURE SHALL BE ELEVATED TO AT LEAST ONE FOOT ABOVE THE 100-YEAR FLOOD LEVEL.
- FOUNDATIONS SHALL BE DESIGNED TO MINIMIZE FLOOD WATER DISPLACEMENT.
- PRIOR TO SUBFLOOR BUILDING INSPECTION, A PROFESSIONAL ENGINEER, ARCHITECT, OR SURVEYOR SHALL CERTIFY COMPLIANCE WITH THE ELEVATION REQUIREMENTS.
- MINIMUM OF TWO OPENINGS SHALL BE REQUIRED BELOW THE BASE FLOOR ELEVATION SO THAT FLOOD WATERS MAY PASS THROUGH THE BUILDING FOOTPRINT. THE TOTAL AREA OF THE OPENINGS IS REQUIRED TO BE ONE SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED SPACE. THESE OPENINGS SHALL BE SHOWN ON THE ELEVATION AND A DETAIL SHALL BE PROVIDED PRIOR TO BUILDING PERMIT ISSUANCE.
- THE PROJECT SHALL COMPLY WITH ALL FIRM AND COAST GUARD DISTRICT REGULATIONS AND REQUIREMENTS WITHIN A FLOODPLAIN.
- A DEVIATION CERTIFICATE SHALL BE REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.
- A DEVIATION CERTIFICATE SHALL BE REQUIRED PRIOR TO BUILDING PERMIT FINAL.

Sheet A-12.0	Project Russell SFR 3	Engineer: To Be Determined	Contractor: California Coast Residential Design 270 E. Douglas Ave. El Cerrito, CA 94520 (916) 867-3003	Designer: F. Wells	Drafting: FW	FLOOR PLAN
Date: 2/22/2011	Client: ACM 04-181-10, 11 & 12 Call (415) 709-4387	Prepared by: California Coast Residential Design				

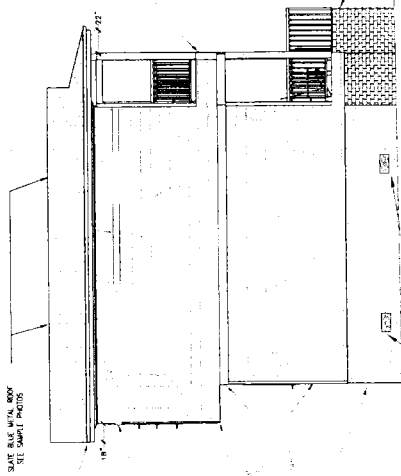
RUSSELL SFR 1
 APN: 042-161-10, 11 & 12
 2/22/2011
 SUBMISSION SET
 Not For Construction



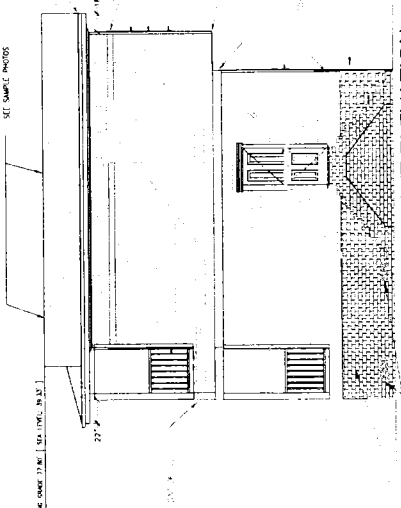
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Designer: F. Wells Drafting: FW Elevations 1	Engineer: Ray F. Wells APN: 042-161-10, 11 & 12 (916) 415-7004/357 California Coast Residential Design 270 E. Douglas Ave. El Cajon, CA 92020 (619) 447-1863	Contractor: To Be Determined Project: Russell SFR 3 Date: 2/22/2011 Sheet: A-12.1
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ROOF PLAN

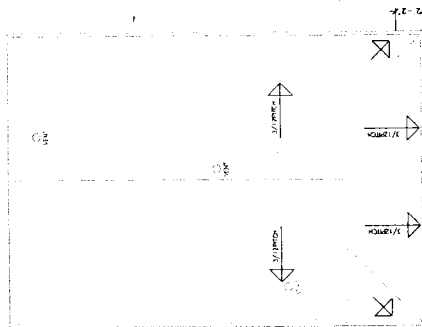
RUSSELL SFR 1

APN: 042-161-10, 11 & 12

2/22/2011

SUBMISSION SET

Not For Construction



Roof coverings shall be installed per approved manufacturer's installation instructions and applicable provisions of CBC 1506.1

Walls shall terminate vertically not less than 6" above roof, nor less than 1" from any vertical surface and 10" from or 3" above any opening such as windows, doors, air intake, nor less than 3" from any lot line. Side wall vent may not terminate under vented soffits. CBC 906.1.2

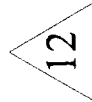
Roof/Vent: Min. net free ventilation 1/150 sq. ft. of area with 50% at lower portion a min. of 3" above eave or cornice vents and the balance ventilation provided by eave or cornice vents. Openings to attic shall be covered with corrosion-resistant wire mesh. Mesh openings: Min. of 1/8" not to exceed 1/4". CBC 1303.2, 1303.2.1

Roof gutters shall be of non-combustible materials or min. schedule 40 plastic pipe.

Gas appliances vents 12" or smaller shall terminate a min. of 12" above any portion of a building within 10' horizontally when 6:12 or flatter, see CBC Figure 8-2 for vents larger than 12". Vents within 8' of a wall shall terminate a min. of 2" above the wall roof edge. Exception: Direct-Vent CBC 803.6.2, 803.8.1

NO LANEWAY
 PERMITS: LOCAL PLANNING & BUILDING DEPARTMENTS
 MUST BE OBTAINED PRIOR TO CONSTRUCTION
 PERMITS: DRAINAGE, EROSION
 CONTROL, TO LOCAL AGENCIES
 NOT REPRODUCED

SCALE: 1/4" = 1'



12

Client: Riley Russell APN: 042-161-10, 11 & 12 CMT (415) 704-4357	Engineer: To Be Determined	Project: Russell SFR 3	Sheet: A-12.2
Contractor: California Coast Residential Design 770 E. Douglas Ave. El Cerrito, CA 94620 (415) 947-3860		Drafting: F. Wells	Roof Plan

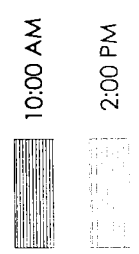
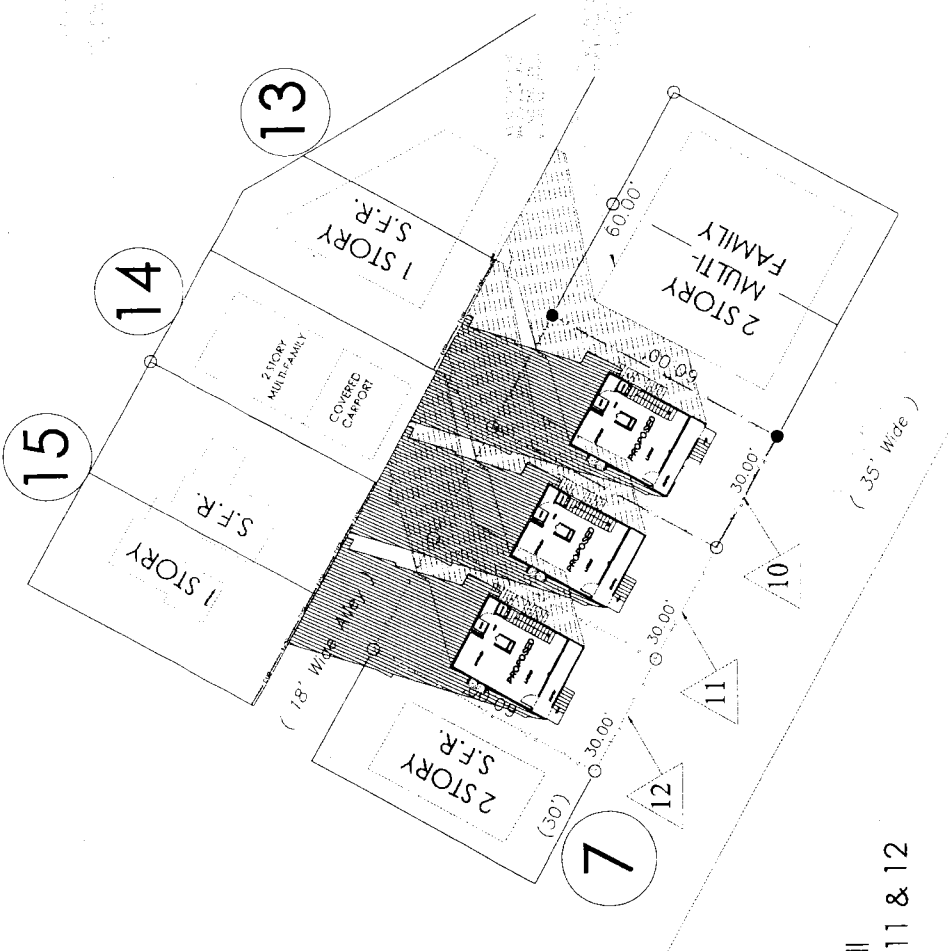


EXHIBIT A

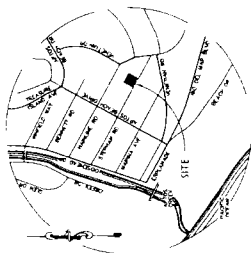
Engineer: Riley Russell Civil APN: 042-161-10, 11 & 12 CMT (415) 706-4357 Registered 270 E. Douglas Ave. El Cajon, CA 92020 (619) 467-3863		Contractor: To Be Determined	Project: Russell SFR 3	Sheet: A-S-2
Date: 2/22/2011		Project: Russell SFR 3		
Designer: F. Wells		Drafting: FW		

SHADOW/ PLAN 2

SCALE: 1" = 12'



Riley Russell
 APN: 042-161-10, 11 & 12
 2/22/2011
 SUBMISSION SET
 Not For Construction



VICINITY MAP
NO SCALE

PROPERTY.

