



Staff Report to the Zoning Administrator

Application Number: **121047**

Applicant: Nancy Huyck
Owner: Lawrence
APN: 028-222-05

Agenda Date: May 18, 2012
Agenda Item #: 3
Time: After 9:00 a.m.

Project Description: Proposal to demolish the existing dwelling and accessory structures, and construct a two-story, single-family dwelling.

Location: Property located on the west side of 19th Avenue, two parcels north of the coastal bluff (115 19th Ave.)

Supervisory District: First District (District Supervisor: John Leopold)

Permits Required: Coastal Development Permit
Technical Reviews: Soils Report

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 121047, based on the attached findings and conditions.

Exhibits

- | | |
|--|-------------------------------------|
| A. Project plans | E. Assessor's, Location, Zoning and |
| B. Findings | General Plan Maps |
| C. Conditions | F. Comments & Correspondence |
| D. Categorical Exemption
(CEQA determination) | |

Parcel Information

Parcel Size:	4,000 square feet
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential, Institutional (church and retreat center)
Project Access:	19th Avenue
Planning Area:	Live Oak
Land Use Designation:	R-UM (Urban Medium Residential)
Zone District:	R-1-4 (Single-family residential, 4,000 square foot minimum parcel size)

Coastal Zone: X Inside Outside
Appealable to Calif. Coastal X Yes No
Comm.

Environmental Information

Geologic Hazards: Coastal bluff is about 65 feet from subject parcel
Soils: Soils report submitted and accepted
Fire Hazard: Not a mapped constraint
Slopes: 0-2%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: Less than 100 cubic yards
Tree Removal: No trees proposed for removal
Scenic: Not a mapped resource
Drainage: Preliminary plan reviewed and accepted by DPW, additional review
at building permit stage
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: City of Santa Cruz
Sewage Disposal: County of Santa Cruz Sanitation
Fire District: Central Fire Protection District
Drainage District: Zone 1

History

Assessor's records estimate that the existing dwelling was constructed in 1922. This dwelling was constructed as a vacation cottage and is 570 square feet in size. In addition, there are two accessory structures located along the northern property line. All three structures are nonconforming with respect to setbacks. Planning records indicate that only minor repair permits have been issued since the County began issuing building permits in 1956.

The current application is to demolish the existing nonconforming structures and construct a two-story, four-bedroom single-family dwelling. The proposed house conforms to the zone district's site standards, including setbacks, height, lot coverage, floor area ratio, and parking requirement.

Project Setting

The subject parcel is located on the west side of 19th Avenue, one parcel north of the coastal bluff. The surrounding properties on 19th Avenue are all owned by the Sisters of the Holy Names. Directly north of the subject parcel is a small church, to the south is a church residence, and across 19th Avenue is a 1.4 acre retreat center.

As noted above, the subject parcel is developed with a small dwelling and two out-buildings. An old stone wall surrounds a portion of the property. The only significant vegetation on the parcel

is a Yucca plant and a 16-inch diameter pine tree.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 4,000 square feet, located in the R-1-4 (Single-family residential, 4,000 square foot minimum parcel size) zone district, a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's (R-UM) Urban Medium Residential General Plan designation. The proposed dwelling is consistent with the site standards of the zone district, including height, floor area ratio, lot coverage and setbacks. The height limit for the zone district is 28 feet. The proposed elevator shaft is 29.3 feet in height which is 1.33 feet over the zone district maximum height of 28 feet, but this height exception is allowed by County Code 13.10.510(d)(2). As required by County Code for a four-bedroom dwelling, three parking spaces are proposed.

Local Coastal Program Consistency

The proposed single-family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single-family dwellings and institutional structures such as the church next door to the north and the three-story retreat center located across the street. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range of styles. The proposed dwelling will be Craftsman in style and will have a varied roof and wall planes which break up the dwelling's mass and bulk. The proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review

The proposed single-family dwelling complies with the requirements of the County Design Review Ordinance, in that it will incorporate site and architectural design features to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

The proposed dwelling is Craftsman in style. The gable of the front portion of the dwelling faces the street. The roof pitch of this gable echoes the roof pitch of the church next door. By facing the gable towards the street, the proposed dwelling will appear less massive and bulky than it might have had the unbroken plane of the ridge faced the street. Large windows on the eastern and southern side of the structure further break up the wall planes. A shed dormer on the south side of the structure allows for additional light and volume within the proposed kitchen/dining/family room area which is to be located on the second floor.

For the rear portion of the structure, the two-story ridge runs north/south with the gables facing south towards Monterey Bay and north towards the church. Because the western (rear) portion of the dwelling decreases to one story, the second story is setback almost 25 feet from the rear property line which will lessen the impact of the dwelling on neighbors located west of the subject parcel. Second story decks face east and south. These decks further break up the mass and bulk of the structure as they provide a visual break between the first and second floors. Between the front and rear portions of the dwelling is the elevator shaft. The elevator shaft will

appear as a chimney from surrounding properties and the street.

The shading of the project will primarily affect the church located to the north (see sheet G-3 of Exhibit A). Because the church is an institutional building and not a residence, the shading impacts will have a limited effect on attendees.

The proposed side and front yard setbacks are greater than those required by the zone district, with a front setback of 21 feet, where 15 feet is the minimum, and side yard setbacks of six and 10 feet, where five feet is the minimum. The effect of increasing the side yards is to make the house appear less bulky since it does not "fill up" the parcel as much as it would if the minimum setbacks were adhered to.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

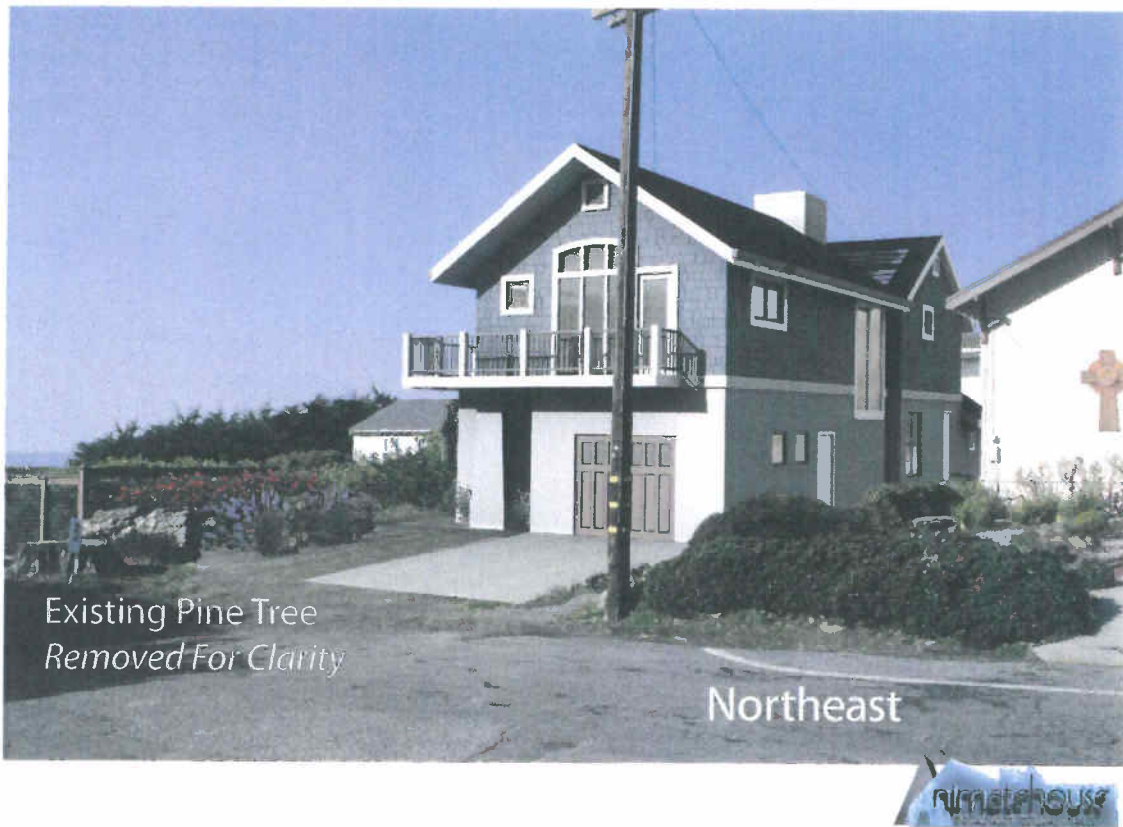
Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **121047**, based on the attached findings and conditions.

