



Staff Report to the Zoning Administrator

Application Number: **121191**

Applicant: Cymel Morada
Owner: Kenneth and Deborah Rodrigues
APN: 027-101-12

Agenda Date: December 21, 2012
Agenda Item #: 1
Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing 396 square foot detached garage and 199.5 square feet of an existing single-family dwelling and to construct a one story 645.9 square foot addition and a 114.7 square foot covered porch. Requires a Variance to reduce the required street side setback from 10 feet to between 1 foot 6 inches and 2 foot 5 inches for the construction of an addition within the existing footprint of the residence and for a covered porch, an Amendment to Use permit 4539-U and a Minor Exception to allow for an increase in the allowed lot coverage to around 45% on a parcel in the R-1-3.5 zone district.

Location: Property located on the east side of 6th Avenue (300 6th Avenue) at the intersection with Carmel Street.

Supervisory District: Third District (District Supervisor: Neal Coonerty)

Permits Required: Variance; Amendment to permits 2894-U and 4539-U; Minor Exception.

Technical Reviews: none

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 121191, based on the attached findings and conditions.

Exhibits

- | | |
|------------------|---|
| A. Project plans | D. Categorical Exemption (CEQA determination) |
| B. Findings | E. Assessor's, Location, Zoning and General Plan Maps |
| C. Conditions | |

Parcel Information

Parcel Size: 4,000 square feet
Existing Land Use - Parcel: Single-family residence
Existing Land Use - Surrounding: Residential
Project Access: 6th Avenue or Carmel Street
Planning Area: Live Oak
Land Use Designation: R-UH (Urban High Residential)
Zone District: R-1-3.5 (Single-Family Residential)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☐ Yes ☒ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: N/A
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: Two small trees within the public right of way to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Santa Cruz City Water
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5 Flood Control District

History

The original 732 square foot dwelling and a detached garage of 396 square feet were constructed on the parcel in 1945, prior to the adoption of zoning regulations. Based upon a recent survey the dwelling was constructed to approximately one foot from the northern property boundary and 1 foot 6 inches from the southern property boundary at Carmel Street. The dwelling therefore did not conform to setback requirements that were introduced at a later date.

In 1967 application 2894-U was approved to construct a bedroom addition at the nonconforming dwelling with reduced side setbacks. The resulting addition, built under issued Building Permit #3614, was constructed to within 10.5 inches of the northern property boundary. Then later, in 1973 application 4539-U was approved to construct an addition to the living room and to reduce the then required 8 foot side yard setback to Carmel Street to around 3 feet 7 inches. This addition was built under issued building permit #32905. However, a recent survey has identified

that the actual setback was only around 1 foot 6 inches from the southern property boundary at the closest point. Therefore, although the dwelling does not conform to the written setback of 3 feet 7 inches, the dwelling as it currently exists (with the exception of a covered porch at the west elevation that was constructed without benefit of permits) does conform to the approved plans for 4539-U. These legal additions also increased the lot coverage on the parcel to around 42%.

Project Setting

The project site is located on the east side of 6th Avenue at the corner with Carmel Street, within the Yacht Harbor Special Community, a mixed neighborhood that is made up of a mix of older single-family residential homes with some newer structures and also a few multi-family developments. Almost all of the structures in the vicinity of the project site are nonconforming to setbacks and/or lot coverage, having been constructed prior to permit requirements, and/or have been granted a Variance or other approval.

The following Permits have been approved for parcels that surround the subject property: Variance 88-0861, and also two subsequent applications, 94-0637 and 96-0530 were approved to allow an increased lot coverage of around 44.4% on APN 027-101-07, the adjacent parcel to the north along 6th Avenue; Development Permit 4147-U was approved for reduced setbacks to construct a deck at APN 027-101-11, which lies immediately to the north of the parcel on Assembly Way; Variance 81-46-V was approved for a reduced rear yard setback to zero to increase lot coverage to around 65% on APN 027-132-15, which is opposite the subject parcel at the corner of Carmel Street and 6th Avenue, and 75-71-PD which included a Variance to reduce both the front and rear yard setbacks was approved on APN 027-132-16 which is opposite the subject parcel at the corner of Carmel Street and Assembly Way. Further the dwelling on the small parcel located at the northeast corner of the subject lot has a legal nonconforming lot coverage of 72%.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 4,000 square feet, located in the R-1-3.5 (Single-Family Residential) zone district, a designation which allows residential uses. A single-family dwelling is a principal permitted use within the zone district and the proposed additions and remodeling to the existing dwelling will not change the use of the structure. The zoning is consistent with the site's (R-UH) Urban High Residential General Plan designation.

This project proposes the demolition of the existing nonconforming 396 square foot garage that is located in the northeast corner of the parcel and also the demolition and replacement of just under 200 square feet of the existing house, in order to construct a 645.9 square foot addition on to the existing one story dwelling. In addition, a new covered porch is proposed at the front entrance and this will replace an existing unpermitted porch.

The proposed 645.9 square foot addition consists of both new floor area and the reconstruction and re-design of existing floor area. The new floor area will be located at the rear of the existing dwelling and will meet all of the required setbacks for the zone district and the area of the proposed reconstruction will be entirely within the existing footprint of the existing structure. Although this portion of the project will not change the setbacks that were approved by 4539-U,

because the area that is to be reconstructed will be redesigned and a new gable added, the roof height will be increased and the plate height of the walls at the south and western elevations will need to be raised. Therefore, because the new development will increase the dimensions of the dwelling within the required setback area and also because the proposed front porch will extend the approved line of the reduced setback an additional seven feet westwards towards 6th Avenue to a point that lines up with the front of the existing dwelling, a Variance, and an Amendment to 4539-U is required to be approved as specified in County Code section 13.10.230. The proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to setbacks, having been constructed prior to permit requirements or having been granted a Variance to setback requirements. The approval of a Variance and an Amendment to 4539-U is therefore in character with other developments in the vicinity that are under identical zoning classification.

In addition, the proposed project will result in a revised footprint of structures on the parcel and also a small increase in the total lot coverage from around 42%, (not including the unpermitted porch area) to around 45%. This minimal increase from the existing lot coverage on the parcel requires the approval of a Minor Exception as specified in County Code section 13.10.235(b) which permits minor increases in lot coverage of up to 15% of the total maximum, and would therefore allow lot coverage of 46%. An increase in lot coverage is consistent with development on surrounding homes. Further, as proposed the project will decrease the area of impervious coverage on the parcel. For example, the project incorporates the removal of the existing concrete driveway, concrete pathways and a concrete patio which will be replaced by new driveways with grassed strips to reduce the paved area and new patio areas and pathways that will be constructed using stone pavers set on sand or wood decking to allow for percolation of rainwater.

All of the proposed additions will be one story and will comply with the maximum 28 foot height limit and the resulting dwelling will also be within the maximum 50% Floor Area Ratio for the parcel that is allowed in the zone district.

Design Review

The proposed remodel and additions to the existing single-family dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed additions will be designed in the style of the existing home on the parcel. In addition, new features such as decorative dormer windows and a small cupola with a weather vane will be added to increase the visual interest of the home and break up the proposed roofline. Developed parcels in the area contain both one and two story homes and the size and architectural styles vary widely in the area. The design submitted is consistent with the existing range of styles.

The parcel is located between 6th Avenue and Assembly way, where these roads are intersected by Carmel Street, and therefore the lot occupies a highly visible corner location. By allowing an increase in lot coverage the new and reconstructed habitable floor area can be maintained at one story which will reduce the impact of the proposed additions on the neighborhood and the adjacent homes, which are all nonconforming to setbacks and are therefore very close to the property line. Only minor changes are proposed to the existing south elevation where it is close to Carmel Street, as required to raise and level the plate height for the new gable and to replace the existing unpermitted porch. The proposed gable will slope up and away from Carmel Street

so it will not materially change the impact of this portion of the structure in views from the road. The proposed porch will be slightly smaller than the covered area that already exists. Therefore the proposed development will not materially change the impact of the dwelling on surrounding land uses and the natural landscape.

Local Coastal Program Consistency

The project is in conformance with the County's certified Local Coastal Program, in that, as set out in County Code section 13.20.068(a)1(i), additions of up to 500 square feet to existing single-family dwellings that are outside the appeal jurisdiction of the Coastal Commission, are exempt from Coastal Development Permit requirements. Although an addition of 645.9 square feet is proposed, 199.5 square feet of the new floor area will replace an existing portion of the dwelling, and the original 396 square foot garage is to be demolished and not replaced. Therefore the net addition will consist of only 50.4 square feet of covered and enclosed floor area and a 114.7 square foot covered porch which together do not exceed 500 square feet. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Environmental Review

Environmental Review has not been required for the proposed project since, as proposed, the project qualifies for an exemption under the California Environmental Quality Act (CEQA) consistent with the CEQA guidelines in Section 15303: New Construction or Conversion of Small Structures, in that the demolition of the existing garage and the remodeling and additions to the existing dwelling have no potential to cause environmental impact due to the small scale of the project.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 121191, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

Application #: 121191

APN: 027-101-12

Owner: Kenneth and Deborah Rodrigues

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are available online at: www.co.santa-cruz.ca.us

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RESIDENTIAL REMODEL

300 6TH AVENUE

SANTA CRUZ, CALIFORNIA

APN: 027-101-12

VICINITY MAP

CONTACTS

SHEET INDEX



OWNER

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ARCHITECT

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445 N. Whisman Road, Suite 200
Mountain View, CA 94043

Phone: 650.986.0700
Fax: 650.986.0707
Contact: Kenneth Rodrigues

STRUCTURAL

DUQUETTE ENGINEERS
4340 Stevens Creek Blvd., Suite 200
San Jose, CA. 95129

Phone: 408.615.9200
Fax: 408.616.9800
Contact: Steve Duquette

CIVIL ENGINEERS

KIER & WRIGHT
3350 Scott Boulevard, Bldg 22
Santa Clara, CA. 95054

Phone: 408.727.8866
Fax: 408.727.8641
Contact: Berry Schmitt

LANDSCAPE ARCHITECT

THE GUZZARDO PARTNERSHIP, INC.
181 Greenwich Street,
San Francisco, CA. 94111

Phone: 415.433.4872
Fax: 415.433.5003
Contact: Gary Laymon

A1	PROPOSED/DEMOLITION SITE PLAN
C1	TOPO AND BOUNDARY SURVEY
D2	MAIN HOUSE DEMOLITION FLOOR PLAN
A2	MAIN HOUSE FLOOR PLAN
A3	WEST ELEVATIONS
A4	EAST ELEVATIONS
A5	SOUTH ELEVATIONS
A6	NORTH ELEVATIONS
A7	EXISTING ROOF PLAN
A8	PROPOSED ROOF PLAN
A9	WEST 3D MODELS
A10	EAST 3D MODELS
A11	SOUTH 3D MODELS
L1.1	LANDSCAPE NOTES AND LEGENDS
L1.2	PLANTING NOTES AND LEGENDS
L2.1	LANDSCAPE PLAN
L3.1	IRRIGATION PLAN
L3.2	IRRIGATION LEGEND AND NOTES
L3.3	IRRIGATION DETAILS
L3.4	IRRIGATION DETAILS AND CALCULATIONS

EXHIBIT A

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



PROJECT DESIGNER & ARCHITECT
400 Santa Teresa Blvd., Suite 201
SANTA CRUZ, CA 95061-1000