DIRECTIONS TO PROPERTY:

- [illegible]

Summary Table

Immersive Area per Lot:
Breeding Quantities per Lot
Fold Area for Raising per
Fold Area of Raising per
Immersive Area per Lot

ASSESSOR'S PARCEL #'S

042-161-010
042-161-011
042-161-012

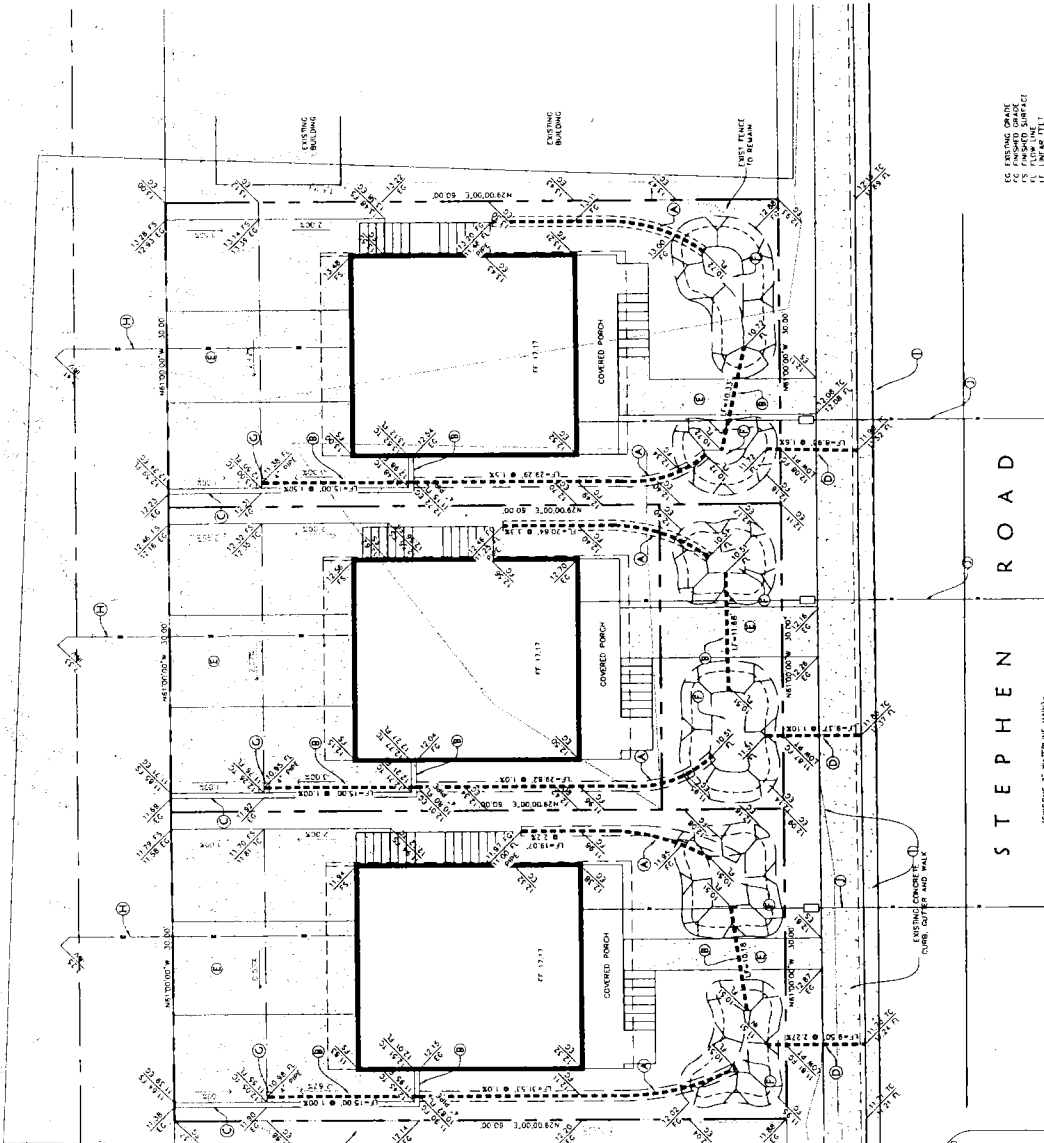
LEGEND

- ② INSTALL FRENCH CHAIN WITH 4" DIA HORIZONTAL SPLIT END OF CHAIN 2"
- ③ INSTALL 1" DIA PUMP OF LOCAL
- ④ INSTALL 1" DIA PUMP OF LOCAL
- ⑤ INSTALL 1" DIA PUMP OF LOCAL
- ⑥ INSTALL 1" DIA PUMP OF LOCAL
- ⑦ INSTALL 1" DIA PUMP OF LOCAL
- ⑧ INSTALL 1" DIA PUMP OF LOCAL
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SLEETS

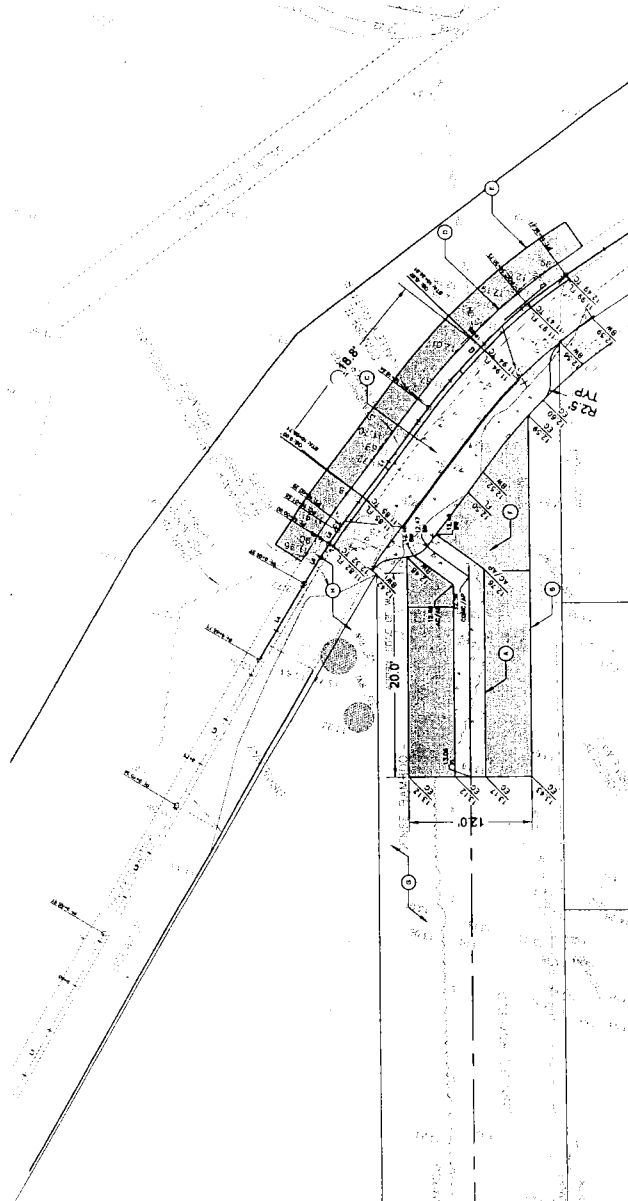
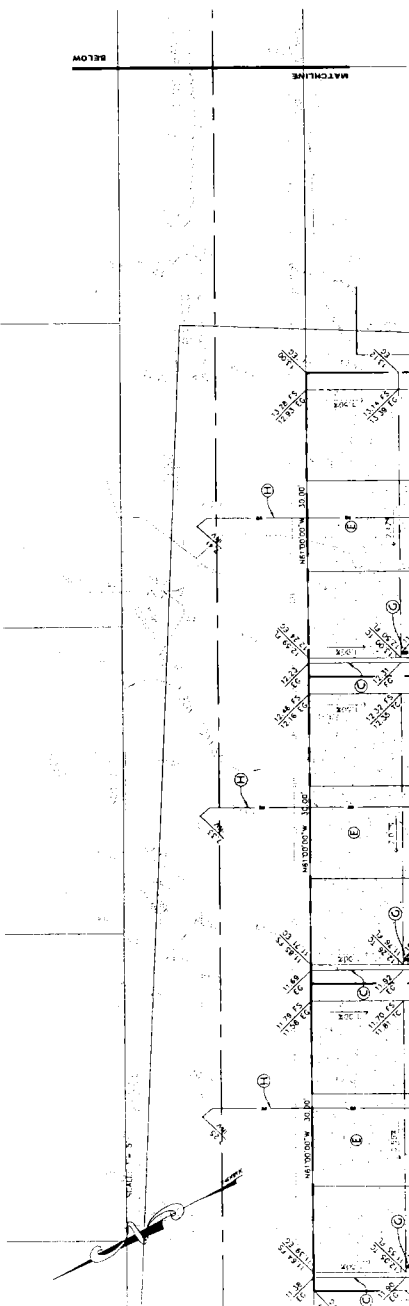
- | | |
|-------|-------------------------------------|
| C-1.1 | GRADING AND DRAINAGE PLAN |
| C-1.2 | GRADING & DRAINAGE (ALLEY) OPTION 1 |
| C-1.3 | GRADING & DRAINAGE (ALLEY) OPTION 2 |
| C-1.4 | PLAN AND PROFILE @ VENTNATED |
| C-2.1 | EROSION CONTROL PLAN |
| C-2.2 | DETAILS |



