



## Staff Report to the Zoning Administrator

Application Number: **111056**

**Applicant:** Peter Guiley  
**Owner:** Kelley  
**APN:** 038-172-06

**Agenda Date:** 7/1/11  
**Agenda Item #:** 2  
**Time:** After 10:00 a.m.

**Project Description:** Proposal to demolish an existing one story, two bedroom single family dwelling and to construct a two story, two bedroom replacement dwelling.

**Location:** Property located on Middlefield Drive about 500 feet from Mar Vista Drive in Aptos. (531 Middlefield Drive)

**Supervisory District:** 2nd District (District Supervisor: Ellen Pirie)

**Permits Required:** Coastal Development Permit

### Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 111056, based on the attached findings and conditions.

### Exhibits

- |                                               |                                     |
|-----------------------------------------------|-------------------------------------|
| A. Project plans                              | E. Assessor's, Location, Zoning and |
| B. Findings                                   | General Plan Maps                   |
| C. Conditions                                 | F. Comments & Correspondence        |
| D. Categorical Exemption (CEQA determination) |                                     |

### Parcel Information

Parcel Size:	4,005 square feet
Existing Land Use - Parcel:	Single family dwelling
Existing Land Use - Surrounding:	Single family residential neighborhood
Project Access:	Middlefield Drive
Planning Area:	Aptos
Land Use Designation:	R-UM (Urban Medium Density Residential)
Zone District:	R-1-4 (Single family residential - 4,000 square feet minimum)

Coastal Zone:   X   Inside      Outside  
Appealable to Calif. Coastal Comm.   X   Yes      No

### Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Soils: Report required at building permit phase  
Fire Hazard: Not a mapped constraint  
Slopes: 2-5 %  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: Over excavation & re-compaction for building foundation  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Drainage: Existing drainage adequate  
Archeology: Not mapped/no physical evidence on site

### Services Information

Urban/Rural Services Line:   X   Inside      Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: Santa Cruz County Sanitation District  
Fire District: Aptos/La Selva Fire Protection District  
Drainage District: Zone 6 Flood Control District

### History

The existing residence was in the process of being remodeled under Building Permit 152920 but work had ceased and the permit has expired. The existing residence was left in an unfinished condition. This application is a proposal to remove the existing single story residence and to construct a two story replacement dwelling.

### Project Setting

The subject property is located on the south side of Middlefield Drive in the Seacliff area of Aptos. The property is located within a single family residential neighborhood with one and two story homes. The property is surrounded on three sides by parcels with two story residences.

### Zoning & General Plan Consistency

The subject property is a parcel of approximately 4,005 square feet, located in the R-1-4 (Single family residential - 4,000 square feet minimum) zone district, a designation which allows residential uses. The proposed replacement dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's (R-UM) Urban Medium Density Residential General Plan designation.

## **Local Coastal Program Consistency**

The proposed dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain one and two story single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

## **Design Review**

The proposed dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as pitched roofs, varied wall planes, and shingled siding in order to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **111056**, based on the attached findings and conditions.

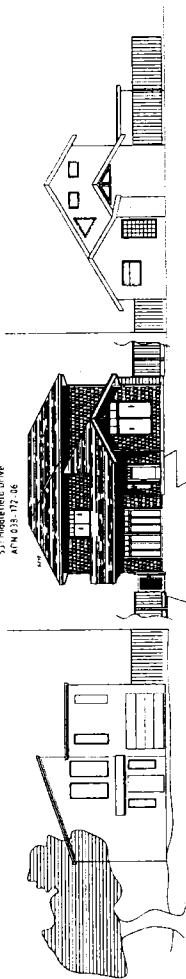
**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

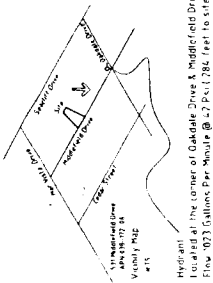
Report Prepared By: Randall Adams  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3218  
E-mail: [randall.adams@co.santa-cruz.ca.us](mailto:randall.adams@co.santa-cruz.ca.us)

531 Middlefield Drive  
APN 038-172-06

531 Middlefield Drive  
APN 038-172-06



Front Elevation from Middlefield Drive  
Scale 1/8" = 1'-0"  
On Sheet 2



531 Middlefield Drive  
APN 038-172-06

**Proposed Project**  
Replacement of existing house with a new house.  
Single Family Dwelling  
Approx. 2,500 sq. ft.  
Approx. 1.5 acres  
Approx. 1.5 acres  
Approx. 1.5 acres

**Project Description**  
The project consists of the replacement of an existing single family dwelling with a new single family dwelling. The new dwelling will be a two-story house with a gabled roof and a chimney. The house will be located on the corner of Middlefield Drive & Middlefield Drive.