DATE: 08/1/12
PLANNING SUBMITTAL SET
12/21/12 PLANNING RESPONSE SET

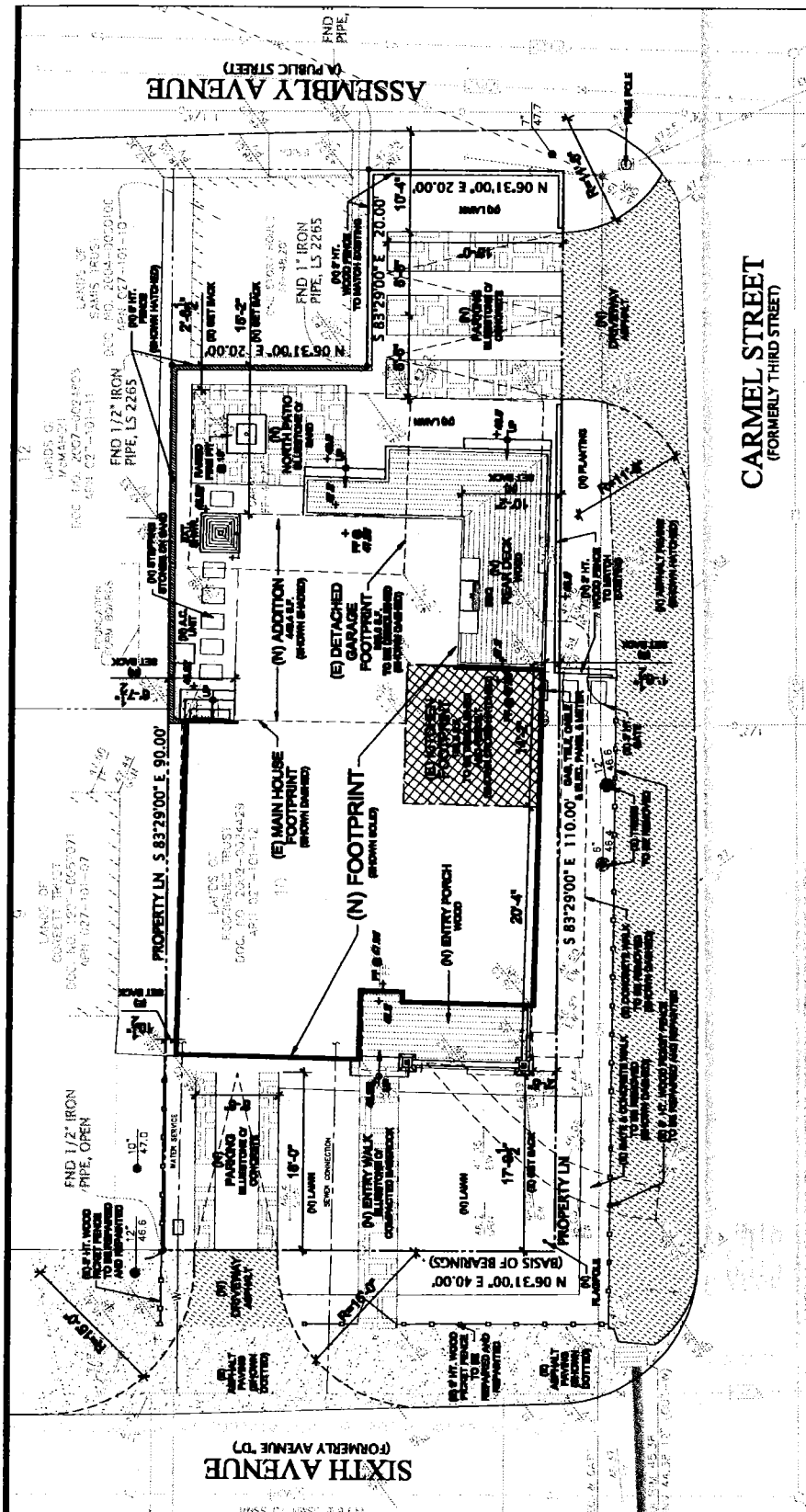
DATE: 07/23/12
DATE: 10/01/12
DATE: 08/01/12
DATE: 08/01/12

PROPOSED SITE PLAN



A1

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CARMEL STREET
(FORMERLY THIRD STREET)

PROPOSED SITE PLAN 1/8" = 1'

IMPERMEABLE COVERAGE:

EXISTING	PROPOSED
MAIN HOUSE FOOTPRINT 2,000 S.F.	MAIN HOUSE FOOTPRINT 2,000 S.F.
DETACHED GARAGE FOOTPRINT 1,281 S.F.	DETACHED GARAGE FOOTPRINT 1,281 S.F.
ENTRY PORCH 20'-0" x 17'-0" = 340 S.F.	ENTRY PORCH 20'-0" x 17'-0" = 340 S.F.
DRIVEWAY 10'-0" x 10'-0" = 100 S.F.	DRIVEWAY 10'-0" x 10'-0" = 100 S.F.
WALKWAY 10'-0" x 10'-0" = 100 S.F.	WALKWAY 10'-0" x 10'-0" = 100 S.F.
LANDSCAPE 10'-0" x 10'-0" = 100 S.F.	LANDSCAPE 10'-0" x 10'-0" = 100 S.F.
FENCE 10'-0" x 10'-0" = 100 S.F.	FENCE 10'-0" x 10'-0" = 100 S.F.
UTILITY 10'-0" x 10'-0" = 100 S.F.	UTILITY 10'-0" x 10'-0" = 100 S.F.
STORAGE 10'-0" x 10'-0" = 100 S.F.	STORAGE 10'-0" x 10'-0" = 100 S.F.
WASHING MACHINE 10'-0" x 10'-0" = 100 S.F.	WASHING MACHINE 10'-0" x 10'-0" = 100 S.F.
DRYER 10'-0" x 10'-0" = 100 S.F.	DRYER 10'-0" x 10'-0" = 100 S.F.
SINK 10'-0" x 10'-0" = 100 S.F.	SINK 10'-0" x 10'-0" = 100 S.F.
STOVE 10'-0" x 10'-0" = 100 S.F.	STOVE 10'-0" x 10'-0" = 100 S.F.
REFRIG 10'-0" x 10'-0" = 100 S.F.	REFRIG 10'-0" x 10'-0" = 100 S.F.
DISHWASHER 10'-0" x 10'-0" = 100 S.F.	DISHWASHER 10'-0" x 10'-0" = 100 S.F.
CUPBOARD 10'-0" x 10'-0" = 100 S.F.	CUPBOARD 10'-0" x 10'-0" = 100 S.F.
COUNTERTOP 10'-0" x 10'-0" = 100 S.F.	COUNTERTOP 10'-0" x 10'-0" = 100 S.F.
TOTAL 2,113.0 S.F.	TOTAL 2,113.0 S.F.

PARCEL COVERAGE:

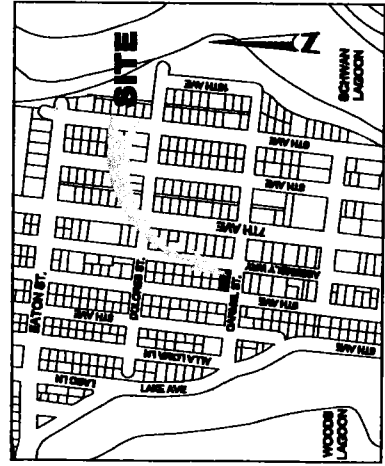
ALLOWABLE	EXISTING	PROPOSED
1,000.0 S.F.	1,000.0 S.F.	1,000.0 S.F.
MAIN HOUSE 2,000 S.F.	MAIN HOUSE 2,000 S.F.	MAIN HOUSE 2,000 S.F.
DETACHED GARAGE 1,281 S.F.	DETACHED GARAGE 1,281 S.F.	DETACHED GARAGE 1,281 S.F.
TOTAL 3,281 S.F.	TOTAL 3,281 S.F.	TOTAL 3,281 S.F.

PROJECT INFORMATION:

PROJECT ADDRESS	300 6TH AVENUE, SANTA CRUZ, CA
APN	027-101-12
ZONING	R-1-0.5
SITE AREA	4,000 S.F.

BUILDING AREA:

ALLOWABLE	EXISTING	PROPOSED
2,000.0 S.F.	2,000.0 S.F.	2,000.0 S.F.
MAIN HOUSE 2,000 S.F.	MAIN HOUSE 2,000 S.F.	MAIN HOUSE 2,000 S.F.
DETACHED GARAGE 1,281 S.F.	DETACHED GARAGE 1,281 S.F.	DETACHED GARAGE 1,281 S.F.
TOTAL 3,281 S.F.	TOTAL 3,281 S.F.	TOTAL 3,281 S.F.



VICINITY MAP NTS 2

THE UNIVERSITY OF CHICAGO PRESS

TOPO & BOUNDARY



RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



ROBERT S. PATTERSON, INC.
400 SOUTH MARKET STREET, SUITE 400
SANTA CRUZ, CA 95060-0400



DATE: 02/12
BY: JAS
CHECKED: JAS
DATE: 02/12

DATE: 02/12
BY: JAS
CHECKED: JAS
DATE: 02/12

MAIN HOUSE
DEMOLITION
FLOOR PLAN



D2

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KEYNOTES

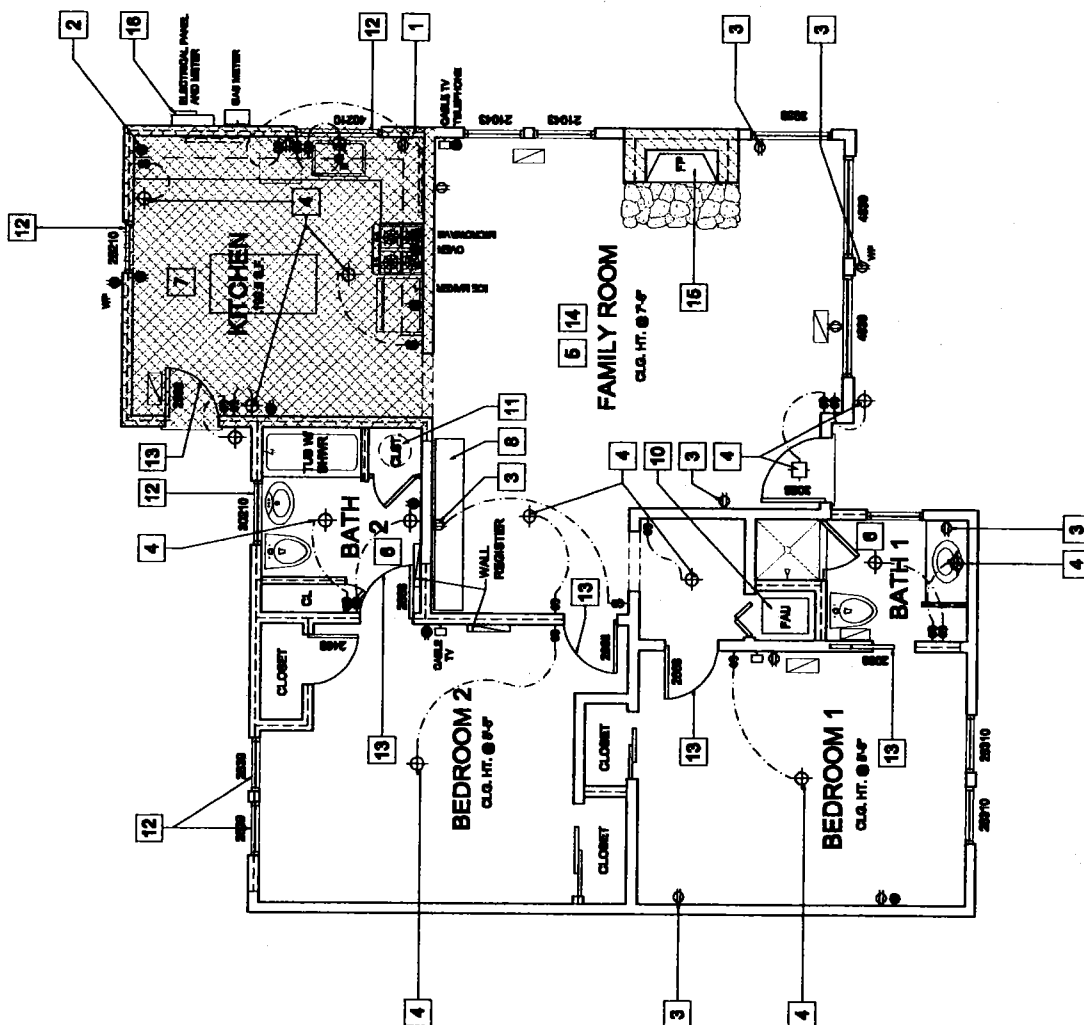
- 1 EXISTING WALLS TO BE REMOVED
- 2 EXISTING ELECTRICAL OUTLET TO BE REMOVED
- 3 EXISTING ELECTRICAL OUTLET TO REMAIN
- 4 EXISTING LIGHT FIXTURE TO BE REMOVED
- 5 EXISTING CARPET THROUGHOUT HOUSE TO BE REMOVED
- 6 EXISTING PATIOL, FLOOR FINISH, WOOD WALL AND CEILING PANELING TO BE REMOVED
- 7 EXISTING KITCHEN TO BE DEMOLISHED (SHOWN CROSS-HATCHED)
- 8 EXISTING BOOKCASE TO BE REMOVED
- 9 EXISTING CLOSET WALLS TO BE REMOVED FOR FUTURE CONSTRUCTION
- 10 EXISTING PAU TO BE REMOVED
- 11 EXISTING WATER HEATER TO BE REMOVED
- 12 EXISTING WINDOW TO BE REMOVED
- 13 EXISTING DOOR TO BE REMOVED
- 14 EXISTING GYPSEUM BOARD WALLS AND CEILING IN FAMILY ROOM TO REMAIN
- 15 EXISTING FIREPLACE IN FAMILY ROOM TO BE REMOVED
- 16 EXISTING ELECTRICAL METERS TO BE REMOVED AND REPLACED WITH A NEW METER