STEPHEN ROAD

[illegible]

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
CALL
before you
Dig
1-800-642-2444
UNDERGROUND SERVICE (USA)



Curve #	Radius	Length	Delta
C1	10.00'	0.75'	4° 17' 10"
C2	50.00'	14.00'	13° 27' 30"
C3	80.00'	4.00'	2° 28' 14"

Line #	Direction	Length
1.1	503° 49' 50"E	77.20'
1.1	524° 09' 00"E	14.36'
1.2	503° 41' 58"E	14.47'
1.3	523° 56' 18"E	18.38'
1.4	503° 41' 42"E	8.84'
1.5	523° 17' 16"E	4.83'
1.6	523° 17' 18"E	1.56'
1.7	54° 52' 04"E	93.05'

LEGEND

- D THREE FOOT-THICK CONCRETE SHALL BE APPROXIMATELY 1 IN. THICKER THAN THE EXISTING CONCRETE.
- E THE NEW DRIVEWAY APPROACH SHALL BE SANDY, CRUSHED STONE OR GRAVEL.
- F THE NEW DRIVEWAY APPROACH SHALL BE SANDY, CRUSHED STONE OR GRAVEL.
- G REMOVE LAMINATE FROM ALL EXISTING DRIVEWAYS AND DRIVEWAYS TO NEW DRIVE DRIVE.

AVOID CUTTING UNDERGROUND
UTILITIES. IT'S COSTLY.
CALL
before you
Dig
1-800-642-2444
UNDERGROUND SERVICE (USA)

EG EXISTING GRADE
FG FINISHED GRADE
FS FINISHED SURFACE
FL FLOW LINE
LF LINEAR FEET
T TOTAL OF CUBIC

PLAN PREPARED FOR:
RUSSELL RILEY
STEPHEN RD
APTOS, CA 95003

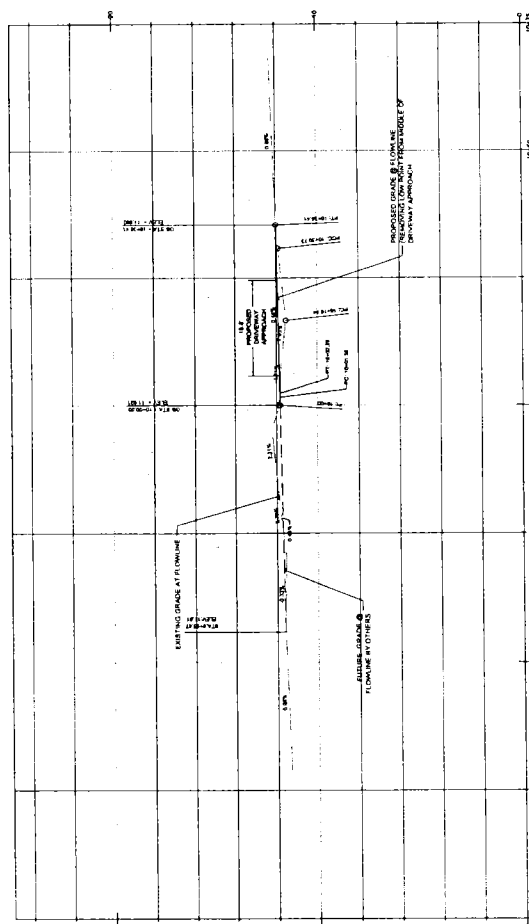
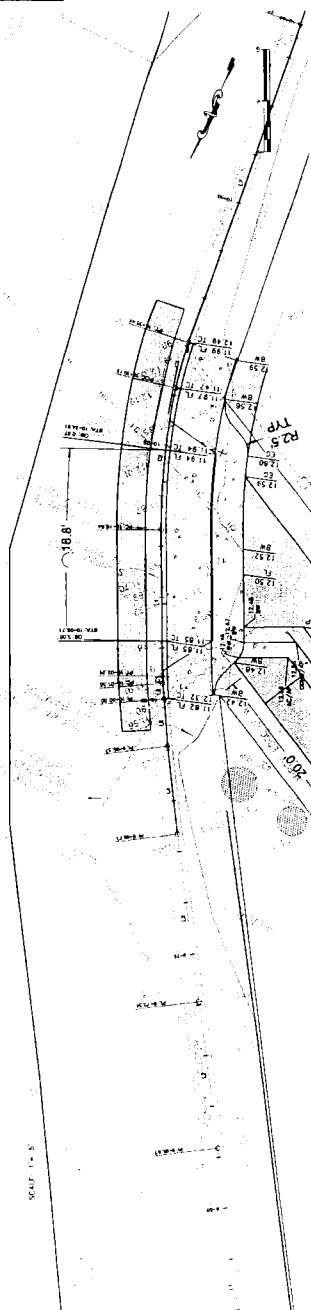
[illegible][illegible]

GRADING & DRAINAGE (ALLEY) OPTION

C-1.3

Curve #	Radius	Length	Delta
C1	10.00'	0.78'	4° 17' 10"
C2	80.00'	14.59'	15° 27' 30"
C3	80.00'	6.43'	4° 28' 14"

Line #	Direction	Length
1.1	8.30° 46° 58"E	77.20'
1.1	5.9° 02' 08"W	14.34'
1.2	8.30° 41' 58"E	14.47'
1.3	8.30° 55' 18"E	10.26'
1.4	5.00° 41' 42"E	8.84'
1.5	8.28° 17' 18"E	4.67'
1.6	5.28° 17' 18"E	1.55'
1.7	94° 32' 04"W	33.02'



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

CALL
before you
Dig

1-800-642-2444
UNDERGROUND SERVICE (USA)

EG EXISTING GRADE
FG FINISHED GRADE
FS FINISHED SURFACE
FL FLOW LINE
LF LINEAR FEET
TC TOP OF CURB

VENETIAN - FL PROFILE



PLAN PREPARED FOR
RUSSELL RILEY
APTOS, CA 95003

C-3.1

DETAILS

DATE: 10/10/2018
PROJECT: 18-001
SHEET: 1 OF 1

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/2018
2	REVISED FOR COMMENTS	10/10/2018
3	REVISED FOR COMMENTS	10/10/2018
4	REVISED FOR COMMENTS	10/10/2018
5	REVISED FOR COMMENTS	10/10/2018
6	REVISED FOR COMMENTS	10/10/2018
7	REVISED FOR COMMENTS	10/10/2018
8	REVISED FOR COMMENTS	10/10/2018
9	REVISED FOR COMMENTS	10/10/2018
10	REVISED FOR COMMENTS	10/10/2018