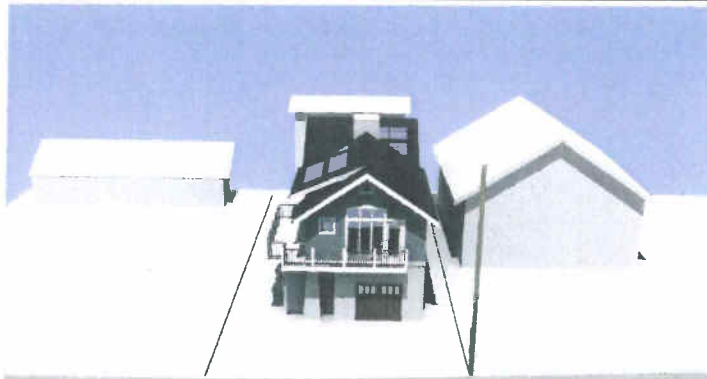
Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

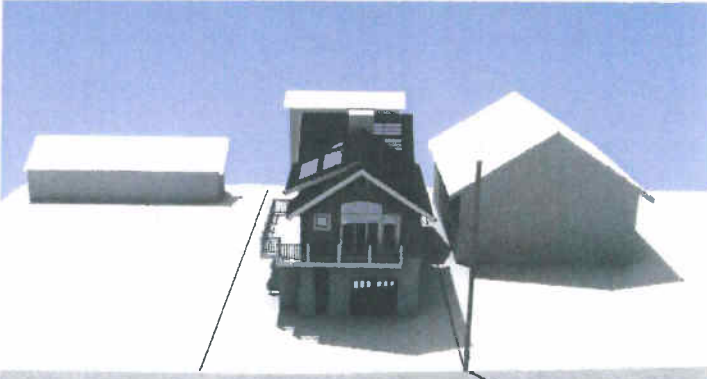
Report Prepared By: Annette Olson
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
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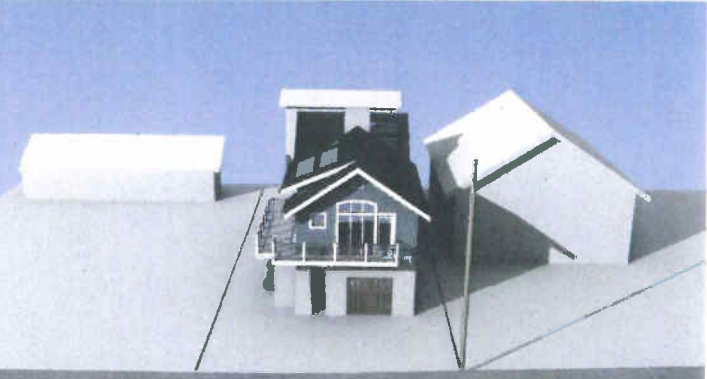
<p>Progress 02-20-12</p>		<p>NANCY HUYCK ARCHITECT</p> <p>9200 SOQUEL DRIVE APTOS, CA 95003 PHONE (831) 685-1206 FAX (831) 685-3205</p>		<p>PROJECT TITLE MILLER RESIDENCE NEW HOUSE</p> <p>115 19TH AVENUE SANTA CRUZ, CA APR: 028-222-05</p>		<p>SHEET TITLE RENDERINGS</p>		<p>SCALE: NA DATE: 02-20-12 DRAWN BY: JOB NO.: N1120 DWG. NO.: N120-G-2</p>		<p>G-2</p>
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June 21 10 am



June 21 2 pm



December 21 10 am



December 21 2 pm



NANCY HUYCK

ARCHITECT

9220 SQUEL DRIVE
APTOS, CA 95003
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FAX (831) 688-3205

Progress
02-20-12

REVISIONS

no. date description

PROJECT TITLE

MILLER RESIDENCE
NEW HOUSE

115 19TH AVENUE
SANTA CRUZ, CA
APN: 028-227-05

SHEET TITLE

SHADOW PLANS

SCALE: NA

DATE: 02-20-12

DRAWN BY:

JOB NO. N1120

DWG. NO. N1120-G-3

G-3

Sheet of Sheets

9200 SOQUEL DRIVE
APTOS, CA 95003
PHONE (831) 685-1208
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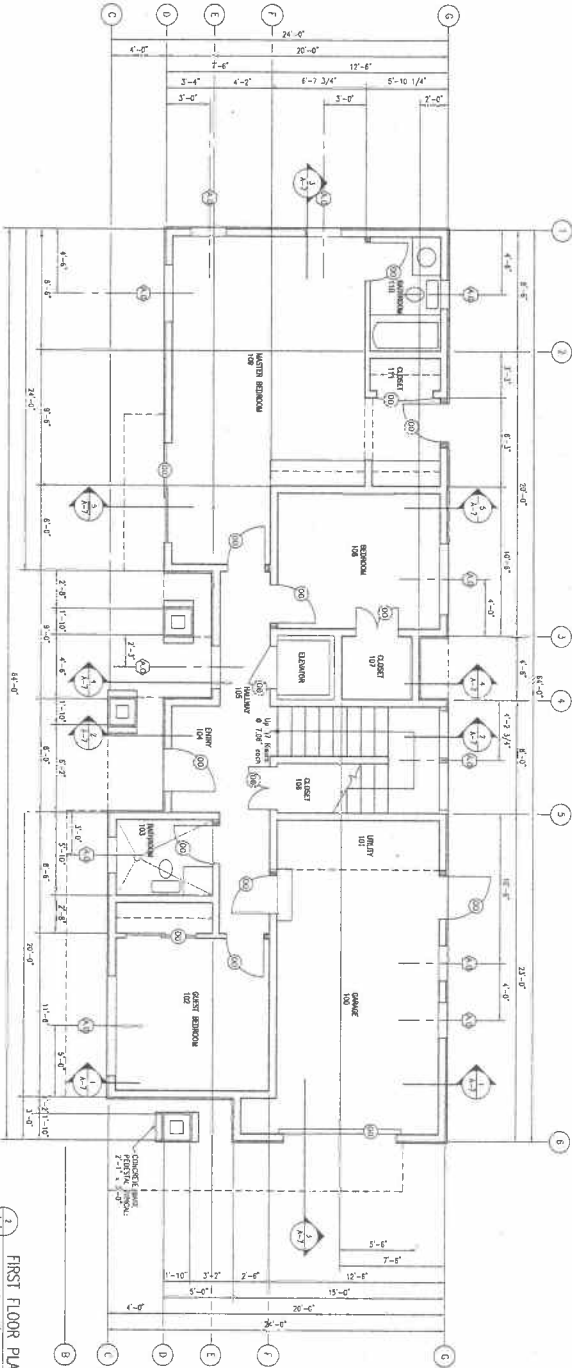
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115 19TH AVENUE
SANIA CRUZ, CA
APN: 028-222-05