NOTES:

1. ALL CLOSET DOORS TO REMAIN
2. ALL EXISTING LIGHT FIXTURES TO BE BOXED AND STORED FOR FUTURE USE.

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



MAIN HOUSE DEMOLITION FLOOR PLAN 1/4" 1

KEYNOTES

- 1 24" WIDE x 7'-1/2" HIGH CONCRETE STEP
- 2 STONE BASE AT WOOD POST (TYPICAL OF 3)
- 3 30" HIGH WOOD PICKETS AND RAILING
- 4 2x12 WOOD DECKING
- 5 DOUBLE GLAZED OPERABLE METAL WINDOW WITH LOW 1" GLASS
- 6 BOURGANE WITH CABINETS BELOW
- 7 WOOD CASED OPENING
- 8 EXPOSED WOOD TRUSS SYSTEM ABOVE

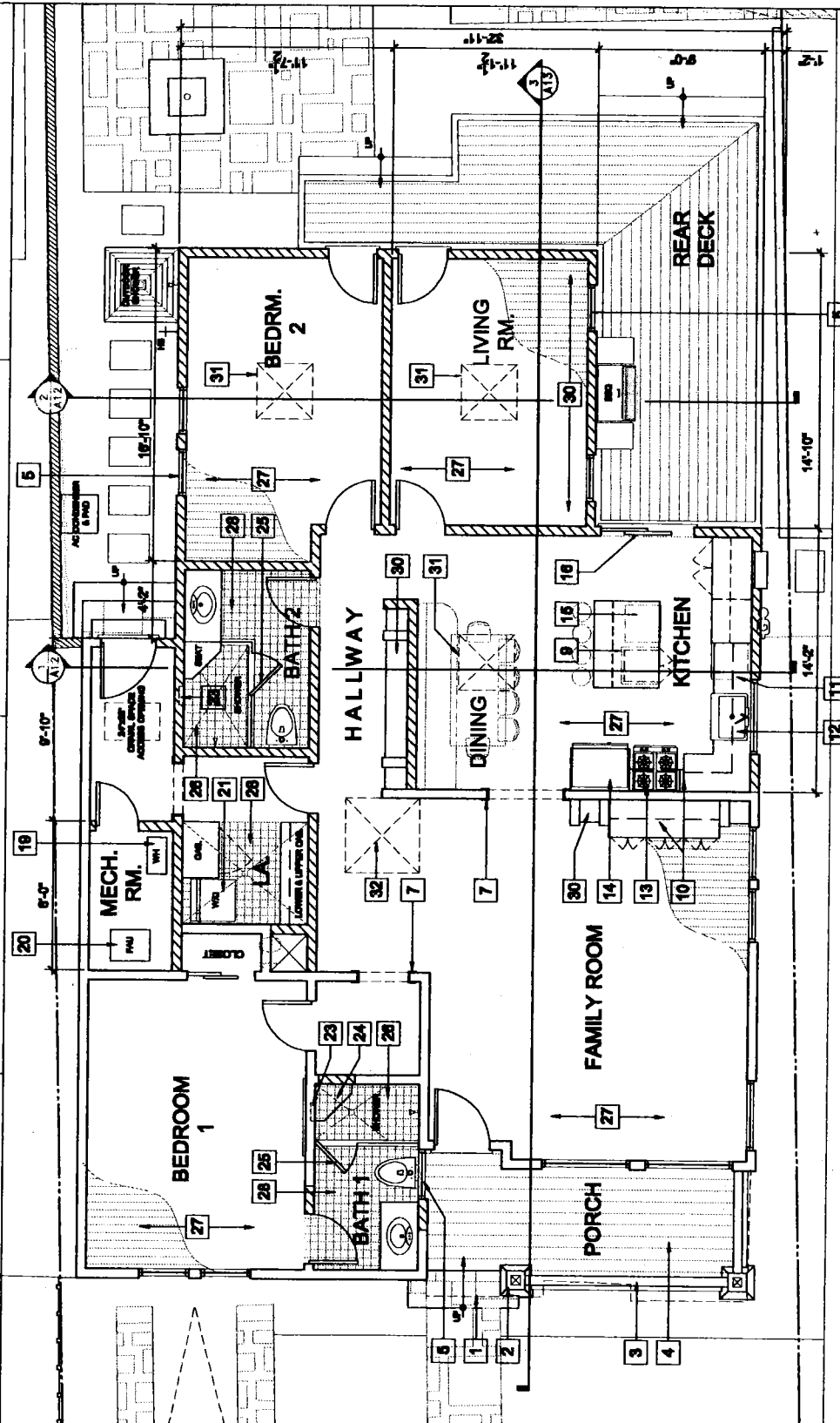
- 9 ISLAND WITH CABINETS BELOW
- 10 LOWER CABINETS WITH STONETOP AND OVERSINK CABINETS
- 11 DISHWASHER
- 12 SINK AND DISPOSAL
- 13 COOKTOP, RANGE AND HOOD ABOVE
- 14 REFRIGERATOR
- 15 WINE COOLER
- 16 DOUBLE GLAZED SLIDING PATIO DOOR WITH LOW 1" GLASS
- 17 EXTERIOR LIGHT FIXTURE

- 18 STORAGE AREA
- 19 TANKLESS WATER HEATER AND BERING STRAP
- 20 FORCED AIR UNIT
- 21 STACKABLE WASHER AND DRYER W/ FLOOR DRAIN
- 22 CHROME POLE AND WOOD SHELF
- 23 TILED NICHE
- 24 TILED SEAT
- 25 3/4" CLEAR TEMPERED GLASS DOOR
- 26 TILED SHOWER W/ HOT MODIFIED PAN DRAIN AND TILE FINISH

- 27 WOOD FLOORING
- 28 TILE FLOORING
- 29 SAT. SINK
- 30 BOOK SHELVES
- 31 DORMER ABOVE
- 32 CLIPOLA ABOVE

LEGEND:

- EXISTING WALL TO REMAIN
- NEW 2x4 WOOD STUD WALL @ 16" O.C. WITH INSULATION



MAIN HOUSE FLOOR PLAN 1/4" = 1'

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



ROBERT RODRIGUEZ & ASSOCIATES, INC.
4400 AVENUE OF THE CLOUDS, SUITE 200
SAN JOSE, CALIFORNIA 95128-1000
PHONE: (408) 298-1000
FAX: (408) 298-1001



DATE: 12/12/12
DRAWN: R. RODRIGUEZ
CHECKED: J. RODRIGUEZ
APPROVED: R. RODRIGUEZ

DATE: 12/12/12
DRAWN: R. RODRIGUEZ
CHECKED: J. RODRIGUEZ
APPROVED: R. RODRIGUEZ

DATE: 12/12/12
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APPROVED: R. RODRIGUEZ

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APPROVED: R. RODRIGUEZ

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APPROVED: R. RODRIGUEZ

DATE: 12/12/12
DRAWN: R. RODRIGUEZ
CHECKED: J. RODRIGUEZ
APPROVED: R. RODRIGUEZ

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



REGISTERED ARCHITECT & PLASTERER INC.
410 SANTA WILHELMINA ROAD, SANTA CRUZ, CA 95060
PHONE: (408) 298-1111 FAX: (408) 298-1112



DATE: 12/1/12 PLANNING EXEMPT SET
12/1/12 PLANNING RESPONSE SET

DATE: 12/1/12 PLANNING EXEMPT SET
12/1/12 PLANNING RESPONSE SET

EXTERIOR
ELEVATIONS

A3

© J. J. J. ARCHITECTS, INC. 12/1/12

KEYNOTES

- 1 EXISTING HORIZONTAL WOOD SIDING TO BE REPLACED WITH NEW
- 2 NEW HORIZONTAL COMPOSITE SIDING OVER WOOD STUD FRAMING
- 3 EXISTING CEMENT PLASTER TO REMAIN
- 4 NEW COMPOSITE SHINGLE ROOFING
- 5 EXISTING WOOD PORCH TO BE REPLACED WITH NEW
- 6 NEW 1542 STONE BASE AT 84 WOOD POST (TYPICAL OF 2)
- 7 NEW 2" HIGH WOOD PORCHES AND RAILING
- 8 NEW 2x12 WOOD DECKING
- 9 NEW DOUBLE GLAZED OPERABLE METAL WINDOW WITH LOW 1" GLASS
- 10 NEW DOUBLE GLAZED FIXED METAL WINDOW WITH LOW 1" GLASS
- 11 NEW DOUBLE GLAZED SLIDING PATIO DOOR WITH LOW 1" GLASS
- 12 NEW DOUBLE GLAZED SWINGING FRENCH DOOR WITH LOW 1" GLASS
- 13 NEW OUTDOOR SHOWER
- 14 NEW CUPOLA
- 15 NEW DOWNER
- 16 NEW 4" HALF ROUND COPPER GUTTER
- 17 EXISTING CHIMNEY TO BE REMOVED
- 18 EXISTING DOORS AND WINDOWS TO BE REPLACED WITH NEW
- 19 EXISTING ELECTRICAL PANEL AND METER TO BE REPLACED AS REQUIRED
- 20 12"x12" METAL WALL LOUVERS
- 21 6"x6" UNDER FLOOR VENTS
- 22 ANCHORS FOR DECK LARKS OUTDOOR WALL MOUNT BY TIE-ROD LIGHTING OR EQUIVALENT, 1/2" DIA. 100 WATT.

COLOR & MATERIALS LEGEND

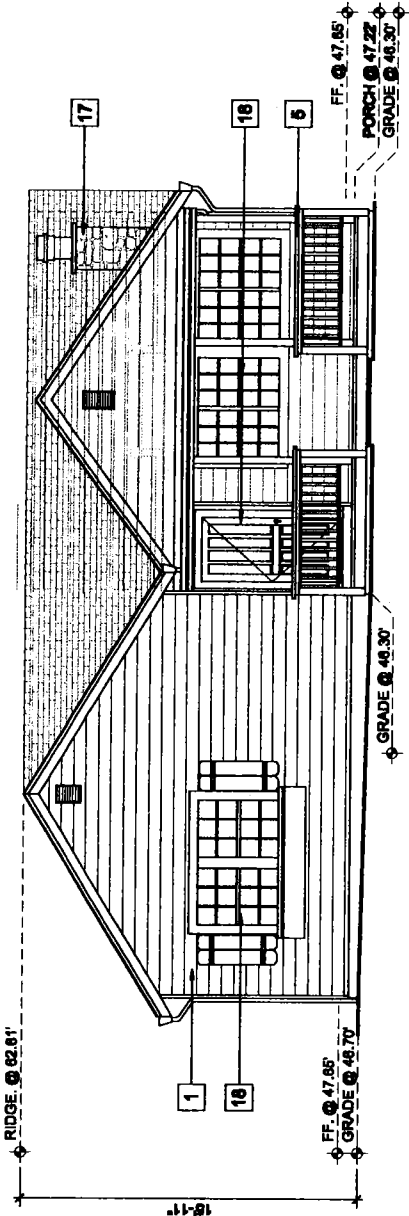
- (P1) PAINT 1: DESIGN STUDIO WHITE
MATERIAL: PLASTER
TYPE: PLASTER
(G1) GROUT 1: ACRYLIC
MATERIAL: ACRYLIC
TYPE: VITREOUS
(S1) STONE 1: BLUESTONE
MATERIAL: BLUESTONE
TYPE: NATURAL CLIFT
(R1) ROOF 1: CHARCOAL BLACK
MATERIAL: CENTARTED
TYPE: PRESIDENTIAL SHALE