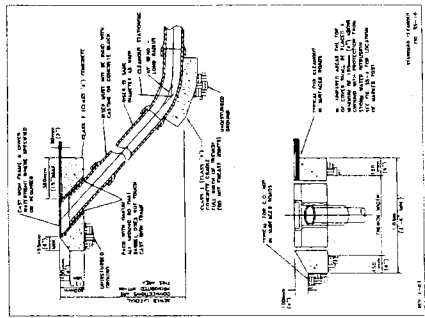
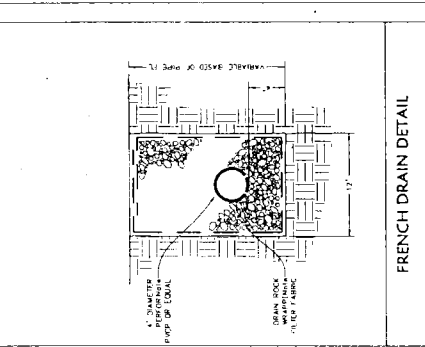
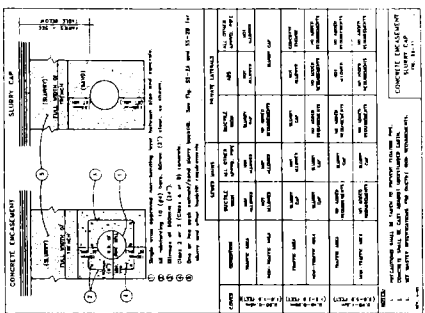
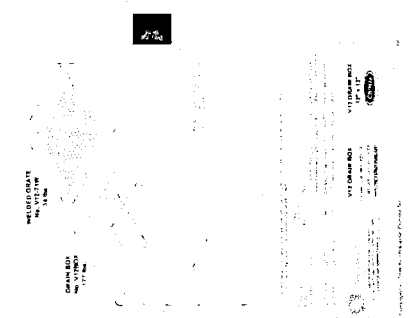
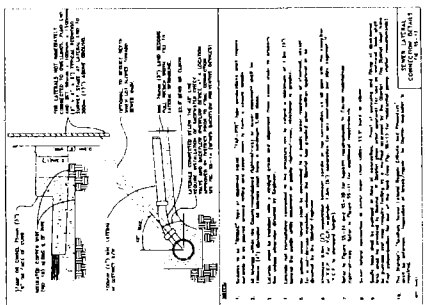
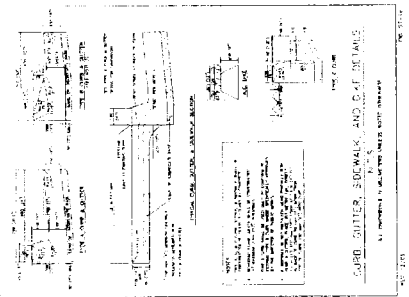
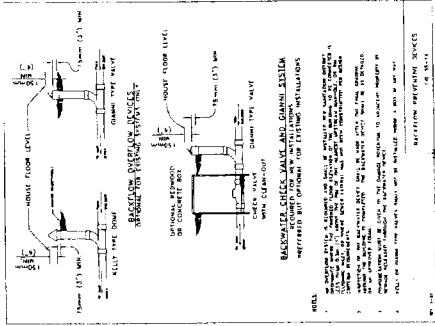
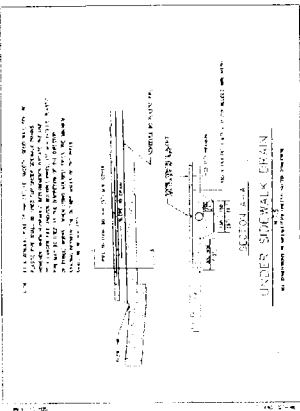


Figure 10 consists of four diagrams labeled (a) through (d), each showing a cross-section of a retaining wall and its associated surcharge. The diagrams are arranged in a 2x2 grid. Each diagram shows a retaining wall of height 1.5 m and width 1.8 m. The surcharge is shown as a rectangular area above the wall. The diagrams illustrate different design scenarios for the retaining wall and its surcharge.

(a) RETAINING WALL WITH 1.5 m HIGH SURCHARGE AND 1.5 m HIGH RETAINING WALL. The diagram shows a retaining wall of height 1.5 m and width 1.8 m. The surcharge is shown as a rectangular area above the wall. The dimensions are 1.5 m for the surcharge height and 1.5 m for the retaining wall height.

(b) RETAINING WALL WITH 1.5 m HIGH SURCHARGE AND 1.5 m HIGH RETAINING WALL. The diagram shows a retaining wall of height 1.5 m and width 1.8 m. The surcharge is shown as a rectangular area above the wall. The dimensions are 1.5 m for the surcharge height and 1.5 m for the retaining wall height.

(c) RETAINING WALL WITH 1.5 m HIGH SURCHARGE AND 1.5 m HIGH RETAINING WALL. The diagram shows a retaining wall of height 1.5 m and width 1.8 m. The surcharge is shown as a rectangular area above the wall. The dimensions are 1.5 m for the surcharge height and 1.5 m for the retaining wall height.

(d) RETAINING WALL WITH 1.5 m HIGH SURCHARGE AND 1.5 m HIGH RETAINING WALL. The diagram shows a retaining wall of height 1.5 m and width 1.8 m. The surcharge is shown as a rectangular area above the wall. The dimensions are 1.5 m for the surcharge height and 1.5 m for the retaining wall height.

[illegible]

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the properties are zoned RM-3 (Multi-family residential - 3,000 square feet minimum), a designation which allows residential uses. The proposed single family dwellings are a principal permitted use within the zone district, and the zoning is consistent with the site's (R-UH) Urban High Density Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the dwellings will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the RM-3 (Multi-family residential - 3,000 square feet minimum) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the designs submitted are consistent with the existing range of styles.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed dwellings will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the dwellings and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RM-3 (Multi-family residential - 3,000 square feet minimum) zone district. The primary use of each property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Urban High Density Residential (R-UH) land use designation in the County General Plan.

The proposed dwellings will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meet all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the dwellings will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed dwellings will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed dwellings will comply with the site standards for the RM-3 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in structures consistent with a design that could be approved on any similarly sized lot in the vicinity.

The parcels are located within the Rio Del Mar Esplanade special community as designated in the General Plan/Local Coastal Program. This proposal is consistent with the guidelines for the

Conditions of Approval

Exhibit A: Project plans "Russell SFR 3", 22 sheets, prepared by California Coast Residential Design, dated 2/22/11.

- I. This permit authorizes the construction of three single family dwellings (one per each vacant residential parcel) per the approve Exhibit "A" for this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain final sanitary sewer service approval for this project from the Santa Cruz County Sanitation District.
 - D. Obtain final water service approval for this project from the Soquel Creek Water District.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - F. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.

2. Grading, drainage, and erosion control plans.
 3. Details regarding flood elevation to comply with the requirements of Environmental Planning staff.
 4. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
 5. Details showing compliance with fire department requirements. The proposed structure(s) are located within the State Responsibility Area (SRA) and the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of and pay Zone 6 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. Comply with all requirements of Department of Public Works, Drainage staff, including the following: The project plans shall be revised to include pervious paving below the parking areas at the rear of the property.
- D. Provide evidence of sanitary sewer service availability for this project from the Santa Cruz County Sanitation District.
- E. Provide evidence of water service availability for this project from the Soquel Creek Water District.
- F. Meet all requirements and pay any applicable plan check fee of the Aptos/La Selva Fire Protection District.
- G. Provide evidence of compliance with flood elevation requirements for review and approval by Environmental Planning staff.
- H. Submit 3 copies of a plan review and acceptance letter prepared and stamped by a licensed Geotechnical Engineer.

- I. Pay the current fees for Parks and Child Care mitigation for 6 bedrooms (2 per dwelling). Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
 - J. Pay the current fees for Roadside and Transportation improvements for 3 units. Currently, these fees are, respectively, \$2,955 and \$2,955 per unit.
 - K. Provide required off-street parking for 9 cars (3 cars on each residential parcel, for each dwelling). Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - L. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - M. Complete and record a Declaration of Restriction to construct a residence within a geologic hazard area for each of the three parcels. Environmental Planning staff will generate the declaration during the Building Permit review process. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County

inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit,

Application #: 10-0180
APN: 042-161-10, -11, -12
Owner: Russell

will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Deputy Zoning Administrator

Randall Adams
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 10-0180

Assessor Parcel Number: 042-161-10, -11, -12

Project Location: No situs

Project Description: Proposal to construct three single family dwellings on existing parcels

Person or Agency Proposing Project: Fargo Wells

Contact Phone Number: (310) 867-3993

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

- E. X **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of three single family dwellings on three vacant parcels in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

