



## Staff Report to the Zoning Administrator

Application Number: **141045**

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**Applicant:** Nathan Thome

**Owner:** Pacific Elementary School District

**APN:** 058-082-01

**Agenda Date:** 7/18/14

**Agenda Item #:** 1

**Time:** After 9:00 a.m.

**Project Description:** Proposal to demolish an existing classroom and demolish and teen center building, to construct a new 3,442 square foot class room building and complete associated site improvement in the PF zone District. Requires a Coastal Development Permit and Preliminary Grading Review.

**Location:** Property located on the east side of Ocean Street in Davenport at Pacific Elementary School (50 Ocean Street).

**Supervisory District:** 3rd District (District Supervisor: Coonerty)

**Permits Required:** Coastal Development Permit

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 141045, based on the attached findings and conditions.

### Exhibits

- |   |   |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings                                   | F. Comments & Correspondence                          |
| C. Conditions                                 |   |
| D. Project plans                              |   |

### Parcel Information

Parcel Size:	1.34 acres
Existing Land Use - Parcel:	Public Facilities
Existing Land Use - Surrounding:	Mix residential and commercial
Project Access:	Ocean Street
Planning Area:	North Coast
Land Use Designation:	P (Public Facilities/Institutional Designation)
Zone District:	PF (Public Facilities)

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Coastal Zone:   X   Inside        Outside  
Appealable to Calif. Coastal        Yes   X   No  
Comm.

### Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Soils: N/A  
Fire Hazard: Not a mapped constraint  
Slopes: Approximately 5%  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: 595 cubic yards of cut, 355 cubic yards of fill  
Tree Removal: Arborist report submitted  
Scenic: Mapped scenic resource - Coastal  
Drainage: Addressed with grading permit  
Archeology: Archaeological report reviewed/ no evidence onsite

### Services Information

Urban/Rural Services Line:   X   Inside        Outside  
Water Supply: Davenport  
Sewage Disposal: Davenport Sanitation  
Fire District: County Fire  
Drainage District: Outside flood district

### History

The subject parcel is developed with an existing elementary school which has been in operation prior to 1960. Since 1980, two applications have been approved to expand the classroom facilities. Variance application 93-0057 approved a reduction in the required parking to zero spaces.

### Project Setting/Analysis

The project is located in the coastal community of Davenport. The Davenport Community is listed as a special community in the County's General Plan and the site itself is designated as a local rural park site.

The subject property is developed with an existing elementary school which consists of five buildings including a sixth building used as a teen center for the Davenport community. The majority of the subject parcel consists of a large outdoor play area. As approved under Coastal Development Permit 93-0057, no onsite parking is required for the existing school. Though no increase in the number of faculty is proposed, 4 new parking spaces will be provided as part of this development which meets the current parking standards (County Code Section 13.10.554) for elementary schools with 13 employees (0.3 parking spaces per employee).

This is a proposal to demolish two existing buildings (one portable classroom and teen center) and construct a new 3,440 square foot classroom facility in roughly the same location as the

buildings slated for demolition.

The parcel has a gentle downward slope running from east to west which requires approximately 800 cubic yards of grading to accommodate the new classroom facility. Due to the scope of the proposed development and the location of the parcel within the Coastal Zone, a Coastal Development Permit is required.

Additionally, the property and location of the proposed classroom building is within 200 feet of adjacent lands zoned Commercial Agriculture requiring an Agricultural Buffer Setback Reduction. A hearing before the Agricultural Policy Advisory Commission (APAC) is scheduled for July 17, 2014. Though the reduction is not yet approved, the applicant acknowledges that any conditions imposed by APAC will need to be incorporated as additional conditions of approval prior to issuance of the grading permit for this project.

### **Zoning & General Plan Consistency**

The subject property is a parcel of approximately 58,370 square feet, located in the PF (Public Facilities) zone district, a designation which allows elementary school uses. The proposed classroom is a principal permitted use within the zone district and the zoning is consistent with the site's (P) Public Facilities/Institutional Designation General Plan designation. The design submitted is consistent with the existing range of styles found within the Davenport Special Community.

### **Local Coastal Program Consistency**

The proposed classroom is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain a combination of single family dwellings, public facilities, and commercial development. The proposed development is consistent with the range of development in the vicinity. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

### **Design Review**

The proposed classroom complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as the use of color and materials consistent with the existing structures on the school grounds to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The proposed development is consistent with the style and scale of development found within the rural community of Davenport.

### **Environmental Review**

The proposed project qualifies for a Class 3 Categorical Exemption under the California Environmental Quality Act (CEQA) and not subject to further environmental review.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **141045**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

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## **Coastal Development Permit Findings**

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned PF (Public Facilities), a designation which allows elementary school uses. The proposed classroom is a principal permitted use within the zone district, and the zoning is consistent with the site's (P) Public Facilities/Institutional Designation General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the single story development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top. Additionally, the project has been conditioned to retain seven large pine trees located behind the proposed classroom building.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the classroom will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, elementary school uses are allowed uses in the PF (Public Facilities) zone district, as well as the General Plan and Local Coastal Program land use designation. The site is designated as a local rural park site and though a large facility is proposed to replace two existing structures, the outdoor play area will not be substantially reduced or further impacted by the proposed improvements. Development in the area varies in size and architectural styles. The proposed single story design submitted is consistent with the existing range of styles.

## **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for elementary school uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed classroom will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the classroom and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the PF (Public Facilities) zone district as the primary use of the property will be one elementary school. The proposed new classroom building meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed elementary school use is consistent with the use and density requirements specified for the Public Facilities/Institutional Designation (P) land use designation in the County General Plan.

The single story design of the proposed classroom is consistent with the Davenport Special Community, General Plan Policy 8.8.4 (Davenport Character), in that the proposed development is of appropriate height and scale. Additionally, the finish materials and color will be compatible with the existing structures on the school grounds.

The proposed classroom and site improvements will be situated on the parcel in a manner that maintains and enhances the existing recreational facilities. As specified in General Plan Policy 7.4.1 (Rural Park Standards), the existing outdoor play area will not be adversely impacted by the proposed development which facilitates continued use of the site for recreational purposes.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

The proposed classroom is to be constructed on an existing developed lot. The proposed project is not expected to result in an increase in traffic therefore will not adversely impact existing roads or intersections in the surrounding area. Further, due to the method by which parking is

measured for elementary schools (0.3 parking spaces per employee) no additional parking is required since the new classroom building will not result in an increase in faculty therefore, no additional parking spaces are required. Though no additional parking is required, 4 new parking spaces are proposed which meets current parking standards (County Code Section 13.10.554) for elementary schools with 13 employees (.03 spaces per employee).

Davenport Sanitation District has confirmed availability of water and sewer to the site and there are no indications of a lack of electrical or gas supply in that the site is already serviced by one or more of these utilities.

Therefore this finding can be made.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed classroom is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed classroom will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

## Conditions of Approval

Exhibit D: Project Plans: 19 Sheets, Prepared by Weston Miles Architects, Dated 5/30/14

- I. This permit authorizes the construction of a new 3,442 square foot classroom building. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Division of State Architecture.
  - C. Obtain a Building Permit from the Division of State Architecture.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
  - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Grading Permit the applicant/owner shall:
  - A. Submit a revised grading plan to include measures to retain the group of seven pine trees. Revised plans should include grading calculations and cross sections through the site in both north-south and east-west directions.
  - B. Submit a Plan Review letter from the project arborist, Richard Gessner, which specifically states the grading plans have been prepared in such a way to preserve and retain the group of seven trees located behind the proposed building.
  - C. Submit a detailed erosion control plan to include stockpile location, limits of grading and sediment and erosion control measures.
  - D. Record a Stormwater Maintenance Agreement SWM-25A (medium project) Fig. SWM-25A.
  - E. Submit 2 copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
  - F. Meet all requirements of the County Department of Public Works, Stormwater Management.
  - G. Meet all requirements and pay any applicable plan check fee of the Fire Protection District.

- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final grading inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Grading Permit plans shall be installed.
  - B. All inspections required by the grading permit shall be completed to the satisfaction of the County Building Official.
  - C. Construction Inspection: The Stormwater Management section shall be routed the grading application for purposes of placing a hold on the permit, to be released once a satisfactory response is received. The designer shall provide coordinated, on-going inspection of the stormwater mitigation and drainage improvements on the parcel and provide public works with a completion letter confirming that the work was performed per the plans. The designer's letter shall provide dates of inspection, detail specifically what was inspected, including description of the monitoring of the relevant stages of construction and processes. Letters stating only "general conformance to plans" are not sufficient. An as-built plan shall be submitted in addition to the letter if there were substantive field alterations.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim,

action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Application #: 141045  
APN: 058-082-01  
Owner: Pacific Elementary School District

**Please note: This permit expires three years from the effective date listed below unless a grading permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the grading permit and to complete all of the construction under the grading permit, resulting in the expiration of the grading permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Wanda Williams  
Deputy Zoning Administrator

\_\_\_\_\_  
Nathan MacBeth  
Project Planner

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 141045  
Assessor Parcel Number: 058-082-01  
Project Location: 50 Ocean Street

**Project Description: Replace an existing portable classroom and demolish an existing building to construct a new 3,442 square foot classroom building.**

**Person or Agency Proposing Project: Nathan Thome**

**Contact Phone Number: (408) 779-6686**

- A. \_\_\_\_\_ The proposed activity is not a project under CEQA Guidelines Section 15378.  
B. \_\_\_\_\_ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).  
C. \_\_\_\_\_ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.  
D. \_\_\_\_\_ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).  
E.   X   **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

Grading and construction of a classroom building at an existing elementary school in an area designated for institutional uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

\_\_\_\_\_  
Nathan MacBeth, Project Planner

Date: \_\_\_\_\_



## SCOPE OF WORK

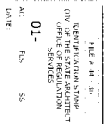
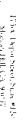
### SHEET LEGEND

## SYMBOLS

## CONIACIS

## CODE COMPLIANCE

PTN # 69781-001



FILE:	88
DATE:	

## ABBREVIATIONS

[illegible]

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	EXISTING BUILDING FLOOR PLAN	10/1/2023	J. SMITH	M. JONES	
2	EXISTING BUILDING ELEVATIONS	10/1/2023	J. SMITH	M. JONES	
3	EXISTING BUILDING SECTION	10/1/2023	J. SMITH	M. JONES	
4	EXISTING BUILDING ROOF PLAN	10/1/2023	J. SMITH	M. JONES	
5	EXISTING BUILDING DETAILS	10/1/2023	J. SMITH	M. JONES	
6	EXISTING BUILDING INTERIORS	10/1/2023	J. SMITH	M. JONES	
7	EXISTING BUILDING EXTERIORS	10/1/2023	J. SMITH	M. JONES	
8	EXISTING BUILDING STRUCTURE	10/1/2023	J. SMITH	M. JONES	
9	EXISTING BUILDING MECHANICAL	10/1/2023	J. SMITH	M. JONES	
10	EXISTING BUILDING ELECTRICAL	10/1/2023	J. SMITH	M. JONES	
11	EXISTING BUILDING PLUMBING	10/1/2023	J. SMITH	M. JONES	
12	EXISTING BUILDING HVAC	10/1/2023	J. SMITH	M. JONES	
13	EXISTING BUILDING INSULATION	10/1/2023	J. SMITH	M. JONES	
14	EXISTING BUILDING GLAZING	10/1/2023	J. SMITH	M. JONES	
15	EXISTING BUILDING FINISHES	10/1/2023	J. SMITH	M. JONES	
16	EXISTING BUILDING LANDSCAPE	10/1/2023	J. SMITH	M. JONES	
17	EXISTING BUILDING SITEWORK	10/1/2023	J. SMITH	M. JONES	
18	EXISTING BUILDING UTILITIES	10/1/2023	J. SMITH	M. JONES	
19	EXISTING BUILDING ASBESTOS	10/1/2023	J. SMITH	M. JONES	
20	EXISTING BUILDING LEAD	10/1/2023	J. SMITH	M. JONES	
21	EXISTING BUILDING RADON	10/1/2023	J. SMITH	M. JONES	
22	EXISTING BUILDING AIR QUALITY	10/1/2023	J. SMITH	M. JONES	
23	EXISTING BUILDING SOUND	10/1/2023	J. SMITH	M. JONES	
24	EXISTING BUILDING VIBRATION	10/1/2023	J. SMITH	M. JONES	
25	EXISTING BUILDING THERMAL	10/1/2023	J. SMITH	M. JONES	
26	EXISTING BUILDING MOISTURE	10/1/2023	J. SMITH	M. JONES	
27	EXISTING BUILDING PESTS	10/1/2023	J. SMITH	M. JONES	
28	EXISTING BUILDING FIRE	10/1/2023	J. SMITH	M. JONES	
29	EXISTING BUILDING COLLAPSE	10/1/2023	J. SMITH	M. JONES	
30	EXISTING BUILDING SETTLEMENT	10/1/2023	J. SMITH	M. JONES	
31	EXISTING BUILDING CRACKS	10/1/2023	J. SMITH	M. JONES	
32	EXISTING BUILDING DISINTEGRATION	10/1/2023	J. SMITH	M. JONES	
33	EXISTING BUILDING WEAR	10/1/2023	J. SMITH	M. JONES	
34	EXISTING BUILDING CORROSION	10/1/2023	J. SMITH	M. JONES	
35	EXISTING BUILDING FATIGUE	10/1/2023	J. SMITH	M. JONES	
36	EXISTING BUILDING RESONANCE	10/1/2023	J. SMITH	M. JONES	
37	EXISTING BUILDING STRESS	10/1/2023	J. SMITH	M. JONES	
38	EXISTING BUILDING STRAIN	10/1/2023	J. SMITH	M. JONES	
39	EXISTING BUILDING DEFORMATION	10/1/2023	J. SMITH	M. JONES	
40	EXISTING BUILDING DISPLACEMENT	10/1/2023	J. SMITH	M. JONES	
41	EXISTING BUILDING ROTATION	10/1/2023	J. SMITH	M. JONES	
42	EXISTING BUILDING TORSION	10/1/2023	J. SMITH	M. JONES	
43	EXISTING BUILDING BUCKLING	10/1/2023	J. SMITH	M. JONES	
44	EXISTING BUILDING SLUMP	10/1/2023	J. SMITH	M. JONES	
45	EXISTING BUILDING CRACKING	10/1/2023	J. SMITH	M. JONES	
46	EXISTING BUILDING SPALLING	10/1/2023	J. SMITH	M. JONES	
47	EXISTING BUILDING DISINTEGRATION	10/1/2023	J. SMITH	M. JONES	
48	EXISTING BUILDING WEAR	10/1/2023	J. SMITH	M. JONES	
49	EXISTING BUILDING CORROSION	10/1/2023	J. SMITH	M. JONES	
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52	EXISTING BUILDING STRESS	10/1/2023	J. SMITH	M. JONES	
53	EXISTING BUILDING STRAIN	10/1/2023	J. SMITH	M. JONES	
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67	EXISTING BUILDING STRESS	10/1/2023	J. SMITH	M. JONES	
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74	EXISTING BUILDING SLUMP	10/1/2023	J. SMITH	M. JONES	
75	EXISTING BUILDING CRACKING	10/1/2023	J. SMITH	M. JONES	
76	EXISTING BUILDING SPALLING	10/1/2023	J. SMITH	M. JONES	
77	EXISTING BUILDING DISINTEGRATION	10/1/2023	J. SMITH	M. JONES	
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216	EXISTING BUILDING RESONANCE	10/1/2023	J. SMITH	M. JONES	</

## BUILDING & SITE DATA

1	OCCUPANCY TYPE:
2	NUMBER OF STORIES:
3	TYPE OF CONSTRUCTION:
4	ALLOWABLE SQ.FT. (TABLE 503)
5	ACTUAL SQ.FT. (BLDG #1 + BLDG #10)
6	APR #
7	SITE ADDRESS
8	CITY AND COUNTY OF SANTA CRUZ.
9	SCHOOL HOURS OF OPERATION
10	NUMBER OF EMPLOYEES
11	EMPLOYEE PARKING REQ'D (2 PER EMP)

## DSA ADMIN REQUIREMENTS

1. A COPY OF PARTS 1 AND TITLE 24, C.C.B. SHALL BE KEPT ON THE CON SITE AT ALL TIMES.
2. ALL CHANGE ORDERS AND ADDENDUM TO BE SIGNED BY ARCHITECT AND THE OWNER AND APPROVED BY PSA. CHANGE ORDERS AND ADDENDUM NOT VALID UNTIL APPROVED BY PSA PER SECTION 4.33B PART 1, TITLE 24.
3. ALL TESTS TO COMPLY TO THE REQUIREMENTS OF SECTION 4.352 PART 1, TITLE 24 AND APPROVED TESTS AND INSPECTIONS SHALL BE PERFORMED BY A QUALIFIED PERSON AS SPECIFIED IN THE CONTRACT DOCUMENTS.
4. TESTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING: A. TESTING SHALL BE PERFORMED BY A QUALIFIED PERSON AS SPECIFIED IN THE CONTRACT DOCUMENTS. B. TESTING SHALL BE APPROVED BY THE ARCHITECT.
5. PSA SHALL BE NOTIFIED AT THE START OF CONSTRUCTION AND PRIOR TO THE ARCHITECT'S CONCERNED PARTY SECTION 4.331 PART 1, TITLE 24.
6. INSPECTION SHALL BE APPROVED BY PSA. INSPECTION SHALL BE IN ACCORDANCE WITH SECTION 4.343(1), THE DUTY OF THE INSPECTOR SHALL BE IN ACCORDANCE WITH SECTION 4.342 PART 1, TITLE 24.
7. SUPERVISION OF CONSTRUCTION BY PSA SHALL BE IN ACCORDANCE WITH SECTION 3.1 PART 1, TITLE 24.
8. CONTRACTOR, INSPECTOR, ARCHITECT, AND OWNERS SHALL SUBMIT PERMITS REPORTS PERMANENTLY IN ACCORDANCE WITH SECTION 4.343 AND 4.342 PART 1, TITLE 24.
9. THE CONTRACTOR AND THE STRUCTURAL ENGINEER SHALL REPORT THEIR DUTIES IN ACCORDANCE WITH SECTIONS 4.343(1) AND 4.341 PART 1, TITLE 24.
10. THE CONTRACTOR SHALL REPORT HIS DUTIES IN ACCORDANCE WITH SECTION 4.336 AND 4.343 PART 1, TITLE 24.
11. PSA NOT SUBJECT TO ABOLITION.