**Project Location**  
The project is located on the corner of Middlefield Drive & Middlefield Drive. The project is located on the corner of Middlefield Drive & Middlefield Drive.

**Project Owner**  
The project owner is the owner of the property. The project owner is the owner of the property.

**Project Date**  
The project date is the date of the project. The project date is the date of the project.

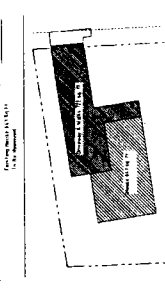
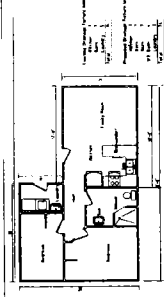
**Project Status**  
The project status is the status of the project. The project status is the status of the project.

# Site Plan

**OWNER**  
KELLEY CONSTRUCTION  
1000 S. 10TH ST.  
ATLANTA, GA 30309  
831-345-4628

## DRIFTING

PETER QUALITY  
1000 S. 10TH ST.  
ATLANTA, GA 30309  
831-345-4628

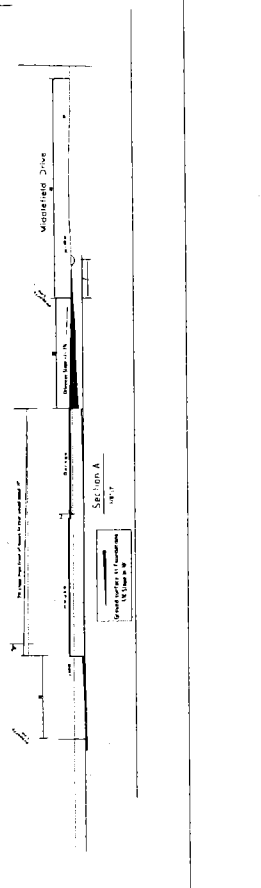
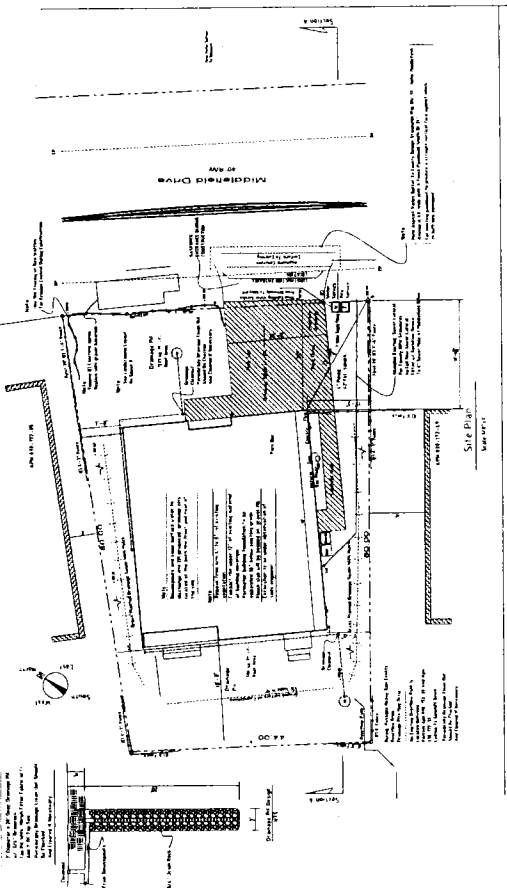