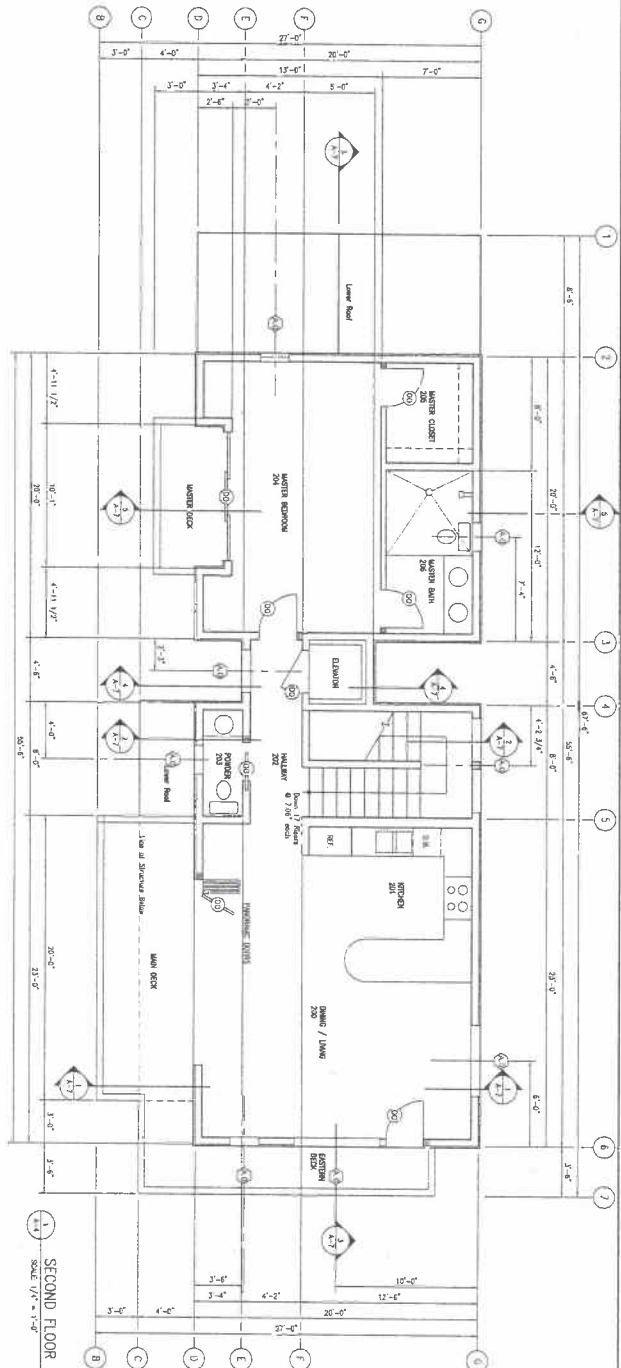
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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



Sheet of sheets
A-4

SHEET TITLE
FIRST + SECOND
FLOOR PLANS
SCALE: 1/4" = 1'-0"
DATE: 04-02-12
DRAWN BY: N.H.
JOB NO.: N1720
DWG. NO.: N1720-A-4

115 19TH AVENUE
SANTA CRUZ, CA
APR. 028-222-05

PROJECT TITLE

MILLER RESIDENCE
NEW HOUSE

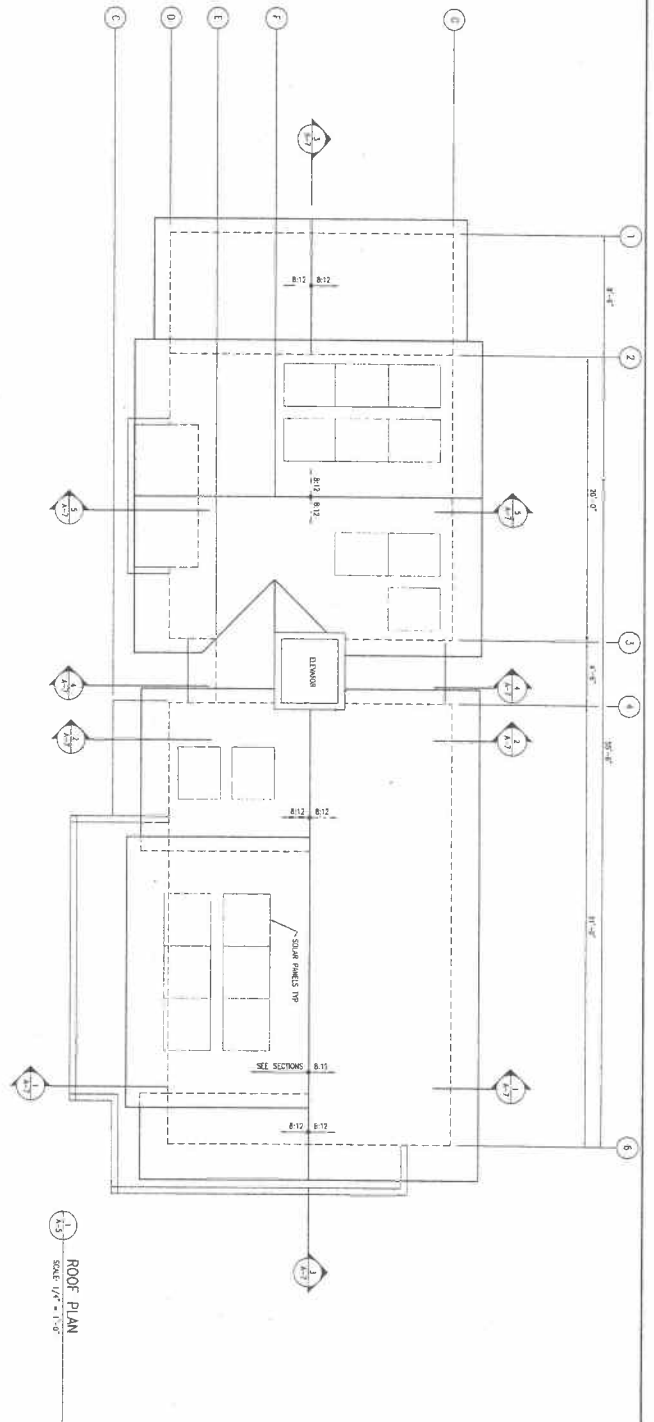
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04-02-12

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ROOF PLAN
SCALE 1/4" = 1'-0"



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02-20-12

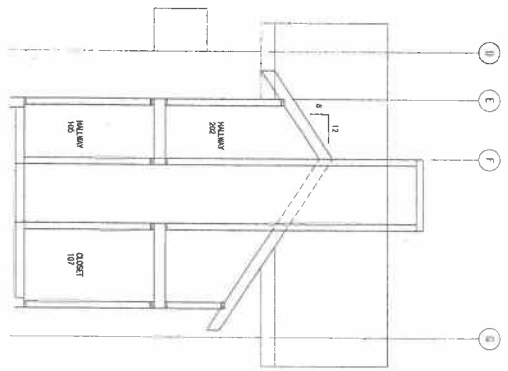
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PROJECT TITLE
MILLER RESIDENCE
NEW HOUSE
115 1914 AVENUE
SANTA CRUZ, CA
APR. 02B-22-05