**GEOTECHNICAL**

**ARCHITECT**

WESTON E. S. ARCHER'S, INC.  
1700 DODD STREET, SUITE 140  
HOMER, ALA. 36507  
PHONE: 1-813-425-7002  
FAX: 1-813-425-3056

**STRUCTURAL**

WESTON E. S. ARCHER'S, INC.  
1700 DODD STREET, SUITE 140  
HOMER, ALA. 36507  
PHONE: 1-813-425-7002  
FAX: 1-813-425-3056  
[www.westonarchitects.com](http://www.westonarchitects.com)

**METALWORK/  
PUMPING**

ATN. DAN LEMKE  
1455 E. 5TH AVE., SUITE 550  
FAIRBANKS, AK 99701  
PHONE: 1-455-651-5932

HAHN CHEMICAL GROUP  
10000 N. 10TH AVE., SUITE 100  
DENVER, CO. 80241

ATN. DAN HENNINGSON  
PHONE: 1-313-559-2200  
FAX: 1-313-559-2201

**ELECTRICAL**

ALAN CHAPMAN CONTRACTORS  
60 CHURCH COURT, SUITE 210  
HOMER, ALA. 36500

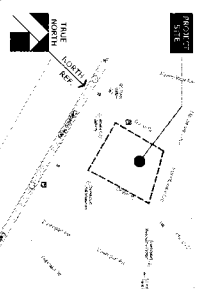
**GEOTECHNICAL**

ATN. LEEBARRIE WATSON  
10000 N. 10TH AVE., SUITE 100  
DENVER, CO. 80241  
PHONE: 1-313-559-2246  
FAX: 1-313-559-2228

PAUL C. C. ENGINEERING, INC.  
105  
WINDYVILLE CIRCLE 95978  
ATN. LEEBARRIE WATSON  
PHONE: 1-313-559-2246  
FAX: 1-313-559-2228

2013 NFPA 80, FIRE DOORS AND OT...  
2013 NFPA 110, EMERGENCY AND ST...[illegible]

### VICINITY MAP



# TITLE SHEET

# PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

13

## AO.1



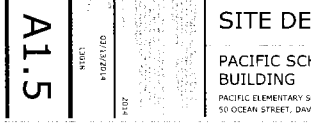
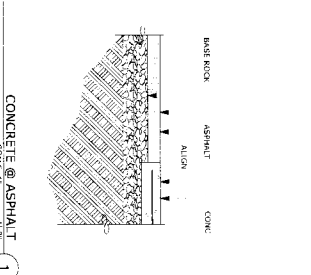
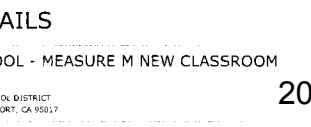
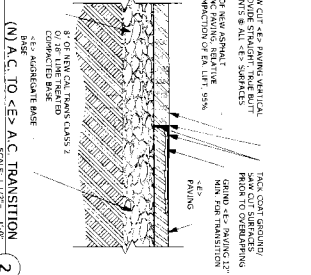
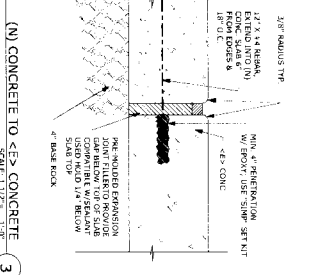
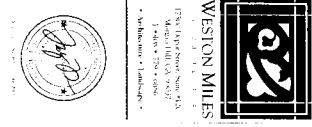
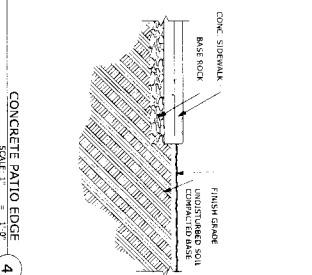


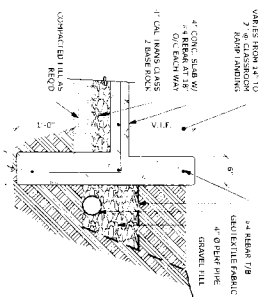




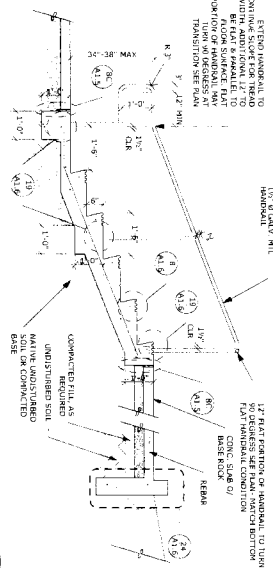
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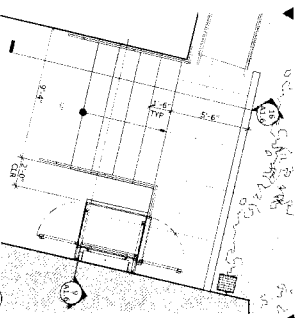




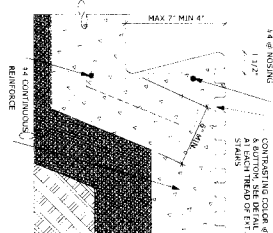
RETAINING WALL @ CONC SLAB  
SCALE: 1" = 1'-0"  
24



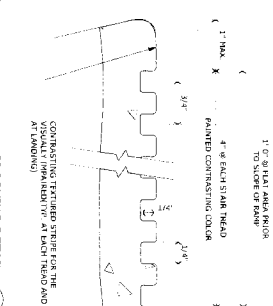
STAIR SECTION  
SCALE: 1/2" = 1'-0"  
16



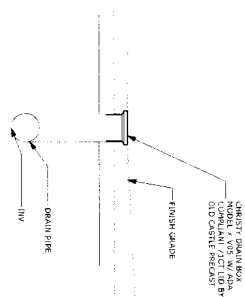
**SITE DETAILS**  
SCALE: 1/4" = 1'-0"  
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STEP EDGE  
SCALE: 3" = 1'-0"

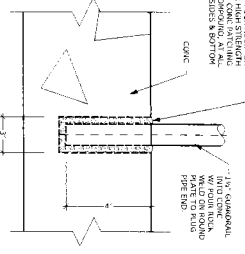


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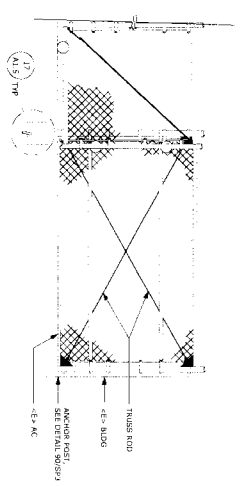


**DRAIN**  
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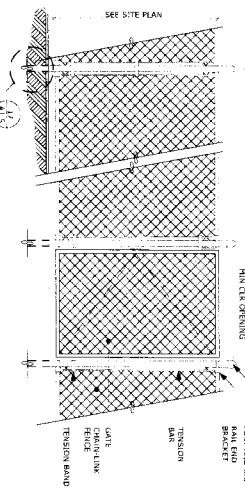
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GUARDRAIL IN CONC  
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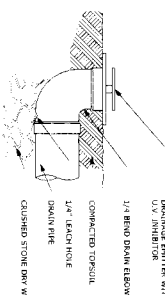
CHAINLINK FENCE - SING. SLIDING GATE  
SCALE: 1/2" = 1'-0"  
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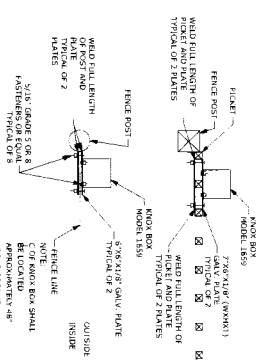
CHAINLINK FENCE WITH GATE

SCALE:  $1/2" = 1'-0"$

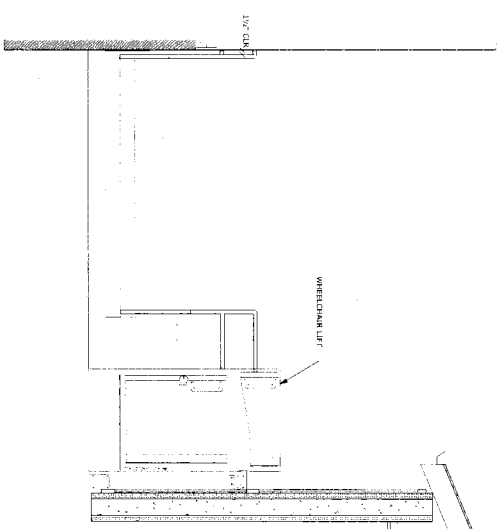
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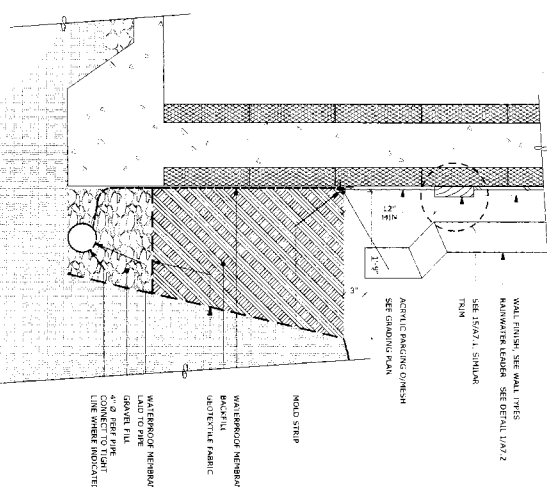
POP-UP DRAINAGE EMITTER  
SCALE: 3" = 1'-0"