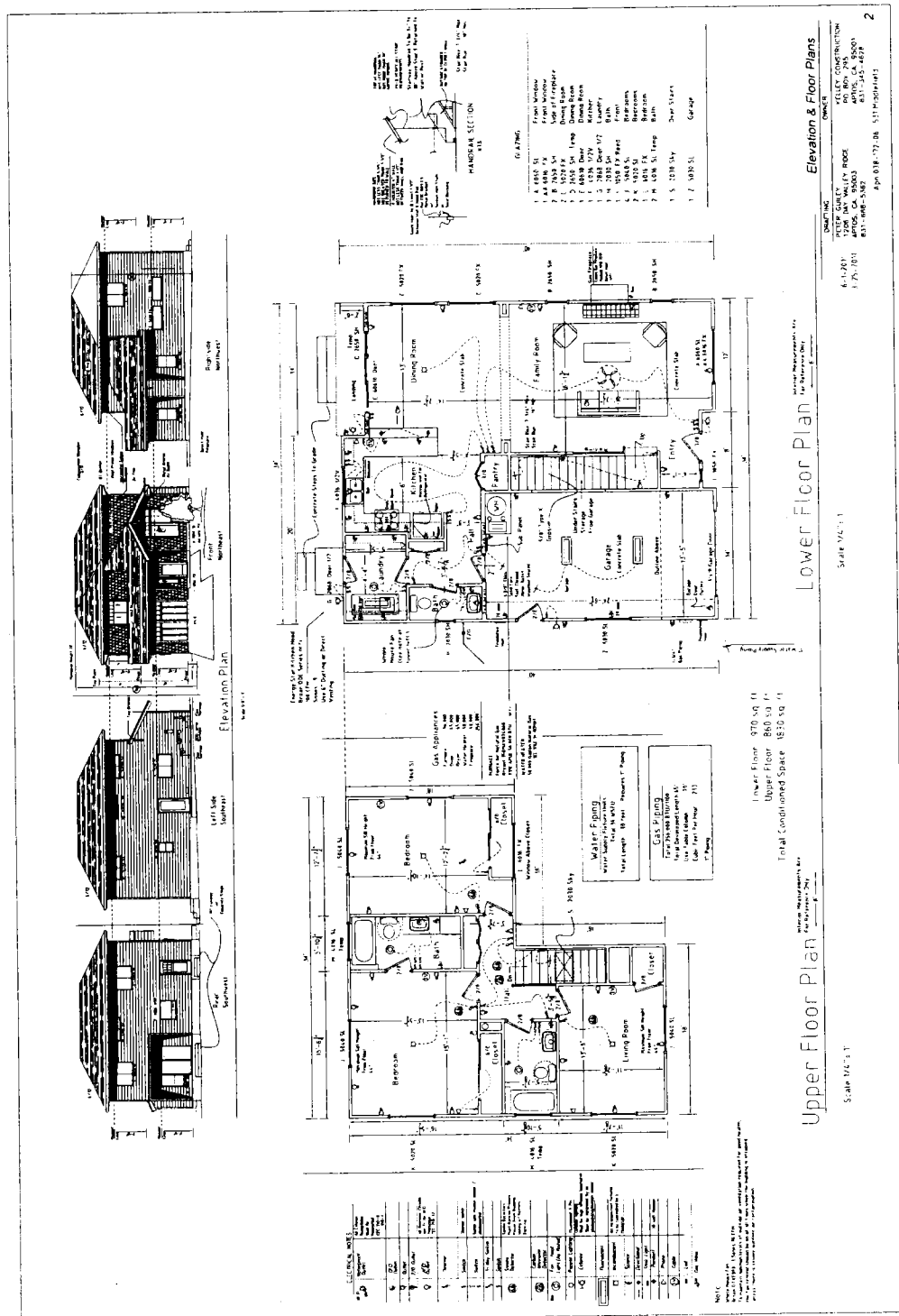
**EROSION CONTROL**  
The project includes the installation of erosion control measures. The project includes the installation of erosion control measures.

**Project Description**  
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**Project Location**  
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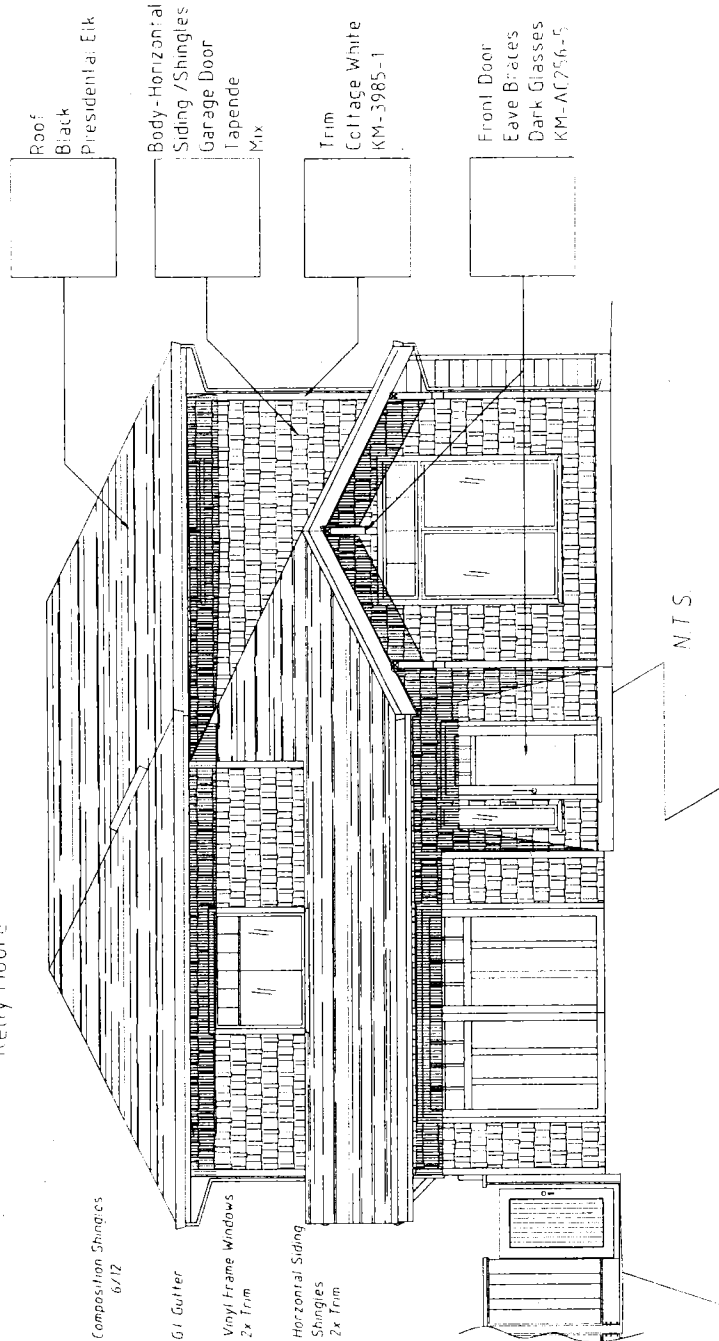