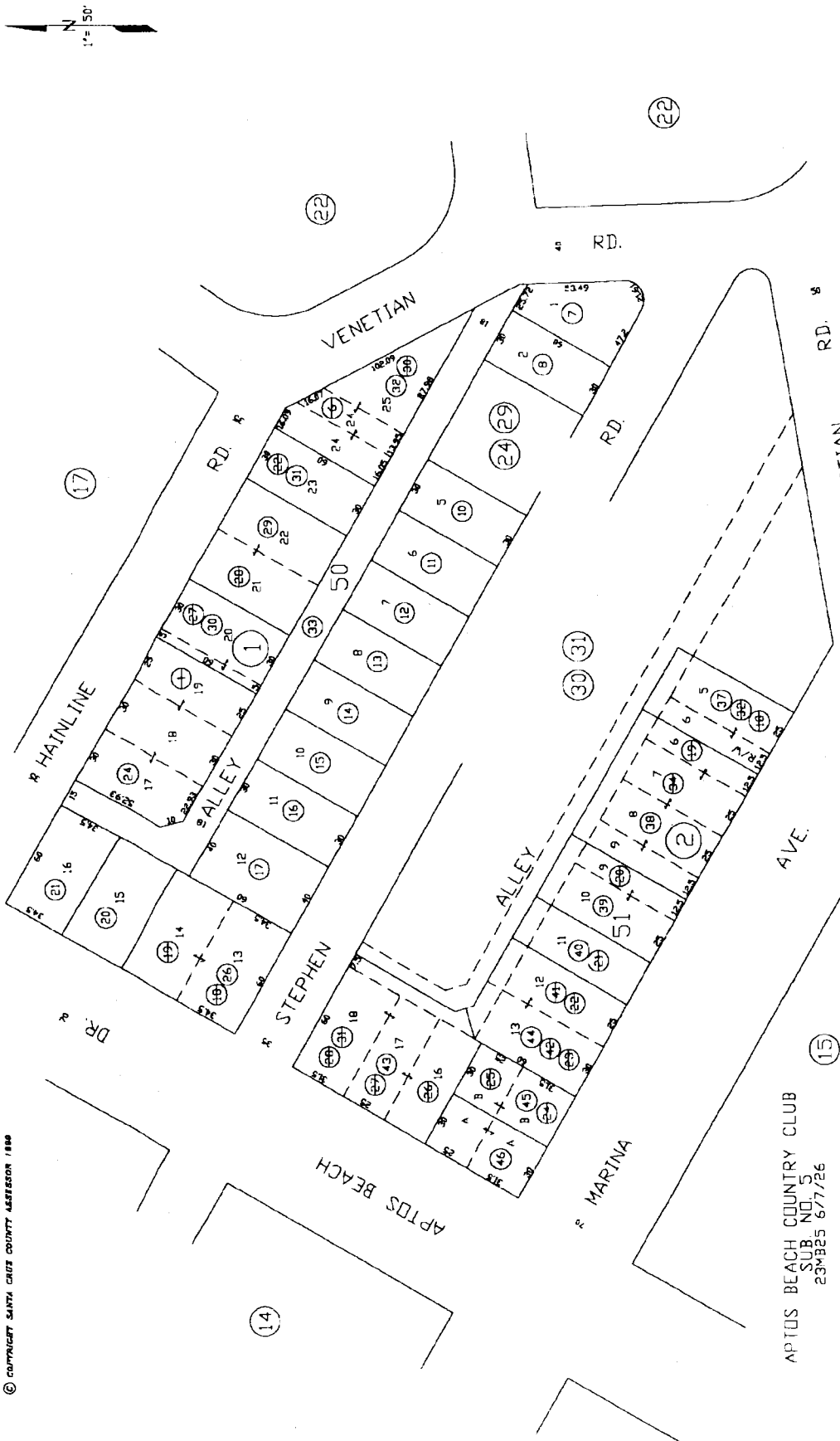
FOR TAX PURPOSES ONLY

POR. APTOS RANCHO
S.W. 1/4 SEC 18, T.11S., R.1E., MDB & M

Tax Area Code
69-273

42-16

THE ASSessor MAKES NO GUARANTEE AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ASSessor ASSUMES NO LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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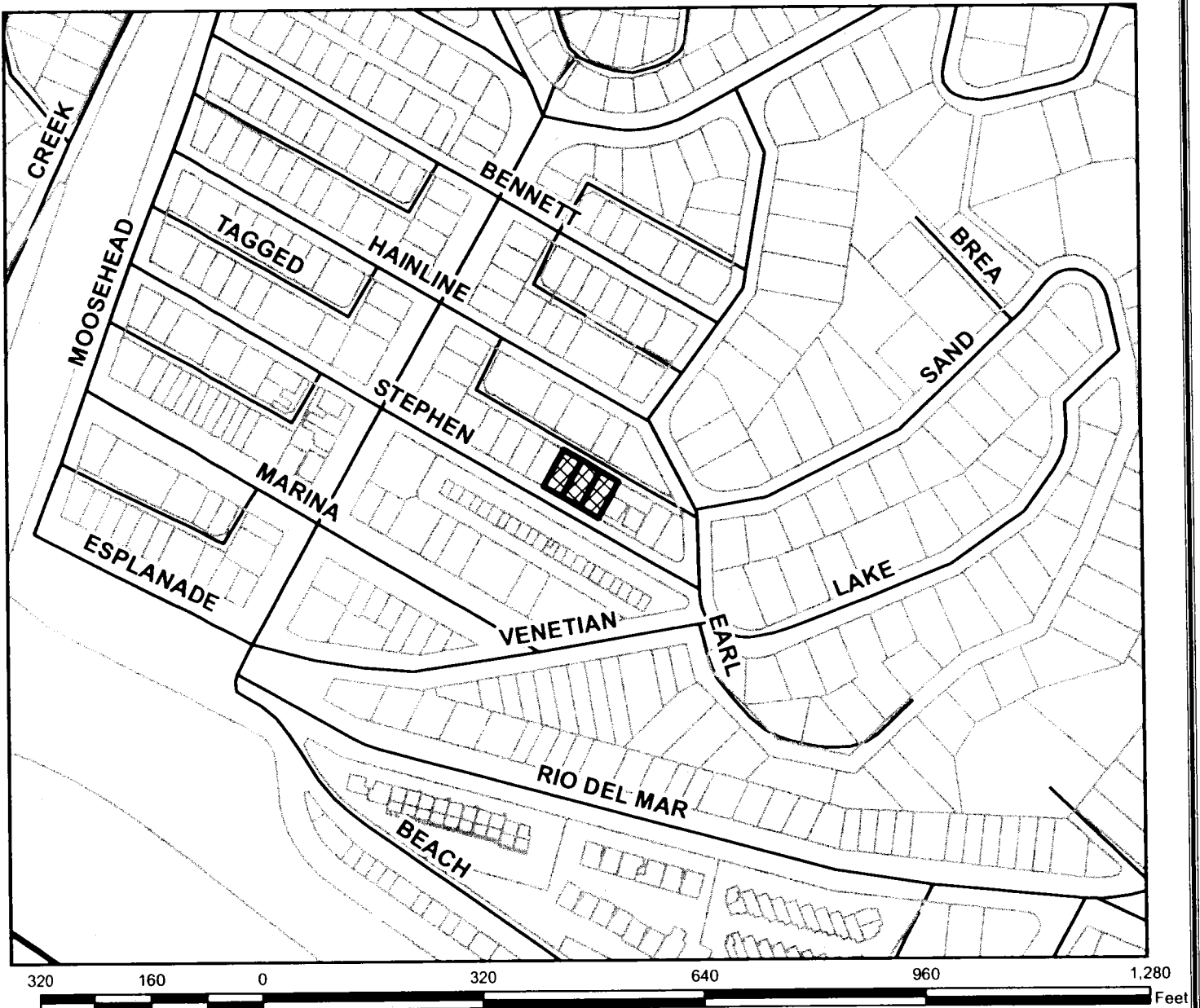
Assessor's Map No. 42-16
County of Santa Cruz, Calif
January, 1999

Note - Assessor's Parcel & Block
Numbers Shown in Circles.







APTOS BEACH COUNTRY CLUB
SUB NO. 5
23MB25 6/7/26

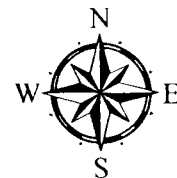


Location Map



LEGEND

-  APN: 042-161-12
-  APN: 042-161-11
-  APN: 042-161-10
-  Assessors Parcels
-  Streets
-  County Boundary