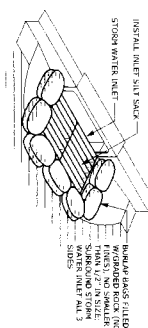
**KNOX BOX CONNECTION TO FENCE**  
SCALE: 1 1/2" = 1'-0"  
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STAIR AND LIFT ELEVATION  
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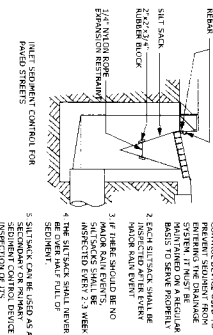


BELOW GROUND WATERPROOFING @ ICF  
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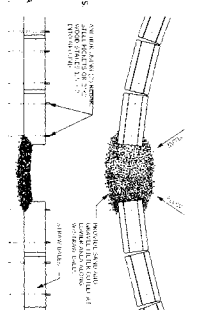


- NOTES:
1. THICKNESS OF FILLER BAGS WHEN Laid FLAT SHALL BE 12\"/>

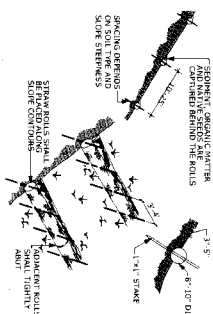
**BURLAP SACK SEDIMENT FILTER**  
SCALE 1/4\"/>



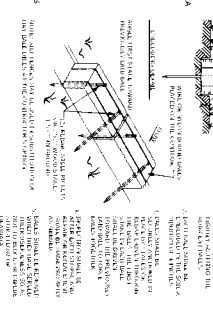
**INLET SILT SACK**  
SCALE 1/4\"/>



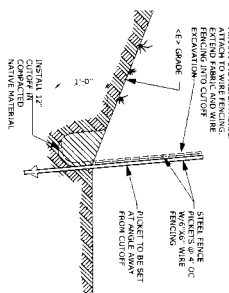
**STRAW BALE DIKE SPILLWAY**  
SCALE 1/4\"/>



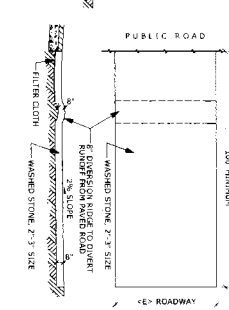
**STRAW WATTLE PLACEMENT**  
SCALE 1/4\"/>



**STRAW BALE DIKE**  
SCALE 1/4\"/>



**SILT FENCE**  
SCALE 1/4\"/>



**STABILIZED ENTRANCEWAY**  
SCALE 1/4\"/>

**WESTON MILLS**  
1700 WESTON MILLS RD.  
MOUNTAIN VIEW, CA 94039  
1-800-272-4466  
• Manufacture • Distribute •

**FILE # 11-11-11**  
DATE: 01/13/2014  
BY: [Signature]  
NO. OF SHEETS: 01  
SHEET NO.: 11  
SHEET NO.: 11

**EROSION CONTROL DETAILS**  
PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING  
PACIFIC ELEMENTARY SCHOOL DISTRICT  
50 OCEAN STREET, DAVENPORT, CA 93617

**A1.7**  
01/13/2014  
13018  
2014

# GENERAL NOTES

1. RWL - BOYS WATER LEADER, SEE DETAIL 12A/2

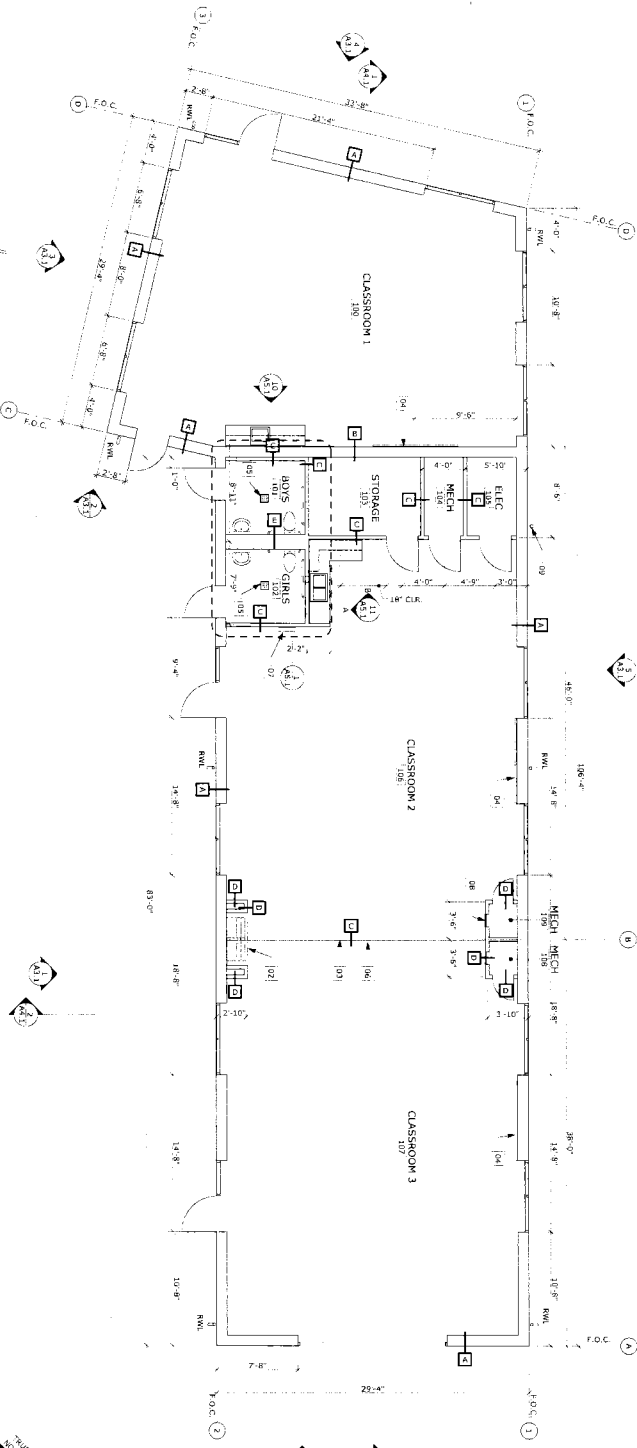


WESTON MILES  
17501 LANTANA DRIVE, SUITE 100  
DALLAS, TEXAS 75244  
714.463.2700  
www.westonmiles.com  
Architect - 1 Building



## KEY NOTES

01. CORNERS GLASS INSULATED 12" OFF THE #8 EACH OUTSIDE CORNER, SEE SPECS
02. MOVABLE PARTITION - SEE DETAIL 12A/2
03. OVERHEAD TRACK FOR MOVABLE PARTITION - SEE DETAIL 12A/2
04. WHITE BOARD, SEE SPECS
05. FLOOR POIN - SPD
06. WALL TYPE C-CORNER - SEE A7.1
07. FINISH RETURN PAINT TO MATCH WALL, SPD
08. MECH RETURN PAINT TO MATCH WALL, SPD
09. FIRE EXTINGUISHER, PAINT TO MATCH WALL, SPD



FLOOR PLAN  
SCALE: 1/8" = 1'-0"

## SYMBOL LEGEND

- 1/8" FINISHED WALL SYMBOL

## FLOOR PLAN

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT  
50 OCEAN STREET, DAVENPORT, CA 95017  
APN: 058-082-01