Color Schematic Apr 038-172-06 531 Middlefield

Kelly Moore



DRAFTING	OWNER
PETER GULEY	KELLEY CONSTRUCTION
1206 DAY VALLEY RDGE	P.O. BOX 295
APTOS, CA 95003	APTOS, CA 95007
3-25-2011	831-345-4628
831-688-5362	

## Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-4 (Single family residential - 4,000 square feet minimum), a designation which allows residential uses. The proposed replacement dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's (R-UM) Urban Medium Density Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4 (Single family residential - 4,000 square feet minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain one and two story single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles.



## **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-4 (Single family residential - 4,000 square feet minimum) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Urban Medium Density Residential (R-UM) land use designation in the County General Plan.

The proposed replacement dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed replacement dwelling will be properly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed dwelling will comply with the site standards for the R-1-4 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

## Conditions of Approval

Exhibit A: Project Plans "531 Middlefield Drive", prepared by Peter Guiley, 3 sheets, dated 3/25/11.

- I. This permit authorizes the demolition of an existing two bedroom, one story, single family dwelling and the construction of a two bedroom, two story, single family dwelling as depicted on the approved Exhibit "A" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official, if required, for over-excavation and re-compaction.
  - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
  - F. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.
  2. Grading, drainage, and erosion control plans.
  3. Details showing compliance with fire department requirements.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of and pay Zone 6 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
1. Revise the project plans to minimize the use of impervious surfaces per drainage comments. If feasible from a geotechnical standpoint the driveway shall be pervious concrete, pavers, or a similar durable and porous surface. Gravel or base-rock driveways or parking areas are not allowed.
- D. Obtain final sanitary sewer service approval for this project from the Santa Cruz County Sanitation District.
- E. Meet all requirements and pay any applicable plan check fee of the Aptos/La Selva Fire Protection District.
- F. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
- G. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- H. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.

- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
    - 1. COUNTY bears its own attorney's fees and costs; and
    - 2. COUNTY defends the action in good faith.
  - C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder

shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Steven Guiney, AICP  
Deputy Zoning Administrator