GENERAL NOTES

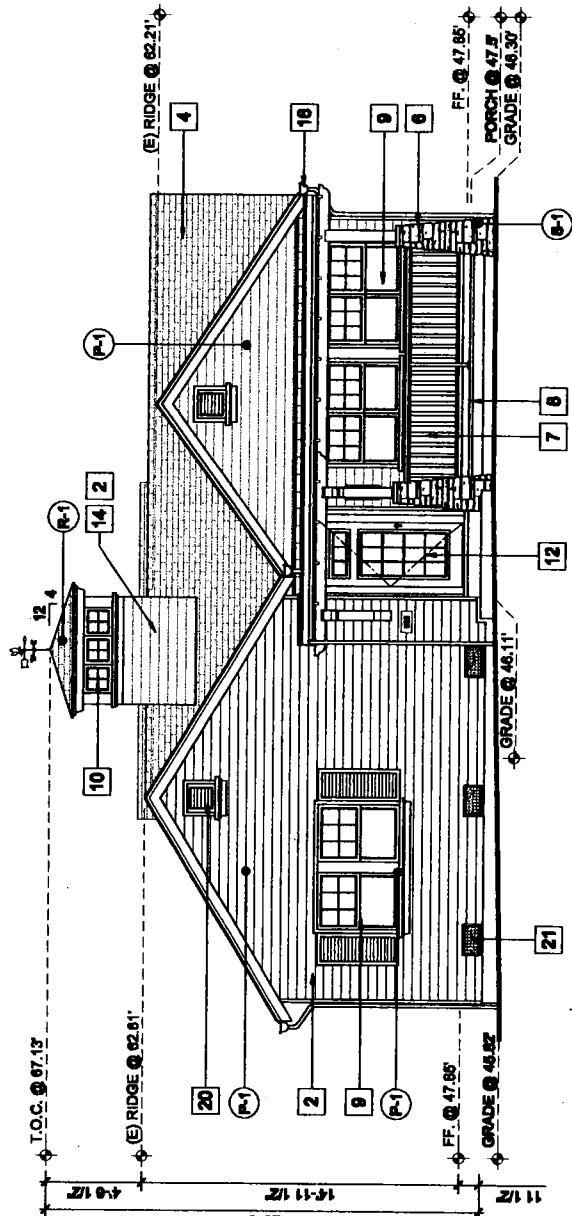
1. NOT ALL NOTES APPLY TO THIS SHEET
2. ONE UNDER-FLOOR VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE FLOOR. THE OPENING SHALL BE PLACED SO AS TO PROVIDE ADEQUATE VENTILATION OF THE UNDER-FLOOR SPACE AND SHALL BE COVERED WITH GRATES WITH OPENINGS MEASURING A MINIMUM OF 1/4" X 20" OR FINE.
3. ALL EXPOSED METAL TO BE COPPER

LEGEND:

- T.O.P. TOP OF RIDGE ELEVATION
T.O.S. TOP OF CUPOLA ELEVATION
12 INDICATES ROOF PITCH
--- INDICATES NEW GRADE
--- INDICATES EXISTING GRADE



EXISTING WEST ELEVATION 1/4" 1



PROPOSED WEST ELEVATION 1/4" 2

RESIDENTIAL REMODEL

300 8TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



JOHN J. J. ARCHITECTS, INC.
400 SOUTH BRIDGES ROAD, SUITE 100
SANTA CRUZ, CA 95061-1000
TEL: (408) 298-1000
FAX: (408) 298-1001



DATE: 05/1/10
DRAWN: J. J. J.
CHECKED: J. J. J.
APPROVED: J. J. J.

DATE: 05/1/10
DRAWN: J. J. J.
CHECKED: J. J. J.
APPROVED: J. J. J.

EXTERIOR
ELEVATIONS

A4

© 2010 J. J. J. Architects, Inc.

KEYNOTES

- 1 EXISTING HORIZONTAL WOOD SIDING TO BE REPLACED WITH NEW
- 2 NEW HORIZONTAL COMPOSITE SIDING OVER WOOD STUD FRAMING
- 3 EXISTING CEMENT PLASTER TO REMAIN
- 4 NEW COMPOSITE SHINGLE ROOFING
- 5 EXISTING WOOD PORCH TO BE REPLACED WITH NEW
- 6 NEW 12x12 STONE BASE AT 6x6 WOOD POST (TYPICAL OF 2)
- 7 NEW 2x8 HIGH WOOD FROSTERS AND RAILING
- 8 NEW 2x12 WOOD DECKING
- 9 NEW DOUBLE GLAZED OPERABLE METAL WINDOW WITH LOW "E" GLASS
- 10 NEW DOUBLE GLAZED FIXED METAL WINDOW WITH LOW "E" GLASS
- 11 NEW DOUBLE GLAZED SLIDING PATIO DOOR WITH LOW "E" GLASS
- 12 NEW DOUBLE GLAZED SWINGING FRENCH DOOR WITH LOW "E" GLASS
- 13 NEW OUTDOOR SHOWER
- 14 NEW CUPOLA
- 15 NEW DORMER
- 16 NEW 4" HALF ROUND COPPER GUTTER
- 17 EXISTING CHIMNEY TO BE REMOVED
- 18 EXISTING DOORS AND WINDOWS TO BE REPLACED WITH NEW
- 19 EXISTING ELECTRICAL PANEL AND METER TO BE REPLACED AS REQUIRED
- 20 12x12 METAL WALL LOUVERS
- 21 6"x6" UNDER FLOOR VENTS
- 22 ANDERSON'S POWER LANE OUTDOOR WALL MOUNTED BY TROY LIGHTING OR EQUIVALENT, 500 WATT, 100 WATT.

COLOR & MATERIALS LEGEND

- (P1) PAINT 1: DESIGN STUDIO WHITE
PAINT 2: RALPH LAUREN
TYPE: PLASTER
- (S1) MAKE 1: ANDERSON'S
TYPE: VENT
- (S2) MAKE 2: BLUESTONE
TYPE: NATURAL CLAY
- (R1) ROOF 1: CHARCOAL BLACK
PAINT: PRINCIPAL SHADE

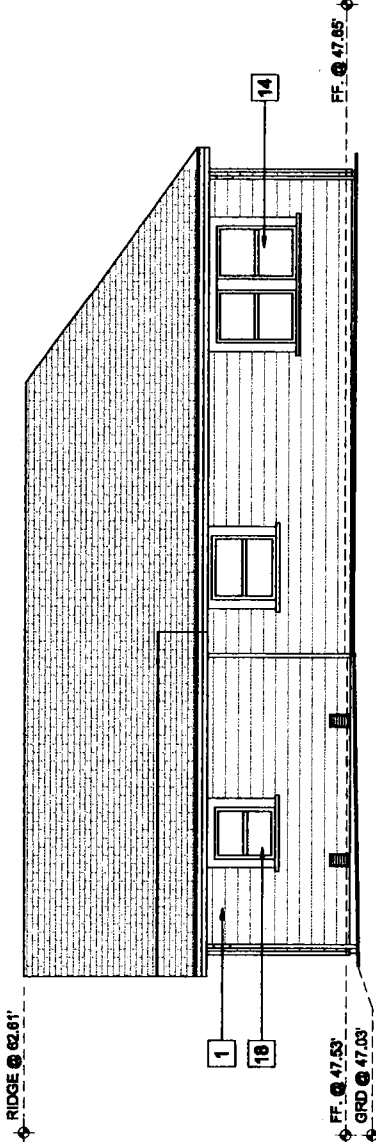
GENERAL NOTES

1. NOT ALL NOTES APPLY TO THIS SHEET
2. ONE UNDER-FLOOR VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BLDG. THE OPENING SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE UNDER-FLOOR SPACE MEASURING A MINIMUM OF 14" BY 10" AND 1/2" MIN.
3. ALL EXPOSED METAL TO BE COPPER

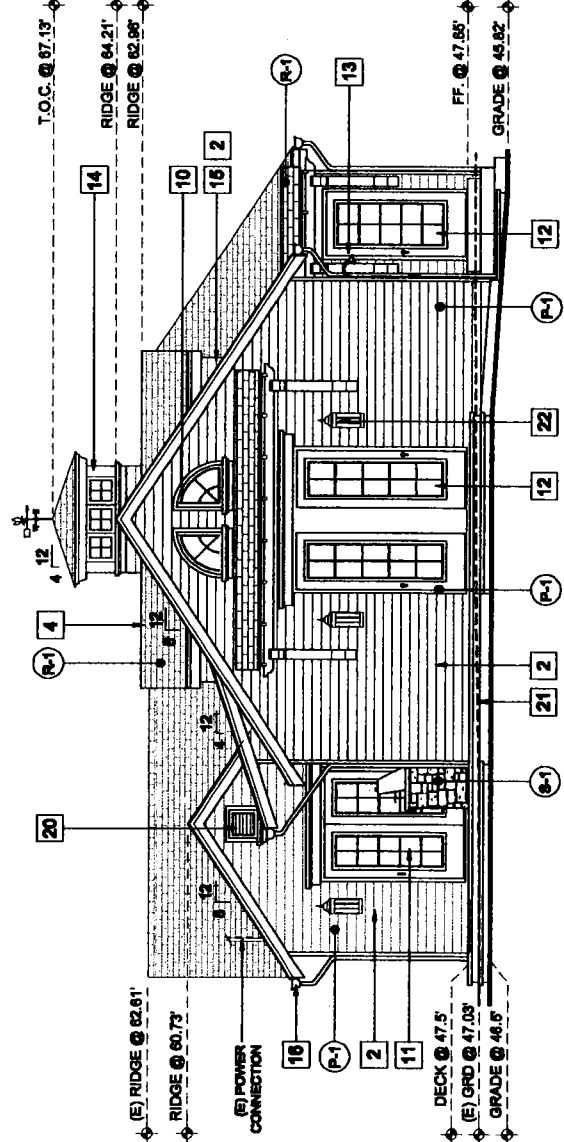
LEGEND:

- T.O.R. TOP OF RIDGE ELEVATION
- T.O.C. TOP OF CUPOLA ELEVATION
- 12 INDICATES ROOF PITCH
- 6" INDICATES NEW GRADE
- INDICATES EXISTING GRADE

EXISTING EAST ELEVATION 1/4"



PROPOSED EAST ELEVATION 1/4"