# GENERAL NOTES

1. ROOF CLASSIFICATION A PER DETAIL 3.5-A & SECTION 1.504
2. ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL

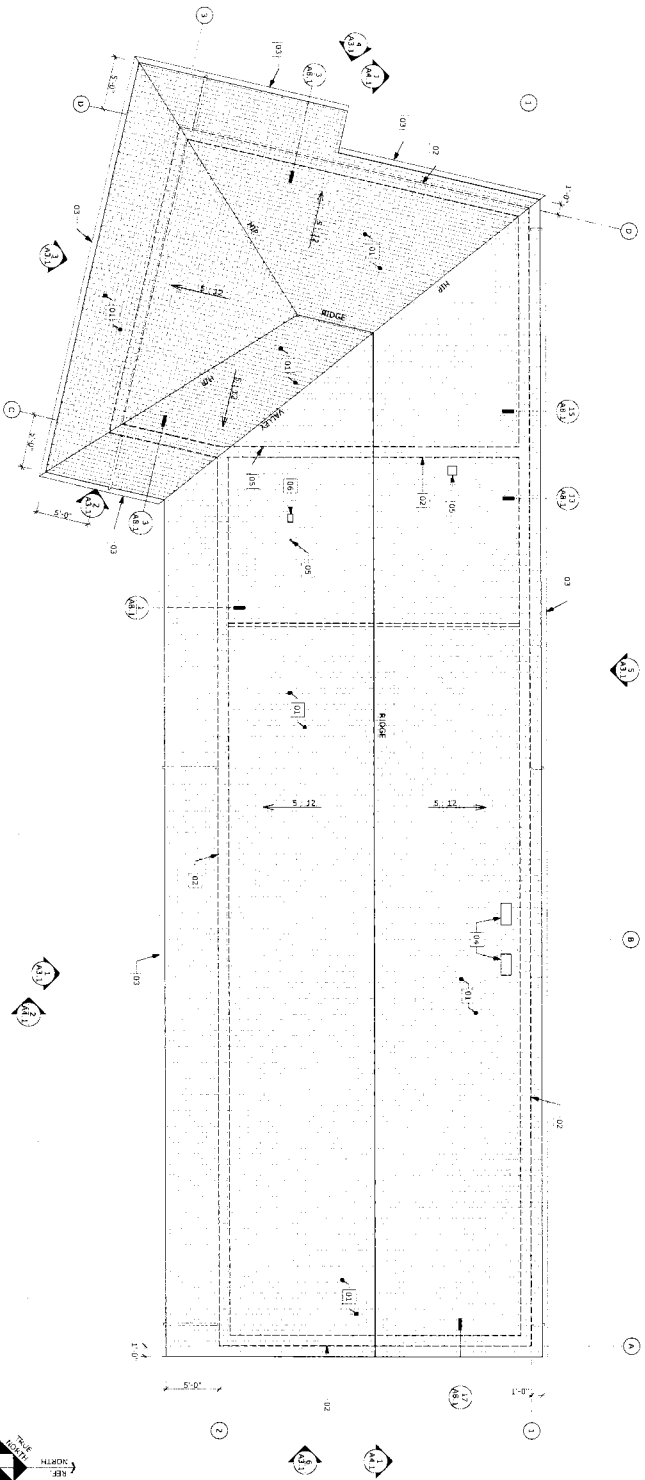


## KEY NOTES

- 01 ASPHALT SHINGLE ROOF FINISH
- 02 LINE OF WALL BELOW
- 03 HVAC DUCT SYSTEM, TYP., FOR RAIN LOCATION SEE ELEVATIONS
- 04 EXTERIOR VENT
- 05 VENT, SMO

FILE #	11-000
DATE	01-15-10
BY	KS
CHECKED	KS

## SYMBOL LEGEND



ROOF PLAN  
 SCALE: 1/8" = 1'-0"

A2.6

DATE	03/15/2014
BY	KS
CHECKED	KS
DATE	2014

**ROOF PLAN**  
**PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING**  
 PACIFIC ELEMENTARY SCHOOL DISTRICT  
 50 OCEAN STREET, DAVENPORT, CA 95017  
 APN: 058-082-01

# GENERAL NOTES



FILE # 41-36  
 IDENTIFICATION NUMBER  
 CONTRACTOR'S SIGNATURE  
 DATE  
 01-  
 NO. 155  
 NO.

## KEY NOTES

- 01. BOARD AND BATTEN SIDING @ 4" O.C. - SEE WOOD SCHEDULE.
- 02. BOARD AND BATTEN SIDING @ 16" O.C. - SEE WOOD SCHEDULE.
- 03. SHINGLE ROOF FINISH
- 04. METAL ROOF/WATER LEAKS AND GUTTERS - SEE J.A.T.2
- 05. EXTENSION LIGHT - ASD
- 06. WALL VENT
- 07. FIRE SPRINKLER RISER, PAINT TO MATCH WALL, SMO

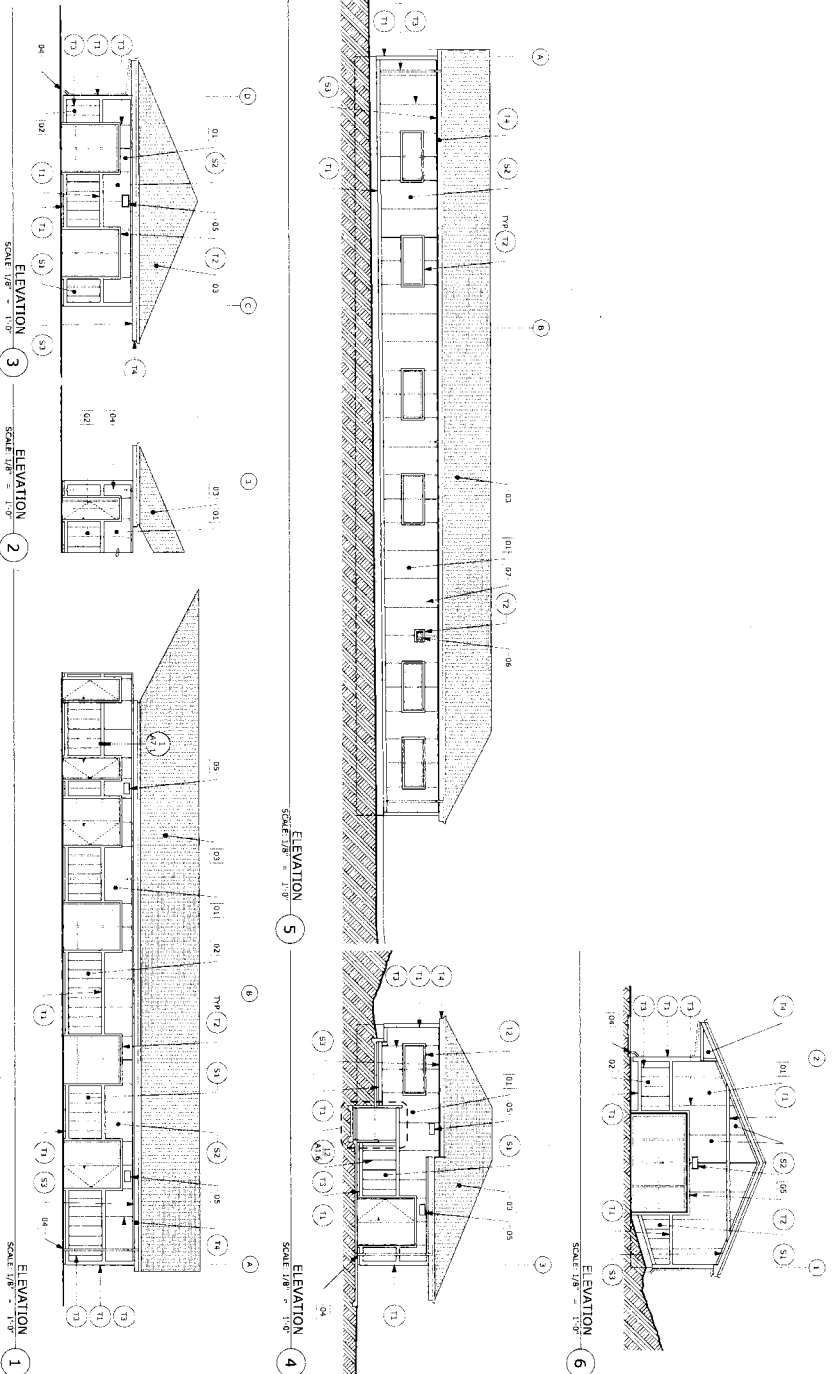
## EXTERIOR FINISH SCHEDULE

MATERIAL	TEXTURE	FINISH
51. SIDING LOWER	CEMENTITE	PAINTED
52. SIDING UPPER	FIBER PANEL	PAINTED
53. JAK CORNER	TEXT.	PAINTED
54. JAK TRIM	TEXT.	PAINTED
55. JAK TRIM	TEXT.	PAINTED
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95. JAK TRIM	TEXT.	PAINTED
96. JAK TRIM	TEXT.	PAINTED
97. JAK TRIM	TEXT.	PAINTED
98. JAK TRIM	TEXT.	PAINTED
99. JAK TRIM	TEXT.	PAINTED
100. JAK TRIM	TEXT.	PAINTED

## EXTERIOR ELEVATIONS

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT  
 50 OCEAN STREET, DAVENPORT, CA 95017  
 ATN: 055-082-01



# GENERAL NOTES

1. IN CONCRETE SPACES OF STUD WALLS PROVIDE 2X SOLID PINE BLOORING AT CEILING LEVELS, FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH HORIZONTAL & VERTICAL. ALL FLOOR BLOORING SHALL BE IN ACCORDANCE WITH THE SECTION 2.2.