\_\_\_\_\_  
Randall Adams  
Project Planner

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 111056

Assessor Parcel Number: 038-172-06

Project Location: 531 Middlefiend Drive, Aptos

**Project Description: Proposal to demolish an existing dwelling and construct a replacement single family dwelling**

**Person or Agency Proposing Project: Peter Guiley**

**Contact Phone Number: (831) 688-5362**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

Re-construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

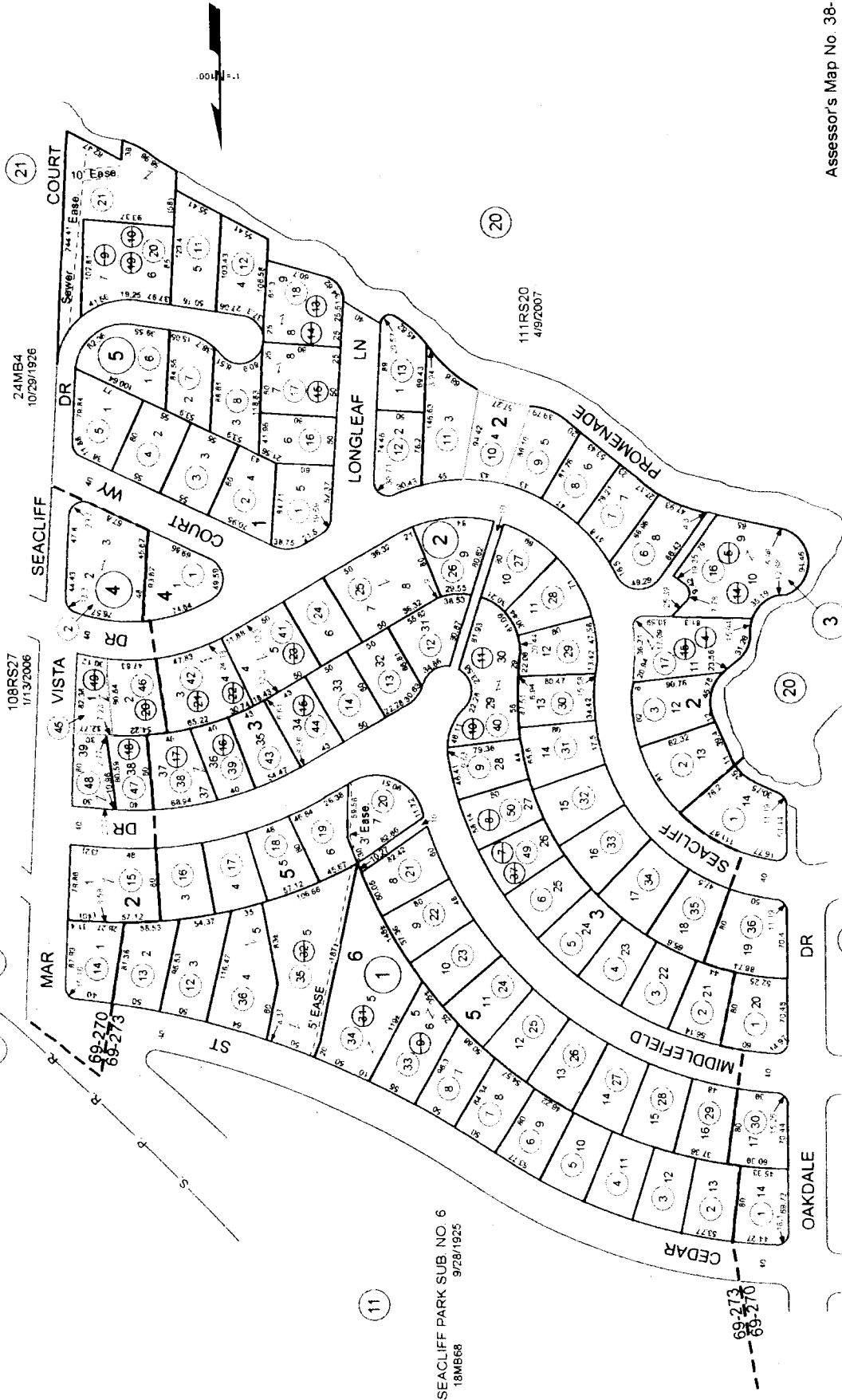
\_\_\_\_\_  
Randall Adams, Project Planner

Date: \_\_\_\_\_

Tax Area Code  
69-270 69-273

APTOS RANCHO  
POR. SEC. 13, T.11S, R.1W, M.D.B. & M.

**FOR TAX PURPOSES ONLY**  
THE ASSessor MAKES NO GUARANTEE AS TO THE ACCURACY NOR ASSUMES ANY  
LIABILITY FOR OMISSIONS OR ERRORS IN THIS MAP. ALL RIGHTS RESERVED  
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1997