RESIDENTIAL
REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12

REGISTERED ARCHITECT

STATE OF CALIFORNIA

012488

9-20-13

01/24/15 PLANNING SUBMITTAL SET

01/24/15 PLANNING RESPONSE SET

01/24/15

01/24/15

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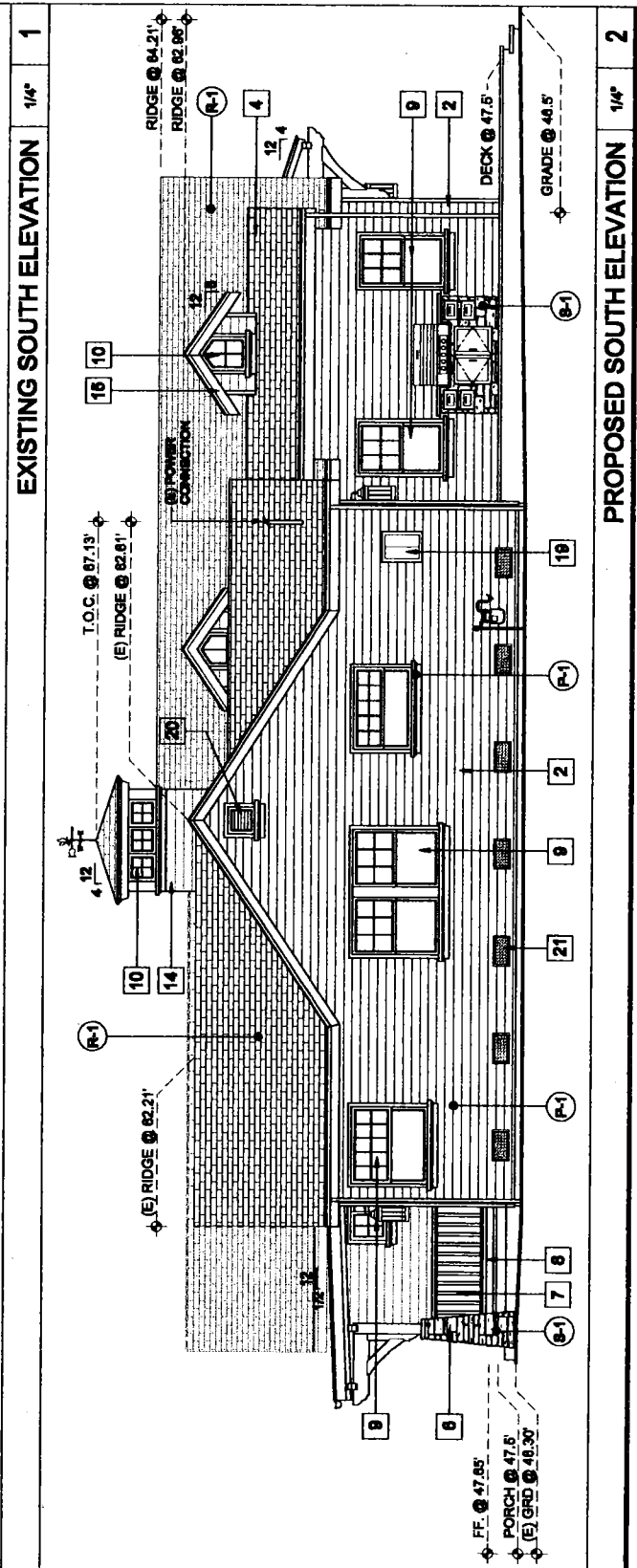
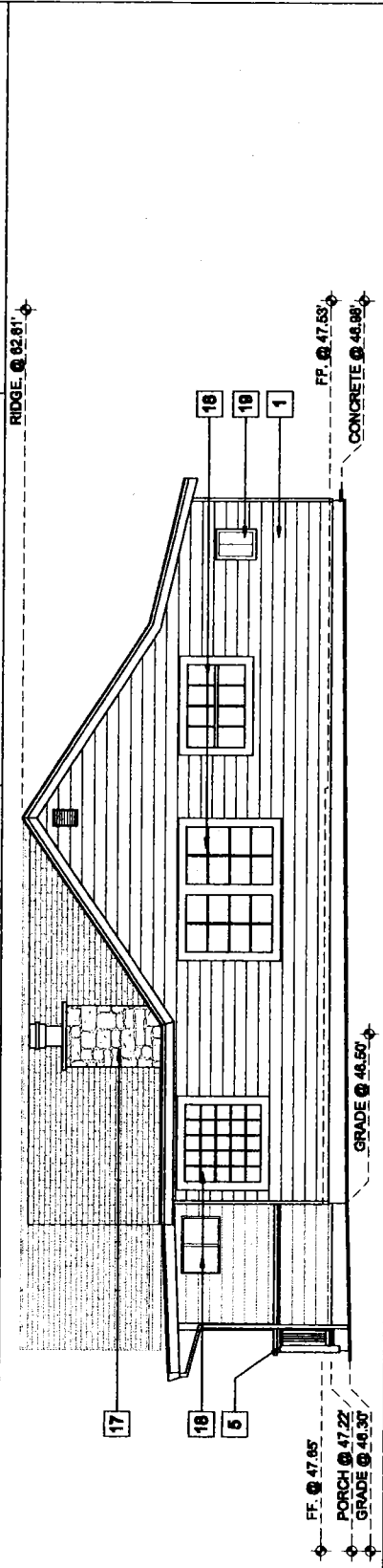
EXTERIOR
ELEVATIONS

A5

KEYNOTES		COLOR & MATERIALS LEGEND	
1	EXISTING HORIZONTAL WOOD SIDING TO BE REPLACED WITH NEW	16	NEW 4" HALF ROUND COPPER GUTTER
2	NEW HORIZONTAL COMPOSITE SIDING OVER WOOD STUD FRAMING	17	EXISTING CHIMNEY TO BE REMOVED
3	EXISTING CEMENT PLASTER TO REMAIN	18	EXISTING DOORS AND WINDOWS TO BE REPLACED WITH NEW
4	NEW COMPOSITE SHINGLE ROOFING	19	EXISTING ELECTRICAL PANEL AND METER TO BE REPLACED AS REQUIRED
5	EXISTING WOOD PORCH TO BE REPLACED WITH NEW	20	12X12" METAL WALL LOUVERS
6	NEW 12X12 STONE BASE AT 84" WOOD POST (TYPICAL OF 2)	21	8X12" UNDER FLOOR VENTS
7	NEW 36" HIGH WOOD PICKETS AND RAILING	22	ANALOGOUS FORGE LARGE OUTDOOR WALL MOUNT BY TROY LIGHTING OR EQUIVALENT, 50WATT/200V, 100 WATT.

8	NEW 2X12 WOOD DECKING	PAINT 1: DESIGN STUDIO WHITE
9	NEW DOUBLE GLAZED OPERABLE METAL WINDOW WITH LOW 12" GLASS	MANUF: RALPH LAUREN
10	NEW DOUBLE GLAZED FIXED METAL WINDOW WITH LOW 12" GLASS	TYPE: RALPH204
11	NEW DOUBLE GLAZED SLIDING PATIO DOOR WITH LOW 12" GLASS	STONE 1: ACRIDACK
12	NEW DOUBLE GLAZED SWINGING FRENCH DOOR WITH LOW 12" GLASS	MANUF: ROBINSON ROCK
13	NEW OUTDOOR BROWER	TYPE: VASIER
14	NEW CUPOLA	STONE 2: BLUESTONE
15	NEW DORMER	MANUF: BLUECH, STONE

1	NOT ALL NOT APPLY TO THIS SHEET	TYPE: NATURAL CLFT
2		ROOF 1: CHARCOAL BLACK
3		MANUF: CERTANTITE
4		TYPE: PRESIDENTIAL SHAVE
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RESIDENTIAL REMODEL

**300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA**

APN: 027-101-12



RECEIVED FOR THE PRESIDENT OF THE UNITED STATES
JAN 10 1964
OFFICE OF THE SECRETARY OF DEFENSE
WASHINGTON, D. C. 20301-0000



DATE	PLANNING SUBMITTAL CITY	PLANNING RESPONSE CITY
08.01.12	PLANNING SUBMITTAL CITY	PLANNING RESPONSE CITY
08.01.12	PLANNING SUBMITTAL CITY	PLANNING RESPONSE CITY

NUMBER	27,512	DATE	10.01.91
NUMBER	CM	DATE	AS SHOWN

EXTERIOR ELEVATIONS

AG

COLOR & MATERIALS LEGEND

- P1** PAINT 1: DESIGN STUDIO WHITE
MANUF: RALPH LAUREN
TYPE: BLUMEX
- S1** STONE 1: ADIRONACK
MANUF: NONSINK ROCK
TYPE: VENEER
- S2** STONE 2: BLUESTONE
MANUF: BUSCHEL STONE
TYPE: NATURAL CLEFT
- R1** ROOF 1: CHARCOAL BLACK
MANUF: CERTANTIDE
TYPE: PRESIDENTIAL SHAKE

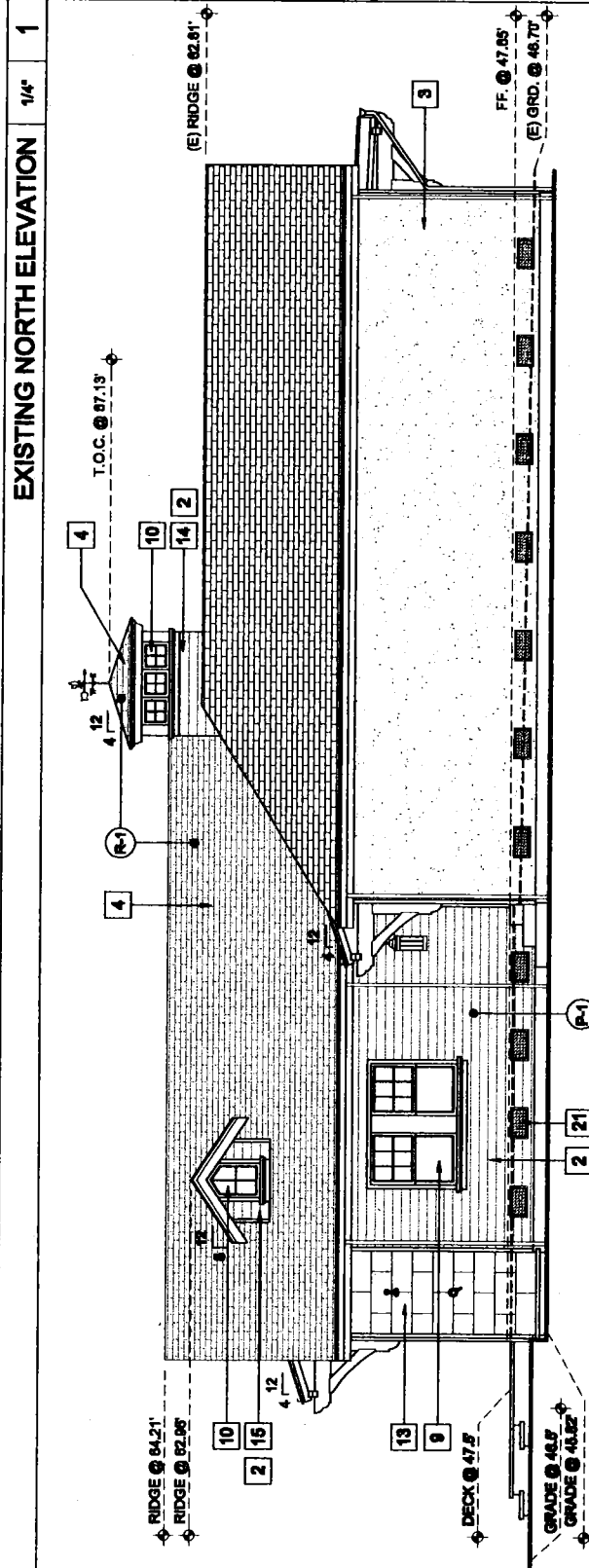
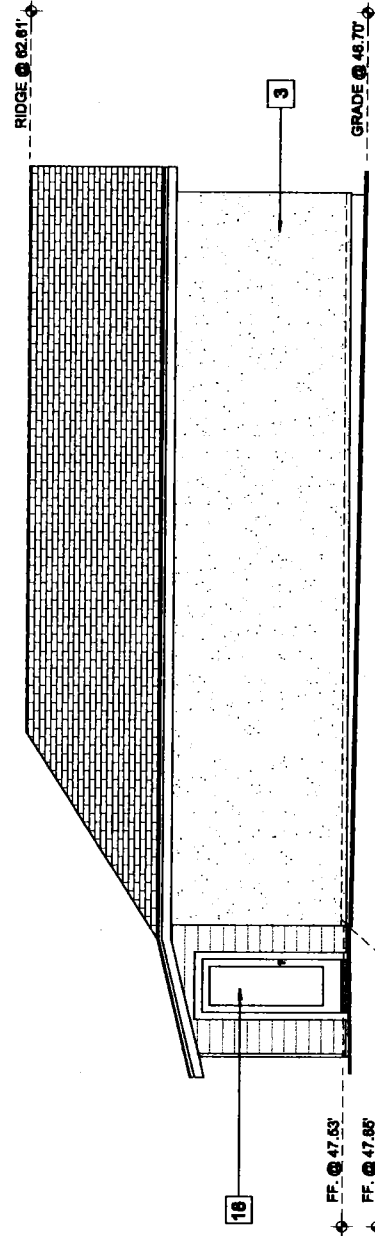
GENERAL NOTES

- 1. NOT ALL NOTICES APPLY TO THIS SUBJECT**

- | | |
|----|---|
| 16 | NEW 4" HALF ROUND COPPER GUTTER |
| 17 | EXISTING CHIMNEY TO BE REMOVED |
| 18 | EXISTING DOORS AND WINDOWS TO BE REPLACED WITH NEW |
| 19 | EXISTING ELECTRICAL PANEL AND METER TO BE REPLACED AS REQUIRED |
| 20 | 12"x12" METAL WALL LOUVER |
| 21 | 12"x12" UNDER FLOOR VENTS |
| 22 | ANCHORING FORGE LARGE OUTDOOR WALL MOUNTED BY TREAT LIGHTING OR EQUIVALENT. FIVE-FOOTED 100 WATT. |