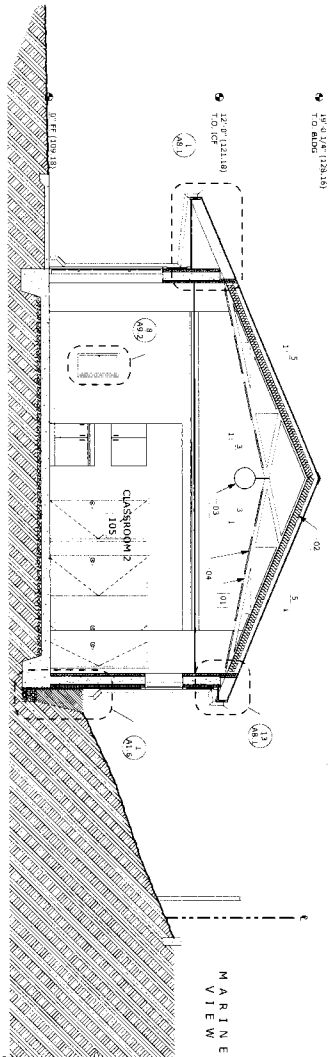
WESTON MILES

17544 Highway 100, Suite 100  
Weston, CA 94588  
• Architecture • Interiors •

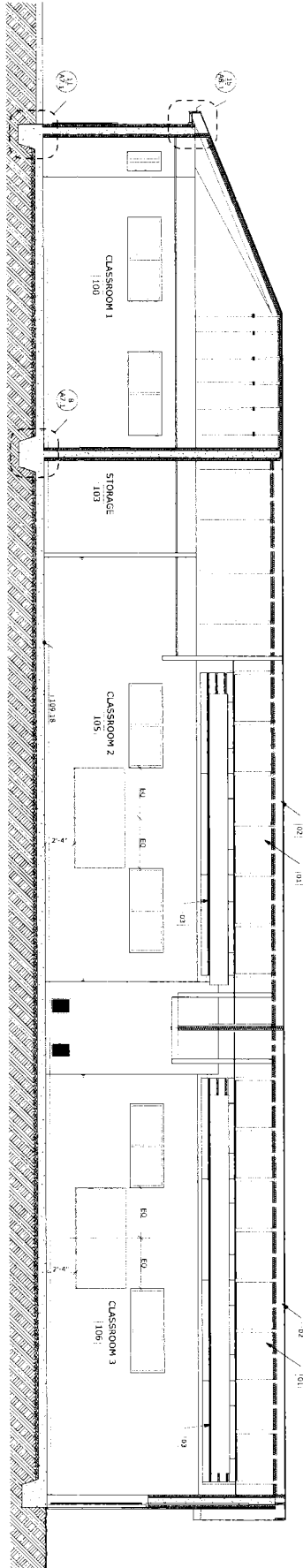


## KEY NOTES

- 01 SCISSOR TRUSS - S&B
- 02 INSULATION
- 03 FABRIC DUCTS - SEE 10/6.1 AND SMO
- 04 ACOUSTIC PANE - SEE 9/9.1



BUILDING SECTION 2  
SCALE: 1/4\"/>



BUILDING SECTION 1  
SCALE: 1/4\"/>

## BUILDING SECTIONS

PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING

PACIFIC ELEMENTARY SCHOOL DISTRICT  
50 OCEAN STREET, DAVENPORT, CA 95617  
APN: 036-082-01

## 1

## SPECIFIC DOOR REMARKS

1. THE DESIGN SHALL BE OBTAINED FROM THE INSIDE WITHIN THE DOOR FRAME AND NOT FROM THE OUTSIDE OF THE DOOR. IT SHOULD BE PROMINENTLY DISPLAYED FOR ALL SPECIAL KNOWLEDGE OR EFFECTIVE INFORMATION TO BE TRANSMITTED BY THE SIGN.
2. SEE WINDOW SCHEDULE FOR STATIONERON SYSTEM CONFIGURATION
3. SEE DOOR DETAIL REFERENCE "A"
4. SEE DOOR DETAIL REFERENCE "B"
5. SEE DOOR DETAIL REFERENCE "C"

---

	FINISH	HARDWARE	STORAGE	SPECIFIC REMARKS
FEAR	A	A	1, 2, 3	
FEAR	B	B	3	
FEAR	A	A	3	
FEAR	C	C	5	
FEAR	C	C	5	
FEAR	C	C	5	
FEAR	A	A	1, 2, 3	
FEAR	A	A	1, 2, 3	
FEAR	N/A	N/A	1, 2, 3	
FEAR	C	C	5	
FEAR	C	C	5	

SPECIFIC REMARKS	
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GENERAL WINDOW NOTES

## DOOR DETAIL REFERENCE

## GENERAL WINDOW NOTES

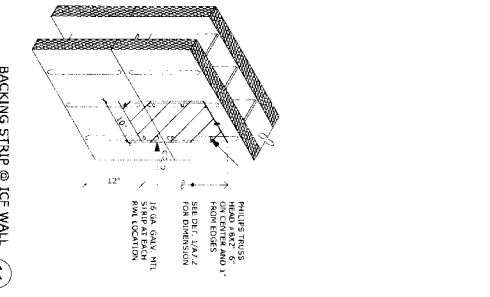
- SPECIFIC WINDOW REMARKS

## SPECIFIC WINDOW REMARKS

- 1- SEE WINDOW DETAIL REFERENCE "A"  
2- SEE WINDOW DETAIL REFERENCE "B"



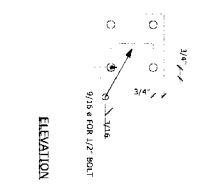




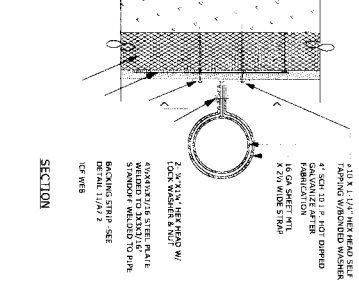
BACKING STRIP @ ICF WALL

SCALE: 1" = 1'-0"

11



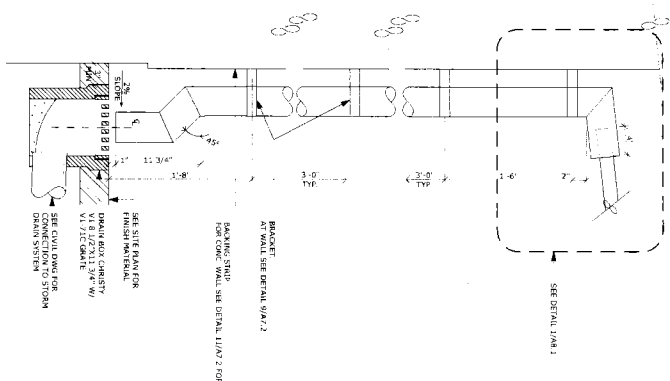
4" SCH 10 I.P. NO  
GALVANIZE AFTER  
FABRICATION

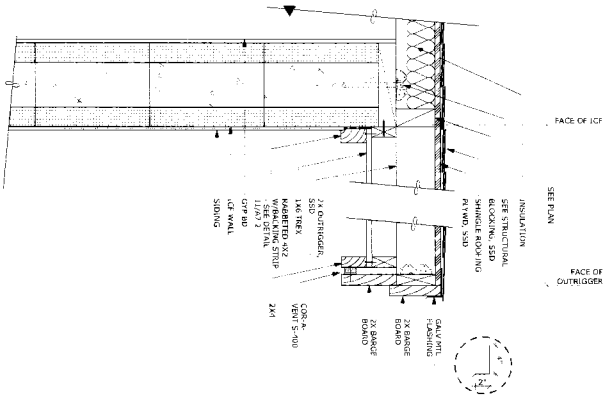


RWL BRACKET

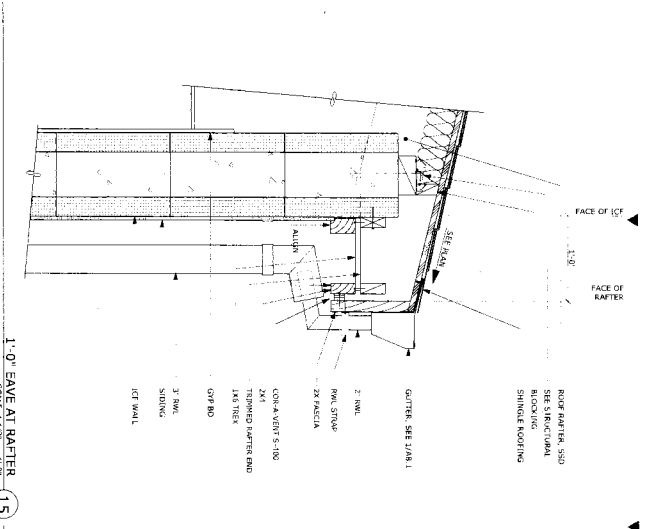
SCALE: 3" = 1'-0"

9

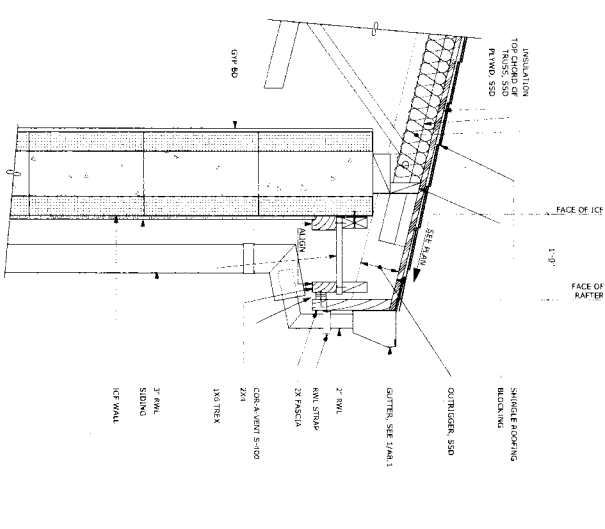
RWL @ BOTTOM CONNECTION  
SCALE: 1 1/2" = 1'-0"  
1