Assessor's Map No 38-17  
County of Santa Cruz, Calif.  
Oct., 1997

Note - Assessor's Parcel & Block  
Numbers Shown in Circles

SEACLIFF PARK SUB NO 3  
18MB59  
4/24/1925

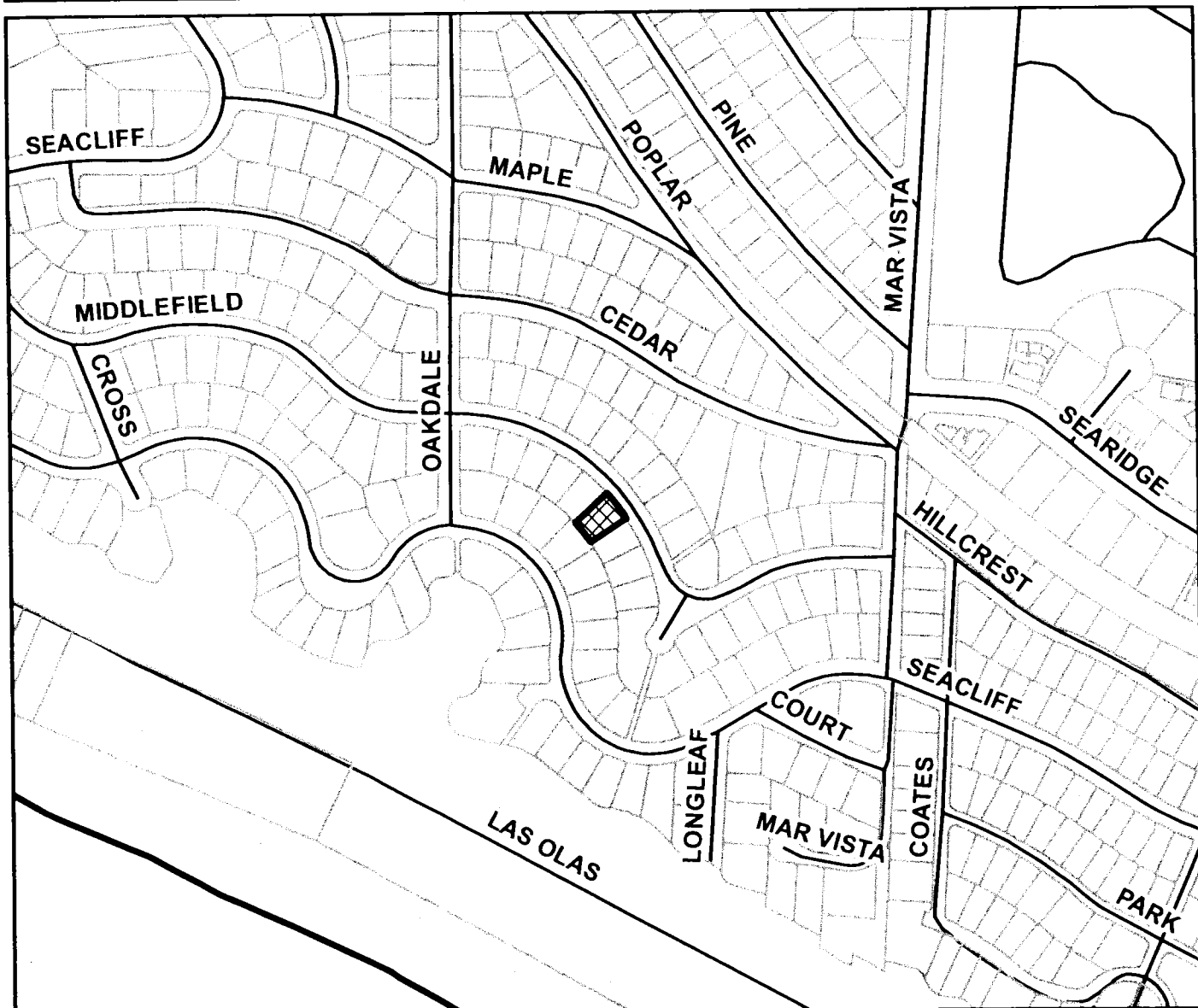
SEACLIFF PARK SUB NO. 6  
18MB68  
9/28/1925

69-273  
69-270

Electronically Redrawn 11/04/97 with  
Rev 5/4/96 KSA (CA)  
Rev 12/18/95 (BA 1996 004921) part of all comb w-1.12)  
Rev 5/1/95 CB (TK changed page 10's)  
Rev 4/27/91 num (changed page 10's)  
Rev 12/20/85 (Spatial Adjustment)  
Rev 02/20/85 (10/85/27)  
Rev 02/20/76 (11/85/20)