- 8 NEW 2X12 WOOD DECKING
- 9 NEW DOUBLE GLAZED OPERABLE METAL WINDOW WITH LOW E GLASS
- 10 NEW DOUBLE GLAZED FIXED METAL WINDOW WITH LOW E GLASS
- 11 NEW DOUBLE GLAZED SLIDING PATIO DOOR WITH LOW E GLASS
- 12 NEW DOUBLE GLAZED SWINGING FRENCH DOOR WITH LOW E GLASS
- 13 NEW OUTDOOR SHOWER
- 14 NEW GUCIOLA
- 15 NEW DOWNER

- | | |
|---|---|
| 1 | EXISTING HORIZONTAL WOOD SIDING TO BE REPLACED WITH NEW |
| 2 | NEW HORIZONTAL COMPOSITE SIDING OVER WOOD STUD FRAMING |
| 3 | EXISTING CEMENT PLASTER TO REMAIN |
| 4 | NEW COMPOSITE SHINGLE ROOFING |
| 5 | EXISTING WOOD PORCH TO BE REPLACED WITH NEW |
| 6 | NEW 12x12 STONE BASE AT GAS WOOD POST (TYPICAL OF 2) |
| 7 | NEW 8" HIGH WOOD PICKETS AND RAILING |



THE UNIVERSITY OF CHICAGO PRESS

1

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



ARCHITECTS & INTERIORS INC.
1000 MARIN WAY, SUITE 100
SANTA CRUZ, CA 95060



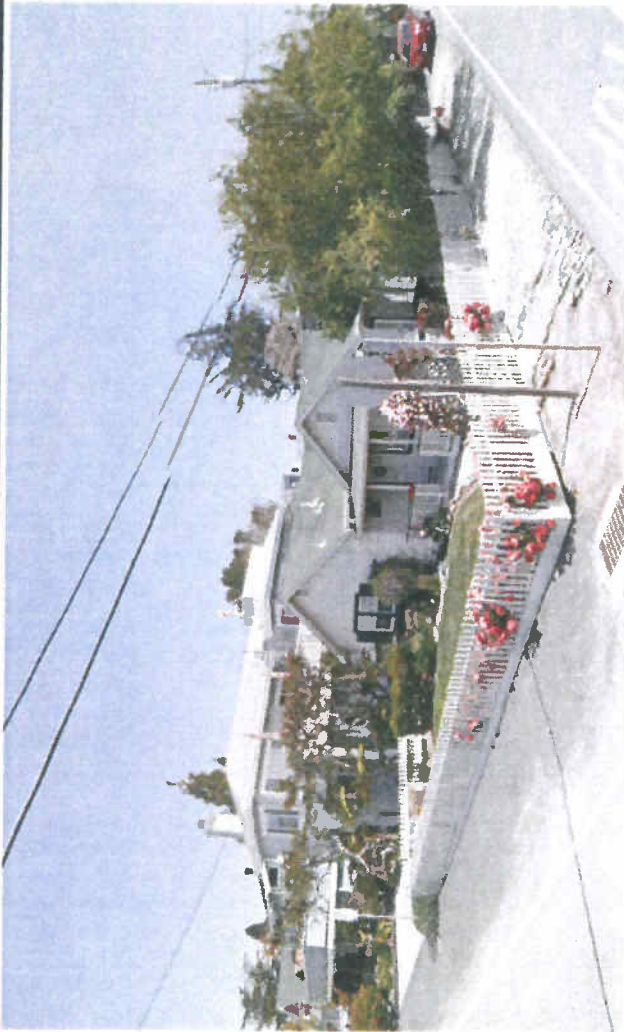
PROJECT NO. 127-0-2 DATE 07.24.12
OWNER CM ARCH AS BNCNVA
CONTRACTOR R

3-D MODEL
WEST

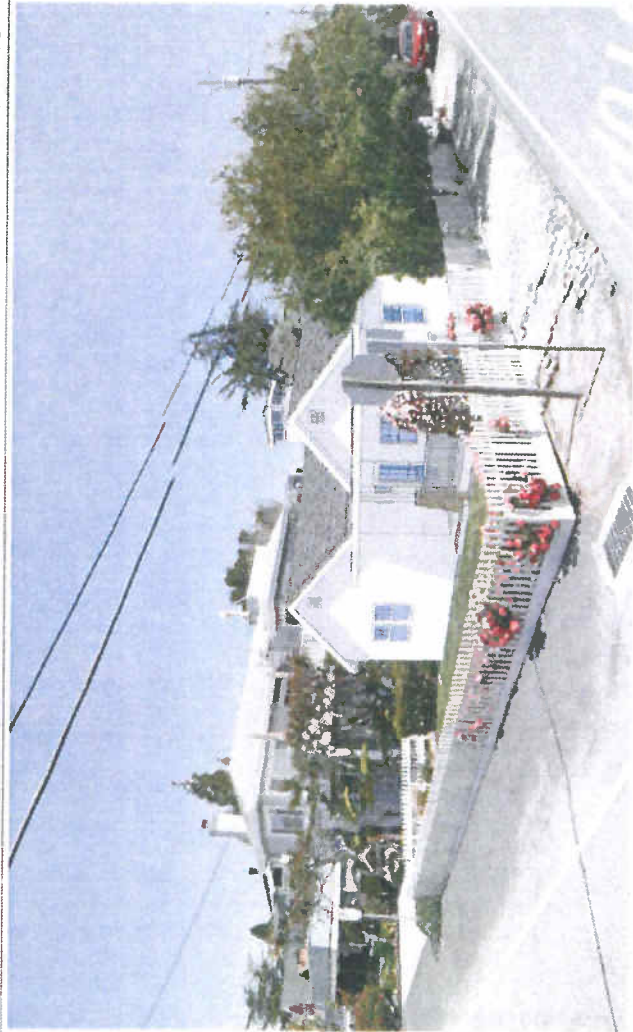


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EXISTING WEST 3-D MODEL 1 NTS



PROPOSED WEST 3-D MODEL 2 NTS

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



REGISTERED ARCHITECT & LANDSCAPE ARCHITECT
1000 NORTH WILSON ROAD SUITE 100
SANTA CRUZ, CA 95060-1000
PHONE: (408) 298-1000 FAX: (408) 298-1001



EXISTING EAST 3-D MODEL NTS 1



PROPOSED EAST 3-D MODEL NTS 2

PROJECT NO. 127-012 DATE 07-24-12
DESIGNED BY CM REVIEWED BY AS SHOWN
APPROVED BY

3-D MODEL
EAST

A10

C: 100% Complete & Approved for Construction

RESIDENTIAL REMODEL

300 6TH AVENUE,
SANTA CRUZ,
CALIFORNIA

APN: 027-101-12



ARCHITECT: R.I. ARCHITECTURE, INC.
1000 SANTA MONICA BLVD., SUITE 200
SANTA MONICA, CA 90401
PHONE: 310.316.1111
WWW.RIARCHITECTURE.COM



EXISTING SOUTH 3-D MODEL 1 NTS



PROPOSED SOUTH 3-D MODEL 2 NTS



PROJECT: 127.012 DATE: 07.24.12
ARCHITECT: R.I. ARCHITECTURE, INC.
DESIGNER: R.I.

3-D MODEL
SOUTH



A11

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Variance Findings

1. **That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

This finding can be made in that the project is located in an area that is zoned R-1-3.5 (Single Family Residential), a designation that allows for residential uses. A dwelling is a principal permitted use within a residential zone district and the zoning is consistent with the site's (R-UH) Urban High Residential General Plan designation. The special circumstance that applies to this lot is that the existing house was constructed closer to the property lines than is normally allowed, both before any setbacks were required and later with Variances. The proposed additions of habitable area and new covered porch do not encroach any closer to Carmel Street than the original legal nonconforming structure built in 1945, and also conform to the reduced setbacks that were approved in 1973 by 4539-U for an addition to the living room. Although 4539-U approved a reduction of the side yard setback to Carmel Street to around 3 feet 7 inches, the approval was based upon inaccurate plans and the resulting addition was legally constructed to between 1 foot 6 inches and 2 feet 3 inches of the property boundary, continuing the line of the walls of the original non-conforming dwelling.

The proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to setbacks, having been constructed prior to permit requirements. The proposed project is therefore in character with other developments in the vicinity that are under identical zoning classification.

2. **That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.**

This finding can be made, in that the intent and purpose of the residential zone districts is to provide for residential uses. The Variance will allow for the upgrade of an existing single-family dwelling in a residential zone district. The proposed additions will not deprive adjacent properties or the neighborhood of light, air, or open space in that both the proposed covered porch and the area of the existing dwelling that is to be re-designed and reconstructed will be only one story. The shed roof at the existing portion of the dwelling that is to be demolished will be replaced by a new gabled roof with a maximum height of around 14 feet 6 inches, which is below the height of the existing gable that will remain and that fronts on to Carmel Street. Only a minor change is proposed to the wall at the south elevation as required to raise and level the plate height for the new gable. The proposed roof will slope up and away from Carmel Street and will therefore not materially change the impact of this portion of the dwelling on the neighborhood. The proposed porch replaces an existing structure that was constructed in the same location without benefit of permits and will be slightly smaller than the covered porch that already exists. The addition of one post in the setback and a low shed roof that slopes down from the existing plate height will not materially change the impact of the dwelling. Further, the existing garage that is currently located only two feet from the northern property boundary and two feet six inches from the eastern boundary such that it is only three feet six inches from the

adjacent dwellings to both the south and to the east, will be demolished. The new additions will therefore be located further from the existing surrounding properties so that the proposed project is in harmony with the general intent and purpose of zoning objectives for the parcel, in that separation between structures will be increased allowing greater access to light, air, open space as well as increasing the fire safety in the neighborhood.

The proposed additions will not be materially detrimental to public health safety and welfare or injurious to property or improvements in the vicinity in that the proposed additions are to be located no closer to than the street than the existing structure and will therefore not impair sight lines along Carmel Street.

3. **That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.**

This finding can be made in that the granting of a Variance to the required 10 foot street side setback will not constitute a grant of special privilege to this parcel, as a Variance to this setback has already been granted for additions to the original nonconforming dwelling on this parcel and the proposed additions are in accord with this older approval. Further, the proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to setbacks or have been granted a Variance approval for reduced setbacks. The following Variances to reduce the required setbacks have been approved for parcels that surround the subject property: Development Permit 4147-U was approved for reduced setbacks to construct a deck at APN 027-101-11, which lies immediately to the north of the parcel on Assembly Way; Variance 81-46-V was approved for a reduced rear yard setback to zero on APN 027-132-15, which is opposite the subject parcel at the corner of Carmel Street and 6th Avenue, and 75-71-PD which included a Variance to reduce both the front and rear yard setbacks was approved on APN 027132-16 which is opposite the subject parcel at the corner of Carmel Street and Assembly Way. The proposed re-design and reconstruction of a portion of the dwelling and the addition of a covered porch within the setbacks is therefore not a grant of special privilege.

Minor Exception Findings

1. **That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

The project proposes the demolition of an existing nonconforming 396 square foot garage and the demolition and replacement of just under 200 square feet of the existing dwelling, in order to construct a 645.9 square foot addition onto the existing one story dwelling. Therefore the new enclosed floor area on the property will be less than 50 square feet greater than currently exists. In addition, the replacement porch that is proposed to be constructed at the front entrance to the dwelling will replace an existing unpermitted porch. The maximum allowed lot coverage for the R-1-3.5 zone district is 40% but County Code section 13.10.235(b) allows for minor increases in lot coverage of up to 15% of the total maximum, which would allow a lot coverage of 46%. As proposed the total lot coverage would be increased to around 45%, which represents a minimal increase from the existing legal lot coverage on the parcel which, not including the unpermitted porch, is currently 42.1%. The special circumstance that applies to this lot is that the parcel is located between two different streets, 6th Avenue and Assembly way, where these streets are intersected by Carmel Street and therefore the lot occupies a highly visible location because it is situated between two corners. By allowing an increase in lot coverage the new and reconstructed habitable floor area can be maintained at one story which will reduce the impact of the proposed additions on the neighborhood. The proposed one story additions will also have a lesser impact on the neighboring dwellings, which are all nonconforming to setbacks and are therefore have structures that are very close to the property line.

The proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to lot coverage, having been constructed prior to permit requirements. The proposed project is therefore in character with other developments in the vicinity that are under identical zoning classification.