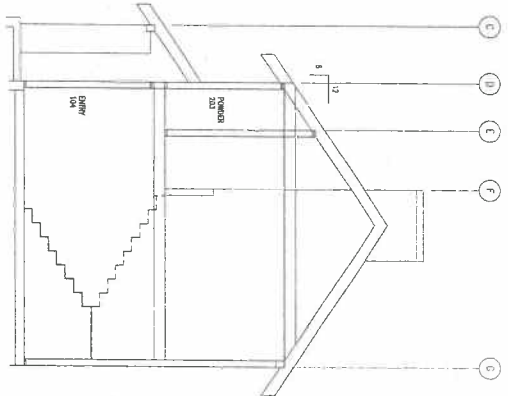
SHEET TITLE
ROOF PLAN

SCALE 1/4" = 1'-0"
DATE 02-20-12
DRAWN BY: NLH
JOB NO.: N1120
DWG. NO.: N1120-A-5

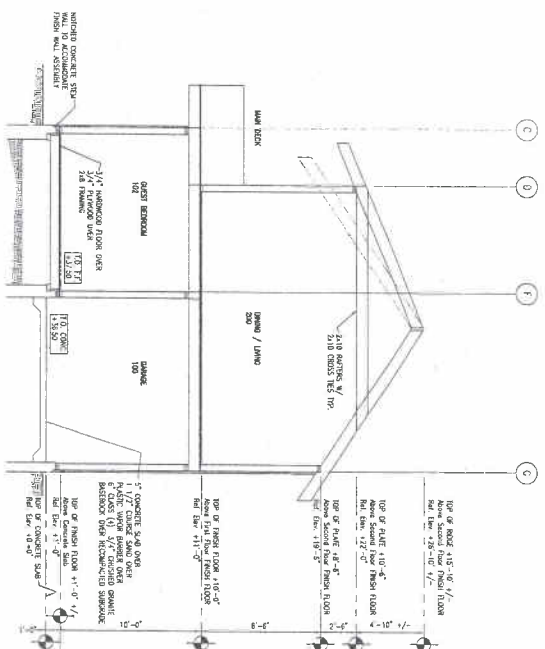
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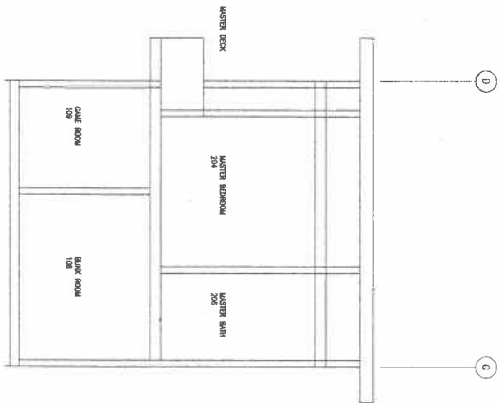
1.1 BUILDING SECTION #4
SCALE: 1/4" = 1'-0"



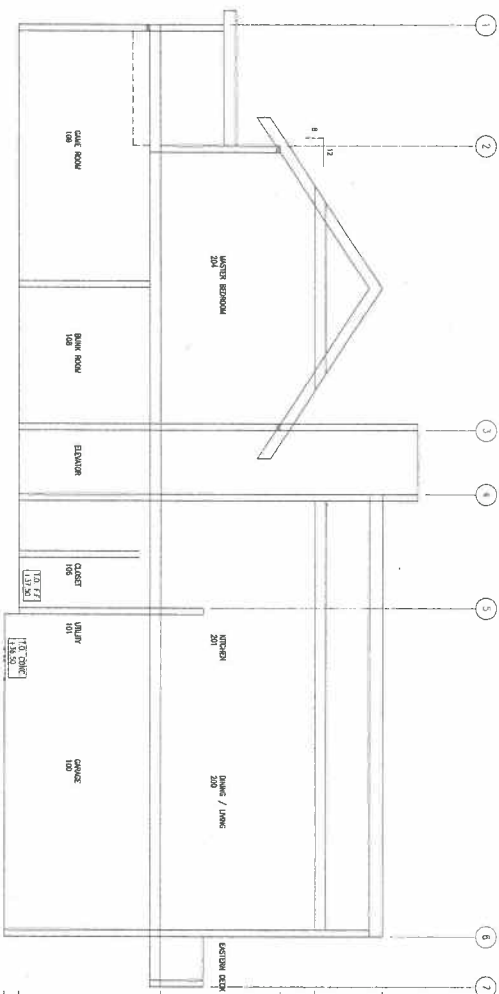
2.1 BUILDING SECTION #2
SCALE: 1/4" = 1'-0"



1.1 BUILDING SECTION #1
SCALE: 1/4" = 1'-0"



5.1 BUILDING SECTION #5
SCALE: 1/4" = 1'-0"



3.1 BUILDING SECTION #3
SCALE: 1/4" = 1'-0"

NO EXISTING GRADE BELOW THIS HOUSE
IS LESS THAN ELEVATION +3.50 THEREFORE
THIS PROJECT IS IN CONFORMANCE WITH
THE SANTA CRUZ COUNTY PLANNING DEPARTMENT.

NOTE:

NO EXISTING GRADE BELOW THIS HOUSE
IS LESS THAN ELEVATION +3.50 THEREFORE
THIS PROJECT IS IN CONFORMANCE WITH
THE SANTA CRUZ COUNTY PLANNING DEPARTMENT.

A-7
sheet of sheets

PROJECT TITLE	MILLER RESIDENCE NEW HOUSE
115 19TH AVENUE SANTA CRUZ, CA APN: 028-222-05	
SHEET TITLE	BUILDING SECTIONS
SCALE: 1/4" = 1'-0"	
DATE: 02-20-12	
DRAWN BY: N.H.	
JOB NO.: N1120	
DWG. NO.: N1120-A-7	

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02-20-12

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Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-4 (Single-family residential, 4,000 square foot minimum parcel size), a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's (R-UM) Urban Medium Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that the proposal does not conflict with any existing easement or development restriction such as public access, utility, or open space easements as no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be complementary to the site; and the development site is not located on a coastal bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that no change to public access is proposed as no public easements, except for the proposed public utility easement at the front of the parcel, exist on the parcel. Consequently, the single-family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed in the R-1-4 (Single-family residential, 4,000 square foot minimum parcel size) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single-family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the

existing range of styles. The proposed structure is craftsman in style with the first floor proposed to be finished in gray stucco and the second floor proposed to be finished in a blue shingle material. Varied roof and wall planes break up the mass and bulk of the structure. In addition, the eastern and southern second floor decks provide a visual break between the first and second floors which further reduces the mass and bulk.

Conditions of Approval

Exhibit A: G-1 Title Sheet; G-2 Renderings by Nimatehouse, no date; G-3 Shadow Plans by Nimatehouse, no date; Sheet One Topographic Map by Robert J. Craig, dated 10/10/11; C1 Grading and Drainage Plan by Robert L. Dewitt, no date; C-2 Erosion Control by Robert L. Dewitt, no date; A-1 Demolition Plan by Nancy Huyck, Architect, dated 2/20/12; A-2 Site Utilities and Adjacencies by Nancy Huyck, Architect, dated 2/20/12; A-3 Site Plan Nancy Huyck, Architect, dated 4/2/12; A-4 First + Second Floor Plans by Nancy Huyck, Architect, dated 4/2/12; A-5 Roof Plan by Nancy Huyck, Architect, dated 2/20/12; A-6 Exterior Elevations by Nancy Huyck, Architect, dated 2/20/12; A-7 Building Sections by Nancy Huyck, Architect, dated 2/20/12; L-1 Landscape Plan by Nancy Huyck, Architect, dated 2/20/12.