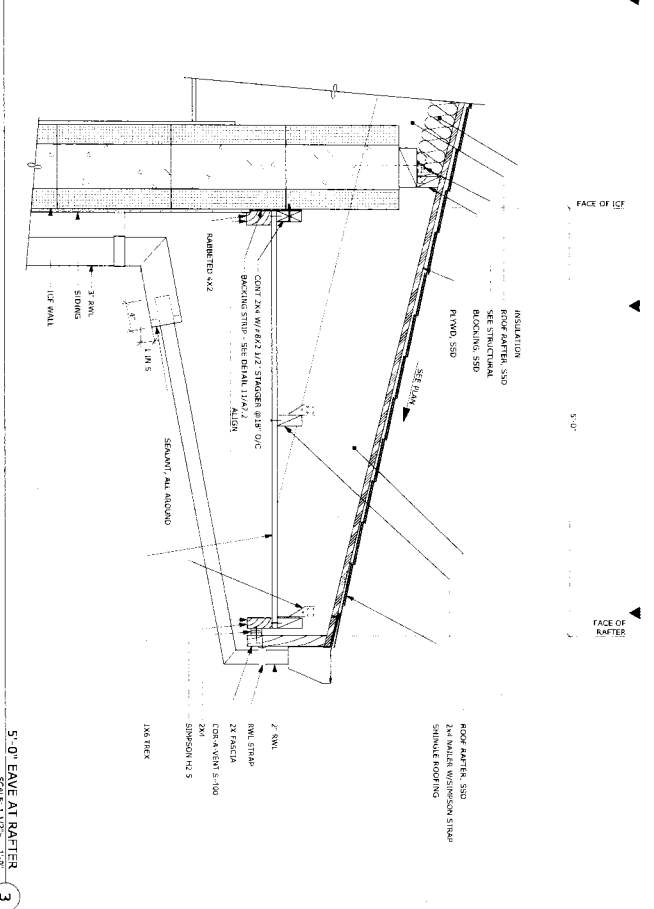
RAKE 17  
SCALE: 1/2" = 1'-0"



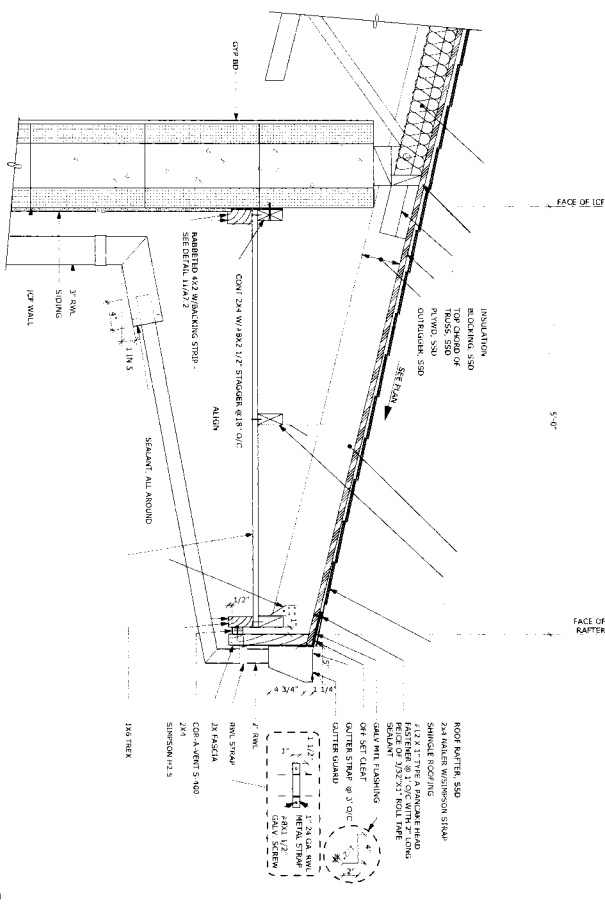
1'-0" EAVE AT RAFTER 15  
SCALE: 1/2" = 1'-0"



1'-0" EAVE AT TRUSS 13  
SCALE: 1/2" = 1'-0"



5'-0" EAVE AT RAFTER 3  
SCALE: 1/2" = 1'-0"



5'-0" EAVE AT TRUSS 1  
SCALE: 1/2" = 1'-0"



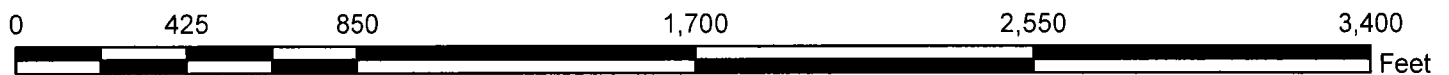
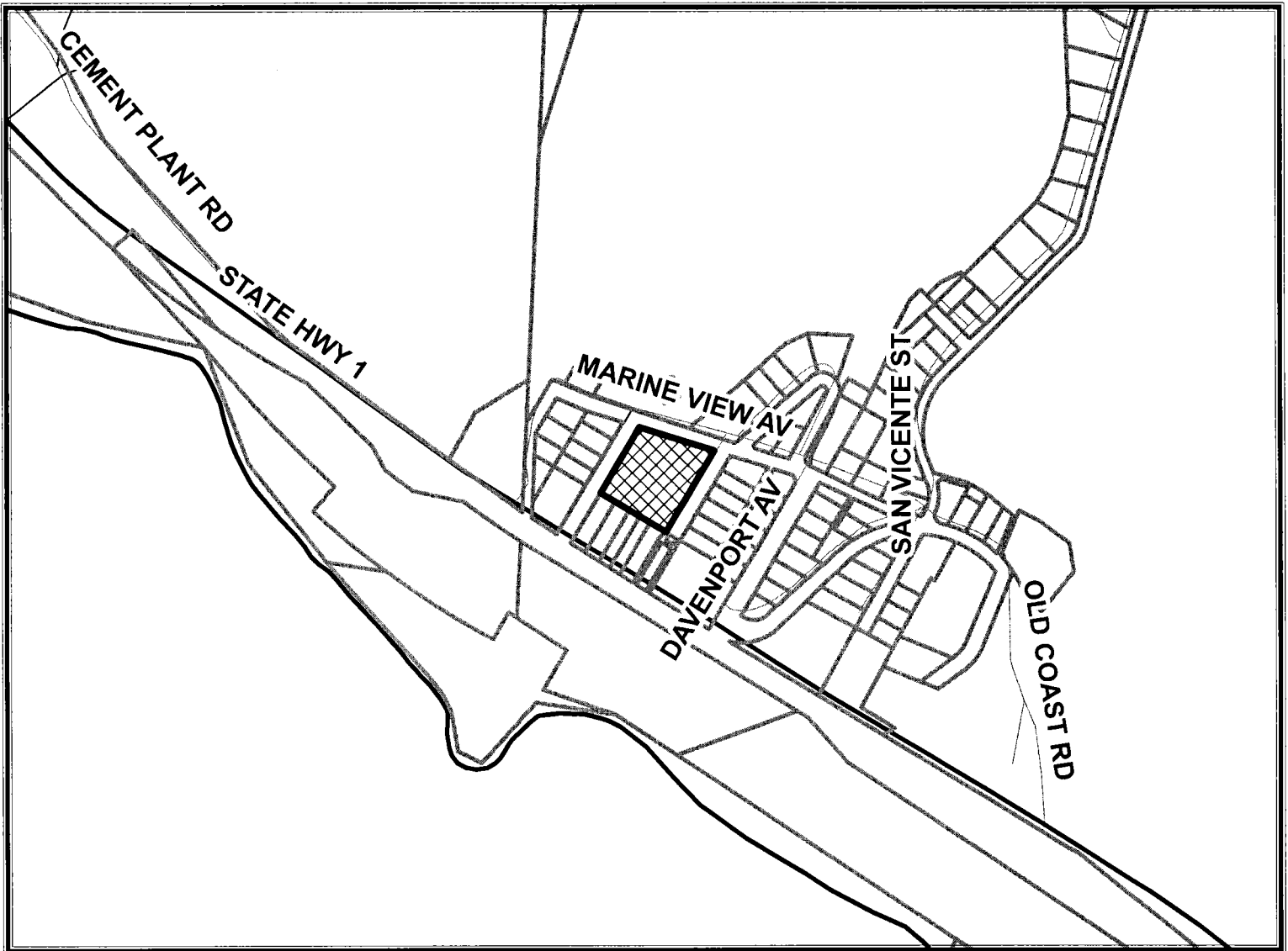
PACIFIC SCHOOL - MEASURE M NEW CLASSROOM BUILDING  
EXTERIOR PERSPECTIVE - OPTION 1