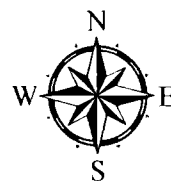


# Location Map



## LEGEND

-  APN: 038-172-06
-  Assessors Parcels
-  Streets
-  County Boundary



Map Created by  
County of Santa Cruz  
Planning Department  
April 2011

EXHIBIT E





# Zoning Map



## LEGEND



APN: 038-172-06



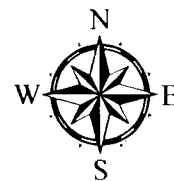
Assessors Parcels



Streets

RESIDENTIAL-SINGLE FAMILY

PARK

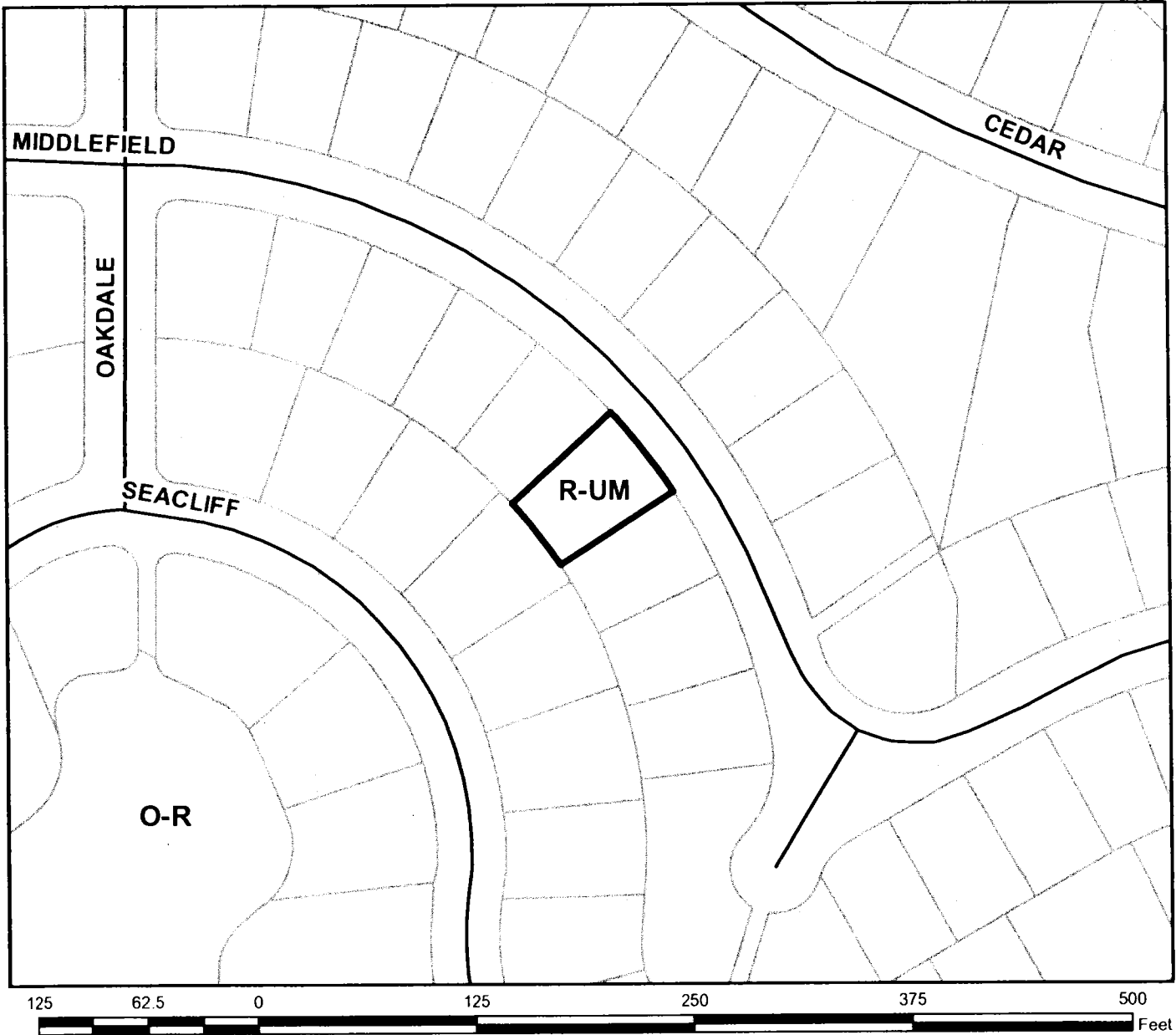


Map Created by  
County of Santa Cruz  
Planning Department  
April 2011

EXHIBIT E



# General Plan Designation Map



## LEGEND



APN: 038-172-06



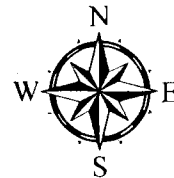
Assessors Parcels



Streets

Residential - Urban Medium Density

Parks and Recreation



Map Created by  
County of Santa Cruz  
Planning Department  
April 2011

EXHIBIT E



## Discretionary Application Comments 111056

APN 038-172-06

Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

### Coastal Commission Review

**Routing No: 1 | Review Date: 04/29/2011**

RANDALL ADAMS (RADAMS) : No Response

### Drainage Review

**Routing No: 1 | Review Date: 04/27/2011**

TRAVIS RIEBER (TRIEBER) : Complete

Completeness Comments: Application Complete? ☒ Yes ☐ No

Policy Considerations and Compliance Issues:

Permit Conditions and Additional Information:

1. How does the existing home runoff drain? Are there any problems? According to the GIS contours the site would naturally drain to the rear of the property. Make clear on the plan the existing site drainage pattern and any changes as a result of this project.
2. Does this site currently receive any runoff from adjacent/upslope property? If so, how will the project continue to accept this runoff without causing adverse impacts to the proposed structure or adjacent/downstream properties.
3. Projects are required to minimize impervious surfacing. The requirement to minimize impervious surfacing can be achieved by the use of porous pavement (paver blocks, turf blocks, base rock,



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## Drainage Review

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**Routing No: 1 | Review Date: 04/27/2011**

TRAVIS RIEBER (TRIEBER) : Complete

gravel, pervious concrete, ect.) where feasible. If porous pavement is not feasible the driveway should be sloped to the landscape.