- I. This permit authorizes the construction of a four bedroom, single-family dwelling to replace the existing dwelling. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out

and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material board in 8 1/2" x 11" format for Planning Department review and approval.
 2. Grading, drainage, and erosion control plans.
 3. Details showing compliance with fire department requirements.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of Environmental Planning, including the following:
1. The project plans shall reference the soils report and provide contact information for the soils engineer.
 2. Final plans submitted for the building permit application shall reference the soils report and conform with all the recommendations provided by the project soils engineer.
 3. A plan review letter from the soils engineer shall be submitted prior to building permit approval.
 4. The project shall be completed in conformance with all recommendations provided by the soils engineer.
 5. Prior to building permit final inspection, a final letter from the soils engineer shall be provided to the Resource Planner confirming that the project was completed in conformance with the soils report recommendations.
 6. Prior to building permit final inspection, a final letter from the civil engineer shall be provide to the Resource Planner confirming that the project was completed in conformance with the grading and drainage plan.
- D. Meet all requirements of DPW, Road Engineering, including the following:
1. The driveway must meet County of Santa Cruz Design Criteria standards. Refer to the correct figure: (Ref: Fig DW-1 to DW-7).
 2. The driveway shall have an asphalt approach from the edge of the pavement along 19th Avenue to the right-of-way property line. The asphalt approach shall consist of a minimum of two inches of asphalt concrete over six inches of Class II base compacted to 95%.

E. Meet all requirements of DPW, Driveway Encroachment, including the following:

1. Indicate the drainage pattern along the subject parcel's frontage to the inlet located at the end of 19th Avenue.
2. The driveway must meet County of Santa Cruz Standards in the Design Criteria, please refer to the correct figure and provide detail (Ref: Fig DW-1 to DW-7).
3. The driveway shall have an asphalt approach from the edge of the pavement along 19th Avenue to the property line. No concrete or pavers are allowed within the County right-of-way; they are required to terminate at the property line.
4. If installation of utility services are required within the County's right-of-way, an Encroachment Permit will be required to be submitted at the time of the building application. You must submit your Encroachment Permit request directly to the DPW Encroachment section. Please contact DPW Encroachment section for the documentation which is required to be submitted.

F. Meet all requirements of and pay Zone 1 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area. At the building permit stage, address the following:

1. Show all existing and proposed drainage features on the plan.
2. If the project receives runoff from upslope properties, demonstrate how the project will continue to accept this runoff without causing adverse impacts.
3. Please clarify how the proposed vegetative swale will drain through the existing rock wall. Provide construction details to facilitate proper construction.
4. If feasible, it is recommended that the downspout on the north side of the house be allowed to discharge onto the pervious concrete driveway.
5. Minimize impervious surfacing. This project proposes an extensive amount of concrete surfacing. The requirement to minimize impervious paving can be achieved by the use of porous pavement where feasible.
6. For fee calculations, please tabulate the new impervious and semi-pervious areas resulting from the proposed project. Indicate these areas clearly on the plan by shading or hatching their limits. To receive credit for existing impervious surfaces to be removed, submit documentation such as Assessor's records, survey records, aerial photos or other official records that will help establish the dates they were built. Note that a drainage fee will be assessed on the net increase in impervious area.

Reduced fees are assessed for semi-pervious surfacing (50%) to offset costs and encourage more extensive use of these materials.

7. Site plans shall specify maintenance requirements such as: what needs to be maintained and how frequently, what to look for indicating maintenance is required and what the maintenance procedures are for each specific drainage improvement.
 - a. A recorded maintenance agreement is required for the proposed vegetated swale and pervious concrete driveway. Contact DPW for the maintenance agreement.
 8. Upon approval of the building permit, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans. Contact DPW, Stormwater Management for directions to clear the hold or read the comments included as Attachment F to this document.
- G. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- H. Pay the current fees for Parks and Child Care mitigation for three bedroom(s). Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
- I. Pay the current fees for Roadside and Transportation improvements for one new unit. Currently, these fees are, respectively, \$3,000 and \$3,000.
- J. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. Construction Hours: During construction, workers may assemble on-site as early as 7:30 AM, but no noise-generating activities may begin earlier than 8:00 AM. Noise-generating activities must cease by 6 PM. Workdays are limited to Monday through Friday. Should a circumstance arise in which a delivery can only be made on a weekend day, call Planning Staff for approval at least 24 hours in advance of the delivery.
 - B. All site improvements shown on the final approved Building Permit plans shall be installed.

- C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- D. The project must comply with all recommendations of the approved soils reports.
- E. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. For purposes of the Vacation Rental Ordinance, this house shall be considered to be a four bedroom house.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Deputy Zoning Administrator

Annette Olson
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 121047

Assessor Parcel Number: 028-222-05

Project Location: 115 19th Ave.

Project Description: Replacement single-family dwelling.

Person or Agency Proposing Project: Nancy Huyck

Contact Phone Number: (831) 685-1206

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

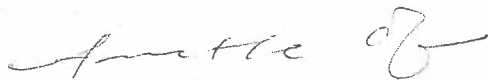
E. X **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

New single family dwelling in a developed area zoned for single-family residences.

In addition, none of the conditions described in Section 15300.2 apply to this project.