2. **That the granting of the Minor Exception will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.**

This finding can be made, in that the proposed additions that increase the lot coverage on the parcel to around 45%, will not deprive adjacent properties or the neighborhood of light, air, or open space, in that all of the proposed additions will be only one story and will be within the maximum 28 foot height limit allowed in the zone district. Further, the existing garage that is currently located only two feet from the northern property boundary and two feet six inches from the eastern boundary such that it is only three feet six inches from the adjacent dwellings to both the south and to the east, will be demolished. The new additions will therefore be located further from the existing surrounding properties so that the proposed project is in harmony with the general intent and purpose of zoning objectives for the parcel, in that separation between structures will

be increased allowing greater access to light, air, open space as well as increasing the fire safety in the neighborhood.

3. **That the granting of a Minor Exception shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.**

This finding can be made in that the granting of a Minor Exception to allow for an increase in the allowed lot coverage to around 45% will not constitute a grant of special privilege to this parcel, as similar approvals have been granted on adjacent properties in the neighborhood. The adjacent parcel to the north along 6th Avenue currently has a lot coverage of around 44.4% as approved by Variance 88-0861, and also two subsequent applications, 94-0637 and 96-0530 for the approval of a Minor Non-Compliance and Variance 81-46-V was approved to increase lot coverage to around 65% on APN 027-132-15, which is opposite the subject parcel at the corner of Carmel Street and 6th Avenue.

Further, the proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to lot coverage. The existing dwelling that is located on Assembly Way at the northeast corner of this parcel, has a legal nonconforming lot coverage of around 72%. The proposed re-design and reconstruction of a portion of the dwelling and the addition of a covered porch within the setbacks is therefore in consistent with the character of the neighborhood in which it is situated.

4. **That there will be no increase in stormwater leaving the property as a result of additional impermeable area created by a minor increase in lot coverage. The project as approved incorporates measures or conditions that direct runoff to the landscape, uses permeable paving material, reduces existing impermeable area, or incorporates other low impact drainage practices to control any increase in stormwater runoff.**

This finding can be made in that, as proposed the project will decrease in the area of impervious coverage on the parcel and also replace existing impermeable paving with new semi-permeable surfaces and therefore will result in the reduction in stormwater leaving the parcel. The proposed habitable additions to the dwelling will replace existing structures of a similar size that are to be demolished. In addition, to further reduce the areas of existing impermeable surface on the parcel the project incorporates the removal of the existing concrete driveway, concrete pathways and a concrete patio. New driveway areas will include grassed strips to reduce the paved area and new patio areas and pathways will be constructed using stone pavers set on sand or wood decking to allow for percolation of rainwater.

Development Permit Findings

- 1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.**

This finding can be made in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed new addition to the existing single-family dwelling meets all current front, interior side and rear yard setbacks for the property that ensure access to light, air, and open space in the neighborhood. Where a portion of the existing dwelling that is within the required 10 foot street side setback to Carmel Street is to be re-designed and reconstructed this will not encroach any closer to Carmel Street than the original dwelling and additions as approved by 4539-U and will not materially change the impact of the dwelling as it currently exists. Therefore the proposed additions will not be materially detrimental to public health safety and welfare or injurious to property or improvements in the vicinity and will not impair sight lines along Carmel Street.

- 2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.**

This finding can be made, in that the location of the single-family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-3.5 (Single-Family Residential) zone district in that the primary use of the property will continue to be one single-family dwelling. The location of the proposed additions meet all current site and development standards for the zone district except that a portion of the original dwelling within the setbacks, is to be re-designed and reconstructed and the dimensions of the walls will be increased from the original nonconforming walls. In addition a new porch is to be constructed within the required setback to Carmel Street. A Variance approval is therefore required, subject to County Code section 13.10.230 to allow for a reduced setback of around 1 foot 6 inches for an increase in the dimensions of the existing walls and for the porch. The proposed additions also increase the total lot coverage on the parcel from 42.1% to around 45% and therefore the approval of a Minor Exception is also required subject to County Code section 13.10.235(b). Variance findings and Minor Exception findings are included in this report and are on file and available for viewing at the Santa Cruz County Planning Department.

- 3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.**

This finding can be made, in that the continued residential use is consistent with the use and density requirements specified for the Urban High Residential (R-UH) land use designation in the County General Plan.

The proposed additions to the single-family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single-family dwelling will not adversely shade adjacent properties, and will meet all current site and development standards for the zone district with approval of a Variance which is required for the re-design and reconstruction of a portion of the original dwelling and also for a new porch that are within the setbacks, and with the approval of a Minor Exception to increase the Lot Coverage from 42.1% to around 45%. The proposed additions and reconstruction will not deprive adjacent properties or the neighborhood of light, air, or open space in that new construction will be only one story and are located away from the existing homes on surrounding parcels.

The proposed additions to the existing single-family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed additions will comply with the site standards for the R-1-3.5 zone district (including the front rear and interior side setback, floor area ratio, height, and number of stories) with approval of a Variance and Minor Exception as noted above. The proposed additions and reconfiguration of the single-family dwelling will result in a small scale one story residential structure consistent with a design that could be approved on any similarly sized lot in the vicinity. Variance findings and Minor Exception findings are included in this report.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed additions to the existing single-family dwelling are to be constructed on an existing developed lot. The expected level of traffic generated by the proposed project is not anticipated to change from the existing level of service since the proposed additions and remodeling will not result in the addition of any new traffic generating features (bedrooms).

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood of one and two story homes containing a variety of architectural styles. Further, the proposed project is located in an area of older homes similar to the house on the subject parcel and within a neighborhood where almost all of the homes are nonconforming with respect to setbacks and also lot coverage; therefore the remodeled home will be consistent with the design characteristics, land use intensity and density of the surrounding neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

Application #: 121191

APN: 027-101-12

Owner: Kenneth and Deborah Rodrigues

This finding can be made, in that the proposed single-family dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The proposed additions have been designed to blend with the existing older residence on the parcel and therefore the project will not significantly change the character of the existing development.

Conditions of Approval

Exhibit A: 12 sheets prepared by Kenneth Rodrigues and Parthers Inc. dated 10/01/12,
1 sheet prepared by Kier and Wright, Civil Engineers and Surveyors, Inc. dated
7/24/12 and 7 sheets prepared by The Guzzaro Partnership Inc. dated 10/05/12.

- I. This permit authorizes the demolition of an existing detached garage and a portion of the existing dwelling and the construction of a 645 square foot room addition and a 114.7 square foot covered porch at an existing single-family dwelling. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing

the materials and colors on the elevation, the applicant shall supply a color and material board in 8 1/2" x 11" format for Planning Department review and approval.

2. Drainage, and erosion control plans.
 3. Details showing compliance with fire department requirements.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of the County Department of Public Works, Stormwater Management Division.
- D. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 121191
APN: 027-101-12
Owner: Kenneth and Deborah Rodrigues

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Wanda Williams
Deputy Zoning Administrator

Lezanne Jeffs
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 121191

Assessor Parcel Number: 027-101-12

Project Location: 300 6th Avenue, Santa Cruz

Project Description: Proposal to demolish an existing 396 square foot detached garage and 199.5 square feet of an existing significantly nonconforming single-family dwelling and to construct a one story 645.9 square foot addition and a 114.7 square foot covered porch.

Person or Agency Proposing Project: Cymel Morada

Contact Phone Number: (650) 965 0700

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of an addition to an existing single-family dwelling in an area designated for residential use.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Lezanne Jeffs, Project Planner

Date: _____

FOR TAX PURPOSES ONLY

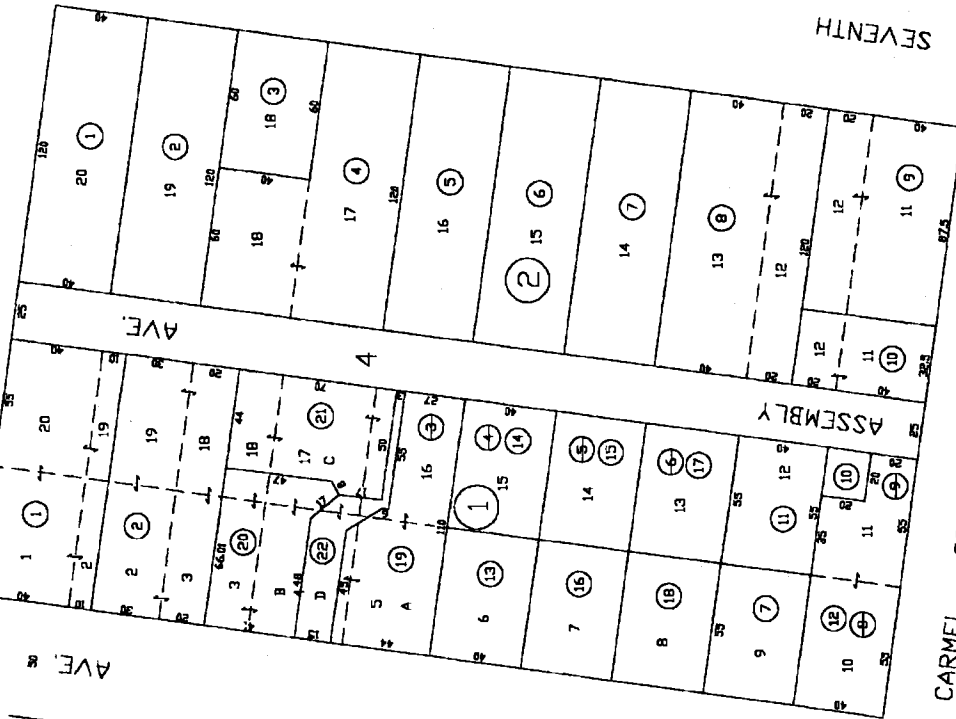
THE ASSessor MAKES NO GUARANTEE AS TO MAP ACTUALITY FOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

POR. OF SEC. 17 & 20,
T.IIS., R1V., M.D.B. & M.

(07) Tax Area Code
82-040

27-10

DOLORES



ASSEMBLY RESUB.
TWIN LAKES PARK
15MB25 5/15/09

SEC. 17

45PM57
9/17/85

(09)

SIXTH

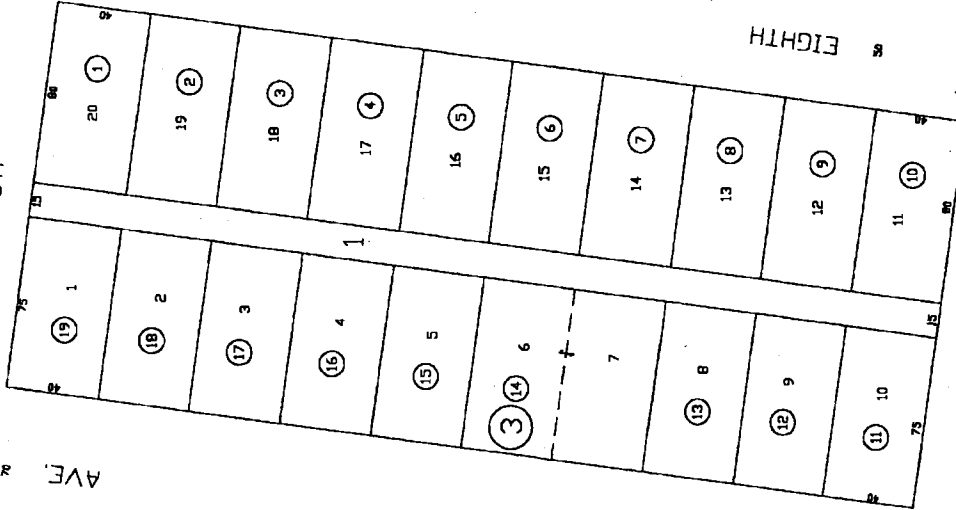
CARMEL ST.

(13)

SEVENTH

AVE.

ST.