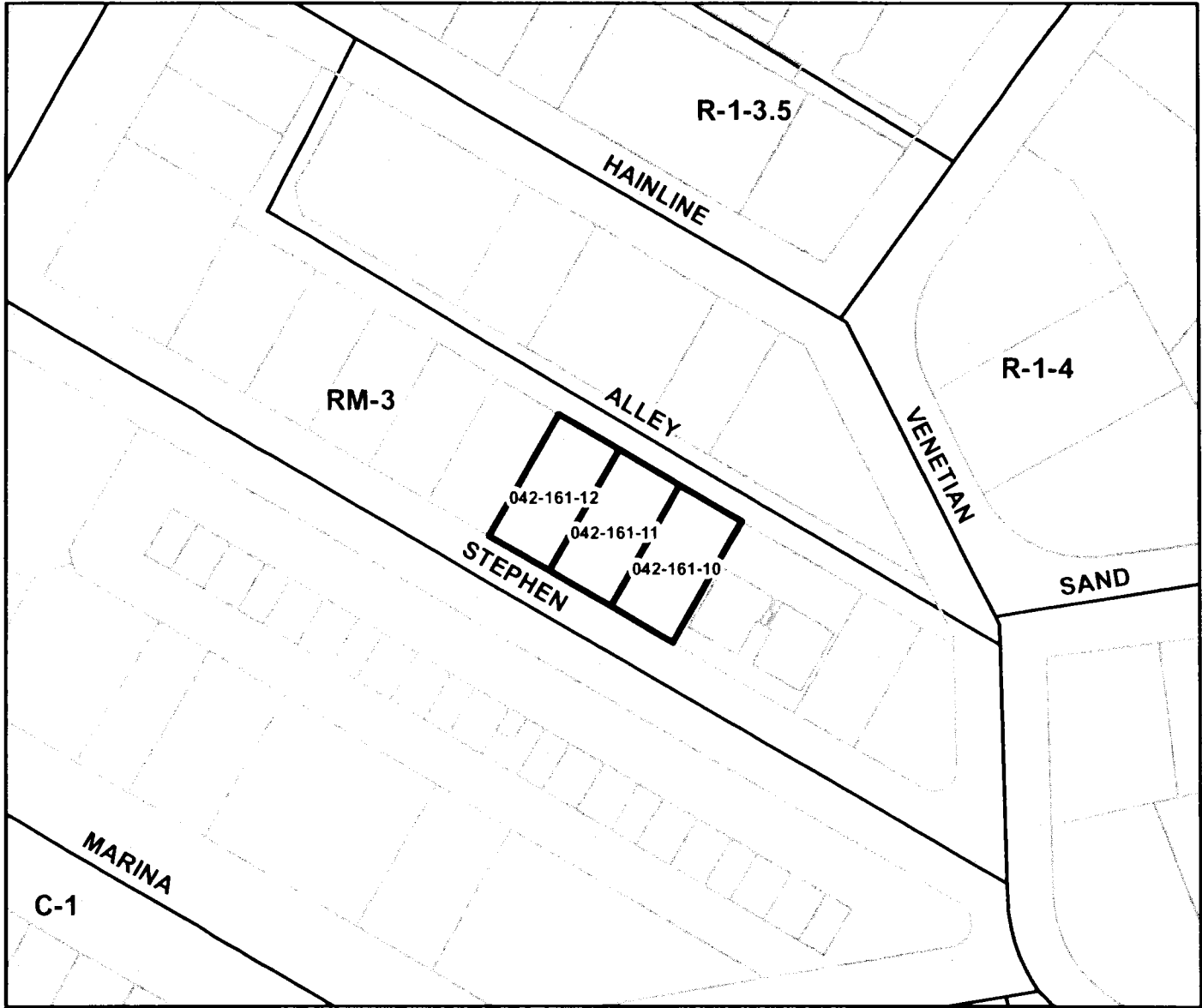


Map Created by
County of Santa Cruz
Planning Department
May 2010






EXHIBIT E

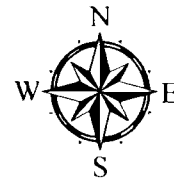


Zoning Map



LEGEND

-  APN: 042-161-12
-  APN: 042-161-11
-  APN: 042-161-10
-  Assessors Parcels
-  Streets
- RESIDENTIAL-MULTI FAMILY
- RESIDENTIAL-SINGLE FAMILY
- COMMERCIAL-NEIGHBORHOOD

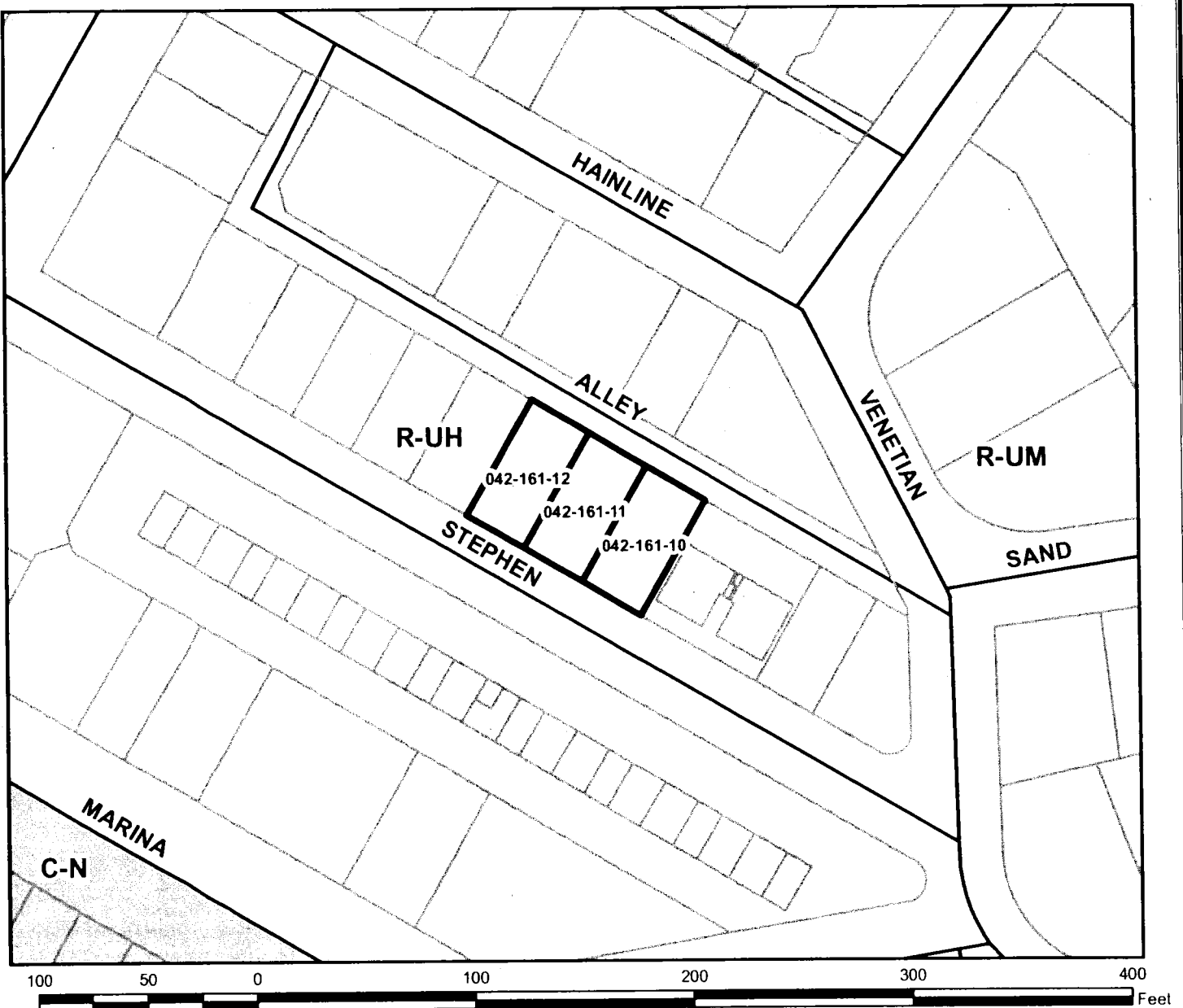


Map Created by
County of Santa Cruz
Planning Department
May 2010

EXHIBIT E



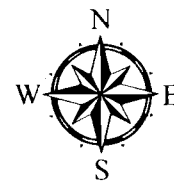
General Plan Designation Map



LEGEND

- APN: 042-161-12
- APN: 042-161-11
- APN: 042-161-10
- Assessors Parcels
- Streets

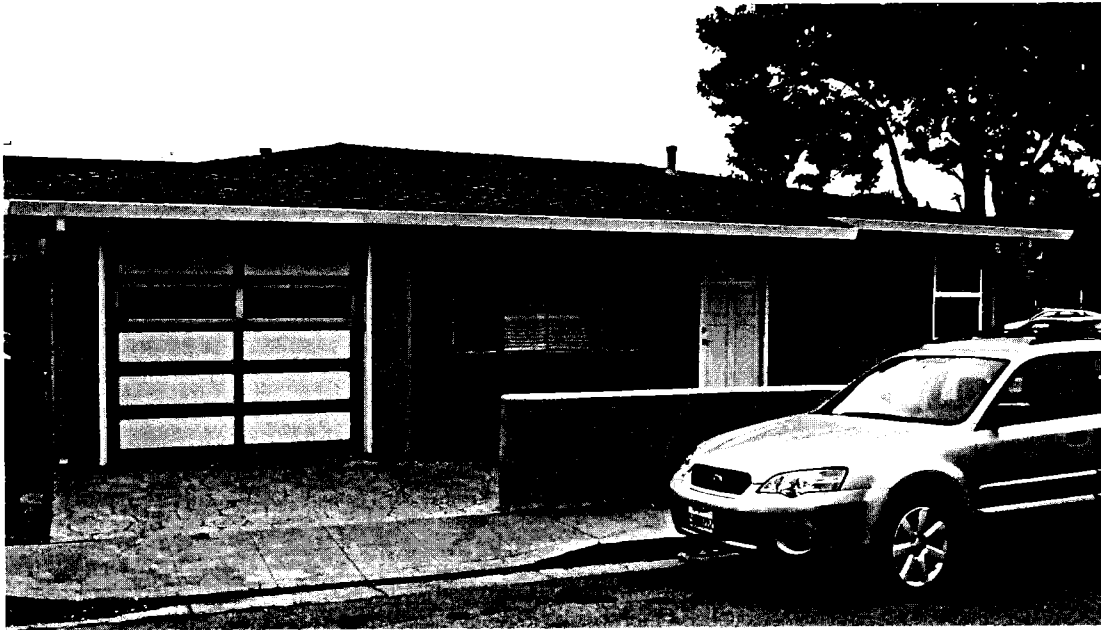
Residential - Urban High Density
Residential - Urban Medium Density
Commercial-Neighborhood