Annette Olson, Project Planner

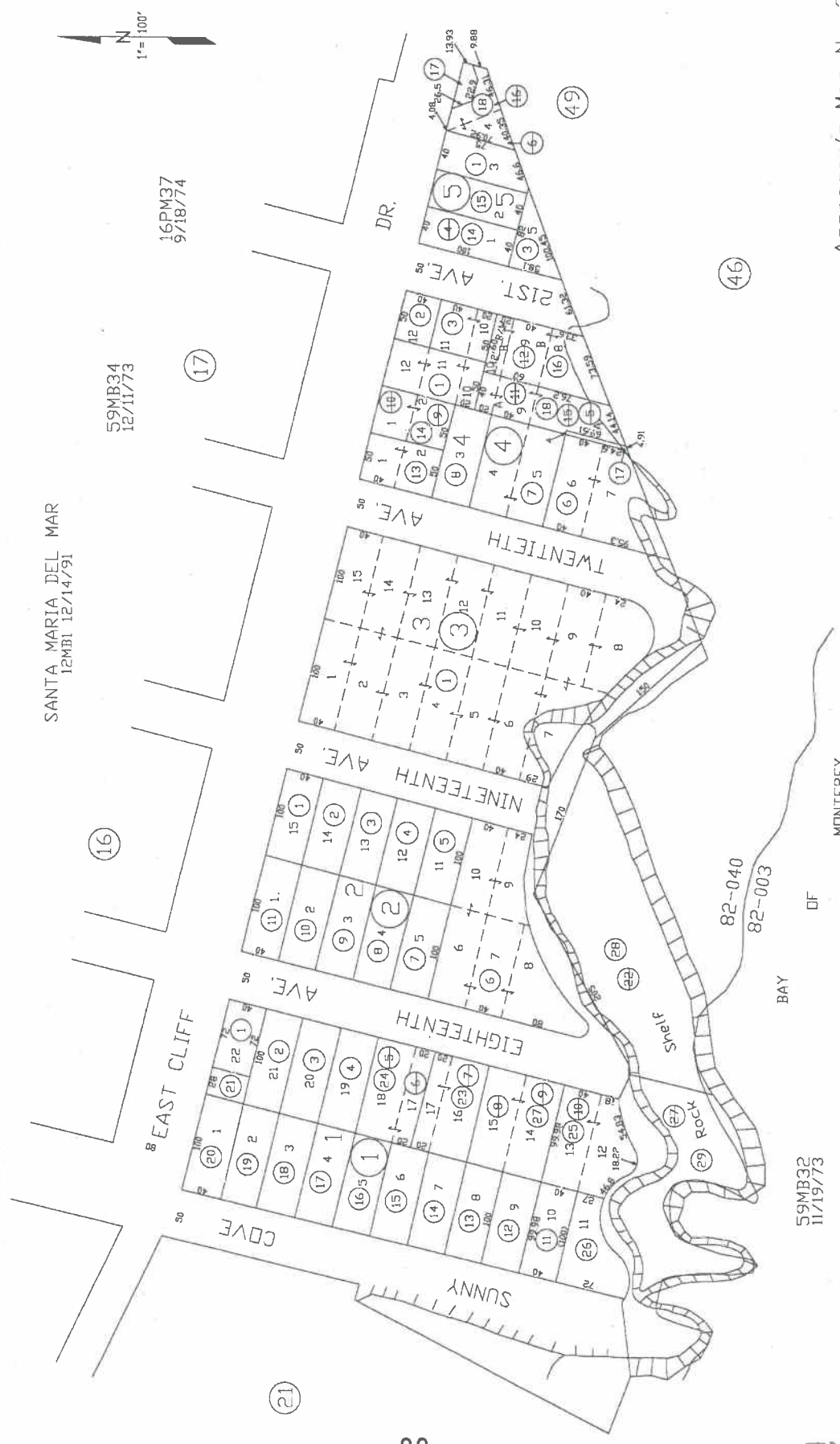
Date: May 17, 2012

28-22

Tax Area Code
82-003 82-040

POR. OF N.E. 1/4 SEC. 20,
T.11S., R.1W., M.D.B. & M.

FOR TAX PURPOSES ONLY
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998



Assessor's Map No. 28-22
County of Santa Cruz, Calif.
August, 1998





MONTEREY
Note - Assessor's Parcel Block &
Lot Numbers Shown in Circles.

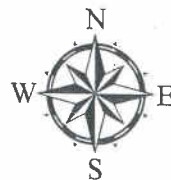


Location Map



LEGEND

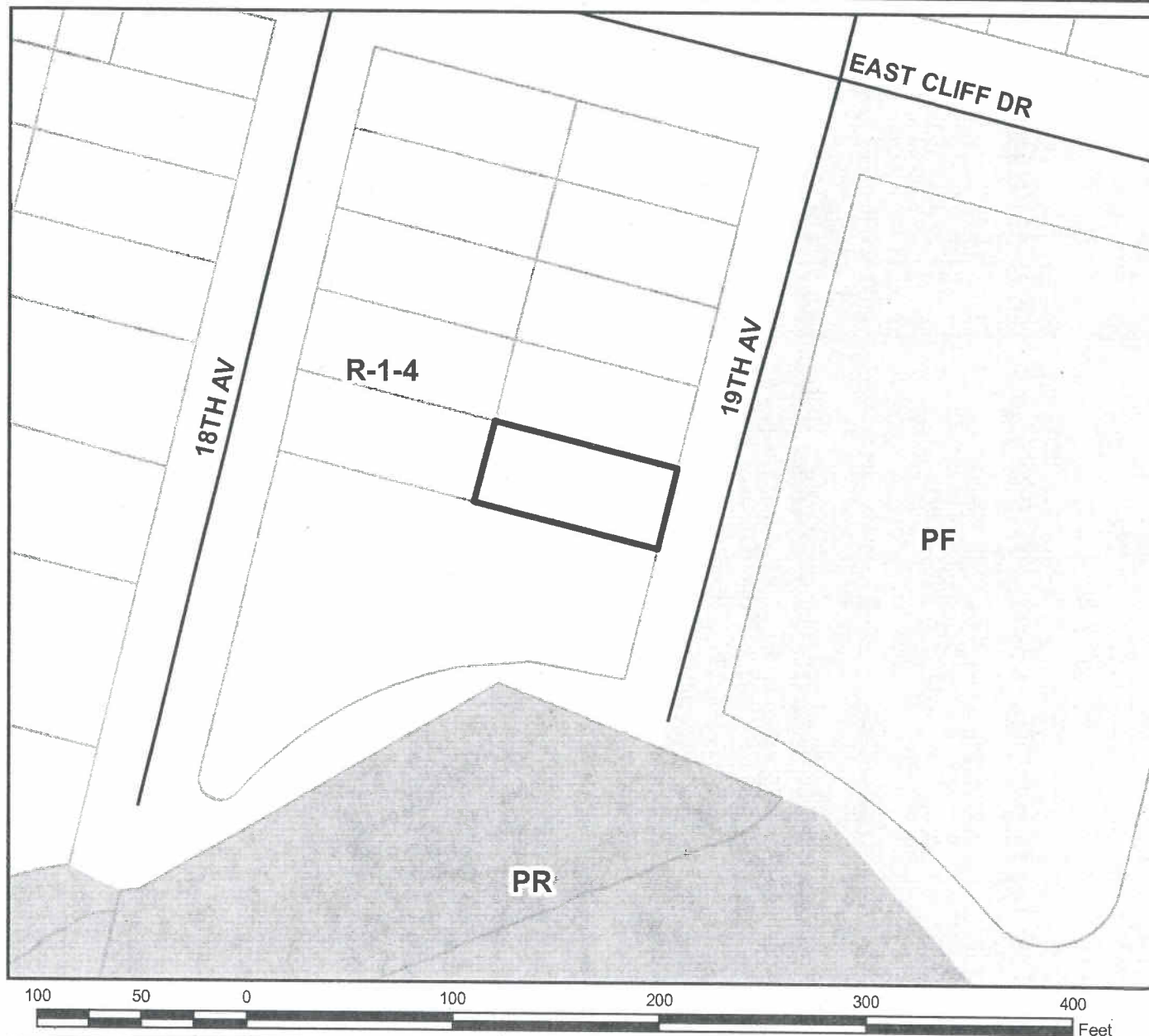
-  APN: 028-222-05
-  Assessors Parcels
-  Streets
-  County Boundary