4. The proposed retention pits should be designed at a level addressed in the Santa Cruz County design criteria section H. The design criteria can be found on the internet at:

<http://www.dpw.co.santa-cruz.ca.us/DESIGN%20CRITERIA.PDF>

5. Please provide a cross section construction detail of the proposed retention pits to facilitate proper construction.

6. Demonstrate that the overflow from the proposed retention pits will not adversely impact adjacent/downstream properties. Provide a description of the downstream overflow path across private property to a safe point of release. Indicate any and all drainage problems found along the length of this flow path, and propose any needed improvements. The property owner is responsible for securing easements for construction and maintenance of any proposed offsite work.

7. Site plans shall specify required maintenance procedures to assure proper long term functioning of the proposed retention pits. A recorded maintenance agreement will be required for the proposed retention pits. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:

[http://www.dpw.co.santa-cruz.ca.us/Storm\\_Water/FigureSWM25.pdf](http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25.pdf)

8. For fee calculations please provide tabulation of existing impervious areas and new impervious areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces to be removed please provide documentation such as assessor's records, survey records, aerial photos or other official records that will help establish and determine the dates they were built.

Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials.

Note: The designer has to inspect the drainage improvements on the parcel and provide public



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## **Drainage Review**

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**Routing No: 1 | Review Date: 04/27/2011**

TRAVIS RIEBER (TRIEBER) : Complete

works with a letter confirming that the work was completed per the plans. The designer's letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient. An as-built plan may be submitted in lieu of the letter. Upon approval of the project a hold will be placed on the permit to be released once a satisfactory letter is received.

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$280.00 additional review fee shall be applied to all re-submittals starting with the third routing.

Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

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## **Driveway/Encroachment Review**

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**Routing No: 1 | Review Date: 04/26/2011**

ANWARBEG MIRZA (AMIRZA) : Complete

Complete the application.

Misc Comments:

An Encroachment Permit is required for work such as water service installation, trench work etc. in right-of-way.

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## **Environmental Planning**

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**Routing No: 1 | Review Date: 04/27/2011**

ANTONELLA GENTILE (AGENTILE) : Complete

Miscellaneous comments:

1. A grading permit will be required for overexcavation and recompaction of soil to support the structure, as recommended by the geotechnical engineer. However, this grading is exempt from Coastal Permit requirements.

Conditions of approval:

1. Prior to building permit issuance, submit 2 original copies of a soils report prepared by a licensed geotechnical engineer for review and approval by Environmental Planning.
2. Plans shall be prepared in conformance with the recommendations provided in the soils report.
3. Prior to building permit issuance, a full erosion control plan shall be submitted for review by Environmental Planning.
4. Prior to building permit issuance, a plan review letter, written by the author of the soils report, shall be submitted.



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## Environmental Planning

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**Routing No: 1 | Review Date: 04/27/2011**

ANTONELLA GENTILE (AGENTILE) : Complete

5. Prior to building permit final, a final letter, written by the author of the soils report, shall be submitted, stating that construction of the new home was completed in conformance with the recommendations provided in the soils report.

## Fire Review

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**Routing No: 2 | Review Date: 05/19/2011**

KATHRYN PINI (KPINI) : Complete

May 18, 2011

Planning Department  
County of Santa Cruz  
Attention: Samantha Haschert  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: APN038-172-06 / Appl #111056  
531 Middlefield

Dear Samantha Haschert:

Aptos/La Selva Fire Department has reviewed the plans for the above cited project and has no objections as presented.

A service fee of **\$50.00** is due and payable to the Aptos/La Selva Fire Department **PRIOR TO APPROVAL** of permit application. **Reminder:** the enclosed **original color copy** Permit/Service Fees form must be certified by the Aptos/La Selva Fire Department at time of payment. **Certified form** must be submitted to the County for completion of permit process.

Any other requirements will be addressed in the Building Permit phase.

Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing



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## **Fire Review**

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**Routing No: 2 | Review Date: 05/19/2011**

KATHRYN PINI (KPINI) : Complete

agency.

Sincerely,

Jim Dias, Fire Marshal  
Fire Prevention Division  
Aptos/La Selva Fire Protection District

CC: Peter Guiley  
1206 Day Valley Ridge  
Aptos, Ca 95003

Michael Kelley  
P. O. Box 295  
Aptos, Ca 95001

## **Project Review**

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**Routing No: 1 | Review Date: 04/29/2011**

RANDALL ADAMS (RADAMS) : Incomplete

See letter dated 4/29/11

## **Road Engineering Review**

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**Routing No: 1 | Review Date: 04/26/2011**

ANWARBEG MIRZA (AMIRZA) : Complete

Complete: No Comments

## **Urban Designer Review**

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**Routing No: 1 | Review Date: 04/29/2011**

RANDALL ADAMS (RADAMS) : No Response