Map Created by
County of Santa Cruz
Planning Department
May 2010

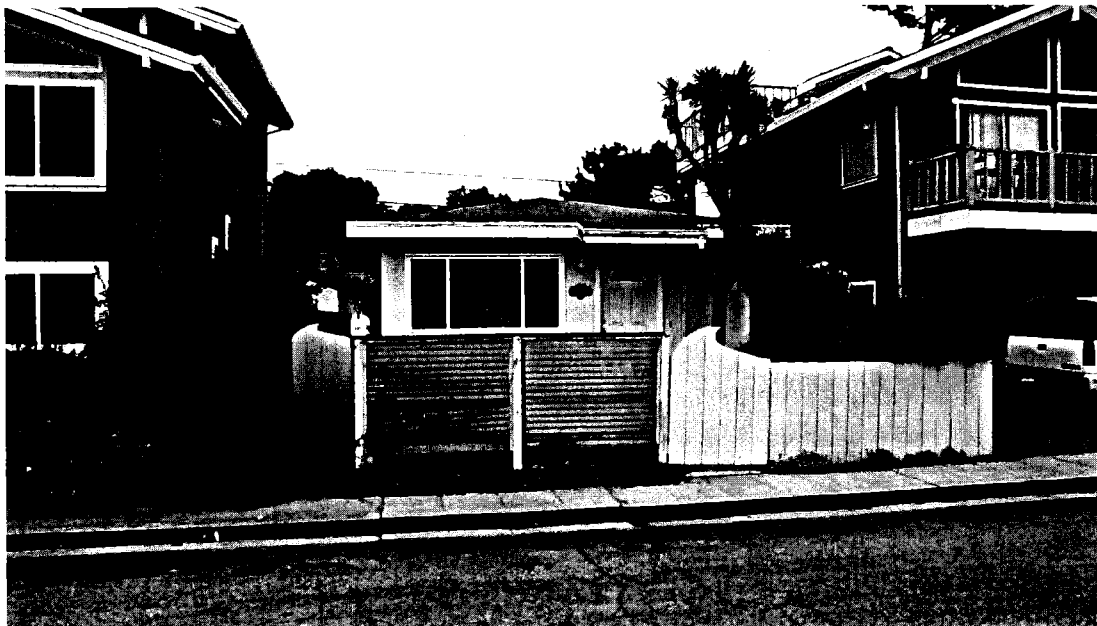
EXHIBIT E

NEIGHBORING PROPERTY 1 (SEE VICINITY PLAN 2)



NEIGHBORING PROPERTY 2

NEIGHBORING PROPERTY 3



NEIGHBORING PROPERTY 4

APPROXIMATE 10' SETBACK

APPROXIMATE 14' SETBACK

NEIGHBORING PROPERTY 5



NEIGHBORING PROPERTY 6

APPROXIMATE 12' SETBACK

APPROXIMATE 14' SETBACK

NEIGHBORING PROPERTY 7



NEIGHBORING PROPERTY 10

APPROXIMATE 14' SETBACK

APPROXIMATE 6'-8" SETBACK TO STAIRS
APPROXIMATE 10' SETBACK TO BUILDING

NEIGHBORING PROPERTY 11



NEIGHBORING PROPERTY 12

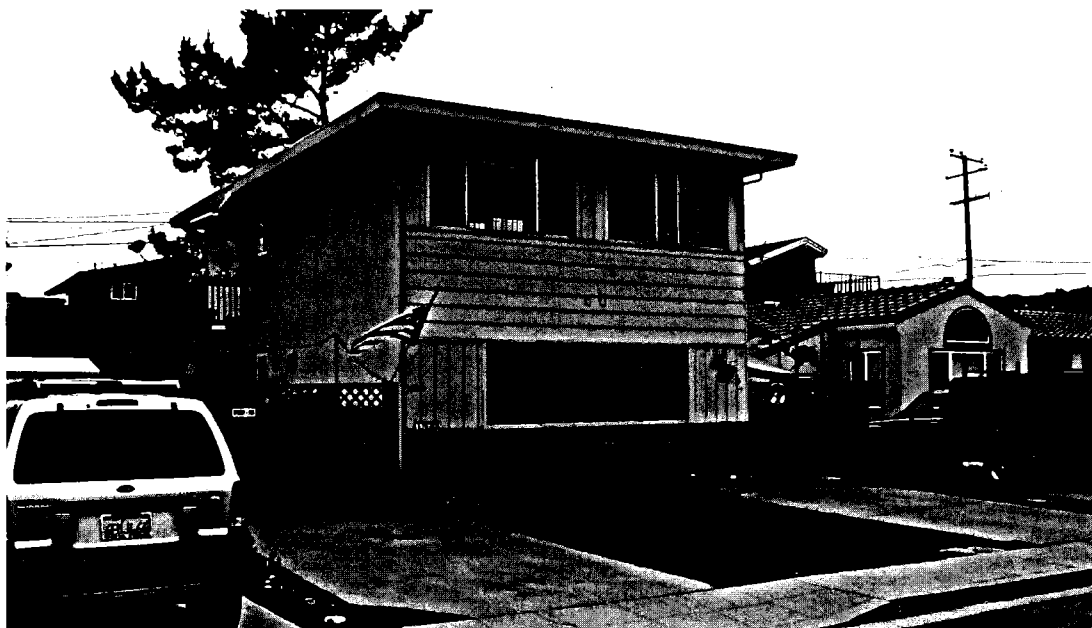
APPROXIMATE 9' SETBACK TO ROAD AT CLOSEST POINT
APPROXIMATE 14' SETBACK TO DOOR

NEIGHBORING PROPERTY 13



NEIGHBORING PROPERTY 14

NEIGHBORING PROPERTY 15



NEIGHBORING PROPERTY 16

NEIGHBORING PROPERTY 17



NEIGHBORING PROPERTY 18

EXHIBIT F

NEIGHBORING PROPERTY 19



EXHIBIT F



Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

Drainage Review

Routing No: 2 | Review Date: 03/17/2011

RANDALL ADAMS (RADAMS) : Incomplete

T Rieber 3/11/11

Completeness Comments:

Application Complete? ☐ Yes ☒ No

2nd Review Comments

1. Complete. Are any improvements being proposed in the alley? If so, please make clear on the plans the extents of the proposed improvements and demonstrate how runoff from the proposed improvements will be controlled and directed to a safe point of release.
2. Complete. Will the proposed driveways intersect any drainage facilities along the private alley? If so, please demonstrate how the driveways will conform to the existing roadside drainage facilities. Drainage should not be blocked by the proposed driveways. Provide a typical cross section detail of the existing roadside drainage swale and details demonstrating how drainage will be accommodated across the proposed driveways.
3. Incomplete. Projects are required to minimize impervious surfaces. The requirement to minimize impervious surfacing can be achieved by the use of porous pavement.
4. Not addressed. It is recommended that the driveways be constructed out of a pervious pavement with a gravel sub base storage/percolation area. Downspouts from the north side of the house could discharge directly on the pervious pavement and percolate into the gravel sub base. Downspouts from the south side of the building could be allowed to discharge onto concrete splash blocks and sheet flow into the landscape areas.



Drainage Review

Routing No: 2 | Review Date: 03/17/2011

RANDALL ADAMS (RADAMS) : Incomplete

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$280.00 additional review fee shall be applied to all re-submittals starting with the third routing.

Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

Policy Considerations and Compliance Issues:

-

Permit Conditions and Additional Information:

Please see previous miscellaneous comments

Environmental Planning

Routing No: 2 | Review Date: 03/17/2011

RANDALL ADAMS (RADAMS) : Complete

A Gentile 3/16/11

Conditions of approval:

1. This project is located within the FEMA floodzone AE. The base flood elevation is 15. Project plans shall include a statement that the project shall comply with all FEMA and County regulations for development within the floodplain.
2. Foundations shall be anchored to prevent flotation, collapse, and lateral movement of the structures.
3. Homes shall be constructed with materials and utility equipment resistant to flood damage and using construction methods and practices that minimize flood damage.
4. The lowest floor and all elements that function as part of the structure shall be elevated to at least one foot above the 100-year flood level.
5. Foundations shall be designed to minimize flood water displacement.
6. Prior to subfloor building inspection, a professional engineer, architect, or surveyor shall certify compliance with the elevation requirement.
7. A minimum of two openings shall be required below the base flood elevation so that flood waters may pass through the building footprint. The total area of the openings is required to be one square inch per square foot of enclosed space. These openings shall be shown on the elevations and a detail shall be provided prior to building permit issuance.
8. A Declaration of Geologic Hazards shall be required prior to building permit issuance.
9. An Elevation Certificate shall be required prior to building permit final.