SEC. 17

TWIN LAKES PARK
SUB. NO. 2
7MB5 8/26/90

(11)

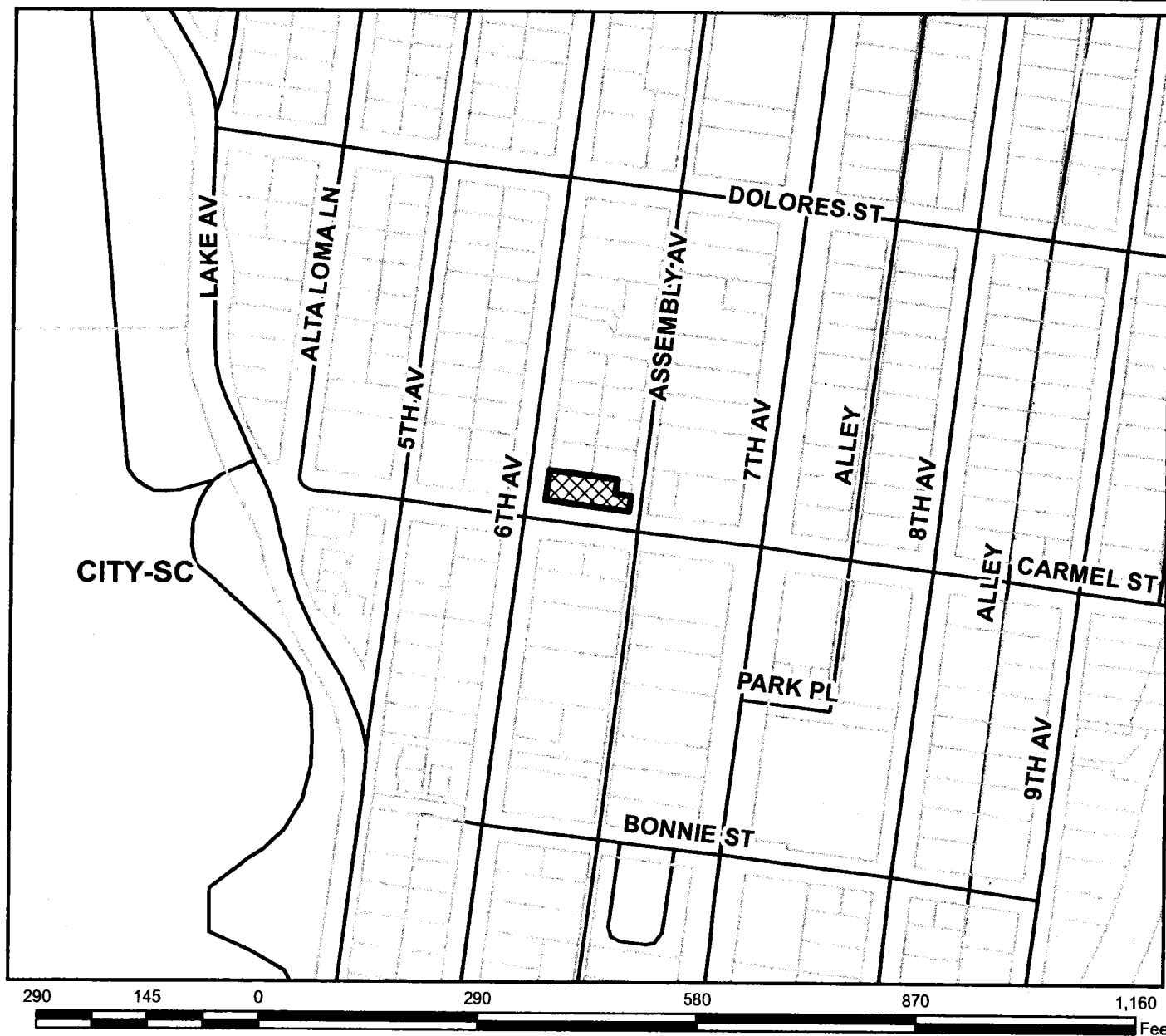
Assessor's Map No. 27-10
County of Santa Cruz, Calif
August, 1998

(14)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.



Location Map



LEGEND



APN: 027-101-12

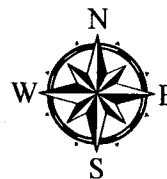


Assessors Parcels



Streets

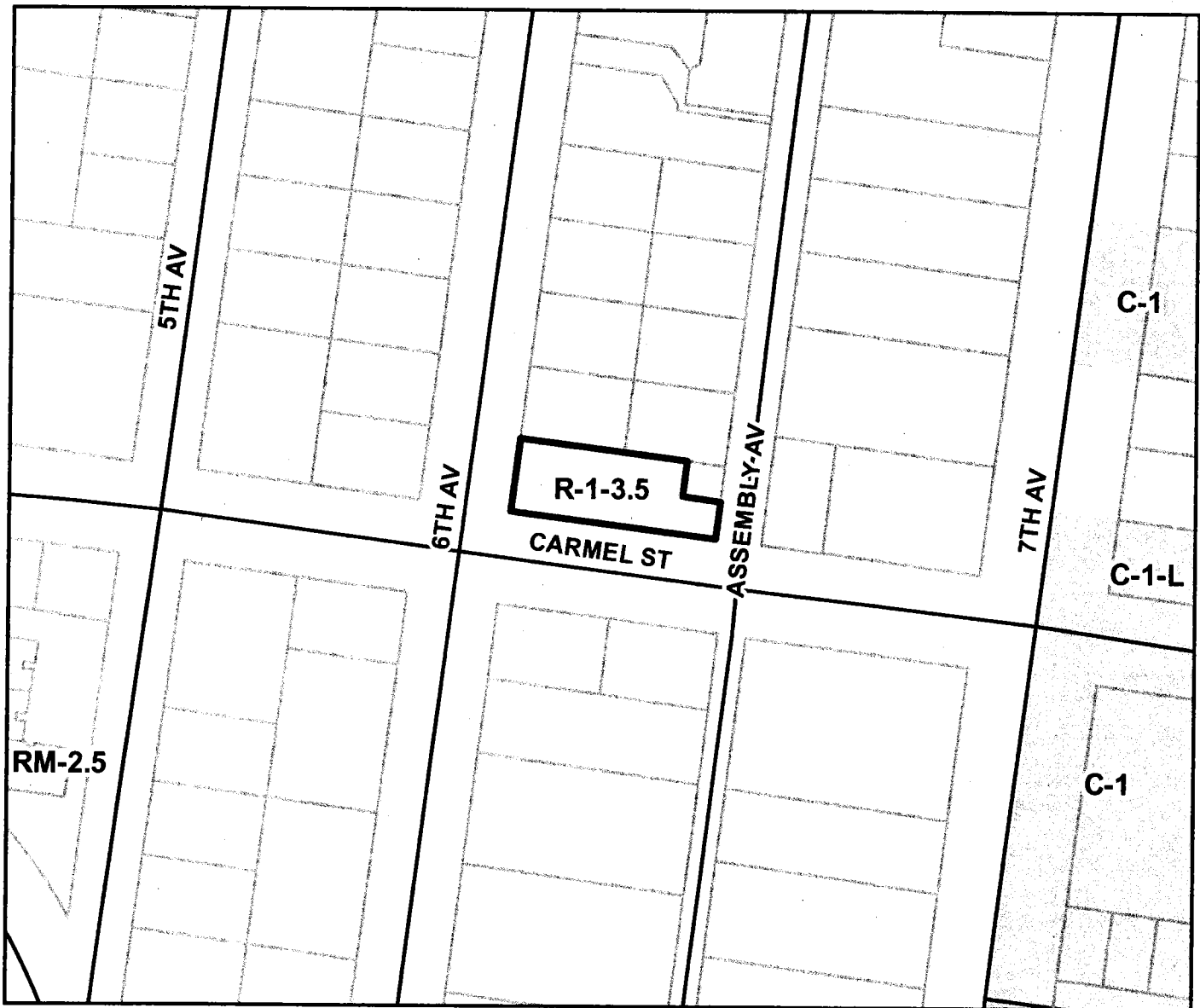
SANTA CRUZ



Map Created by
County of Santa Cruz
Planning Department
August 2012



Zoning Map



LEGEND



APN: 027-101-12



Assessors Parcels

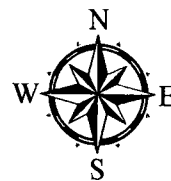


Streets

RESIDENTIAL-SINGLE FAMILY

RESIDENTIAL-MULTI FAMILY

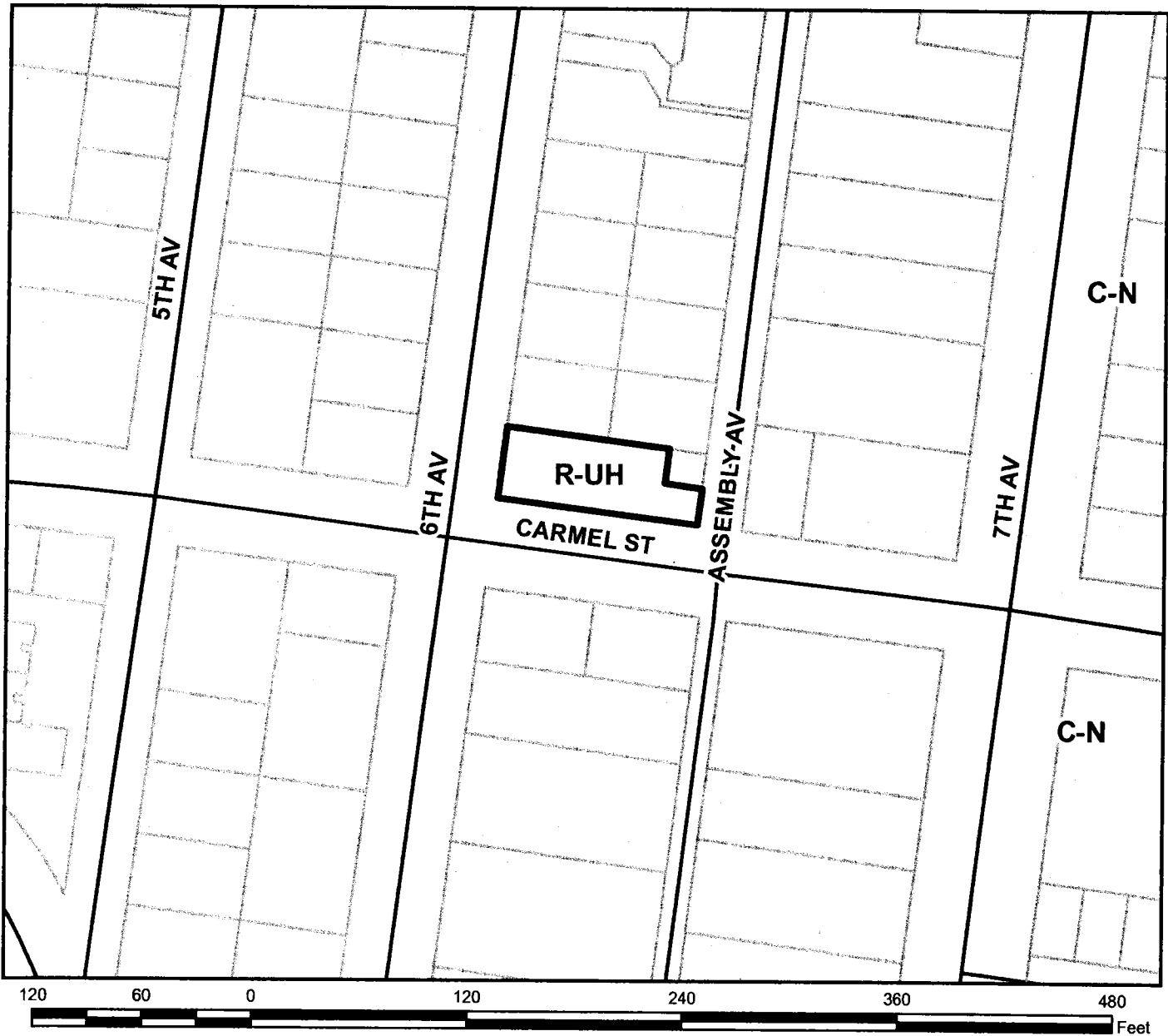
COMMERCIAL-NEIGHBORHOOD



Map Created by
County of Santa Cruz
Planning Department
August 2012



General Plan Designation Map



LEGEND



APN: 027-101-12



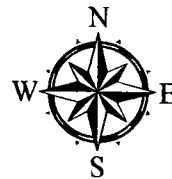
Assessors Parcels



Streets

Residential - Urban High Density

Commercial-Neighborhood



Map Created by
County of Santa Cruz
Planning Department
August 2012