WESTON MILES  
ARCHITECTS  
• Architecture • Landscape •








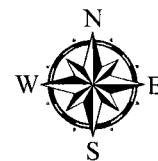


# Location Map



## LEGEND

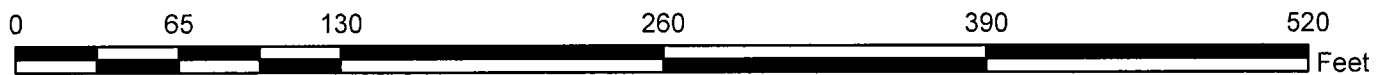
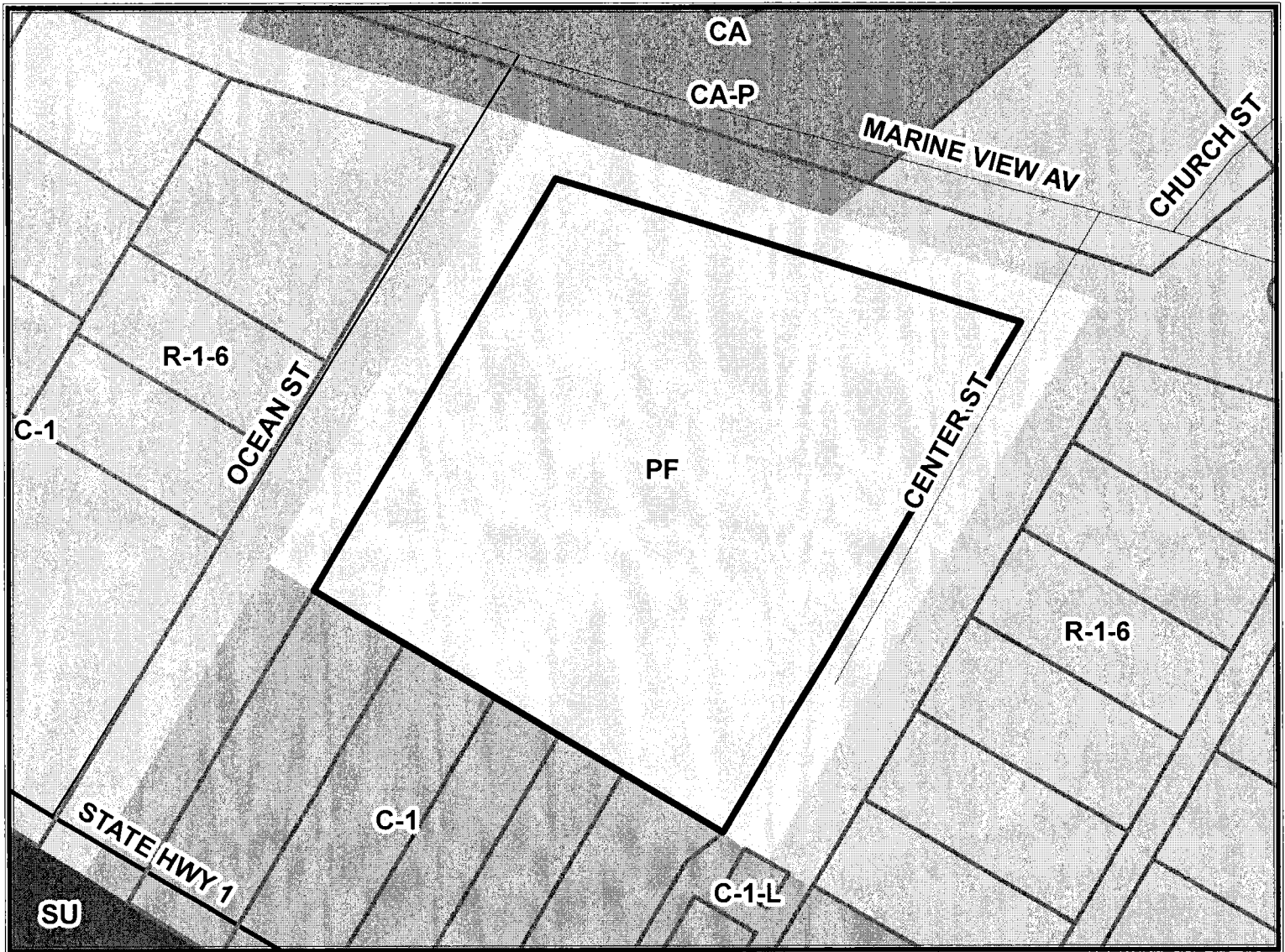
-  APN: 058-082-01
-  Assessors Parcels
-  Street
-  State Highways
-  County Boundary



Map Created by  
County of Santa Cruz  
Planning Department  
April 2014

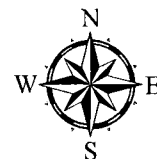


# Zoning Map



## LEGEND

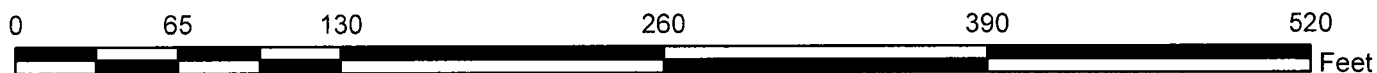
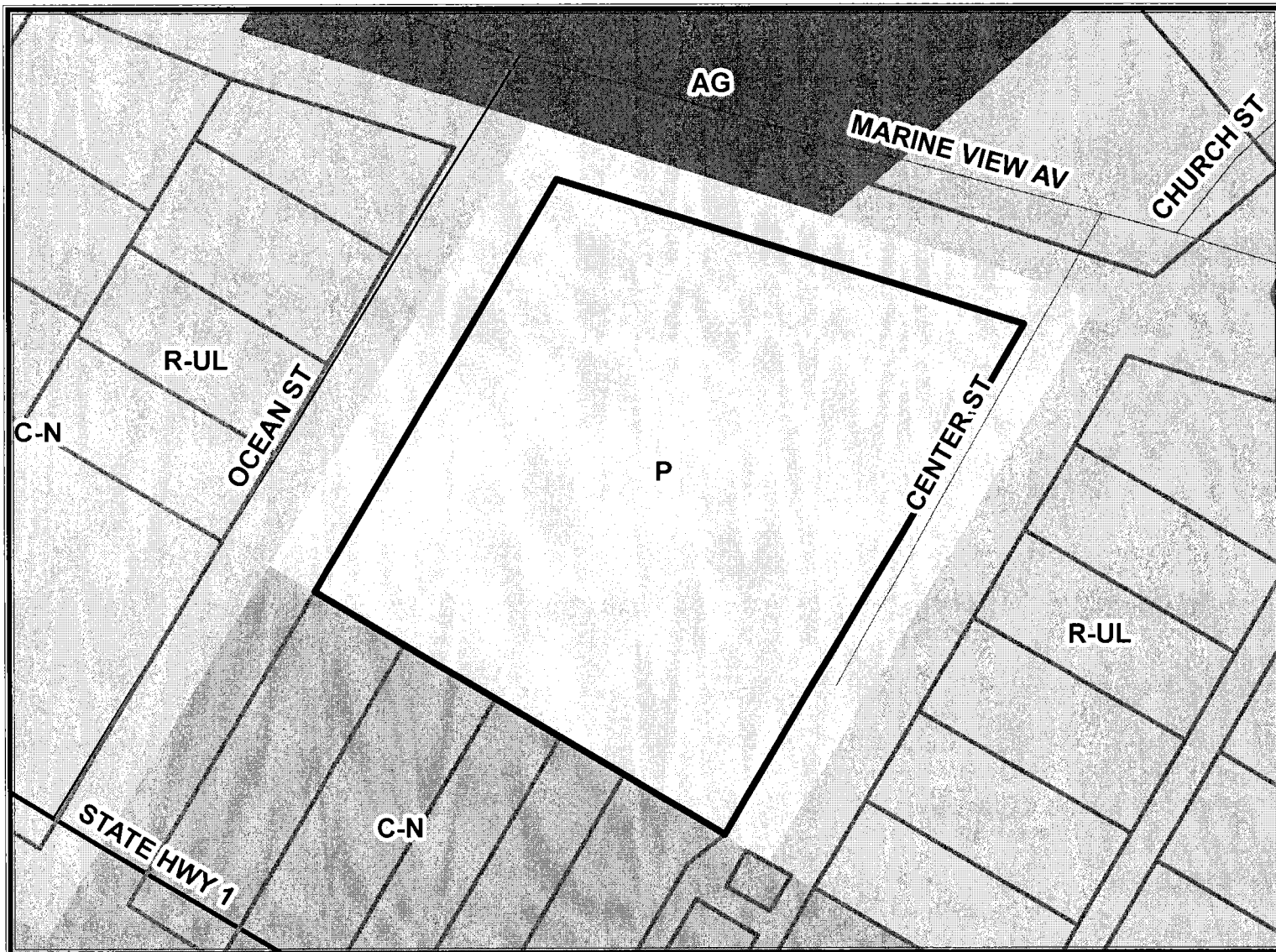
- APN: 058-082-01
- Assessors Parcels
- Street
- State Highways
- PUBLIC FACILITY
- RESIDENTIAL-SINGLE FAMILY
- COMMERCIAL-NEIGHBORHOOD
- AGRICULTURE COMMERCIAL
- SPECIAL USE



Map Created by  
County of Santa Cruz  
Planning Department  
April 2014

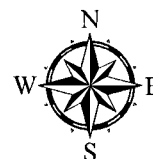


# General Plan Designation Map



## LEGEND

- APN: 058-082-01
- Assessors Parcels
- Street
- State Highways
- Public Facilities
- Residential - Urban Low Density
- Commercial-Neighborhood
- Agriculture



Map Created by  
County of Santa Cruz  
Planning Department  
April 2014