Fire Review



Discretionary Application Comments 10-0180

APN 042-161-10

Fire Review

Routing No: 1 | Review Date: 06/03/2010

ALUSConversion (Conversion) : Complete

Review By : EKS Employee ID : ESTOW Employee Name : ERIN STOW :Review Type=
APTOS-LA SELVA BEACH FIRE PROT DIST ===== REVIEW ON JUNE 3, 2010 BY
ERIN K STOW ===== DEPARTMENT NAME:Aptos/La Selva Fire District APPROVED
MISCELLANEOUS COMMENT: ===== REVIEW ON JUNE 3, 2010 BY ERIN K
STOW ===== NO COMMENT

Road Engineering Review

Routing No: 2 | Review Date: 03/17/2011

RANDALL ADAMS (RADAMS) : Complete

R Rivas 3/16/11

Completeness Comments:

Application Complete? ☒ Yes ☐ No

Permit Conditions and Additional Information:

The proposed valley gutter in the center of the driveway cannot be connected to the pedestrian pathway behind the driveway depression, since this scenario will create a pedestrian hazard. Please consider a different alternative to handle runoff from the driveway.

Sanitation Review

Routing No: 1 | Review Date: 05/25/2010

DIANE ROMEO (DROMEO) : Complete

:Review Type= DPW SANITATION ===== UPDATED ON MAY 25, 2010 BY DIANE ROMEO ===== Sanitation Engineering Division No. 1 Review Summary Statement; Appl. No. 10-0180; APN: 42-161-10, -11, -12: Sewer service is available for this project. The Proposal is in compliance with District or County sanitation policies and the County Design Criteria (CDC) Part 4, Sanitary Sewer Design, June 2006 edition. This review notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new availability letter must be obtained by the applicant. Reference for County Design Criteria: <http://www.dpw.co.santa-cruz.ca.us/DESIGNCRITERIA.PDF> On the building permit plan submittal, revise location of sewer lateral to show sewer main connection to back of lot in alley way where public sewer is located (sewer is not located in paved public right of way). On building permit plan submittal, note elevation on nearest upstream manhole and finish floor elevation. Note on plans if backflow preventative/overflow device is required by District No fences, trees, or other permanent improvements shall be constructed in easement area of alley. Public sewer main and appurtenances are located in alley and full access must be allowed to District Operations



Sanitation Review

Routing No: 1 | Review Date: 05/25/2010

DIANE ROMEO (DROMEO) : Complete

personnel. This shall be a condition of the discretionary permit approval. Additional review by the District is not required for this permit applicati There are no Miscellaneous comments. Any questions regarding the above criteria should be directed to Diane Romeo of the Sanitation Engineering division at (831) 454-2160. MISCELLANEOUS COMMENT: =====
REVIEW ON MAY 25, 2010 BY DIANE ROMEO ===== There are no Miscellaneous comments.

Randall Adams

From: Randall Adams
Sent: Monday, March 28, 2011 1:50 PM
To: 'Modular Homes Chris'; Mike Shick
Cc: Travis Rieber
Subject: RE: Application 10-0180, Russell Residence - Plan Check Comments 03/18/11

Hi Chris,

I have received your response and will make the application complete upon receipt of the affidavit of sign posting. No other materials will be required at this time.

Please be advised that the Department of Public Works comments continue to apply and you will need to comply with their requirements at the Building Permit stage.

Thanks,

Randall

From: Modular Homes Chris [mailto:fargo@cuttingedgehomes.net]
Sent: Friday, March 25, 2011 1:10 AM
To: Randall Adams; Mike Shick
Subject: Application 10-0180, Russell Residence - Plan Check Comments 03/18/11

Mr. Randall Adams,

Good morning.

Thank you for your letter dated March 18, 2011. I have received it and reviewed the plan check comments.

We would like to go ahead and begin placing the appropriate signage on the property. That will begin immediately.

We further understand that the "Department of Public Works, Drainage" comments will have to be addressed before a building permit is issued. This specifically refers to item 3 on page 1 of the attached document which is noted as "Incomplete" and item 4 on the same page which is noted as "Not addressed". Furthermore, on page 5 of the same document we will also address the proposed valley gutter and consider alternative options for handling the run-off.

Please kindly mark our pending application as complete to proceed through the planning process, these items noted above will be deferred submittals that we will address concurrently.

If there are other notifications, story poles, or other things that should be addressed at this time, please let me know.

Sincerely,
Fargo Wells
Cutting Edge Homes, project agent

CC: Mike Shick, Project Engineer

November 19, 2009

Mr. Fargo Wells
 270 East Douglas Ave.
 El Cajon, CA 92020

SUBJECT: Conditional Water Service Application – 146, AB, 148 Stephen Road, Aptos, APN 042-161-10, 11, 12

Dear Mr. Wells:

In response to the subject application, the Board of Directors of the Soquel Creek Water District at their regular meeting of October 20, 2009 voted to grant you a Conditional Will Serve Letter for your proposed three new single-family dwellings located in Aptos, so that you may proceed through the appropriate planning entity. An Unconditional Will Serve Letter cannot be granted until such time as you are granted a Final Discretionary Permit on your project. At that time, an Unconditional Will Serve Letter will be granted subject to your meeting the requirements of the District's Water Demand Offset Program and any additional conservation requirements of the District prior to obtaining the actual connection to the District facilities subject to the provisions set forth below.

Possible Infrastructure Check List

	yes	no
1. LAFCO Annexation required		X
2. Water Main Extension required off-site		X
3. On-site water system required	X	
4. New water storage tank required		X
5. Booster Pump Station required		X
6. Adequate pressure	X	
7. Adequate flow	X	
8. Frontage on a water main	X	
9. Other requirements that may be added as a result of policy changes.	X	

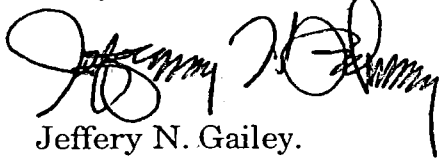
This present indication to serve is valid for a two-year period from the date of this letter; however, it should not be taken as a guarantee that service will be available to the project in the future or that additional conditions, not otherwise listed in this letter, will not be imposed by the District prior to granting water service. Instead, this present indication to serve is intended to acknowledge that, under existing conditions, water service would be available on condition that the developer agrees to provide the following items without cost to the District:

- 1) Destroys any wells on the property in accordance with State Bulletin No. 74;
- 2) Satisfies all conditions imposed by the District to assure necessary water pressure, flow and quality;
- 3) Satisfies all conditions of Resolution No. 03-31 Establishing a Water Demand Offset Policy for New Development, which states that all applicants for new water service shall be required to offset expected water use of their respective development by a 1.2 to 1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area so that any new development has a “zero impact” on the District’s groundwater supply. Applicants for new service shall bear those costs associated with the retrofit as deemed appropriate by the District up to a maximum set by the District and pay any associated fees set by the District to reimburse administrative and inspection costs in accordance with District procedures for implementing this program;
- 4) Satisfies all conditions for water conservation required by the District at the time of application for service, including the following:
 - a) Plans for a water efficient landscape and irrigation system shall be submitted to District Conservation Staff for approval. Current Water Use Efficiency Requirements are enclosed with this letter, and are subject to change;
 - b) All interior plumbing fixtures shall be low-flow and all Applicant-installed water-using appliances (e.g. dishwashers, clothes washers, etc.) shall have the EPA Energy Star label plus new clothes washers also shall have a water use factor of 8.5 or less;
 - c) District Staff shall inspect the completed project for compliance with all conservation requirements prior to commencing domestic water service;
- 5) Completes LAFCO annexation requirements, if applicable;
- 6) All units shall be individually metered with a minimum size of 5/8-inch by ¾-inch standard domestic water meters;
- 7) A memorandum of the terms of this letter shall be recorded with the County Recorder of the County of Santa Cruz to insure that any future property owners are notified of the conditions set forth herein.

Future conditions which negatively affect the District's ability to serve the proposed development include, but are not limited to, a determination by the District that existing and anticipated water supplies are insufficient to continue adequate and reliable service to existing customers while extending new service to your development. In that case, service may be denied.

You are hereby put on notice that the Board of Directors of the Soquel Creek Water District is considering adopting additional policies to mitigate the impact of new development on the local groundwater basins, which are currently the District's only source of supply. Such actions are being considered because of concerns about existing conditions that threaten the groundwater basins and the lack of a supplemental supply source that would restore and maintain healthy aquifers. The Board may adopt additional mandatory mitigation measures to further address the impact of development on existing water supplies, such as the impact of impervious construction on groundwater recharge. Possible new conditions of service that may be considered include designing and installing facilities or fixtures on-site or at a specified location as prescribed and approved by the District which would restore groundwater recharge potential as determined by the District. The proposed project would be subject to this and any other conditions of service that the District may adopt prior to granting water service. As policies are developed, the information will be made available at the District Office.

Sincerely,
SOQUEL CREEK WATER DISTRICT



Jeffery N. Gailey.
Engineering Manager/Chief Engineer

Cc: Riley Russell
1518 Ascension Drive
San Mateo, CA 94402

*Enclosures: Water Use Efficiency Requirements & Sample
Unconditional Water Service Application*