Map Created by
County of Santa Cruz
Planning Department
March 2012



Zoning Map



LEGEND



APN: 028-222-05



Assessors Parcels



Streets

RESIDENTIAL-SINGLE FAMILY

PUBLIC FACILITY



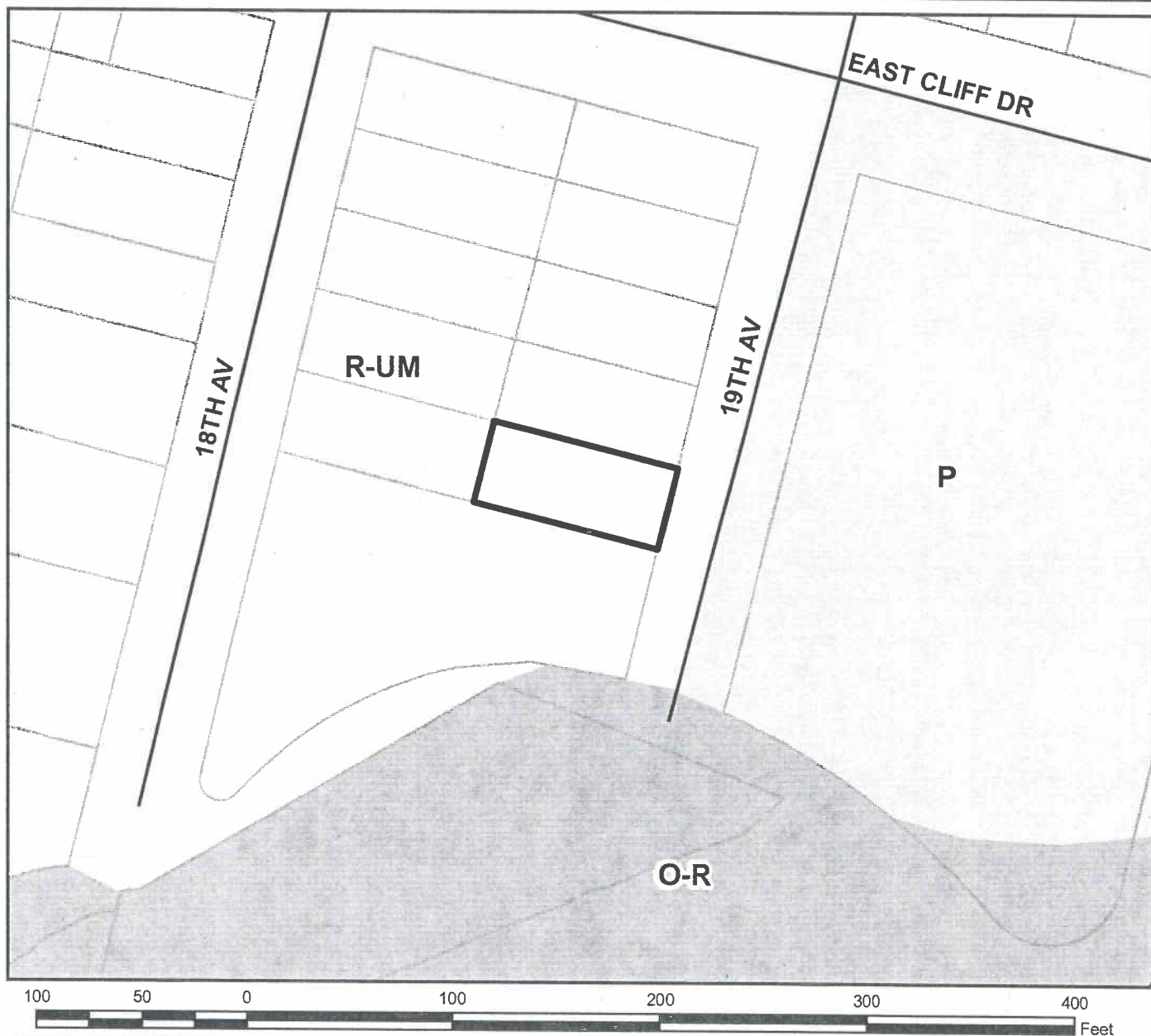
PARK



Map Created by
County of Santa Cruz
Planning Department
March 2012



General Plan Designation Map



LEGEND



APN: 028-222-05



Assessors Parcels



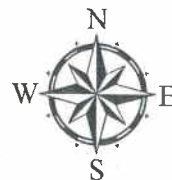
Streets

Residential - Urban Medium Density

Public Facilities



Parks and Recreation



Map Created by
County of Santa Cruz
Planning Department
March 2012



Coastal Commission Review

Routing No: 1 | Review Date: 03/21/2012

ANNETTE OLSON (AOLSON) : No Response

Drainage Review

Routing No: 1 | Review Date: 03/20/2012

TRAVIS RIEBER (TRIEBER) : Complete

Completeness Comments:

Application Complete? ☒ Yes ☐ No

The plans dated 2/20/2012 have been received and are approved for the planning application stage. Please see the permit conditions below for additional information to be provided at the building application stage.

Policy Considerations and Compliance Issues:

Permit Conditions and Additional Information:

1. Does this site currently receive any runoff from adjacent/upslope property? If so, please demonstrate how the project will continue to accept this runoff without causing adverse impacts to the proposed structure or adjacent/downstream properties. Show all existing and proposed drainage features on the plans.
2. Please make clear on the plans how the proposed vegetated swale will drain through the existing rock wall. Provide construction details to facilitate proper construction.
3. Please provide a cross section construction detail of the proposed pervious concrete driveway to facilitate proper construction by the contractor.
4. If feasible it is recommended that the downspout on the north side of the house be allowed to discharge onto the pervious concrete driveway.
5. Projects are required to minimize impervious surfacing. This project is proposing an extensive amount of concrete surfacing. The requirement to minimize impervious surfacing can be achieved by the use of porous pavement (paver blocks, turf blocks, base rock, gravel, pervious concrete, ect.) where feasible.
6. For fee calculations please provide tabulation of new impervious and semi-impervious (gravel,



Drainage Review

Routing No: 1 | Review Date: 03/20/2012

TRAVIS RIEBER (TRIEBER) : Complete

base rock, paver blocks, pervious pavement) areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces to be removed please provide documentation such as assessor's records, survey records, aerial photos or other official records that will help establish and determine the dates they were built.

Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing (50%) to offset costs and encourage more extensive use of these materials.

7. Site plans shall specify maintenance requirements such as; what needs to be maintained, how often each drainage improvement needs to be maintained, what to look for indicating maintenance is required, and what the maintenance procedures are for each specific drainage improvement. A recorded maintenance agreement is required for the proposed vegetated swale and pervious concrete driveway. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:

http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25A.pdf

Upon approval of the project, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised:

1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer's letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient.
2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown.
3. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The civil engineer will review



Drainage Review

Routing No: 1 | Review Date: 03/20/2012

TRAVIS RIEBER (TRIEBER) : Complete

the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory.

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

Driveway/Encroachment Review

Routing No: 1 | Review Date: 03/21/2012

DEBRA LOCATELLI (DLOCATELLI) : Complete

Site inspection completed, the pavement for this portion of 19th Avenue is in poor condition. Located within the r/w is a tree stump, eliminating a permit parking space. Apparently this tree trunk is noted as providing the project benchmark which has a 8" spike on top center of 48" diameter of stump; therefore, this trunk can not be removed, unless it is resurveyed to relocate the spike. At this time, it is not a requirement of the Encroachment Section.

The following will be required at the time of the building permit application.

1. Indicate drainage pattern along frontage of parcel to inlet, located at end of road.
2. The driveway must meet County of Santa Cruz Standards in the Design Criteria, please refer to the correct figure and provide detail. (Ref: Fig DW-1 to DW-7)
3. The driveway shall have an Asphalt approach from the edge of pavement along 19th Ave to property line. No concrete or pavers are allowed within the county right-of-way, required to terminate at property line.
4. If installation of utility services are required within the county's right-of-way, an Encroachment Permit will be required for trenching for the portion within the county's right-of-way. This permit shall be required to be submitted at the time of the building application; to be submitted directly to the DPW, Encroachment Section. Please contact DPW Encroachment Section for details for required documentation to be submitted at that time.

Environmental Planning

Routing No: 1 | Review Date: 03/20/2012

ANTONELLA GENTILE (AGENTILE) : Complete



Environmental Planning

ANTONELLA GENTILE (AGENTILE) : Complete
Completeness Comments

Plans are complete per the requirements of Resource Planning.

Miscellaneous Comments

1. The soils report is still under review by Joe Hanna, County Geologist. The results of that review will be sent under separate cover.
2. The pine tree on the southeast corner of the property is shown to remain on the grading plan and landscape plan. However, the health of the tree may be compromised if grading takes place and concentrated runoff is released within the dripline of the tree, as is shown on the grading and drainage plan. Revising the plans to remove grading and the release of concentrated runoff within the dripline is recommended. Alternately, the applicant should obtain tree protection measures from a certified arborist.

Conditions of Approval

1. The project plans shall reference the soils report and provide contact information for the soils engineer.
2. Final plans submitted for the building permit application shall be drawn in conformance with all recommendations provided by the soils engineer.
3. A plan review letter from the soils engineer shall be submitted prior to building permit approval.
4. The project shall be completed in conformance with all recommendations provided by the soils engineer.
5. Prior to building permit final inspection, a final letter from the soils engineer shall be provided to the Resource Planner confirming that the project was completed in conformance with the soils report recommendations.
6. Prior to building permit final inspection, a final letter from the civil engineer shall be provided to the Resource Planner confirming that the project was completed in conformance with the grading and drainage plan.

Fire Review

Routing No: 1 | Review Date: 03/20/2012

KAREN MILLER (KMILLER) : Complete

Date: March 16, 2012
To: Doris Lawrence
Applicant: Nancy Huyck
From: Tom Wiley
Subject: 121047
Address 115 19th Ave.
APN: 028-222-05
OCC: 2822205
Permit: 20120031

We have reviewed plans for the above subject project.



Fire Review

Routing No: 1 | Review Date: 03/20/2012

KAREN MILLER (KMILLER) : Complete

The following NOTES must be added to notes on velums by the designer/architect in order to satisfy District requirements when submitting for **Application for Building Permit**:

NOTE on the plans that these plans are in compliance with California Building and Fire Codes (2010) and District Amendment.

NOTE on the plans the OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE-FIRE RATING and SPRINKLERED as determined by the building official and outlined in the 2010 California Building Code (e.g., R-3, Type V-B, Sprinklered).

The FIRE FLOW requirement for the subject property is 1000 gallons per minute for 120 minutes. NOTE on the plans the REQUIRED and AVAILABLE FIRE FLOW. The AVAILABLE FIRE FLOW information can be obtained from the water company.

SHOW on the plans a public fire hydrant, type and location, meeting the minimum required fire flow for the building, within 600 feet of any portion of the building if the building is equipped with an automatic fire sprinkler system, or 400 feet if the building is not equipped with an automatic fire sprinkler system.

NOTE ON PLANS: New/upgraded hydrants, water storage tanks, and/or upgraded roadways shall be installed PRIOR to construction.

NOTE on the plans that the building shall be protected by an approved automatic sprinkler system complying with the edition of NFPA 13D currently adopted in Chapter 35 of the California Building Code.

NOTE on the plans that the designer/installer shall submit two (2) sets of plans, calculations, and cut sheets for the underground and overhead Residential Automatic Sprinkler System to this agency for approval. Installation shall follow our guide sheet.

Show on the plans where smoke detectors are to be installed according to the following locations and approved by this agency as a minimum requirement:

- One detector adjacent to each sleeping area (hall, foyer, balcony, or etc).
- One detector in each sleeping room.
- One at the top of each stairway of 24" rise or greater and in an accessible location by a ladder.
- There must be at least one smoke detector on each floor level regardless of area usage.
- There must be a minimum of one smoke detector in every basement area.

Show the location of the CO detector outside each sleeping room and on each level at a minimum of the residence

NOTE on the plans where address numbers will be posted and maintained. Note on plans that address numbers shall be a minimum of FOUR (4) inches in height and of a color contrasting to their background.

NOTE on the plans the installation of an approved spark arrestor on the top of the chimney. Wire mesh not to exceed ½ inch.



Fire Review

Routing No: 1 | Review Date: 03/20/2012

KAREN MILLER (KMILLER) : Complete

NOTE on the plans that the roof coverings to be no less than Class "B" rated roof.

Submit a check in the amount of \$115.00 for this particular plan check, made payable to Central Fire Protection District. A \$35.00 **Late Fee** may be added to your plan check fees if payment is not received within 30 days of the date of this Discretionary Letter. INVOICE MAILED TO APPLICANT. Please contact the Fire Prevention Secretary at (831) 479-6843 for total fees due for your project.

If you should have any questions regarding the plan check comments, please call me at (831) 479-6843 and leave a message, or email me at tomw@centralfpd.com. All other questions may be directed to Fire Prevention at (831)479-6843.

CC: File & County

As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and the Central FPD of Santa Cruz County.
2822205-031612

Project Review

Routing No: 1 | Review Date: 03/21/2012

ANNETTE OLSON (AOLSON) : Incomplete

See "incomplete" letter in file.

Routing No: 2 | Review Date:

() :

Road Engineering Review

Routing No: 1 | Review Date: 03/16/2012

ANWARBEG MIRZA (AMIRZA) : Incomplete

Completeness Comments: Application Complete? ____ Yes X No

A six-foot right of way dedication is required for Public Utility Easement. Please contact the Department of Public Works to obtain an offer of dedication form. The Building Permit application will then be approved with a hold on the application requiring the completion of the 6-foot dedication.

Policy Considerations and Compliance Issues:

Permit Conditions and Additional Information:



Road Engineering Review

Routing No: 1 | Review Date: 03/16/2012

ANWARBEG MIRZA (AMIRZA) : Incomplete

1. The driveway must meet County of Santa Cruz Standards in the Design Criteria and please refer the correct figure and show in plan view. (Ref: Fig DW-1 to DW-7)
2. The driveway shall have an Asphalt approach from the edge of pavement along 19th Ave to the Right of Way property line. Asphalt approach shall consist of a minimum of 2" asphalt concrete over 6" class II base compacted to 95%.

Routing No: 2 | Review Date: 04/16/2012

ANWARBEG MIRZA (AMIRZA) : Complete

CONDITIONS AND ADDITIONAL COMMENTS:

NOTE ON SHEET A-3:

DPW REQ OF DEDICATION OF UTILITY EASEMENT AND STD DWY WHILE AT
BUILDING APPLICATION



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

March 21, 2012

Nancy Huyck
9200 Soquel Drive
Aptos, CA 95003

Subject: Review of Geotechnical Engineering by Dees and Associates
Dated December 2011: Project: SCR-0538
APN 028-222-05, Application #: REV121015

Dear Nancy Huyck,

The purpose of this letter is to inform you that the Planning Department has accepted the subject report. The proposed development is approximately 50 feet from the coastal bluff, and the coastal bluff is currently protected by a rock type seawall, which has reduced the amount of coastal erosion. Based upon past coastal erosion patterns, past changes in sea level, and hypothesized future changes, the 50 feet setback between provides a significant separation between the bluff and the proposed home. As part of this report acceptance, the following items shall be required:

1. All construction shall comply with the recommendations of the report.
2. Final plans shall reference the report and include a statement that the project shall conform to the report's recommendations.
3. Prior to building permit issuance a *plan review letter* shall be submitted to Environmental Planning. After plans are prepared that are acceptable to all reviewing agencies, please submit a geotechnical plan review letter that states the project plans conform to the recommendations of the geotechnical report. *Please note that the plan review letter must reference the final plan set by last revision date.* The author of the report shall write the *plan review letter*.
4. Please submit an electronic copy of the soils report in .pdf format via compact disk or email to: PLN829@co.santa-cruz.ca.us. Please note that the report must be generated and/or sent directly from the soils engineer of record.

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the *Notice to Permits Holders* (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

(over)

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please call the undersigned at (831) 454-3175 if we can be of any further assistance.

Sincerely,



Joe Hanna

County Geologist CEG 1313

Cc: Antonella Gentile, Environmental Planning
Dees and Associates
owner (if different from applicant)

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading,** a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations,** a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction,** a *final letter* from your soils engineer is required to be submitted to Environmental Planning that summarizes the observations and the tests the soils engineer has made during construction. The final letter must also state the following: "Based upon our observations and tests, the project has been completed in conformance with our geotechnical recommendations."

If the *final soils letter* identifies any items of work remaining to be completed or that any portions of the project were not observed by the soils engineer, you will be required to complete the remaining items of work and may be required to perform destructive testing in order for your permit to obtain a final inspection.

(over)



**CENTRAL
FIRE PROTECTION DISTRICT**
of Santa Cruz County
Fire Prevention Division

930 17th Avenue, Santa Cruz, CA 95062
phone (831) 479-6843 fax (831) 479-6847

Date: March 16, 2012
To: Doris Lawrence
Applicant: **Nancy Huyck**
From: Tom Wiley
Subject: **121047**
Address: **115 19th Ave.**
APN: 028-222-05
OCC: 2822205
Permit: 20120031

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CC: File & County

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2822205-031612